1232 ST BERNARD RESIDENCE



ADDRESS: 1232 ST BERNARD AVE. NEW ORLEANS, LA 70116 WILLIAMS ARCHITECTS JOB NUMBER: 520064.00 DATE ISSUED: 09/07/2022

PERMIT SET

05 METALS

GRAPHIC MATERIAL TYPES Door Tag BASE COURSE 02 SITE CONSTRUCTION **GLUED-LAMINATED CONSTRUCTION** CORK CAST-IN-PLACE CONCRETE PRECAST CONCRETE HARD BOARD CEMENTITIOUS TOPPINGS **PARTICLEBOARD** Keynote SOLID SURFACE MATERIAL 06 WOOD & PLASTICS 03 CONCRETE Name Elevation Level Head BATT INSULATION Room name Room name Room name 101 Room Tag MINERAL WOOL INSULATION CONCRETE MASONRY UNITS RIGID INSULATION GLASS BLOCK Section 07 THERMAL & MOISTURE PROTECTION CUT STONE GLASS CAST STONE PLASTIC GLAZING Text Note (1-8", 1-4") 08 DOORS & WINDOWS Text Note (1-2", 3-4") LATH & PLASTER 04 MASONRY GYPSUM BOARD Text Note (1", 1 1-2", 3") CERAMIC TILE EAST ELEVATION View Title A1.1 BARONNE STREET 1/8" = 1'-0"

CEILING PANEL

CARPET

09 FINISHES

REMALEX PROPERTY GROUP LLC 6911 LAKE WILLOW DR NEW ORLEANS, LA 70126 (504) 669-0069

JC CELESTIN JCELESTIN7@GMAIL.COM

ARCHITECT

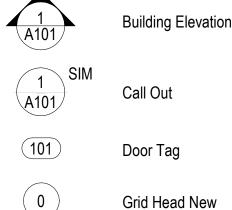
OWNER

WILLIAMS ARCHITECTS 824 BARONNE ST NEW ORLEANS, LA 70113 (504) 566-0888

ANDREW STEPHENS ASTEPHENS@WILLIAMSARCHITECTS.COM

PROJECT INFORMATION

ZONING - HMC-2 USE: COMMERCIAL STR LOT SIZE: 2565 SF **ENCLOSED BUILDING SIZE: 1968 SF** PORCH AND DECK SIZE: 1275 SF PARKING - 1 OFF STREET PARKING SPACE







Window Tag



16. EXISTING CONDITIONS INDICATED ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH ANY WORK. IF CONDITIONS VARY GREATLY FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH WORK.

17. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE AWARE OF THE PRESENCE OF OTHER OPERATIONS AROUND THE SITE DURING DEMOLITION. THESE OPERATIONS CAN NOT BE INTERRUPTED AND PROTECTION OF THE PROPERTY AND PERSONS DURING THE COURSE OF DEMOLITION AND CONSTRUCTION IS IMPERATIVE. WORKING OUTSIDE THE DESIGNATED LIMITS IS PROHIBITED UNLESS APPROVED BY THE CLIENT/USER.

A. DO NOT BLOCK DRIVEWAYS, FIRE EXITS AND FIRE EXIT ROUTES B. LIMIT NOISE TO NORMAL DEMOLITION OPERATIONS - "NO MUSIC" C. PARKING IS NOT PROVIDED. PAID PARKING IS AVAILABLE SURROUNDING THE SITE.

18. TO ESTABLISH THE COMPLETE SCOPE OF ITS WORK AND TO AFFECT CLOSE COORDINATION WITH THE OTHER TRADES, EACH TRADE SHALL VISIT THE SITE AND COMPLETELY REVIEW THE DRAWINGS NOT ONLY FOR ITS RESPECTIVE TRADE, THE WORK

19. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE SITE AND BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS AND COMPONENTS INTO THE BUILDING AND ON THE SITE.

20. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND SERVICES AGAINST INTERRUPTION DUE TO THIS WORK. NECESSARY DISRUPTIONS MUST BE APPROVED BY THE

21. VERIFY PROPERTY LINES, CONDITIONS, SERVICES AND DIMENSIONS BEFORE COMMENCING THE WORK.

GENERAL NOTES

SEE OTHER SHEETS FOR ADDITIONAL NOTES & SPECIFIC CONSTRUCTION NOTES

1. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT SITE AND SHALL BECOME GENERALLY FAMILIAR WITH THE PROJECT. AND WITH THE IMPACT OF THE NEW WORK ON EXISTING CONDITIONS. ANY AREAS OF CONCERN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL. NO ADDITIONAL CHARGE TO THE OWNER WILL BE APPROVED WHICH IS ATTRIBUTABLE TO THE CONTRACTOR'S FAILURE TO MEET THIS REQUIREMENT

2. WORK ONLY FROM THE WRITTEN DIMENSIONS SHOWN. DO NOT SCALE DRAWINGS. DETAIL DIMENSIONS TAKE PRECEDENCE OVER PLAN DIMENSIONS.

3. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS, INCLUDING STRUCTURAL, AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT DEVIATIONS FROM THE DRAWINGS TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.

4. THE GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM THE WORK OF THIS CONTRACT.

5. THE GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR THE CONSTRUCTION MATERIALS AND WORKMANSHIP OF THE PROJECT DESCRIBED IN THESE DRAWINGS AND NOTES. AND IS TO COMPLY WITH THE INTENT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.

6. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR HIS WORK UNTIL TURNED OVER TO THE OWNER.

7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH HIS SUBCONTRACTORS. ANY CONFLICTS WITH THEIR WORK, EQUIPMENT PLACEMENT, ETC. ARE TO BE RESOLVED PRIOR TO INSTALLATION OF THE WORK.

8. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL CASEWORK, MILLWORK AND SPECIALTY ITEMS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION.

9. INSTALL ALL MANUFACTURING ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED SPECIFICATIONS.

10. LOCATION AND DIMENSIONS SHALL BE PER ARCHITECTURAL DRAWINGS. DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE THE START OF WORK. ANY FURNITURE INDICATED ON PLANS IS FOR REFERENCE AND COORDINATION.

11. VARIATIONS FROM WORK SPECIFIED DUE TO AVAILABILITY OF MATERIALS, FIELD CONDITIONS, VARIATIONS IN EQUIPMENT SPECS, ETC. SHALL BE MADE WITH APPROVAL OF

12. ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL NATIONAL STATE AND LOCAL CODES AND ORDINANCES HAVING JURISDICTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS FOR THE WORK.

13. IT IS THE INTENT OF THE DOCUMENTS TO PROVIDE FOR COMPLETE AND FINISHED WORK. ALL MISCELLANEOUS COMPONENTS, PARTS, ANCHORS, AND OTHER INCIDENTAL ITEMS REQUIRED FOR COMPLETE ASSEMBLY, FUNCTIONING AND OPERATION OF AN ITEM OR SYSTEM SHALL BE PROVIDED. THE CONTRACTOR SHALL INCLUDE ALL COMPONENTS THAT ARE NORMALLY INCIDENTAL TO THE WORK. THOSE COMPONENTS WHICH ARE NOT SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATION, BUT WHICH ARE REQUIRED AS ESSENTIAL AESTHETICS OR FUNCTIONAL COMPONENT OF THE WORK, SHALL BE INCLUDED AS IF IT WERE DRAWN OR SPECIFIED.

14. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE IN A TIMELY MANNER, AT NO ADDITIONAL COST TO THE OWNER, ACCURATE AND COMPLETE DRAWINGS, SKETCHES, AND PHOTOGRAPHS SUFFICIENT TO CLEARLY DESCRIBE DISCREPANCIES, CONFLICTS AND CONCEALED OR OTHERWISE UNANTICIPATED EXISTING CONDITIONS ENCOUNTERED THAT AFFECT NEW CONSTRUCTION.

15. APPLY FOR AND SECURE ALL PERMITS AND COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR SAFETY AND PROTECTION OF ADJACENT BUILDINGS AND OCCUPIED AREAS, DUST CONTROL, UTILITY DISCOVERED HAZARDS AND DISPOSAL. CONTACT APPROPRIATE AGENCIES PRIOR TO ANY BELOW GRADE EXCAVATIONS. NOTIFY OWNER AND PROTECT FROM DISTURBANCE ANY DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS.

OF OTHER RELATED TRADES AS WELL.

OWNER 48 HOURS IN ADVANCE OF NEED.

22. THE DEMOLITION CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM CONSTRUCTION ACTIVITIES. AND SHALL ALSO PROVIDE ALL NECESSARY PROTECTION OF HIS OWN WORK UNTIL TURNED OVER TO THE OWNER.

23. TEMPORARY BARRIERS AND FENCING: PROVIDE AT MINIMUM, 6' HIGH BLACK MESH, SAFETY FABRIC FENCING AND METAL POSTS FOR PROTECTION OF AREAS DURING OPERATIONS AND FOR SECURITY CONTROL. PROVIDE OTHER PEDESTRIAN AND PUBLIC PROTECTION REQUIRED BY THE REGULATORY AGENCIES.

24. PROVIDE INTERIOR AND EXTERIOR BRACING OR SUPPORT TO PREVENT MOVEMENT SETTLEMENT, OR COLLAPSE OF AREA BEING WORKED IN AND ADJACENT FACILITIES. CEASE OPERATIONS AND NOTIFY ARCHITECT IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE TO CONTINUE OPERATIONS.

25. SECURITY: PROVIDE SECURITY AND FACILITIES TO PROTECT DEMOLITION SITE AREA, EQUIPMENT, EXISTING FACILITIES AND OWNERS OPERATIONS FROM UNAUTHORIZED ENTRY, VANDALISM OR THEFT DURING, BETWEEN AND AFTER PERIODS OF DEMOLITION ACTIVITY. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SECURITY OF HIS/HER OWN EQUIPMENT AND TOOLS.

26. PARKING: CONTRACTOR SHALL HAVE USE OF THE PUBLIC STREETS AND ADJACENT PAID PARKING LOTS.

27. THE COST FOR CONNECTION TO AND POWER LINES FROM AVAILABLE POWER SOURCE SHALL BE AT CONTRACTOR'S SOLE EXPENSE.

28. TEMPORARY LIGHTING FOR DEMOLITION PURPOSES: CONTRACTOR SHALL PROVIDE TEMPORARY LIGHTING IF REQUIRED AND CONNECT TO TEMPORARY ELECTRIC SERVICE.

29. TEMPORARY VENTILATION: PROVIDE TEMPORARY VENTILATION EQUIPMENT AS REQUIRED TO PROTECT WORKERS.

30. TELEPHONE SERVICE: PROVIDE AND PAY FOR TELEPHONE AND TELEPHONE FACSIMILE SERVICE TO FIELD OFFICE.

31. TEMPORARY WATER SERVICE: CONNECT TO EXISTING WATER SOURCE. IF UTILITY IS CAPPED, COORDINATE WITH CLIENT/USER.

32. TEMPORARY SANITARY FACILITIES: PROVIDE REQUIRED FACILITIES. EXISTING OWNER FACILITIES MAY NOT BE USED.

33. CONTRACTOR SHALL PROVIDE ALL SHORING AND STABILIZING BRACING AS REQUIRED TO PROTECT FROM STRUCTURAL FAILURE OR COLLAPSE.

