

EXTERIOR WALL TYPES

EW-2 EXTERIOR WALL TYPE

RF-1 CEILING/FLOOR TYPE

RF-2 CEILING/FLOOR TYPE

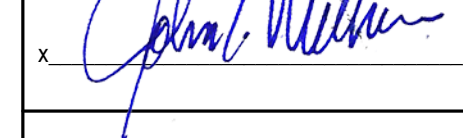
RF-3 CEILING/FLOOR TYPE



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PARTITION SYSTEM A

NON-RATED PARTITION SYSTEM

PARTITION SYSTEM B

1 HR RATED PARTITION SYSTEM

FL-1 CEILING/FLOOR TYPE

FL-2 CEILING/FLOOR TYPE

CL-2 CEILING TYPE - FUR DOWN LOCATIONS

-REVISIONS-

[illegible]

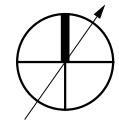
DRAWING
WALL, FLOOR, AND
PARTITION TYPES

DRAWING BY	JW
SCALE	3" = 1'-0"
JOB No.	52006
DATE	08/01/2008

Sheet No.

A003

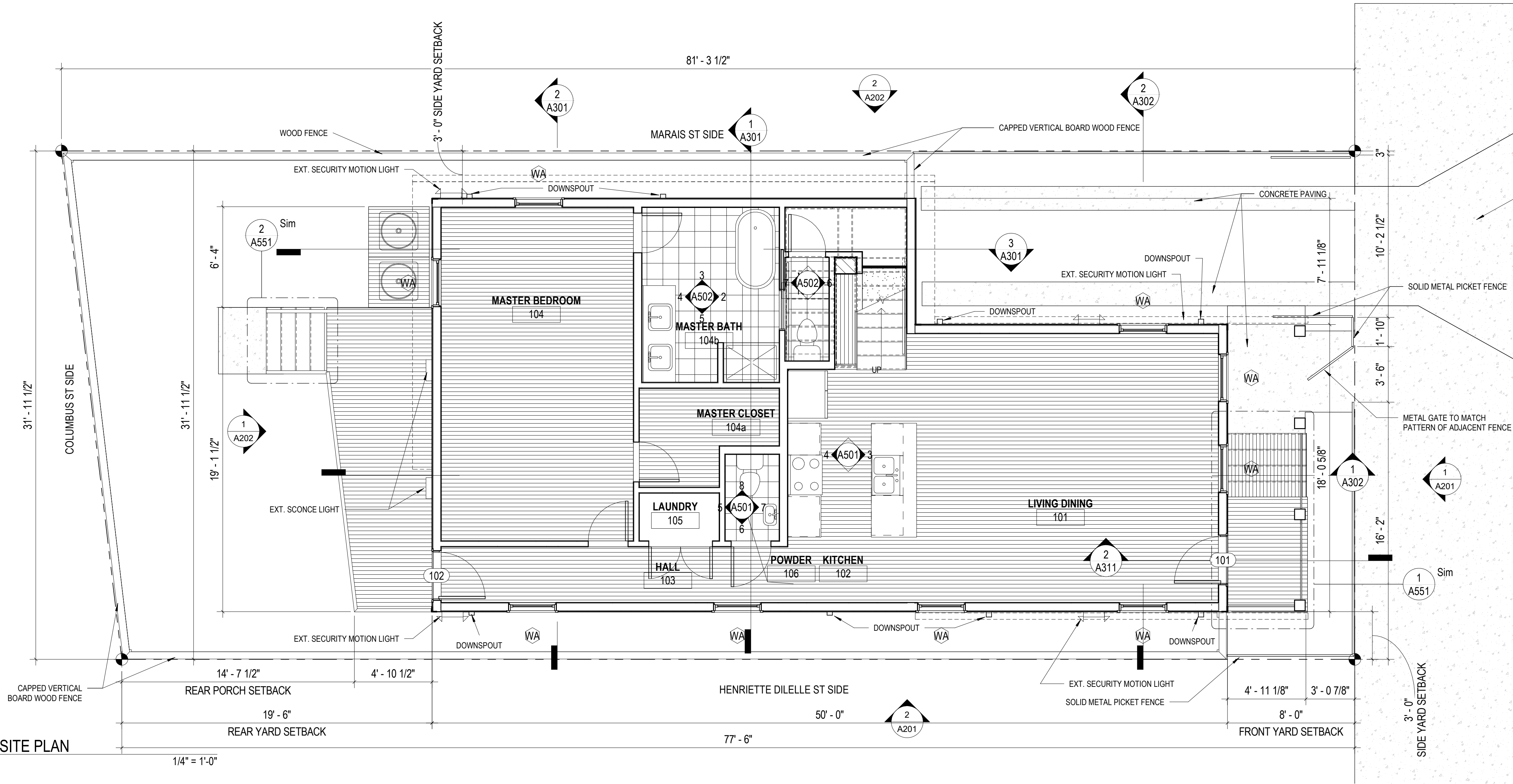
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1
A101

SITE PLAN

1/4" = 1'-0"



PRE-MOLDED JOINT FILLER OR JOINT FILLER LEFT FLUSH WITH SURFACE OF SIDEWALK (WHERE INDICATED ON PLAN)

1/2" EXPANSION JOINT (WHERE INDICATED ON PLAN)