34. MAINTAIN FIRE SAFETY/CONTROL AT ALL TIMES.

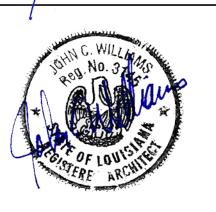
06 Architectural				
A001	TITLE SHEET			
A003	WALL, FLOOR, AND PARTITION TYPES			
A101	SITE PLAN			
A111	FIRST & SECOND FLOOR PLANS			
A113	ROOF DECK PLAN			
A151	REFLECTED CEILING PLANS			
A201	EXTERIOR ELEVATIONS			
A202	EXTERIOR ELEVATIONS			
A301	BUILDING SECTIONS			
A302	BUILDING SECTIONS			
A311	WALL SECTIONS			
A321	SECTION DETAILS			
A322	SECTION DETAILS			
A323	SECTION DETAILS			
A501	ENLARGED PLAN - KITCHEN			
A502	ENLARGED PLAN - MASTER BATH			
A503	ENLARGED PLAN - BATH 3			
A550	STAIR PLANS & DETAILS - INTERIOR			
A551	STAIR PLANS & DETAILS - EXTERIOR			
A801	DOOR & WINDOW SCHEDULE			

WILLIAMS ARCHITECTS 824 BARONNE STREET NEW ORLEANS, LA 70113

> 504-566-0888 WILLIAMSARCHITECTS.COM

nese drawings and specifications have beer repared by me or under my close personal knowledge and belief comply with applicable codes and requirements.

administrative services on this project



Copyright © 2022 John C Williams Architects LLC

> \Box 3 $\mathsf{E} \mathsf{M}$ 7 Z RNARD Ш 232

	-REVISIONS-					
lo.	Date	Sco				
	l	l				

	•

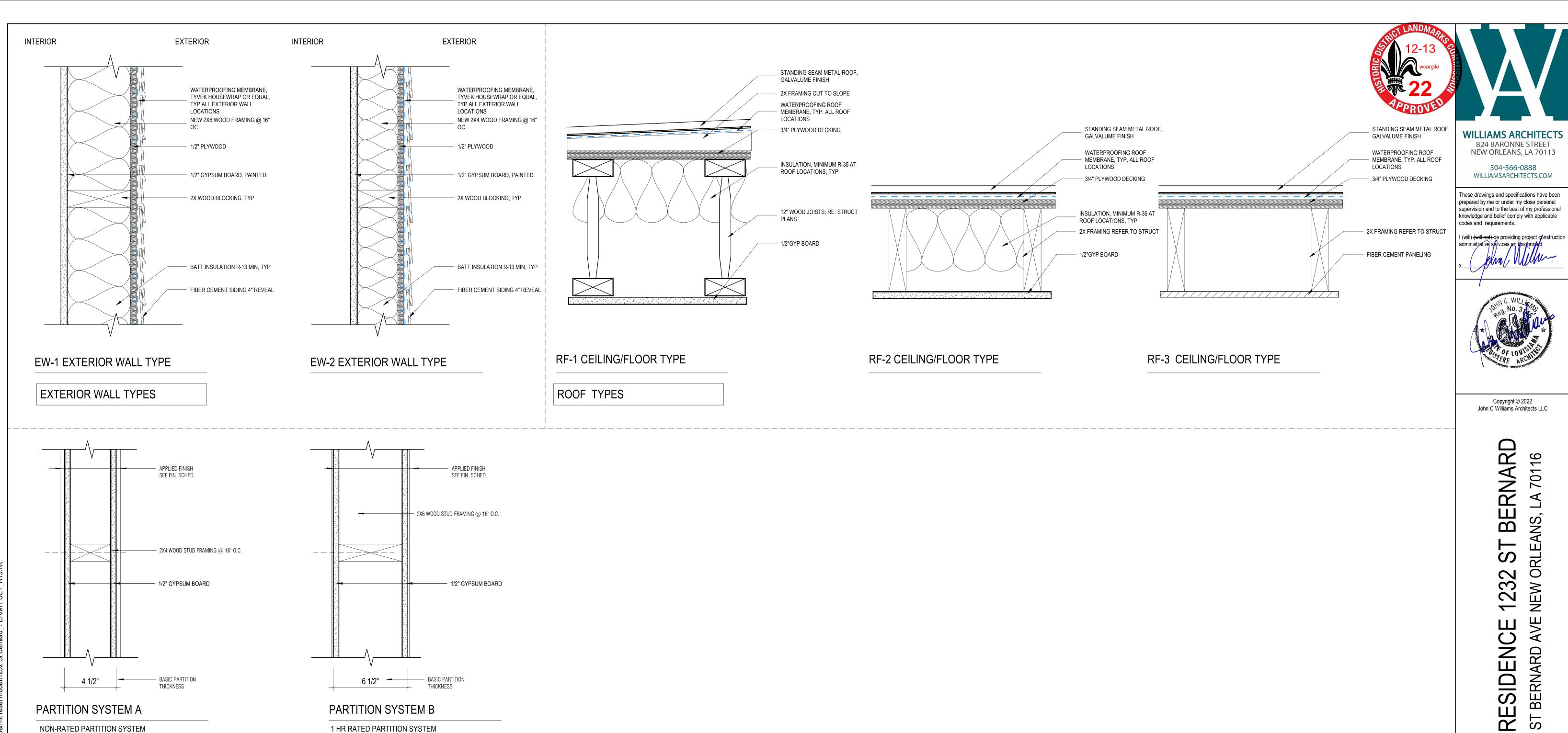
TITLE SHEET

DRAWING BY JOB No.

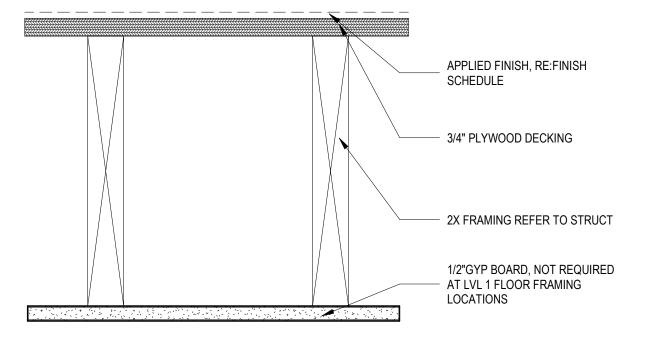
DATE Sheet No.

As indicated

520064



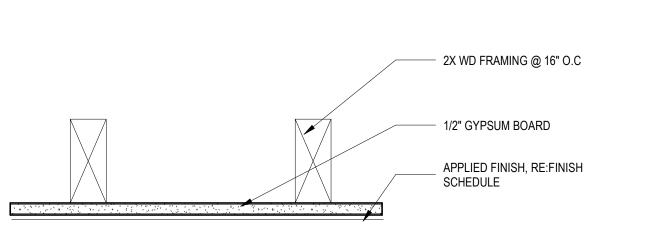
INTERIOR PARTITION TYPES



APPLIED FINISH, RE:FINISH SCHEDULE - 3/4" PLYWOOD DECKING 12" WOOD JOISTS; RE: STRUCT - 1/2"GYP BOARD

FL-2 CEILING/FLOOR TYPE





WALL, FLOOR, AND PARTITION TYPES

-REVISIONS-

504-566-0888

Copyright © 2022

BERNARD

3

Q

70116

RLEANS, LA

NEW

AVE

BERNARD

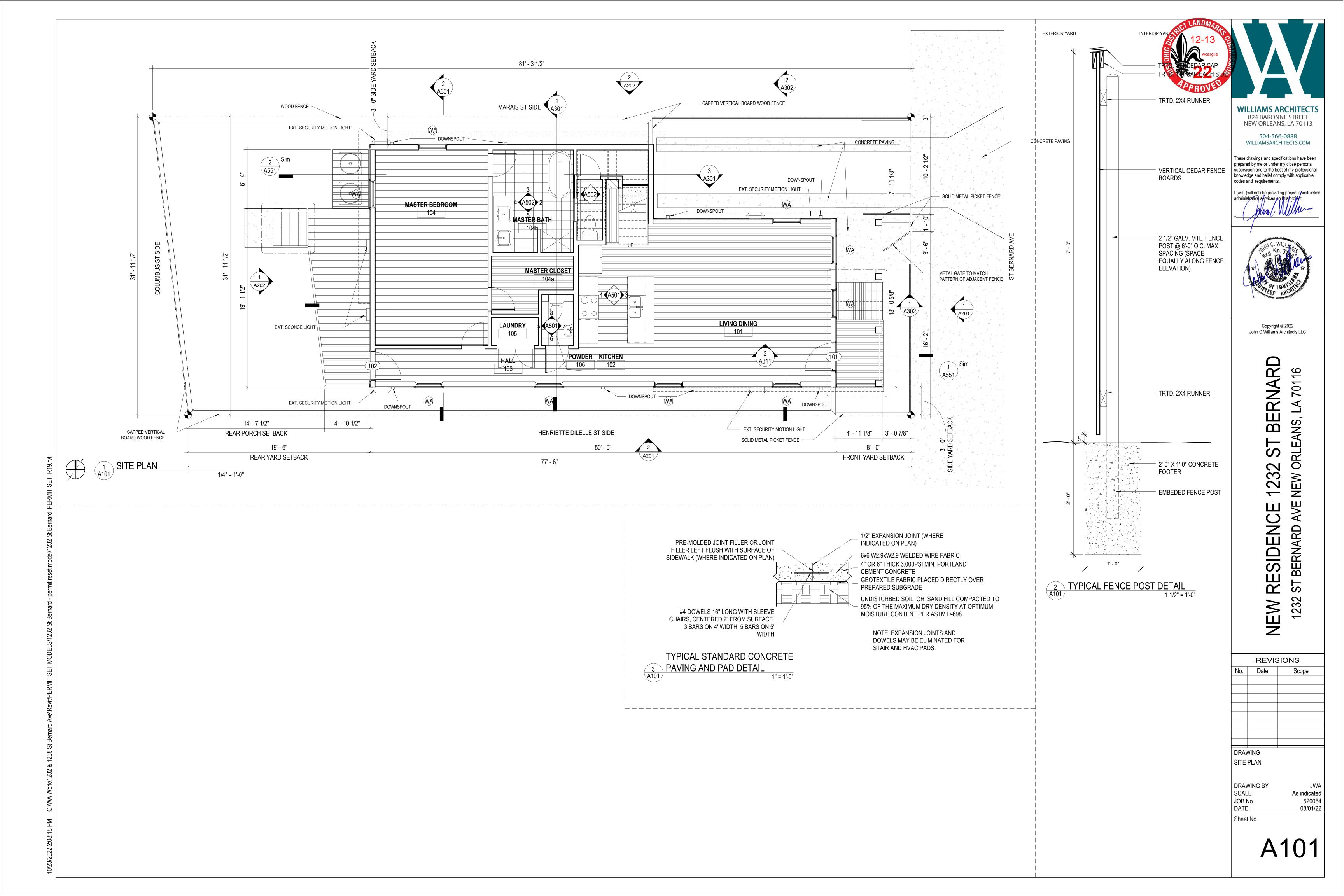
DRAWING BY

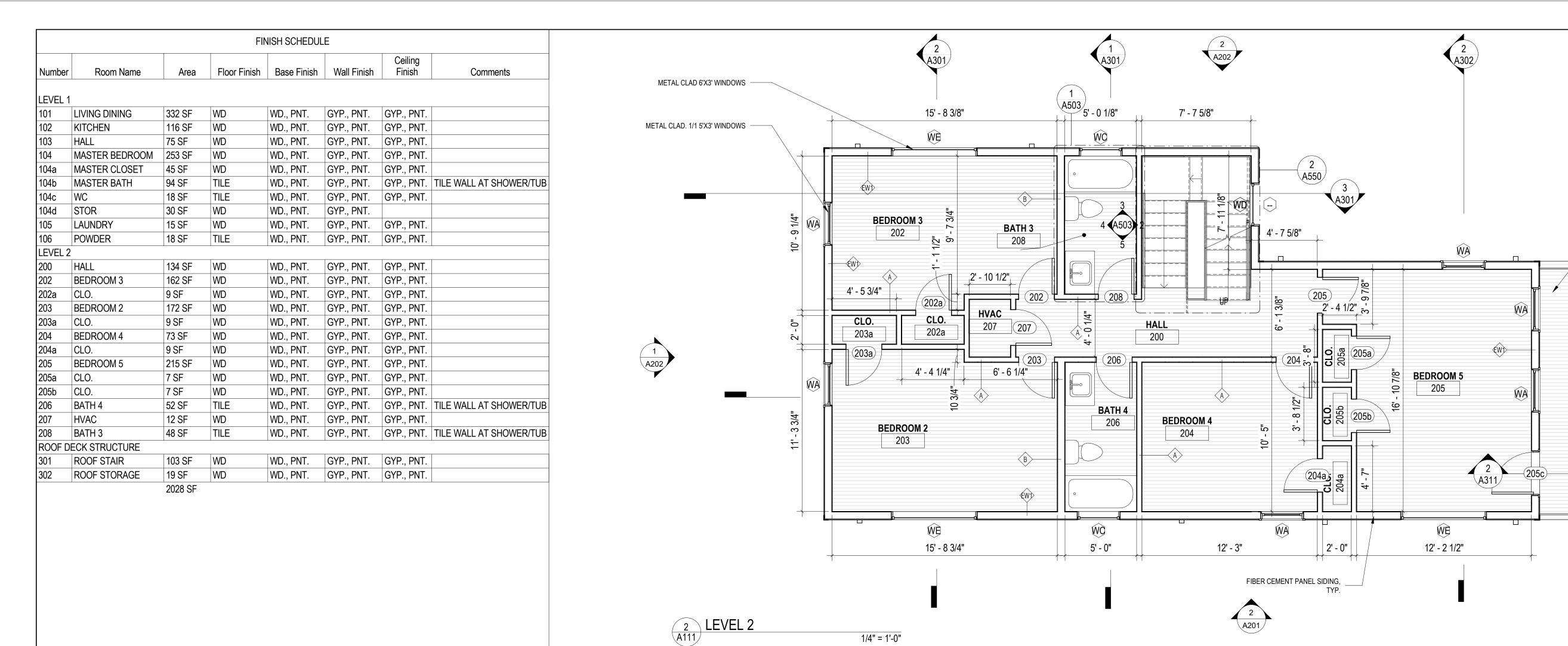
Sheet No.

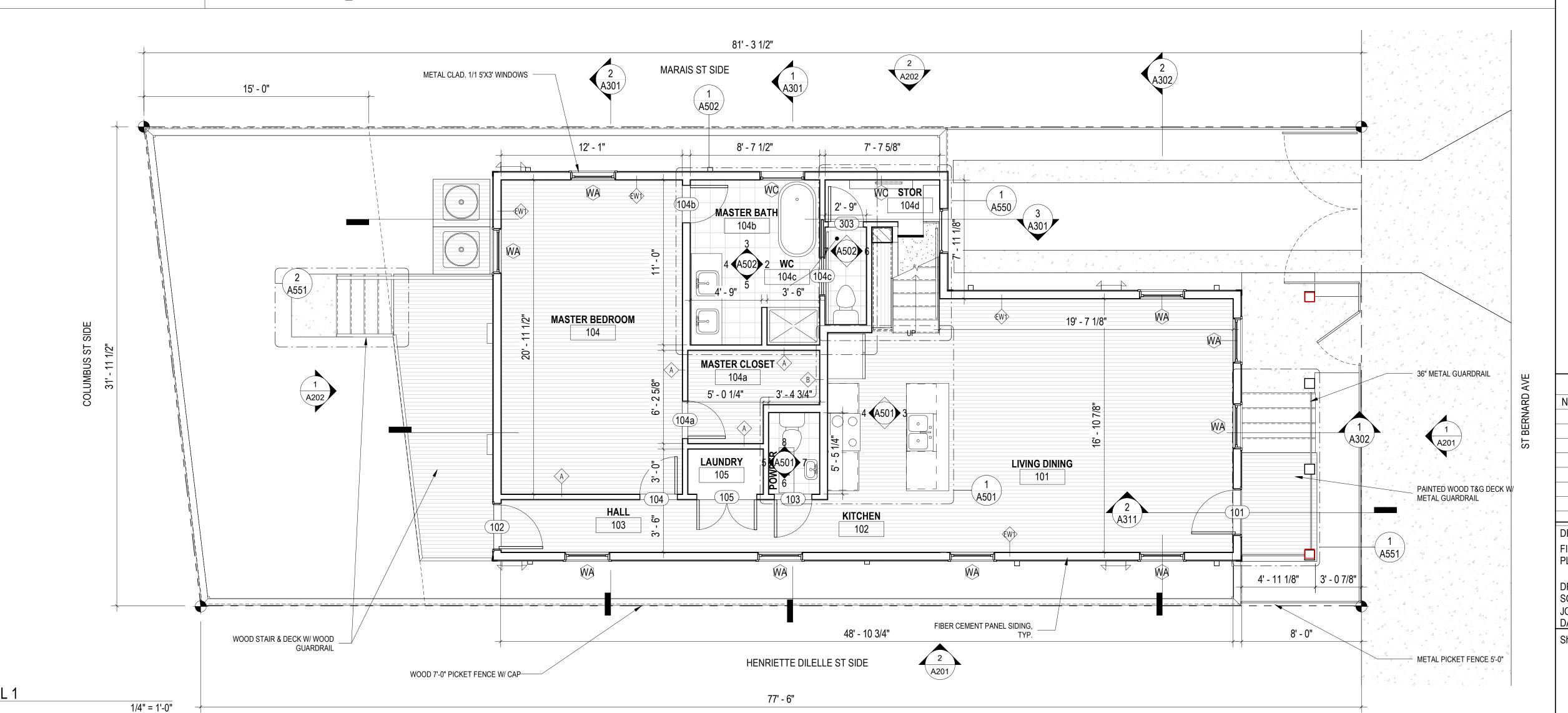
FLOOR/CEILING TYPES

FL-1 CEILING/FLOOR TYPE

3" = 1'-0" 520064 08/01/22







Copyright © 2022 John C Williams Architects LLC 70116 2 RNA NS, LA $\mathbf{\Omega}$ 232

WILLIAMS ARCHITECTS

824 BARONNE STREET

NEW ORLEANS, LA 70113

504-566-0888

WILLIAMSARCHITECTS.COM

These drawings and specifications have been

prepared by me or under my close personal supervision and to the best of my professional

knowledge and belief comply with applicable

I (will) (will not) be providing project construction administrative services on this project.

codes and requirements.

PAINTED WOOD T&G DECK

- 36" METAL GUARDRAIL

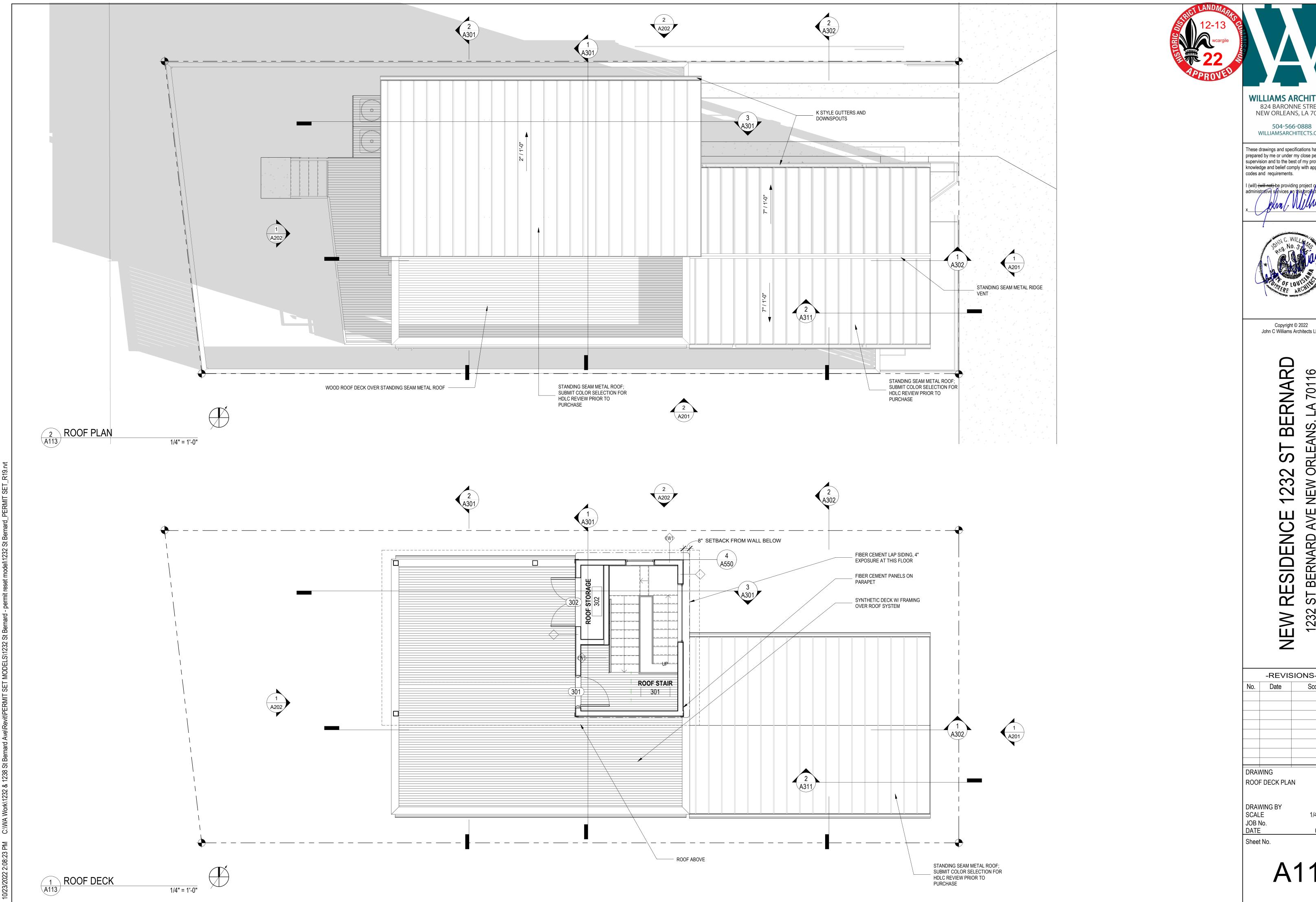
36" METAL GUARDRAIL

NEW OF **BERNARD AVE** -REVISIONS-

FIRST & SECOND FLOOR **PLANS**

Sheet No.

1/4" = 1'-0" 520064 08/01/22



WILLIAMSARCHITECTS.COM These drawings and specifications have been

prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) (will net) be providing project construction administrative services on this project.



Copyright © 2022 John C Williams Architects LLC

BERNARD NEW ORLEANS, LA 70116 232 ST BERNARD AVE

-REVISIONS-

ROOF DECK PLAN

1/4" = 1'-0"



1/4" = 1'-0"

WILLIAMS ARCHITECTS 824 BARONNE STREET NEW ORLEANS, LA 70113

> 504-566-0888 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) (will net) be providing project construction administrative services on this project.



Copyright © 2022 John C Williams Architects LLC

BERNARD NEW ORLEANS, LA 70116 232 ST BERNARD AVE 1232

-REVISIONS-

DRAWING REFLECTED CEILING PLANS

DRAWING BY JOB No. DATE

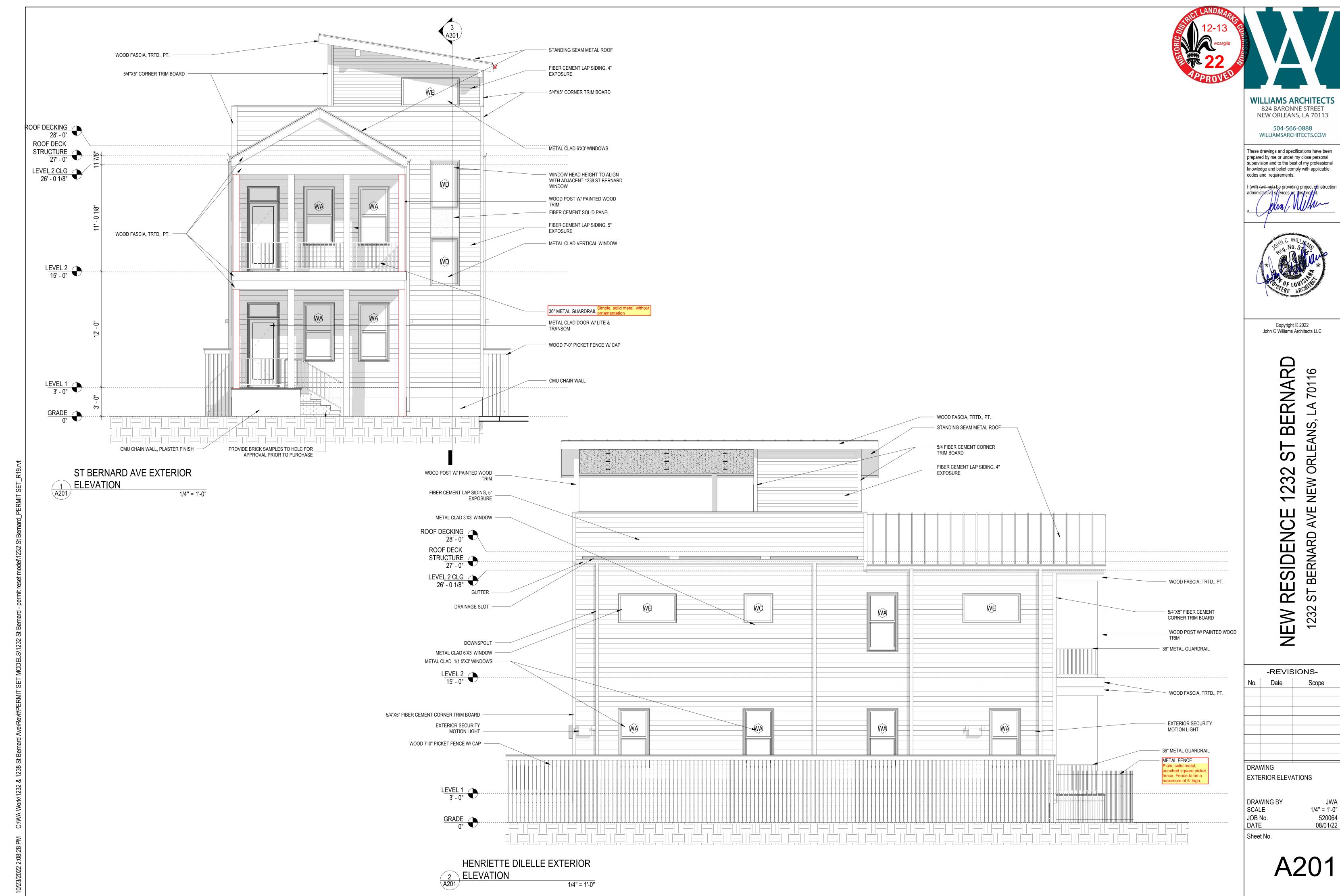
Sheet No.