6x6 W2.9xW2.9 WELDED WIRE FABRIC

4" OR 6" THICK 3,000PSI MIN. PORTLAND CEMENT CONCRETE

GEOTEXTILE FABRIC PLACED DIRECTLY OVER PREPARED SUBGRADE

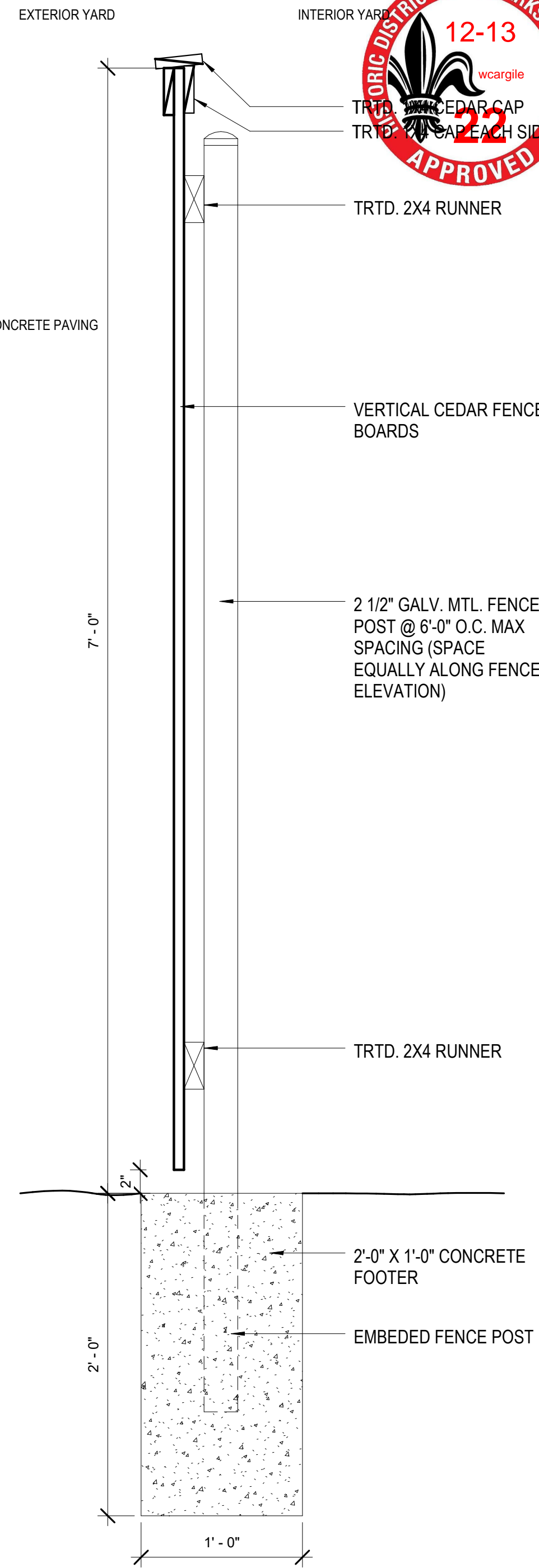
UNDISTURBED SOIL OR SAND FILL COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT PER ASTM D-698

#4 DOWELS 16" LONG WITH SLEEVE CHAIRS, CENTERED 2" FROM SURFACE. 3 BARS ON 4' WIDTH, 5 BARS ON 5' WIDTH

NOTE: EXPANSION JOINTS AND DOWELS MAY BE ELIMINATED FOR STAIR AND HVAC PADS.

TYPICAL STANDARD CONCRETE PAVING AND PAD DETAIL

1" = 1'-0"