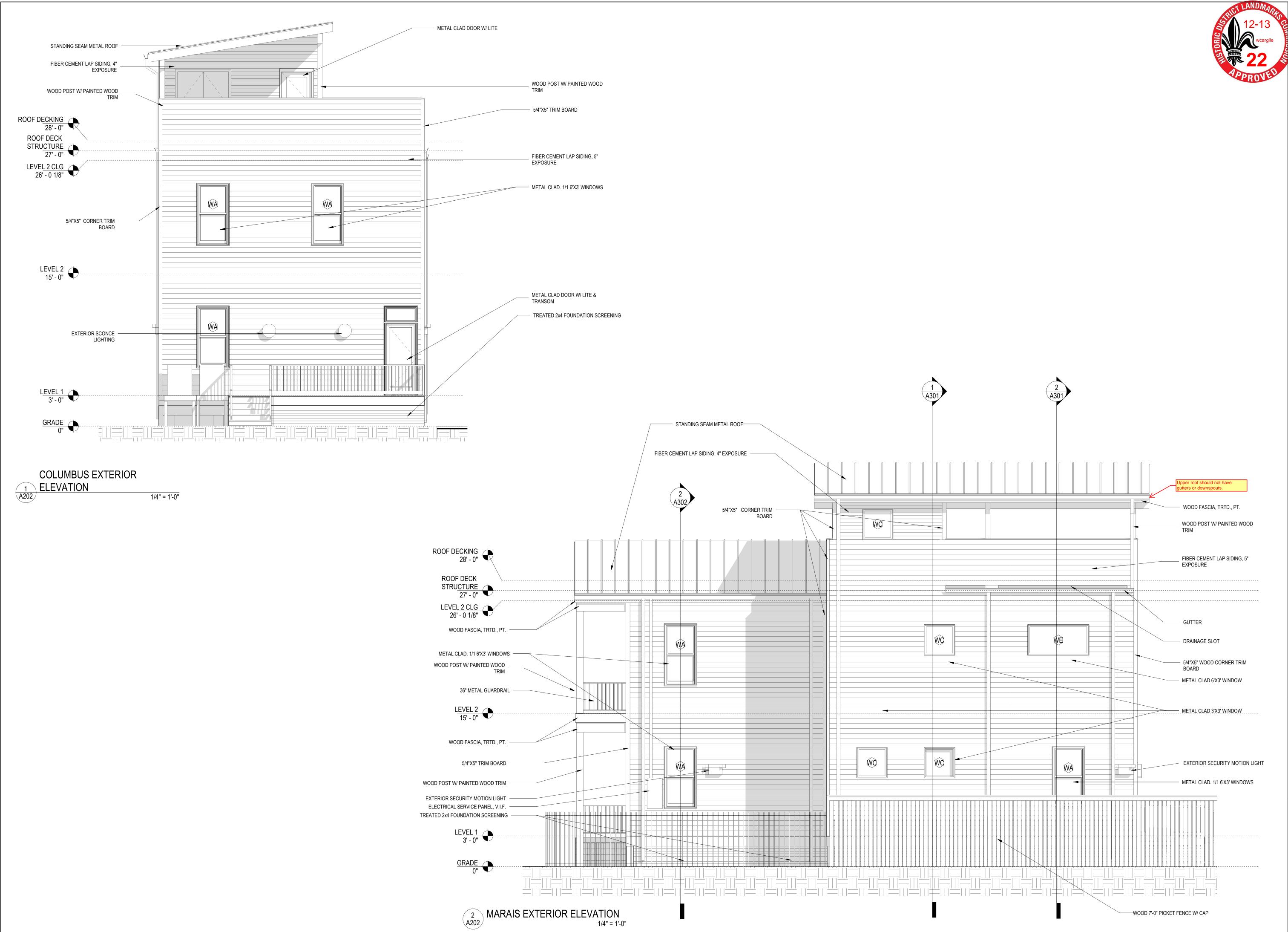
ROOF DECK RCP

1/4" = 1'-0"

1/4" = 1'-0"

520064





504-566-0888 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) (will net) be providing project construction administrative services on this project.



Copyright © 2022 John C Williams Architects LLC

BERNARD NEW ORLEANS, LA 70116 232 1232 ST BERNARD AVE RESIDENCE NEW

-REVISIONS-

No. Date

DRAWING EXTERIOR ELEVATIONS

DRAWING BY

SCALE JOB No. DATE

Sheet No.

1/4" = 1'-0"

520064

> 504-566-0888 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) (will net) be providing project construction administrative services on this project.

Copyright © 2022 John C Williams Architects LLC

BERNARD NEW ORLEANS, LA 70116 1232 1232 ST BERNARD AVE **NEW RESIDENCE**

-REVISIONS-

SCALE JOB No. DATE

Sheet No.

1/4" = 1'-0"

520064 08/01/22

THIS SHEET ARE FOR REFERENCE STANDING SEAM METAL ROOF — PT WOOD FASCIA W/ FIBER -STANDING SEAM METAL ROOF CEMENT SOFFIT, PAINTED 4 A322 3 A322 SECTION DETAILS - FIBER CEMENT LAP SIDING -A311 ROOF STORAGE 2 A322 Sim ROOF DECKING 28' - 0" **ROOF DECK** STRUCTURE 27' - 0" LEVEL 2 CLG 26' - 0 1/8" BATH 4 BEDROOM 2 BEDROOM 3 203 202 LEVEL 2 15' - 0" WA **HALL** 103 MASTER BEDROOM POWDER 106 MASTER BATH 103 104 104a LEVEL 1 3' - 0" GRADE 0" 2X FLOOR FRAMING & PILE FOUNDATIONS , RE: STRUCTURAL 1 CROSS SECTION B 2 A301 CROSS SECTION A 3 TRANSVERSAL SECTION B
A301 1/4 1/4" = 1'-0" 1/4" = 1'-0" 1/4" = 1'-0" BUILDING SECTIONS DRAWING BY

REFER TO SHEET A801 FOR ALL WINDOW AND DOOR TRIM

DETAILS AND INSTALLATION ANNOTATIONS, WINDOWS ON

WILLIAMS ARCHITECTS 824 BARONNE STREET NEW ORLEANS, LA 70113 504-566-0888

WILLIAMSARCHITECTS.COM These drawings and specifications have been

prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) (will net) be providing project construction administrative services on this project.



Copyright © 2022 John C Williams Architects LLC

BERNARD NEW ORLEANS, LA 70116 1232 1232 ST BERNARD AVE RESIDENCE

-REVISIONS-No. Date

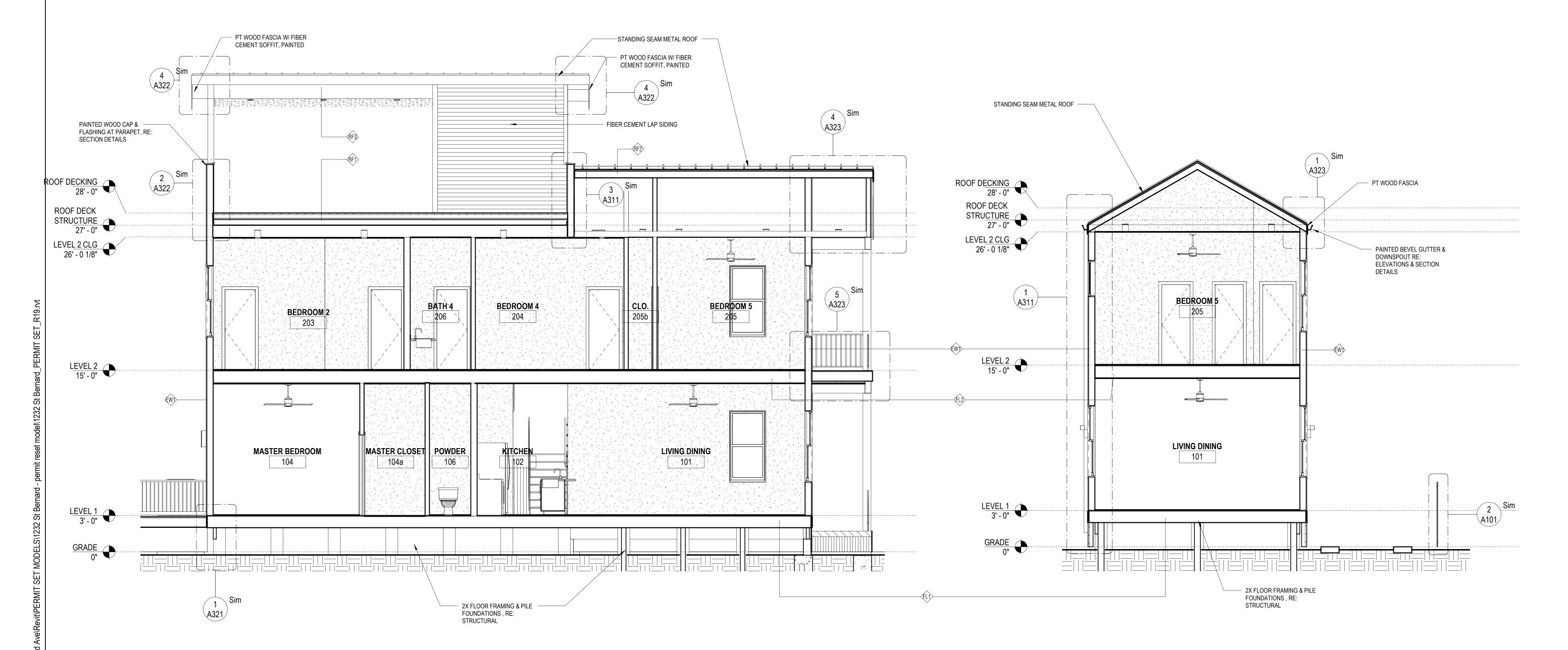
BUILDING SECTIONS

DRAWING BY SCALE JOB No. DATE

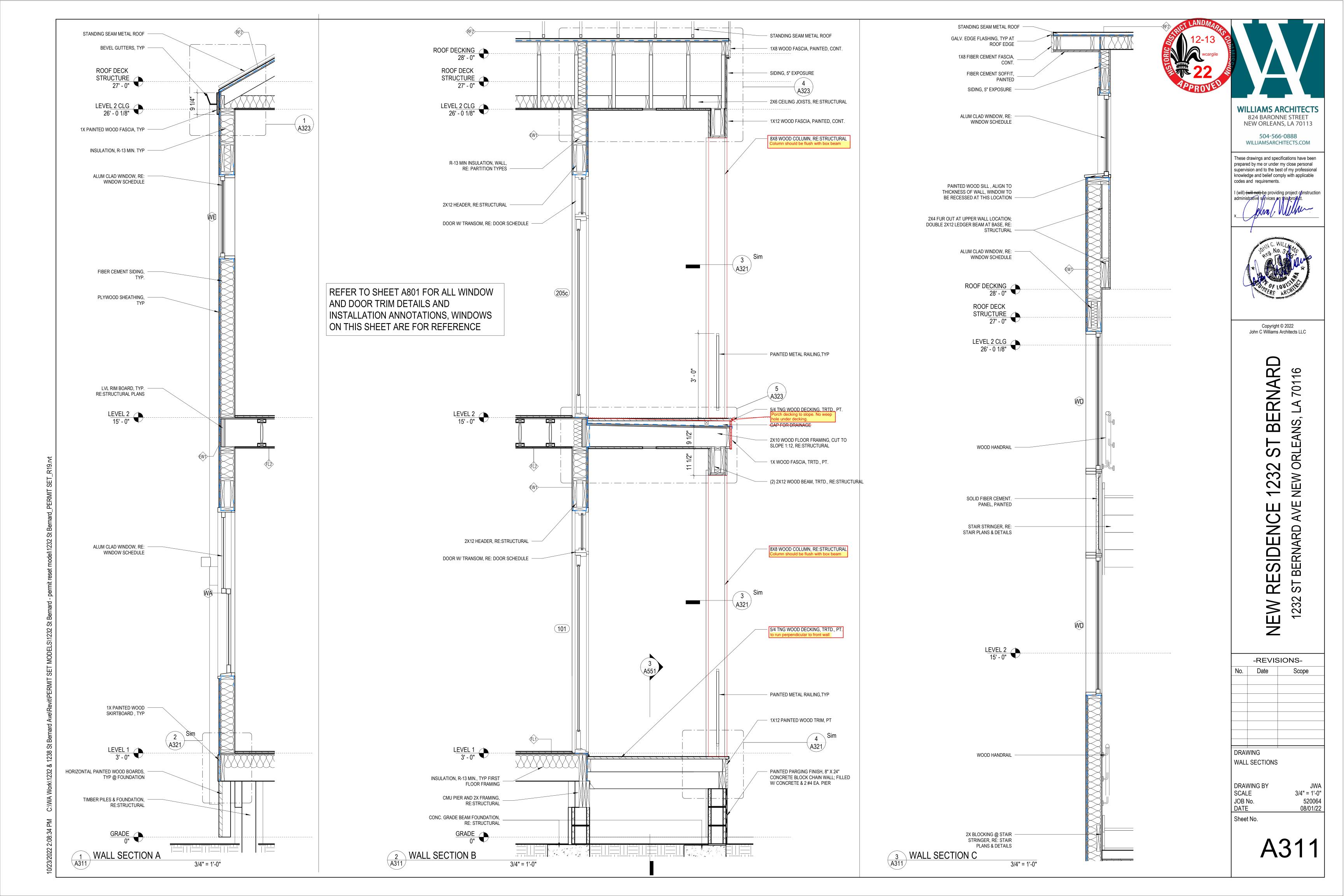
1/4" = 1'-0" 520064 08/01/22

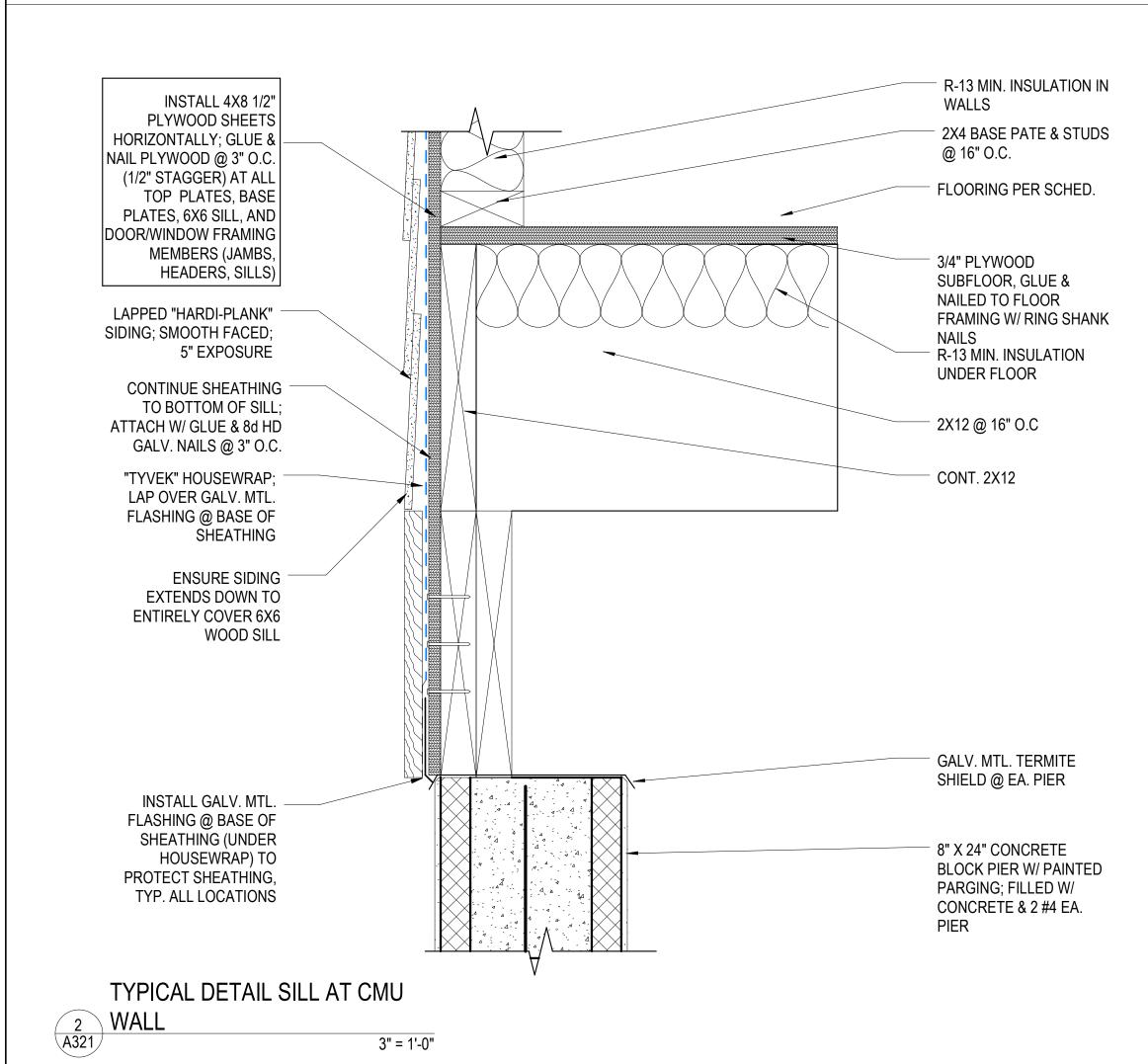
Sheet No.

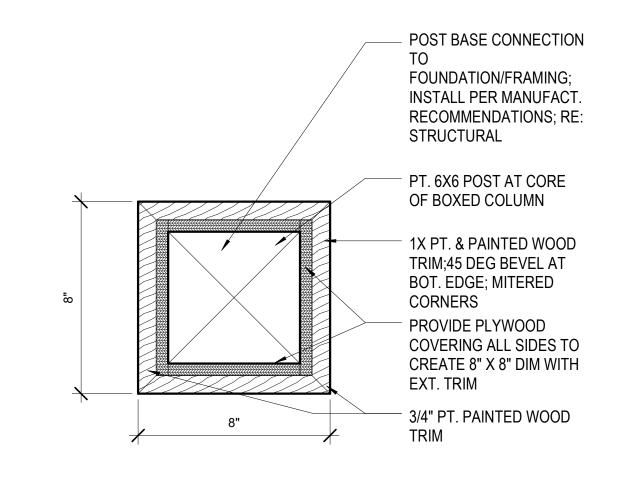
REFER TO SHEET A801 FOR ALL WINDOW AND DOOR TRIM DETAILS AND INSTALLATION ANNOTATIONS, WINDOWS ON THIS SHEET ARE FOR REFERENCE



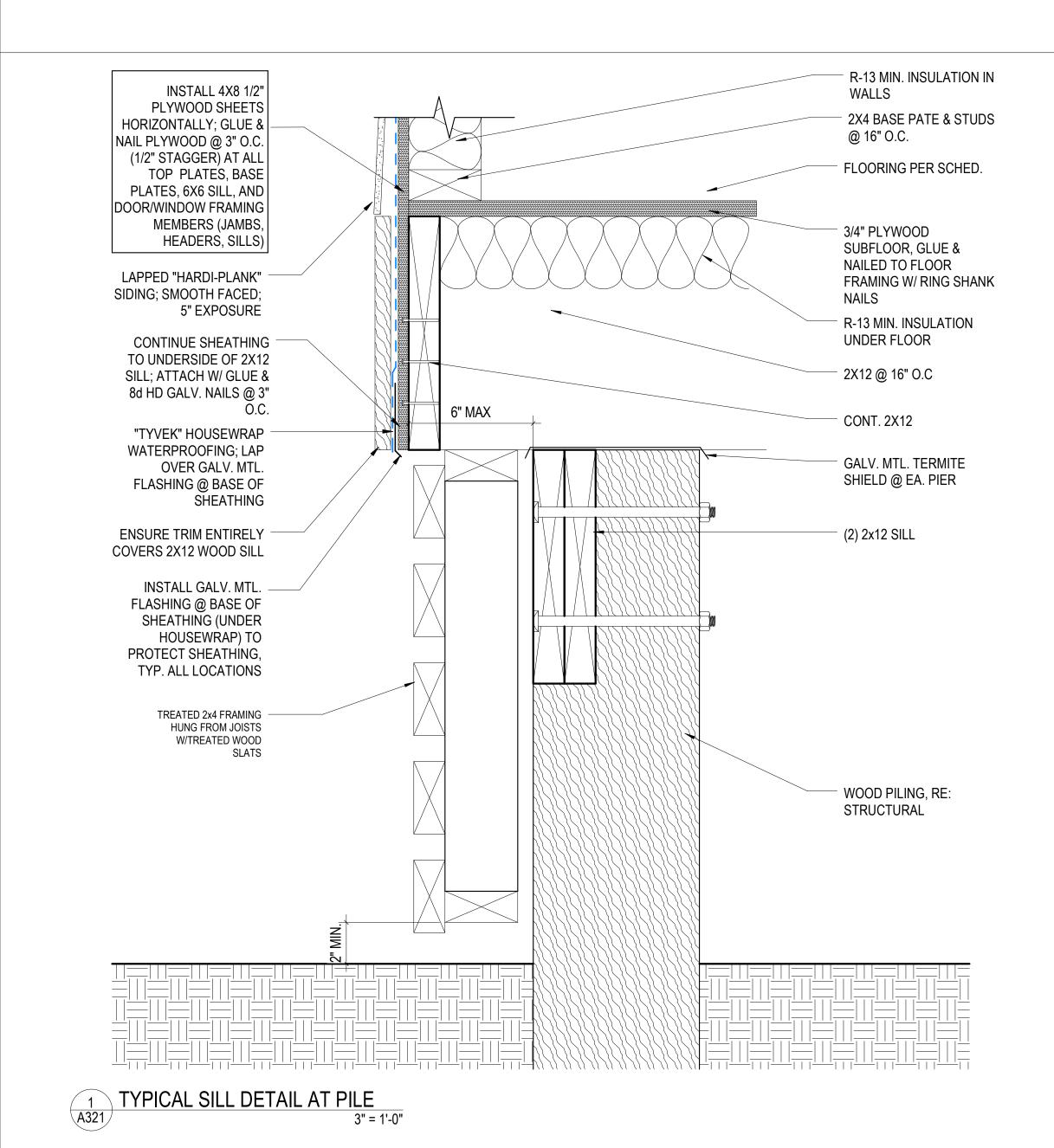
TRANSVERSAL SECTION A 1/4" = 1'-0" 2 CROSS SECTION C 1/4" = 1'-0"









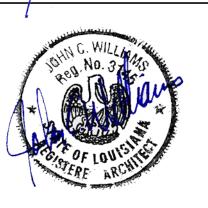




> 504-566-0888 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) (will net) be providing project construction administrative services on this project.