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DRAWING
SITE PLAN

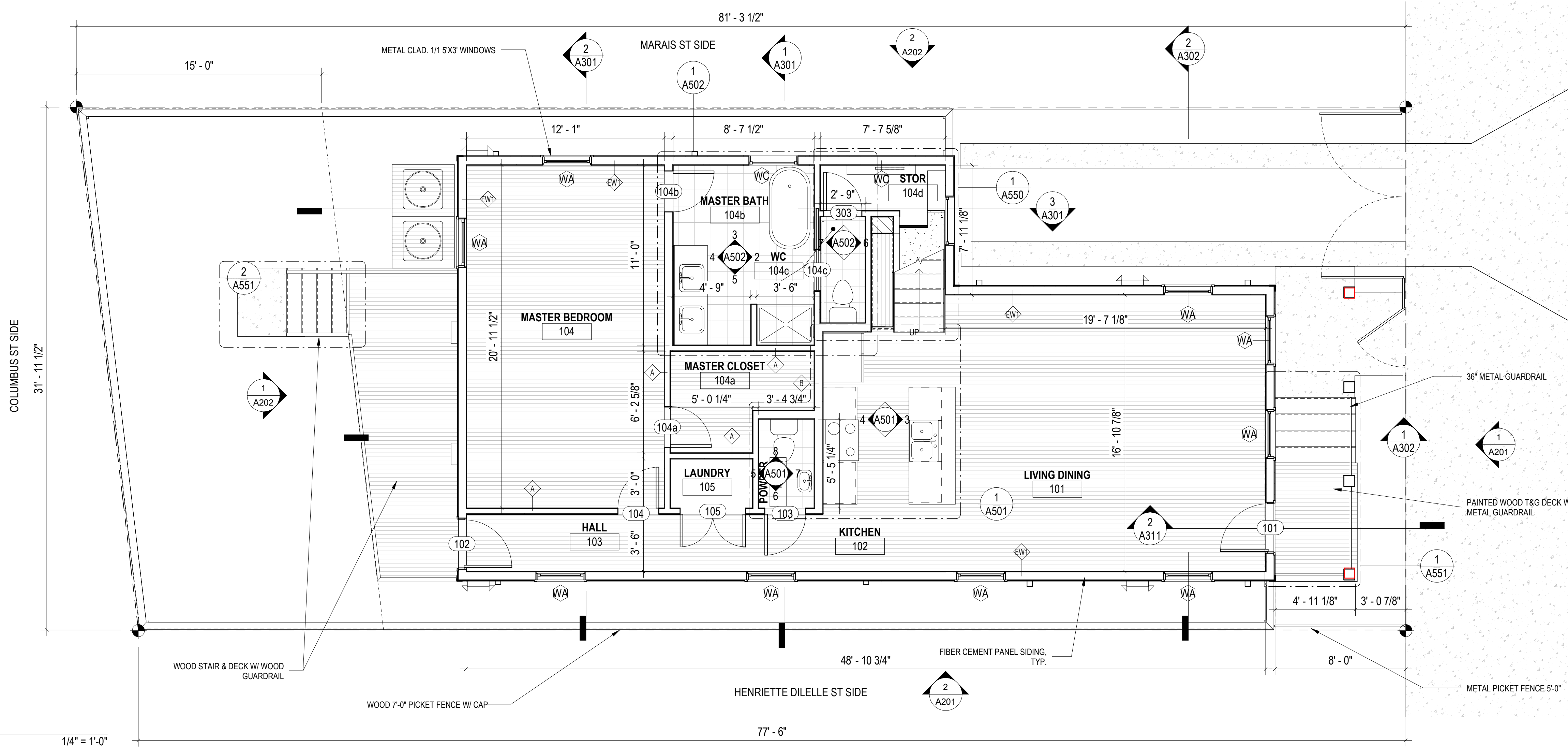
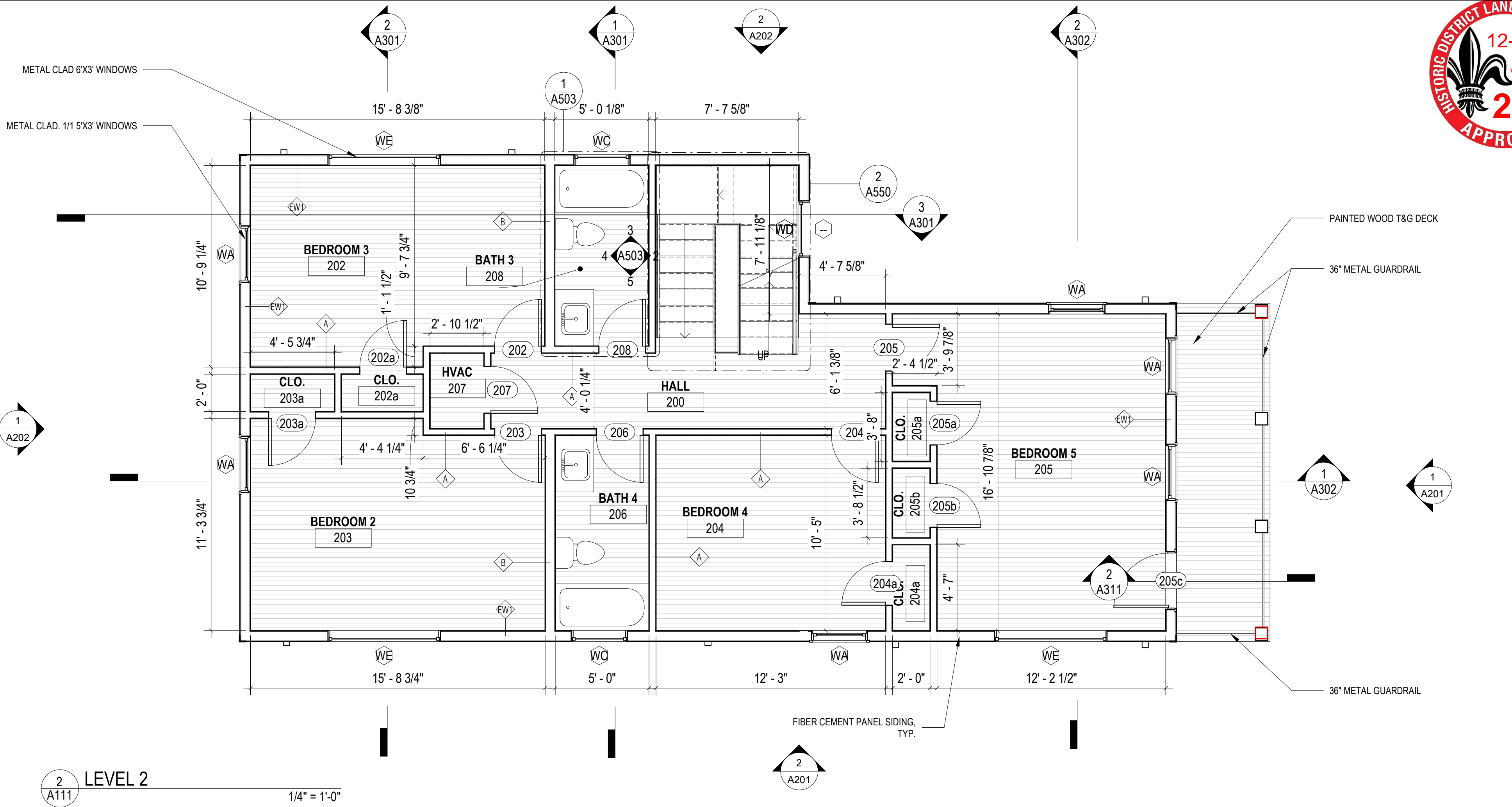
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JOB No. 520064
DATE 08/01/22

Sheet No.

A101

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FINISH SCHEDULE							
Number	Room Name	Area	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
LEVEL 1							
101	LIVING DINING	332 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
102	KITCHEN	116 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
103	HALL	75 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
104	MASTER BEDROOM	253 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
104a	MASTER CLOSET	45 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
104b	MASTER BATH	94 SF	TILE	WD., PNT.	GYP., PNT.	GYP., PNT.	TILE WALL AT SHOWER/TUB
104c	WC	18 SF	TILE	WD., PNT.	GYP., PNT.	GYP., PNT.	
104d	STOR	30 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
105	LAUNDRY	15 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
106	POWDER	18 SF	TILE	WD., PNT.	GYP., PNT.	GYP., PNT.	
LEVEL 2							
200	HALL	134 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
202	BEDROOM 3	162 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
202a	CLO.	9 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
203	BEDROOM 2	172 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
203a	CLO.	9 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
204	BEDROOM 4	73 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
204a	CLO.	9 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
205	BEDROOM 5	215 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
205a	CLO.	7 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
205b	CLO.	7 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
206	BATH 4	52 SF	TILE	WD., PNT.	GYP., PNT.	GYP., PNT.	TILE WALL AT SHOWER/TUB
207	HVAC	12 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
208	BATH 3	48 SF	TILE	WD., PNT.	GYP., PNT.	GYP., PNT.	TILE WALL AT SHOWER/TUB
ROOF DECK STRUCTURE							
301	ROOF STAIR	103 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
302	ROOF STORAGE	19 SF	WD	WD., PNT.	GYP., PNT.	GYP., PNT.	
		2028 SF					



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No.	Date	Scope

DRAWING
FIRST & SECOND FLOOR
PLANS
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SCALE
JOB No.
DATE
Sheet No.