Copyright © 2022

John C Williams Architects LLC

70116 Δ ERNA ANS, \Box 3 NEW N AVE SIDEN BERNARD ST

-REVISIONS-

NEW

1232

No. Date Scope

DRAWING

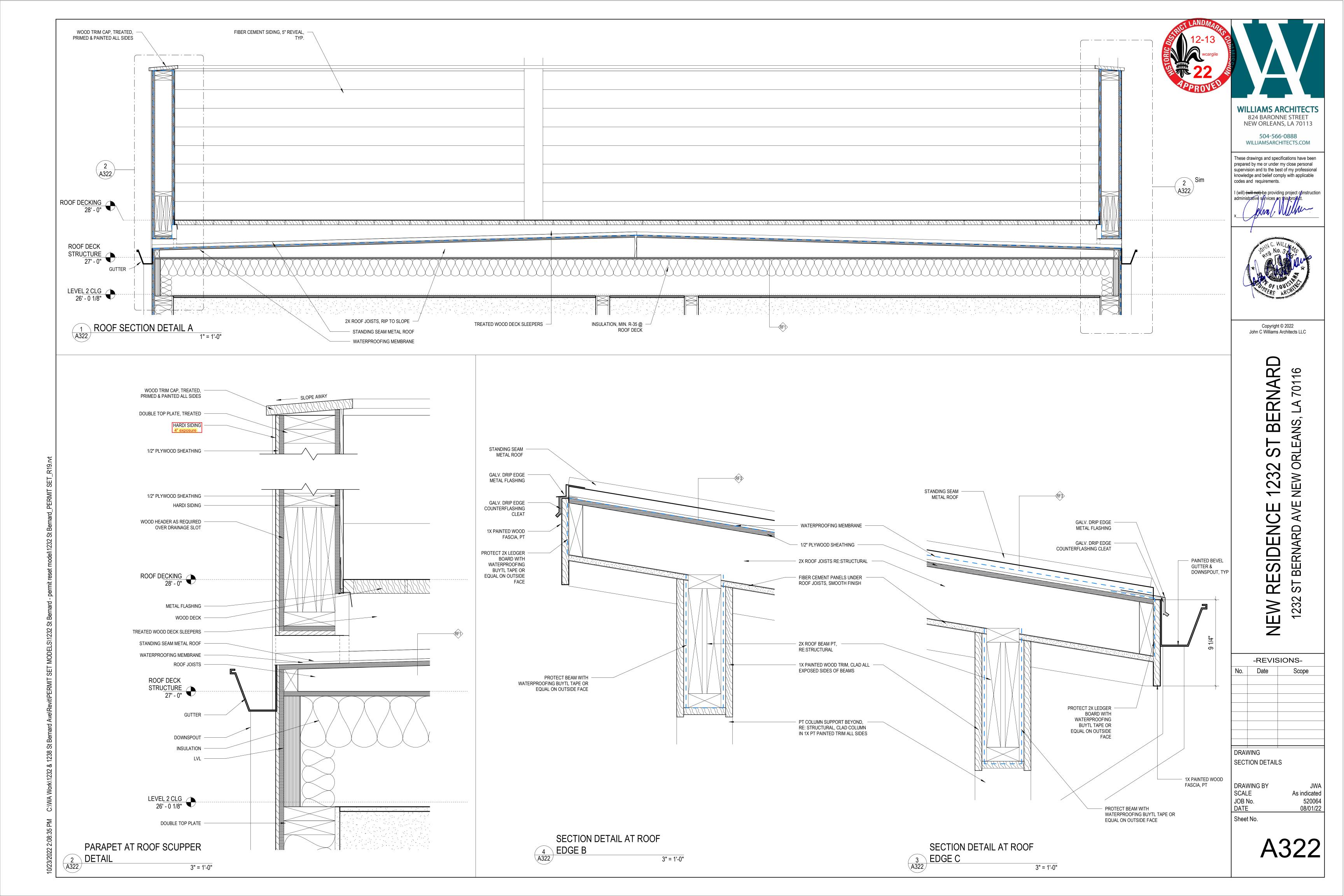
SECTION DETAILS

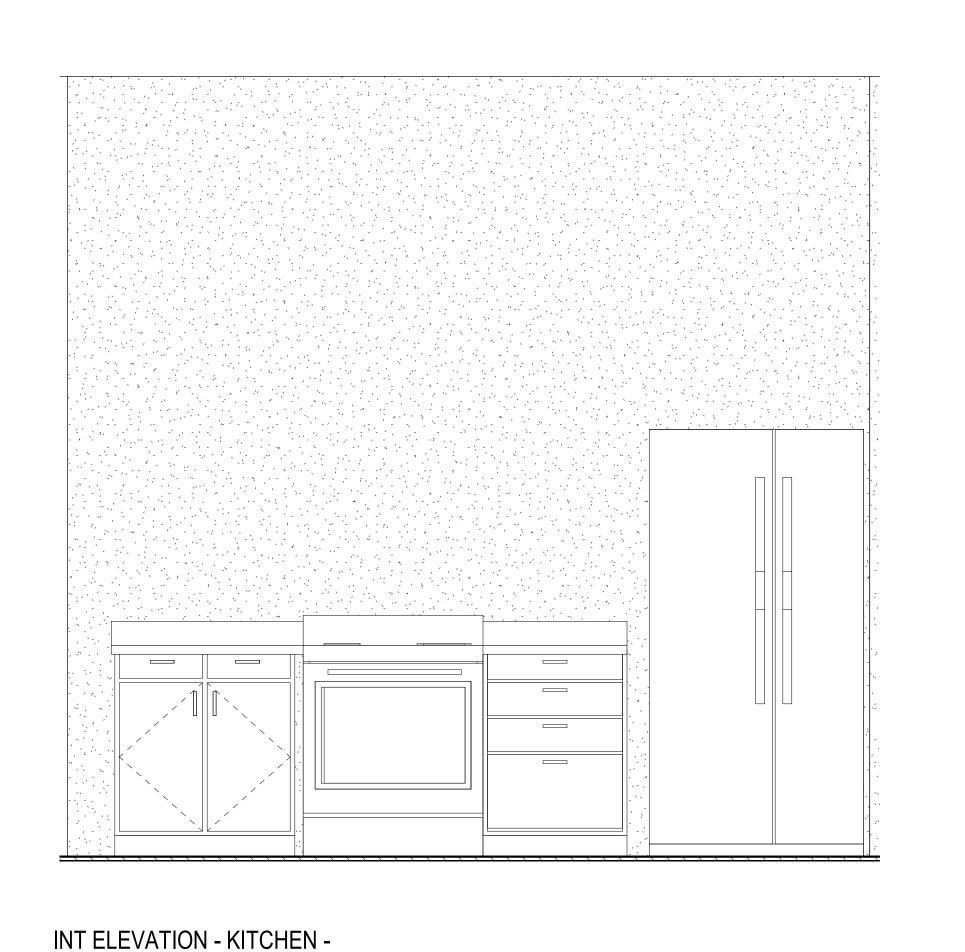
DRAWING BY SCALE JOB No. DATE

Sheet No.

3" = 1'-0"

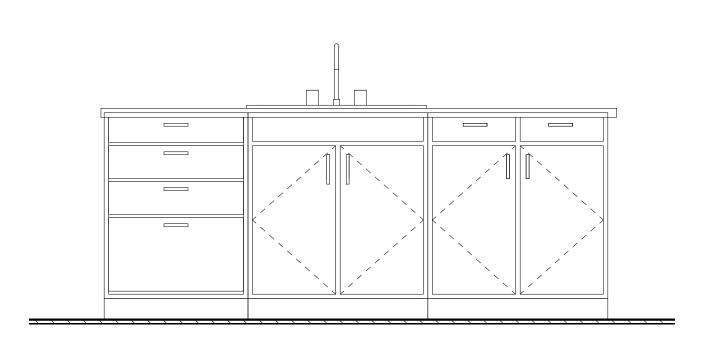
520064





3/4" = 1'-0"

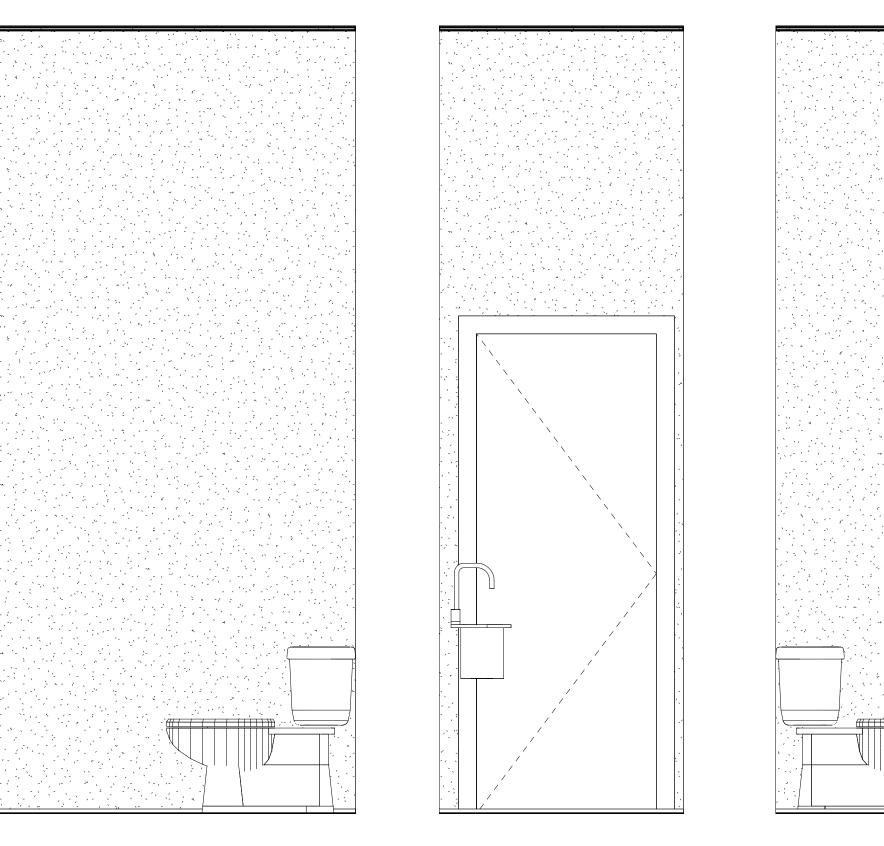
4 A501 WEST



INT ELEVATION - POWDER -







3/4" = 1'-0" 6 SOUTH

INT ELEVATION - POWDER -



INT ELEVATION - POWDER -

WILLIAMS ARCHITECTS

824 BARONNE STREET
NEW ORLEANS, LA 70113

504-566-0888 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.



Copyright © 2022 John C Williams Architects LLC

BERNARD 1232 ST BERNARD AVE NEW ORLEANS, LA 70116 1232

	-REVIS	-REVISIONS-						
No.	Date	Scope						

ENLARGED PLAN - KITCHEN

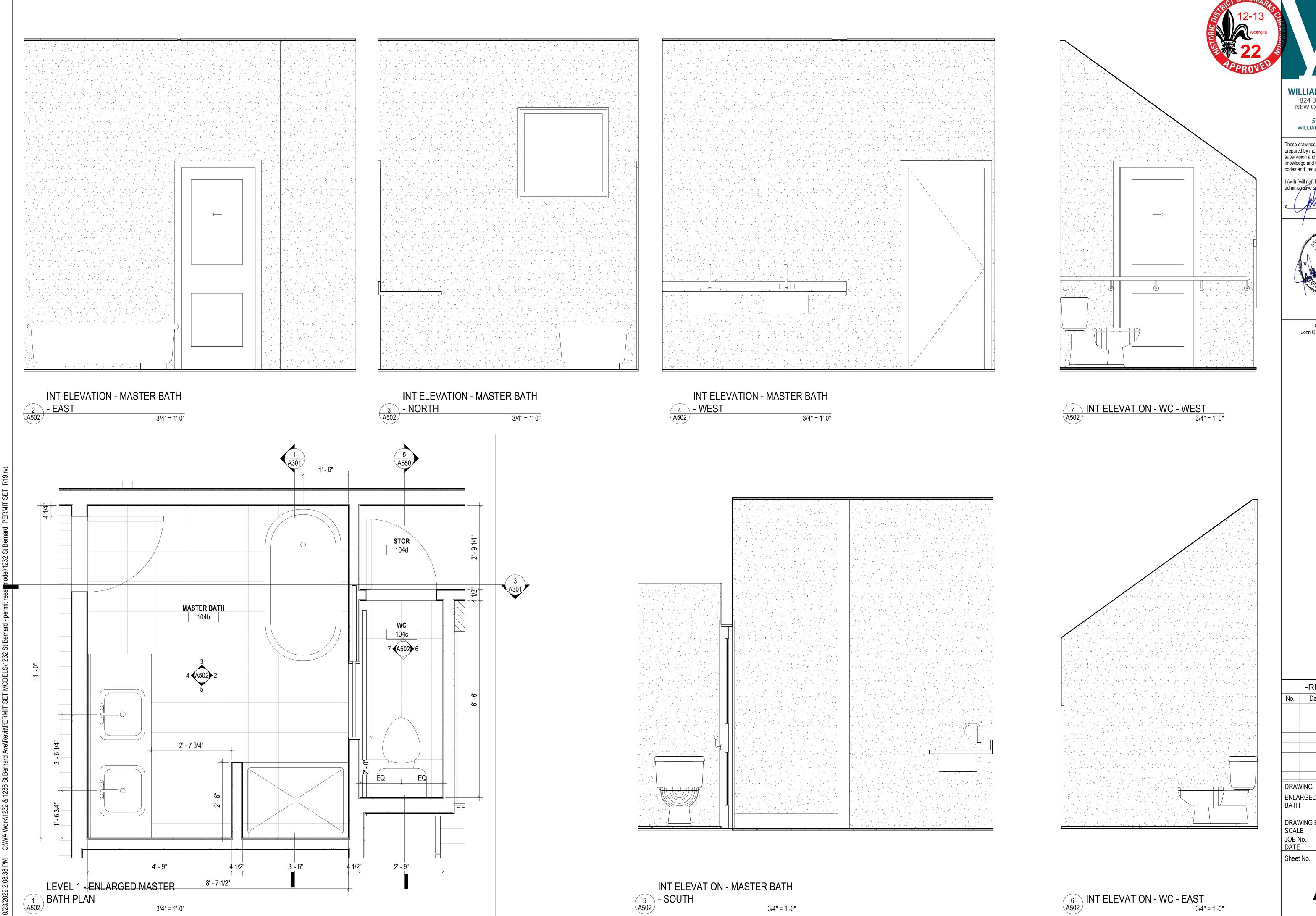
JWA 3/4" = 1'-0" 520064 08/01/22

Sheet No.

3/4" = 1'-0"

INT ELEVATION - POWDER -

A501



504-566-0888 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.



Copyright © 2022 John C Williams Architects LLC

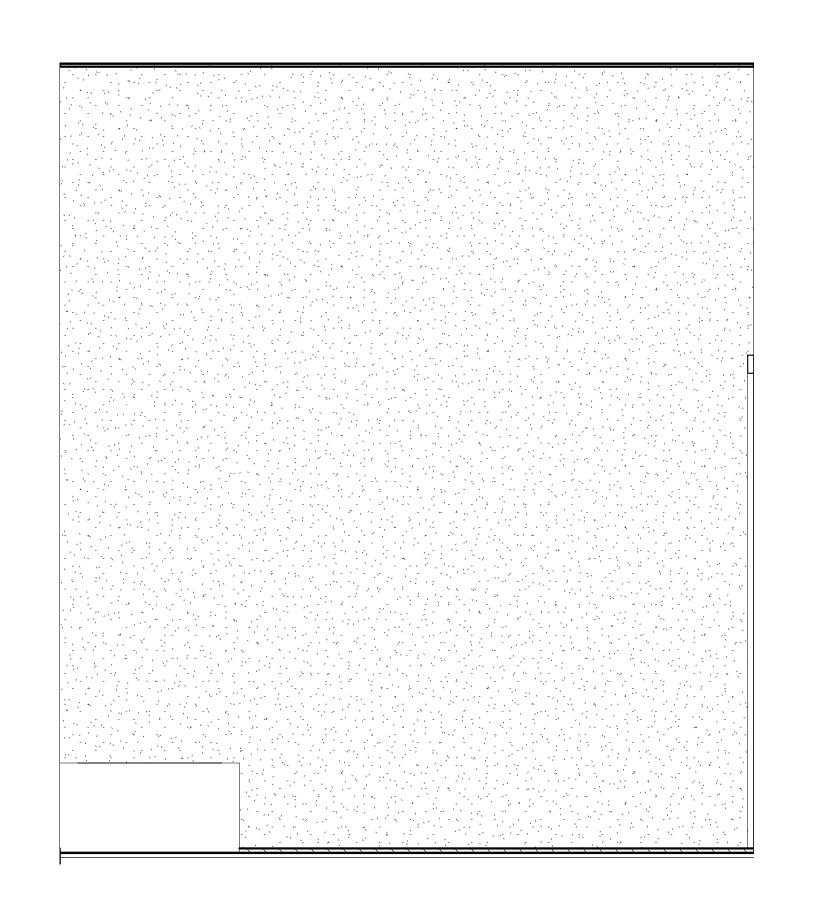
BERNARD NEW ORLEANS, LA 70116 1232 1232 ST BERNARD AVE NEW RESIDENCE

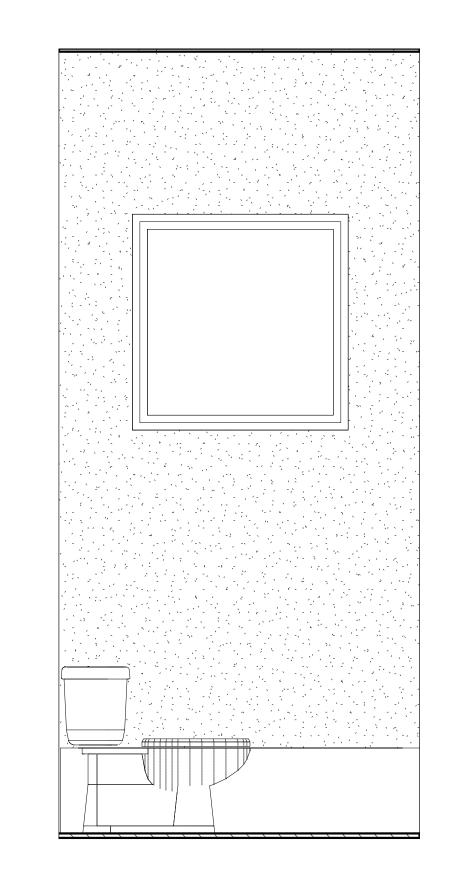
-REVISIONS-

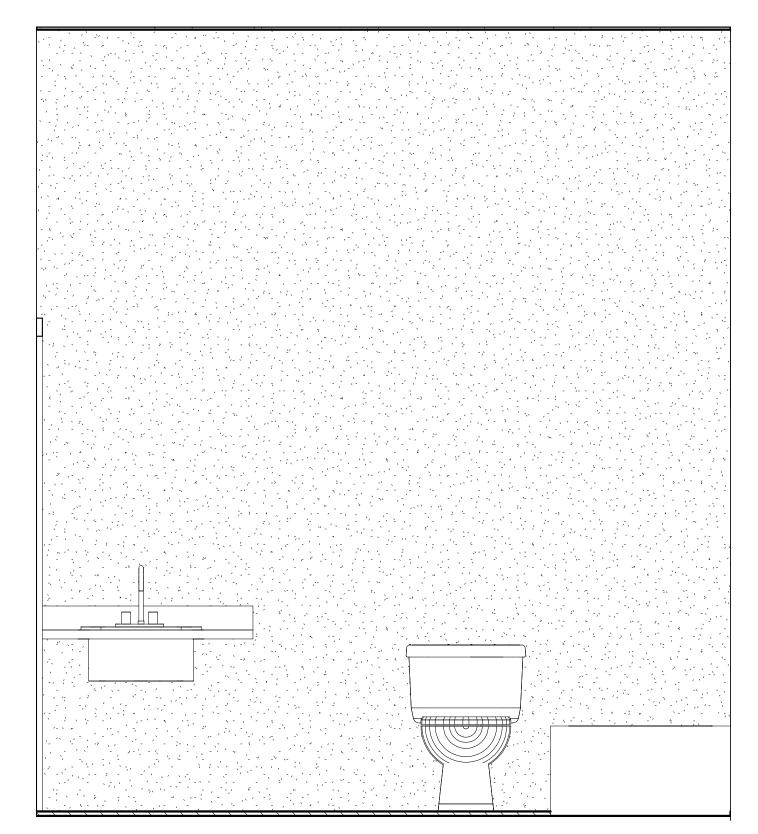
ENLARGED PLAN - MASTER BATH

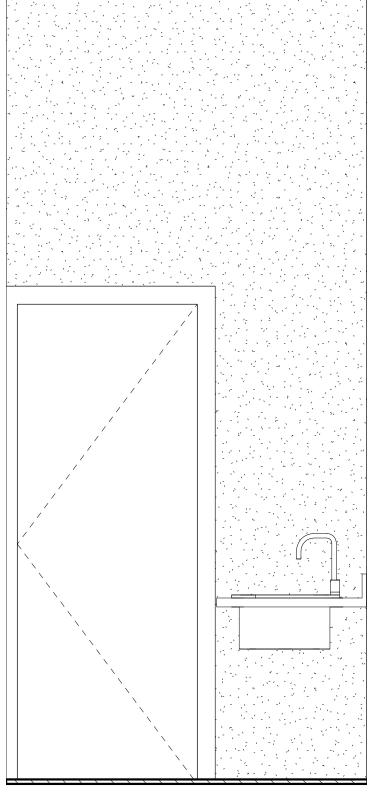
JWA 3/4" = 1'-0" 520064 08/01/22

A502







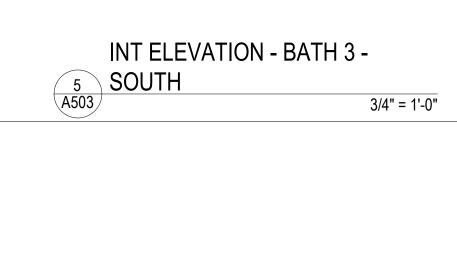


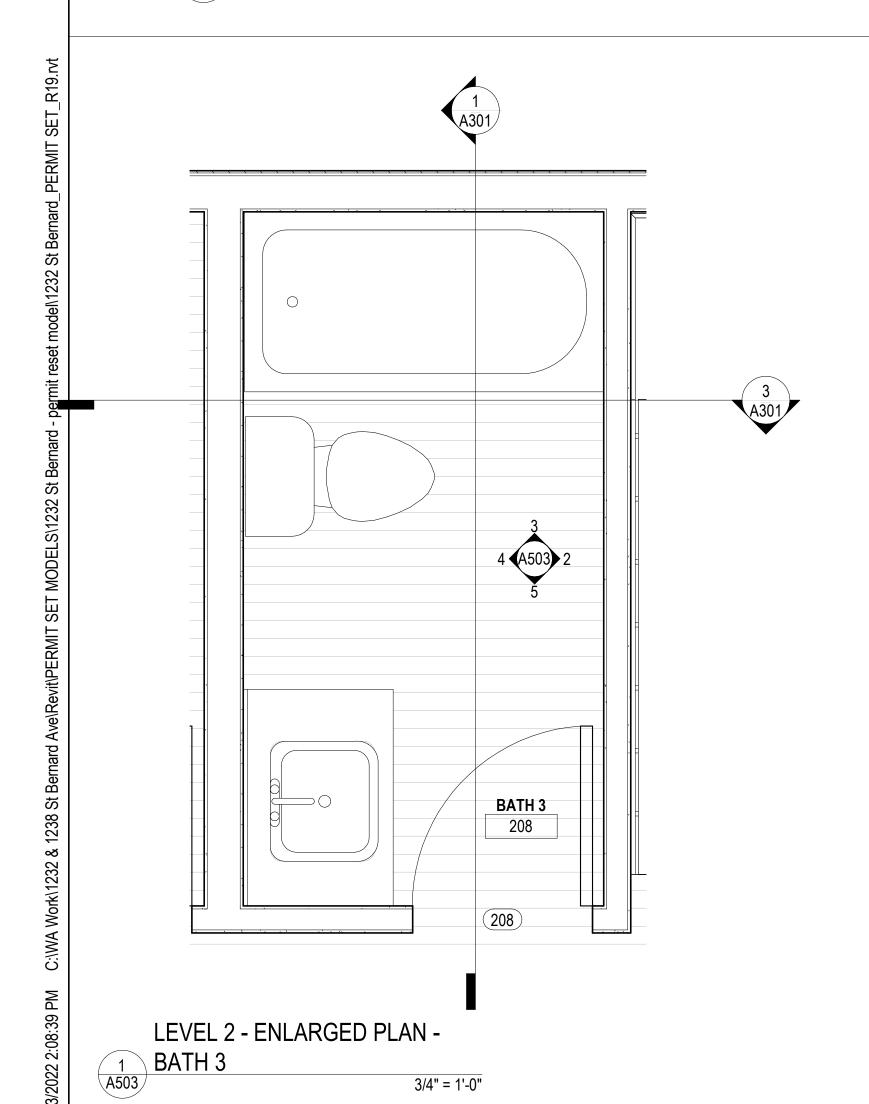


INT ELEVATION - BATH 3 - EAST 3/4" = 1'-0"