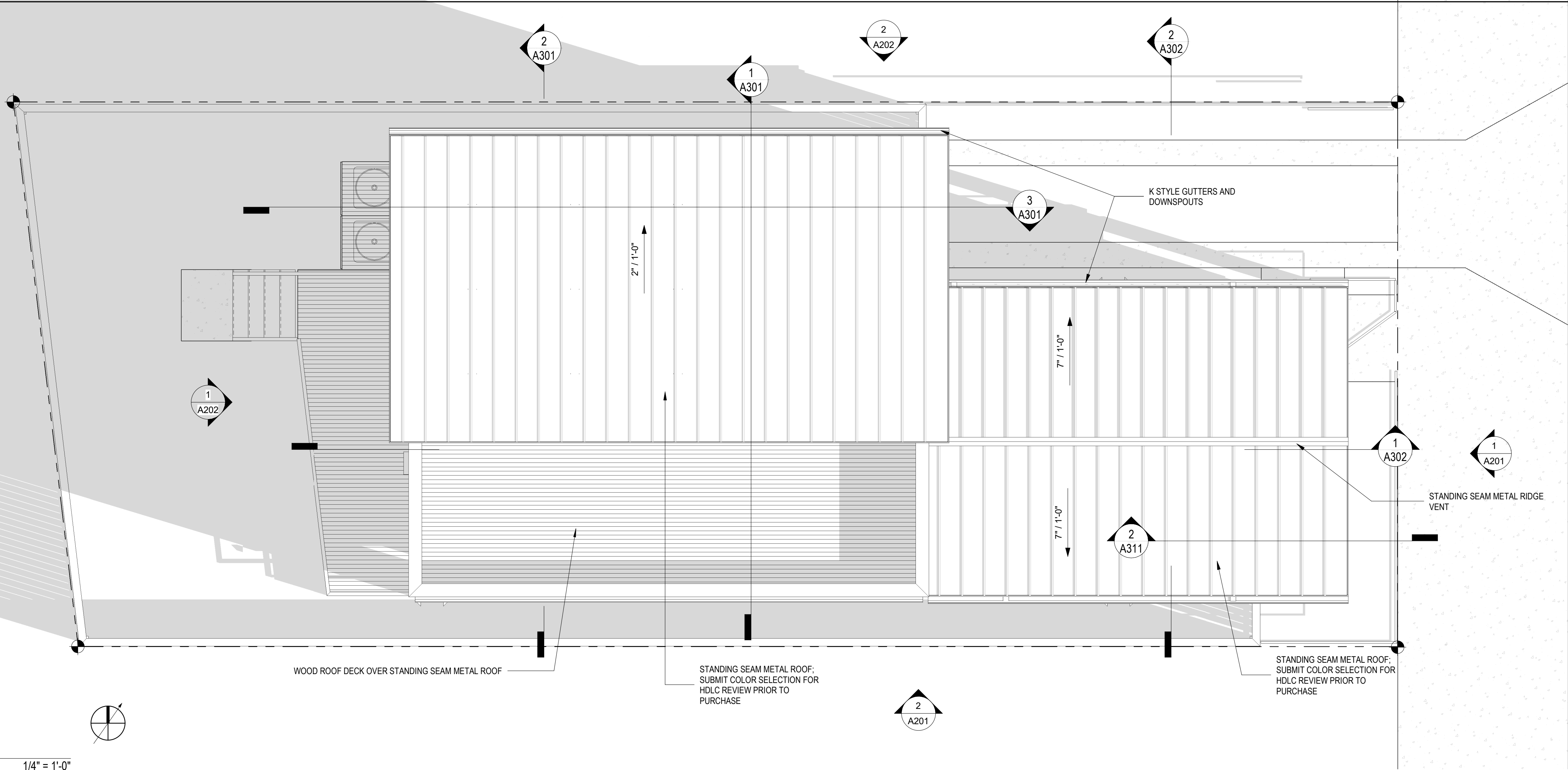
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1/4" = 1'-0"
520064
08/01/22

A111

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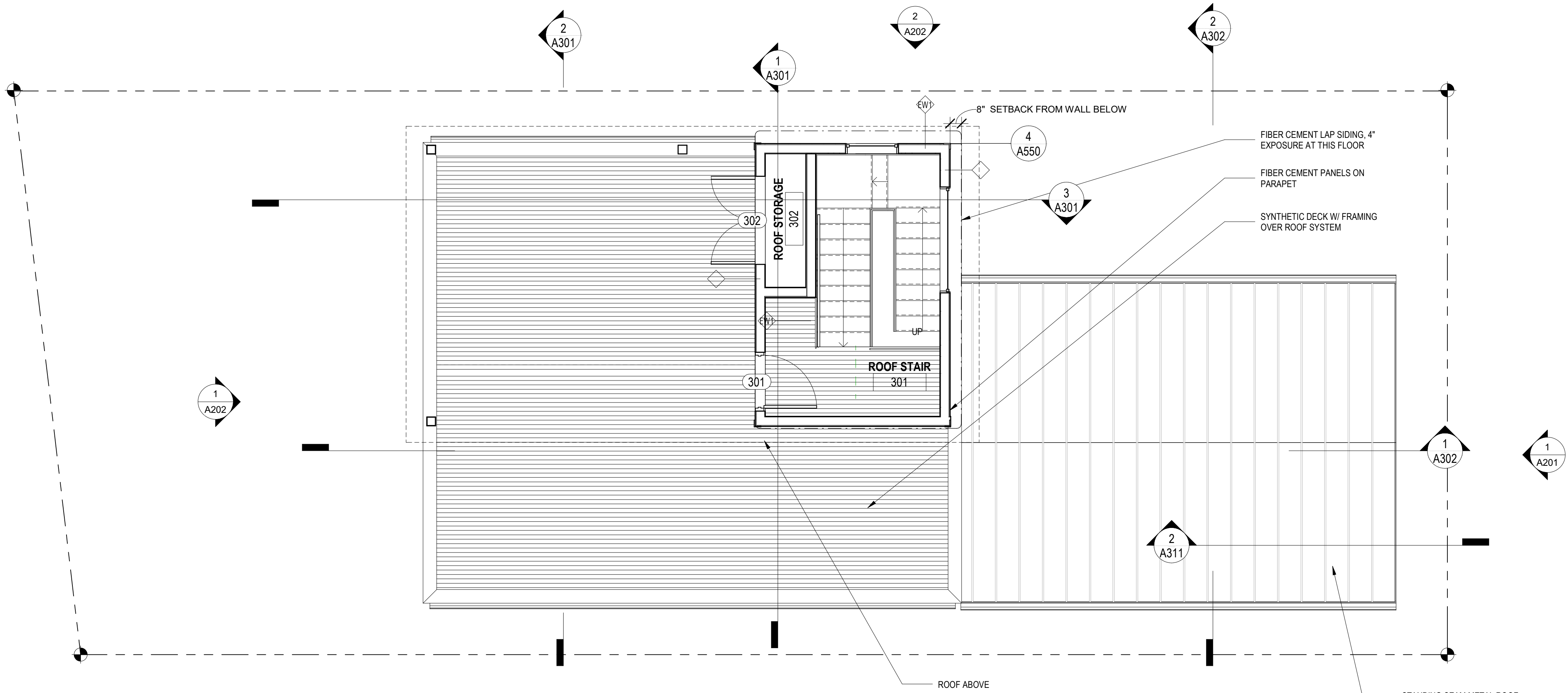
2 A113 ROOF PLAN

1/4" = 1'-0"



1 A113 ROOF DECK

1/4" = 1'-0"



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No.	Date	Scope

DRAWING
ROOF DECK PLAN

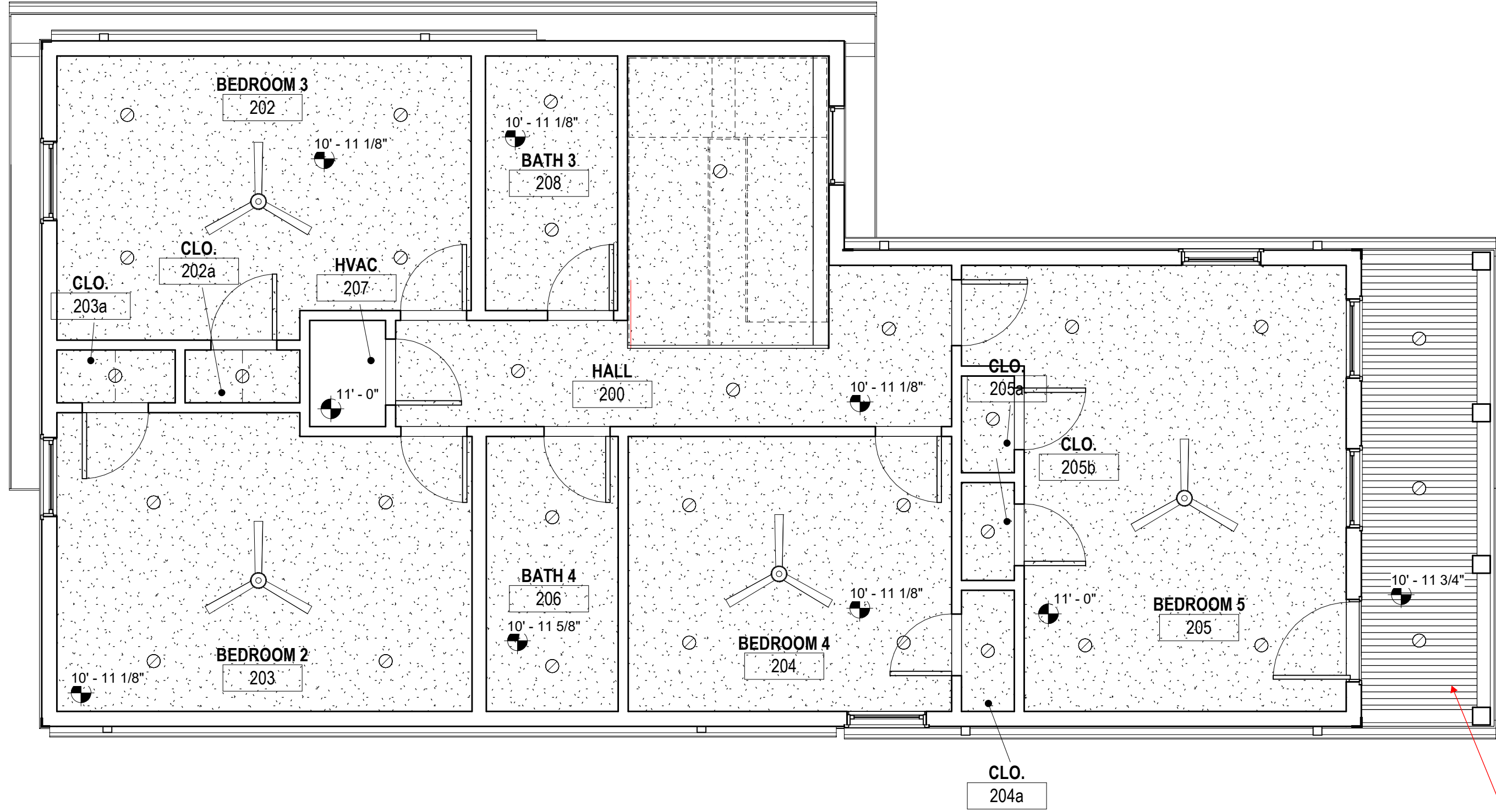
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JOB No. 520064
DATE 08/01/22

Sheet No.