1232 ST BERNARD AVE NEW RESIDENCE -REVISIONS-ENLARGED PLAN - BATH 3

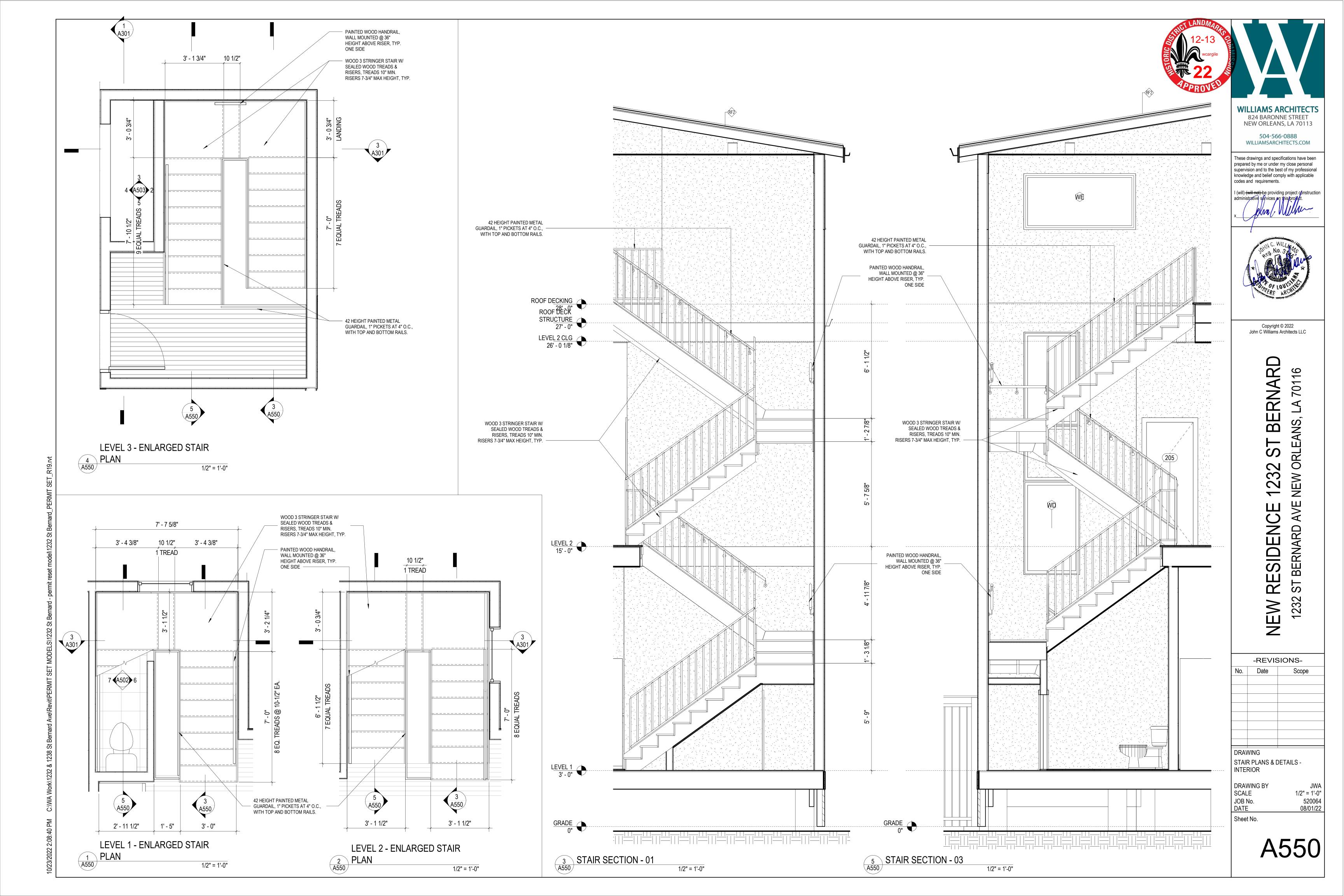
BERNARD

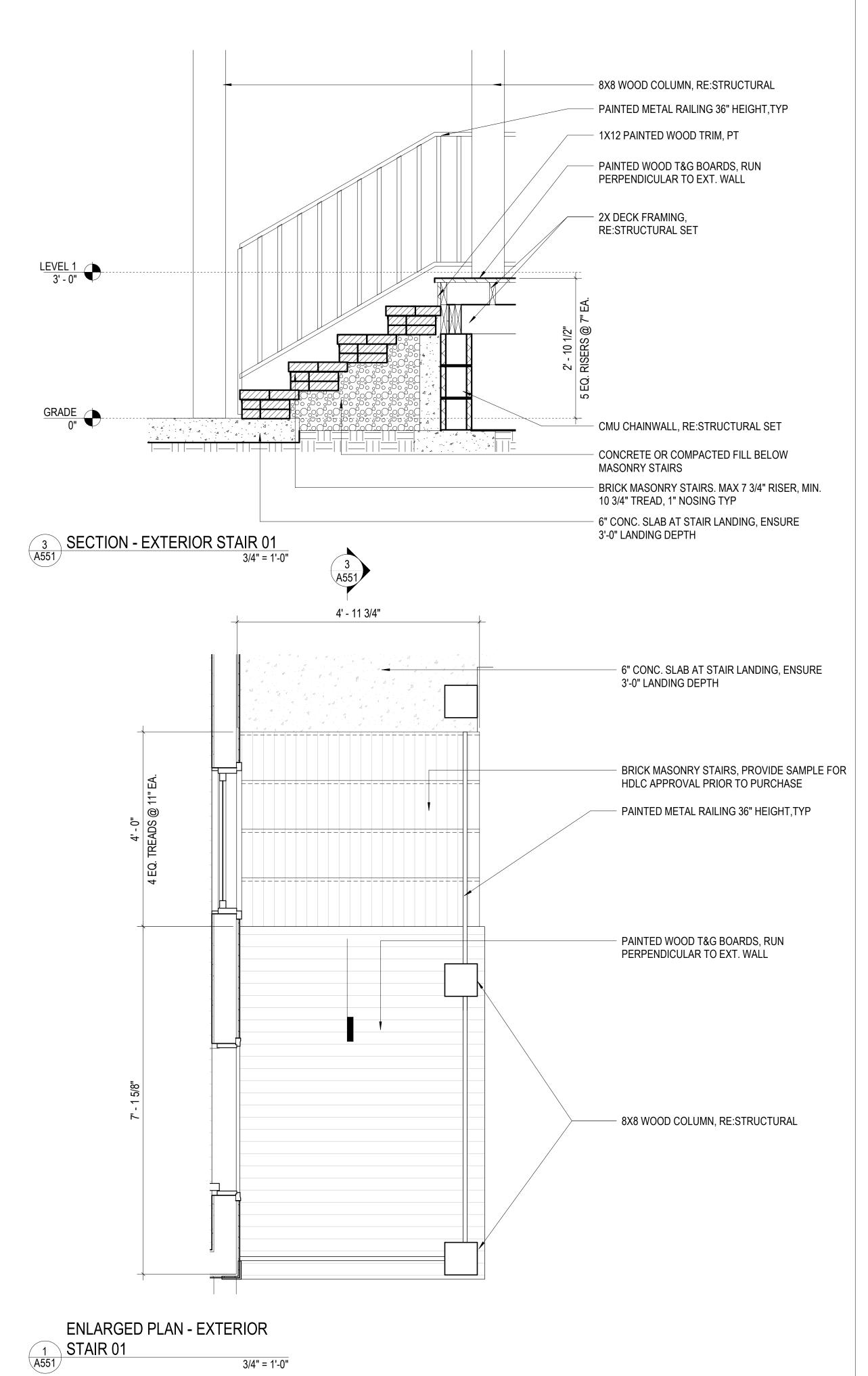
1232

NEW ORLEANS, LA 70116

Sheet No.

JWA 3/4" = 1'-0" 520064 08/01/22







504-566-0888 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) (will net) be providing project construction administrative services on this project.



Copyright © 2022 John C Williams Architects LLC

70116 BERNAR RLEANS, LA NEW OF 232 ST BERNARD AVE

-REVISIONS-

STAIR PLANS & DETAILS -EXTERIOR

DRAWING BY

3/4" = 1'-0" 520064 08/01/22

Sheet No.

All windows and exterior doors to be submitted to HDLC prior to purchase and installation

	DOOR SCHEDULE					
NUMBER	ROOM NAME	WIDTH	HEIGHT	DESCRIPTION	NOTES	
			,		·	
101	ENTRY	3' - 1 7/16"	8' - 8"	EXTERIOR GRADE MTL CLAD WOOD DOOR WITH SINGLE LITE & TRANSOM	MAIN ENTRY DOOR	
102	REAR ENTRY	3' - 1 7/16"	8' - 8"	EXTERIOR GRADE MTL CLAD WOOD DOOR WITH SINGLE LITE & TRANSOM	REAR ENTRY DOOR	
103	POWDER	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED		
104	MASTER BEDROOM	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED		
104a	MASTER CLOSET	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED		
104b	MASTER BATHROOM	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED		
104c	WC	2' - 6"	6' - 8"	INTERIOR POCKET DOOR, SLIDING, PAINTED		
105	LAUNDRY	4' - 0"	6' - 8"	DOUBLE FLUSH SOLID OAK WOOD DOORS, PTD.		
202	BEDROOM 3	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED		
202a	CLOSET	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED		
203	BEDROOM 2	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED		
203a	CLOSET	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED		
204	BEDROOM 4	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED		
204a	CLOSET	2' - 4"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED		
205	BEDROOM 5	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED		
205a	CLOSET	2' - 4"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED		
205b	CLOSET	2' - 4"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED		
205c	BALCONY	3' - 1 7/16"	8' - 8"	EXTERIOR GRADE MTL CLAD WOOD DOOR WITH SINGLE LITE & TRANSOM		
206	BATH 4	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED		
207	HVAC	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED		
208	BATH 3	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED		
301	ROOF STAIR	3' - 0"	6' - 8"	EXTERIOR GRADE MTL CLAD WOOD DOOR WITH SINGLE LITE		
302	ROOF STORAGE	5' - 0"	6' - 8"	EXTERIOR GRADE MTL CLAD PAIR OF DOORS		
303	STORAGE	2' - 4"	4' - 0"	INTERIOR SINGLE SWING DOOR, PAINTED		

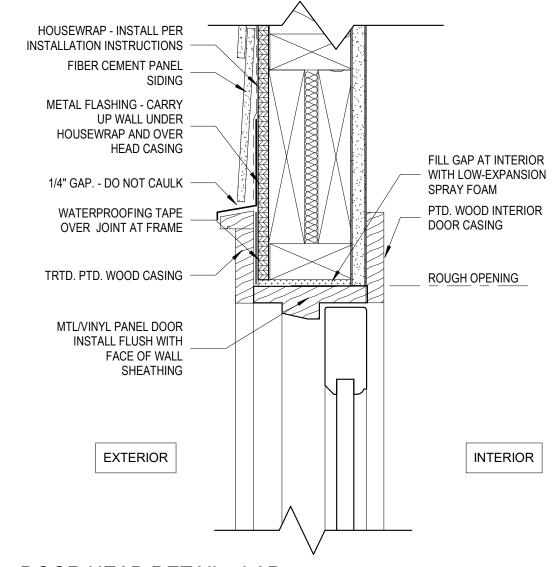
DOOR NOTES

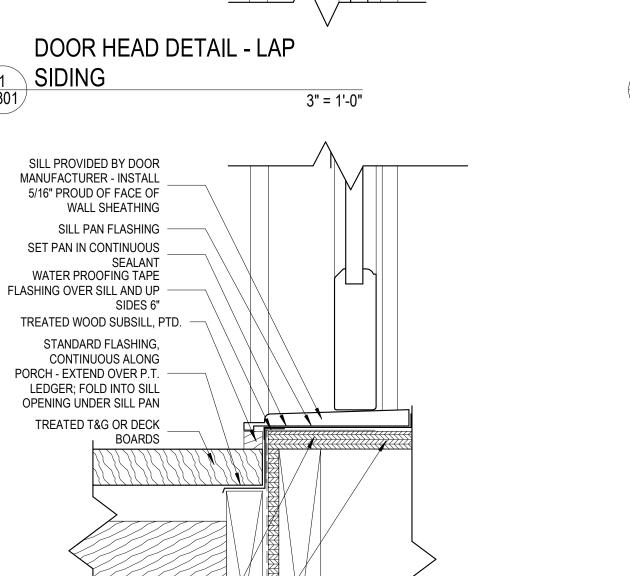
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY RESCUE OPENING &SHALL MEET ALL ADDITIONAL REQUIREMENTS
- OFSECTION R310 "EMERGENCY ESCAPE AND RESCUE OPENINGS" IRC 2015.
- INTERIOR DOORS SHALL BE PAINTED WOOD; PRE-HUNG WITH HINGES AND INTERIOR WOOD CASINGS. IN ALL GLAZED DOORS, PROVIDE SAFETY GLAZING PER IRC R308.
- UNDERCUT ALL INTERIOR DOORS 1" FROM TOP SUBFLOOR.
- DOORS TO HAVE DOOR STOPS WHERE APPROPRIATE. COORDINATE WITH OWNER REGARDING TYPE AND LOCATIONS.
- ALL INTERIOR DOOR FACES AND EDGES TO BE SANDED SMOOTH.

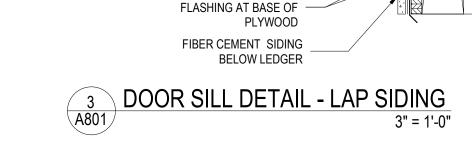
WINDOW NOTES

WINDOW SCHEDULE							
MARK	MODEL#	MODEL NAME	OPERATION	COLOR Widt	h Height	R.O. HEAD HEIGHT	COMMENTS
WA	TBD	NEW METAL CLAD DOUBLE HUNG WINDOW 1 OVER 1	DBL HUNG	WHITE 3' - 0"	6' - 0"	8' - 8"	
WC	TBD	FIXED METAL CLAD WINDOW	FIXED	WHITE 3' - 0"	3' - 0"		
WD	TBD	FIXED VERTICAL METAL CLAD WINDOW ASSEMBLY	FIXED	WHITE 3' - 0"	5' - 0"		AT STAIRWELL
WE	TBD	FIXED METAL CLAD WINDOW	FIXED	WHITE 6' - 0"	3' - 0"		

- WINDOWS ARE TO BE ENERGY STAR, U-FACTOR 0.60 (MAX), SHGC 0.27 (MAX) (UNLESS OTHERWISE NOTED)
- HURRICANE PROTECTION SHALL MEET THE MISSILE TEST PER SECTION R301.2.1.2, IRC 2015 AND FBC REQUIREMENTS CERTIFICATE NO. 08-0313.01
- ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA AND BUILDING SHALL MEET ALL ADDITIONAL REQUIREMENTS OF SECTION R303 "LIGHT VENTILATION AND HEATING" IRC 2015.
- 4. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EGRESS OPENING AND SHALL MEET ALL ADDITIONAL EGRESS REQUIREMENTS OF SECTION R310 "EMERGENCY ESCAPE AND RESCUE OPENINGS" IRC 2015.

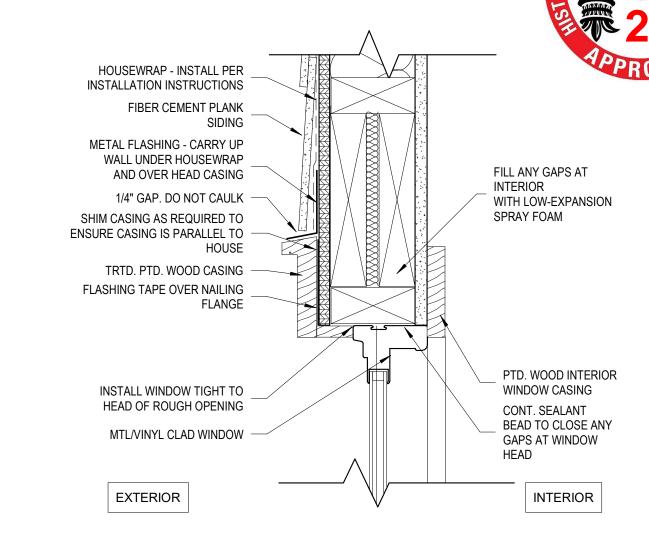




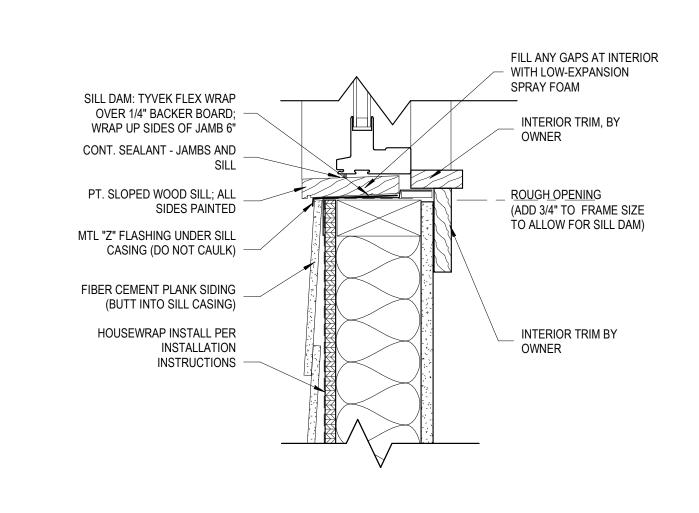


3/4" PLYWOOD SUBFLOOR -HOUSEWRAP AND

1/2" PLYWOOD _ SHEATHING DECK FRAMING







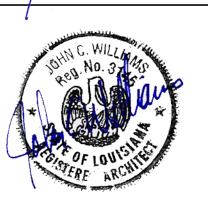




504-566-0888 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) (will net) be providing project construction administrative services on this project.



Copyright © 2022 John C Williams Architects LLC

70116 Δ RNA NS, $\mathbf{\Omega}$ 3

-REVISIONS-

DOOR & WINDOW

SCHEDULE

Sheet No.

3" = 1'-0" 520064