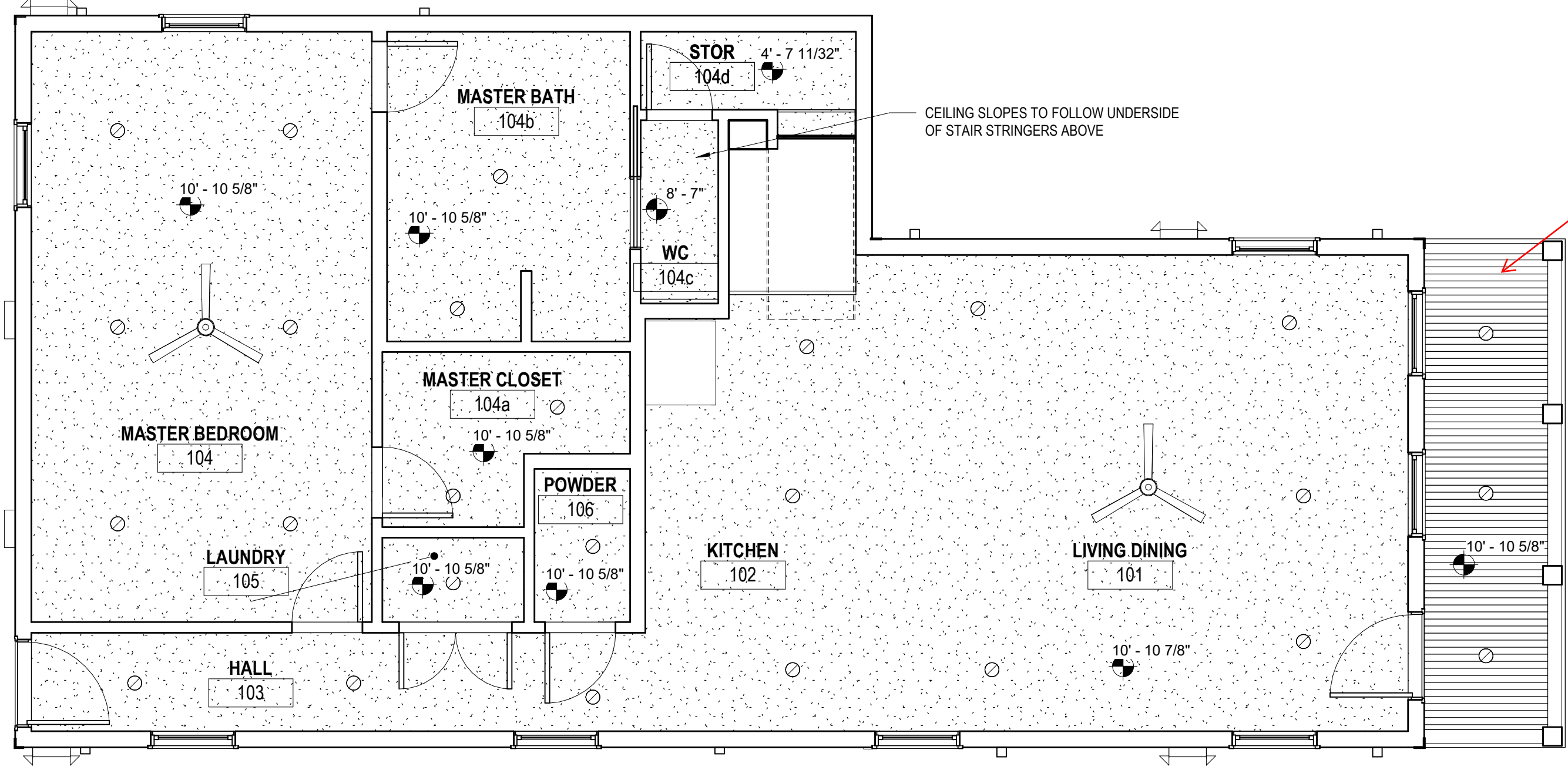
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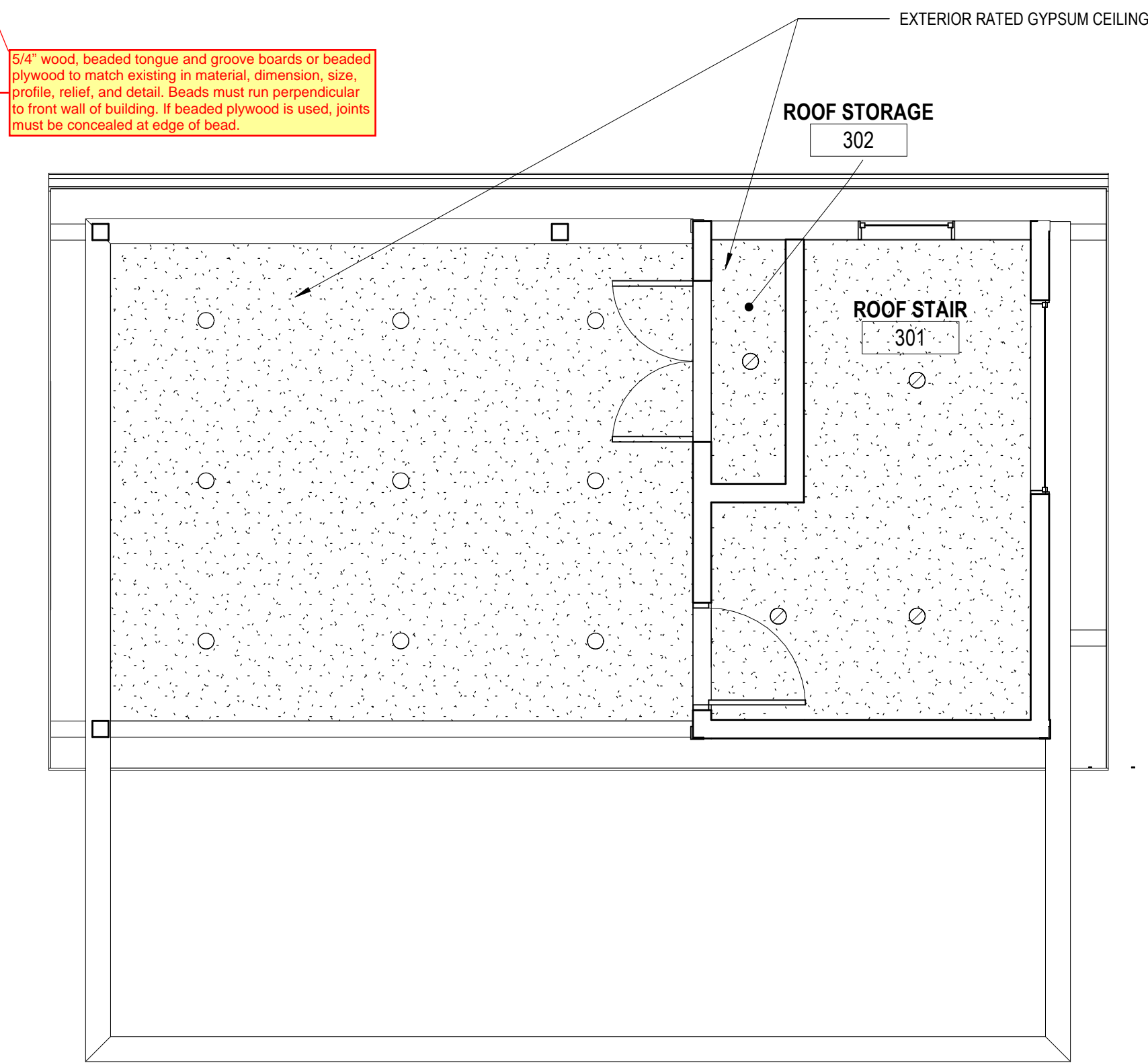
2
A151
LEVEL 2 RCP
1/4" = 1'-0"



1
A151
LEVEL 1 RCP
1/4" = 1'-0"



3
A151
ROOF DECK RCP
1/4" = 1'-0"



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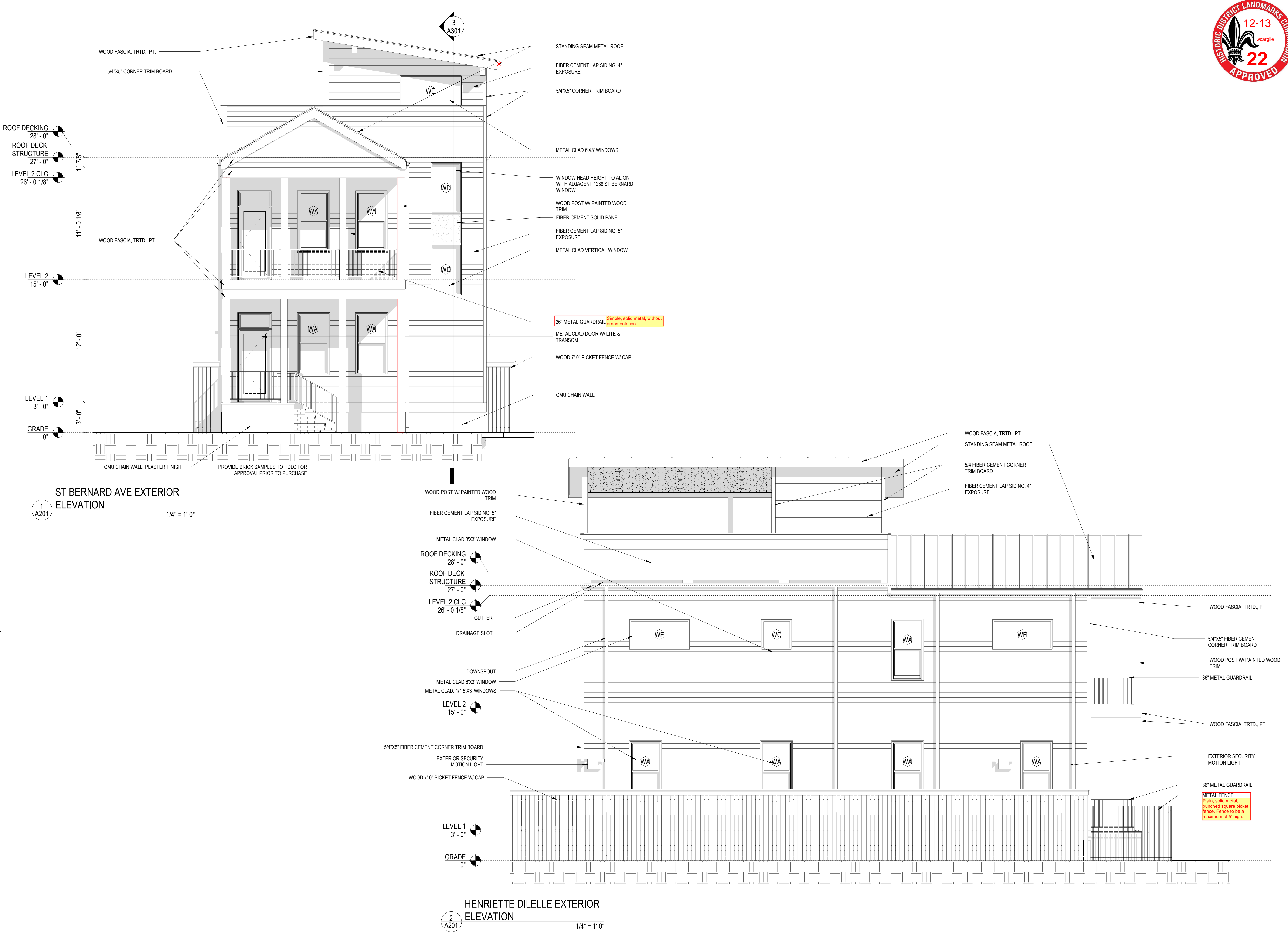
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REFLECTED CEILING PLANS

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JOB No. 520064
DATE 08/01/22

Sheet No.

A151

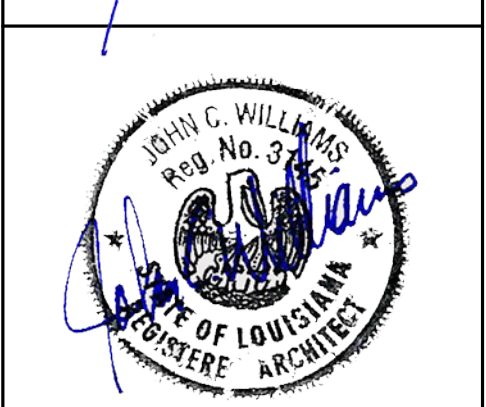
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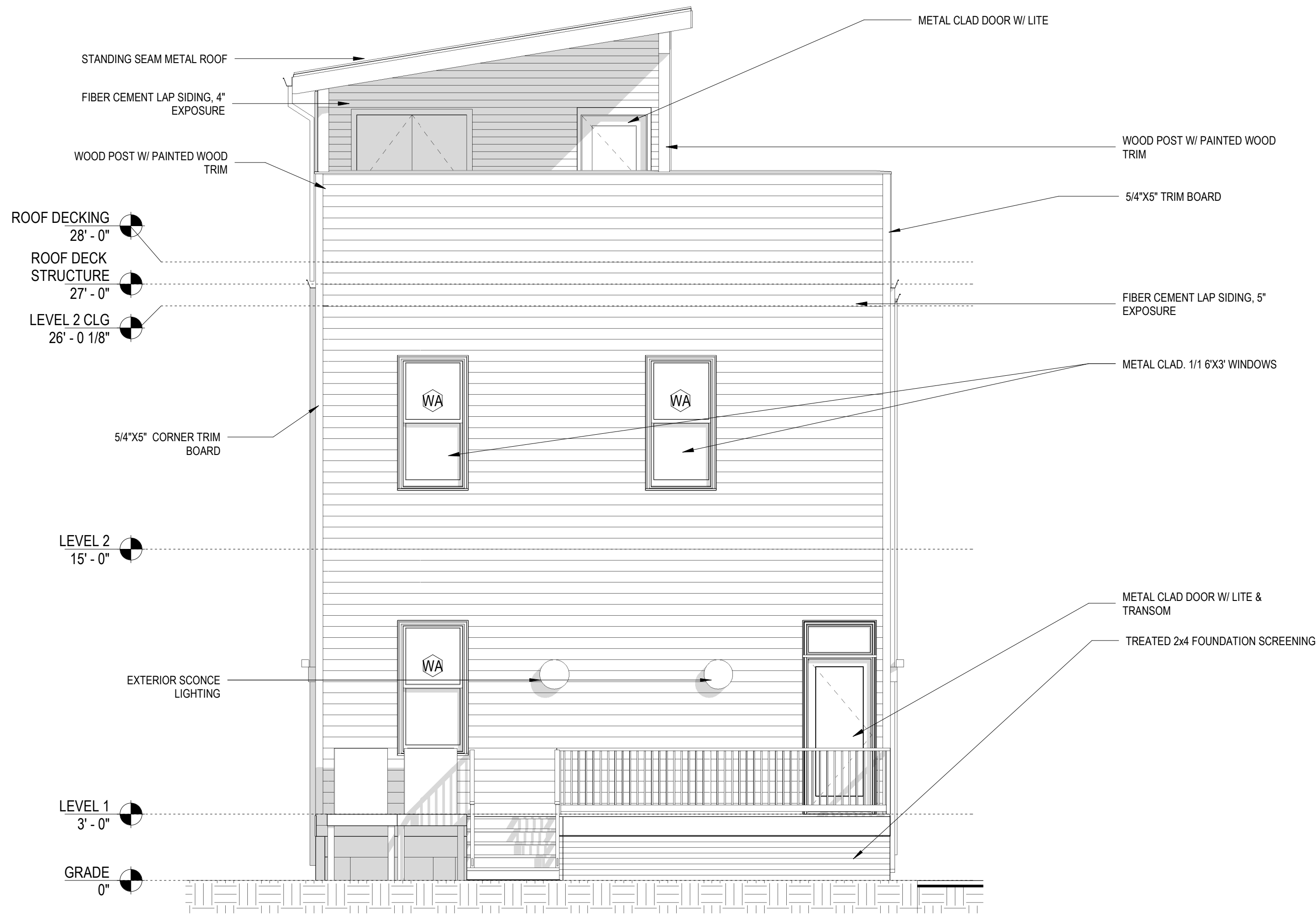
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DRAWING BY JWA
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JOB No. 520064
DATE 08/01/22

Sheet No.

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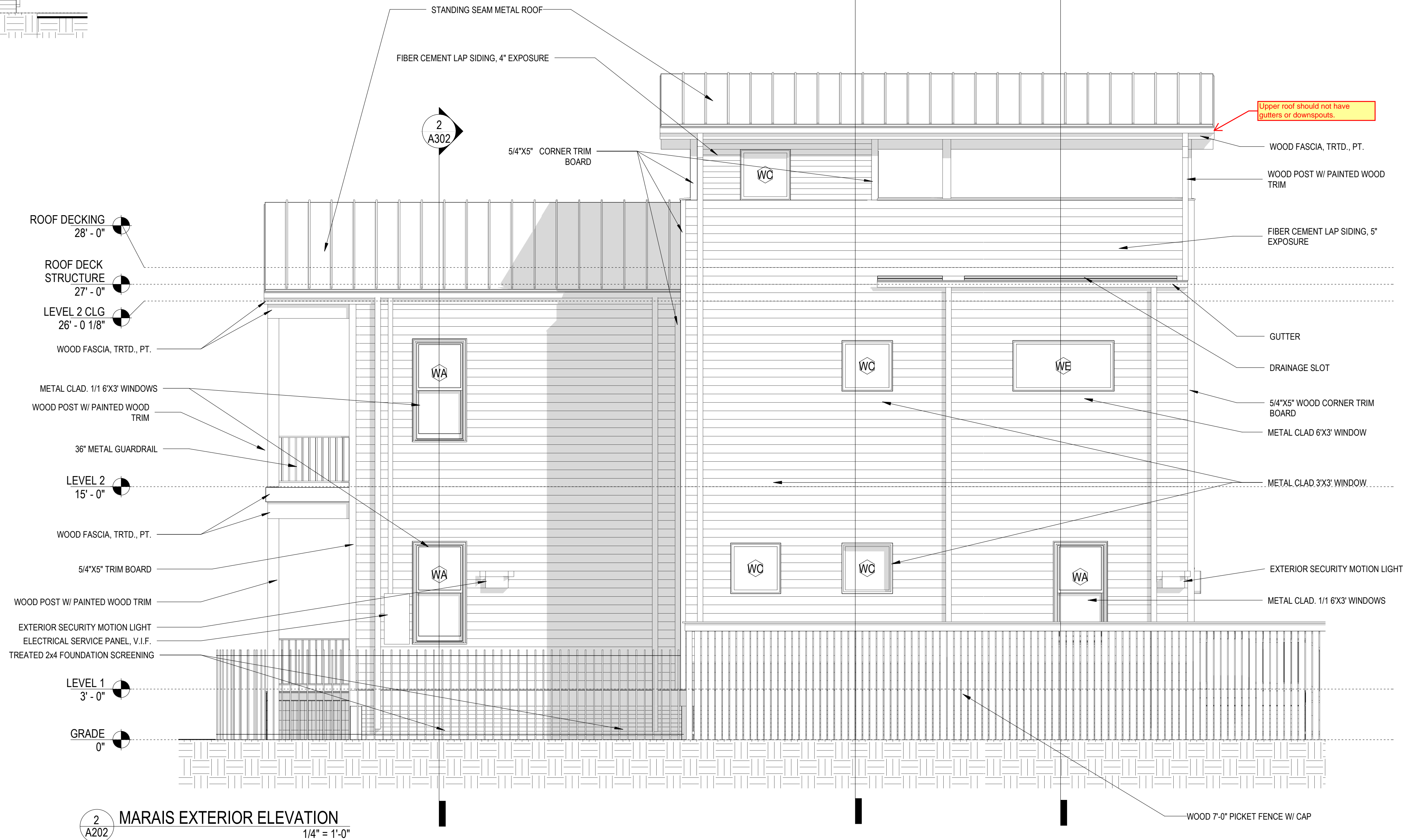
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1
A202

COLUMBUS EXTERIOR ELEVATION

1/4" = 1'-0"



2
A202

MAR AIS EXTERIOR ELEVATION

1/4" = 1'-0"



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DRAWING
EXTERIOR ELEVATIONS

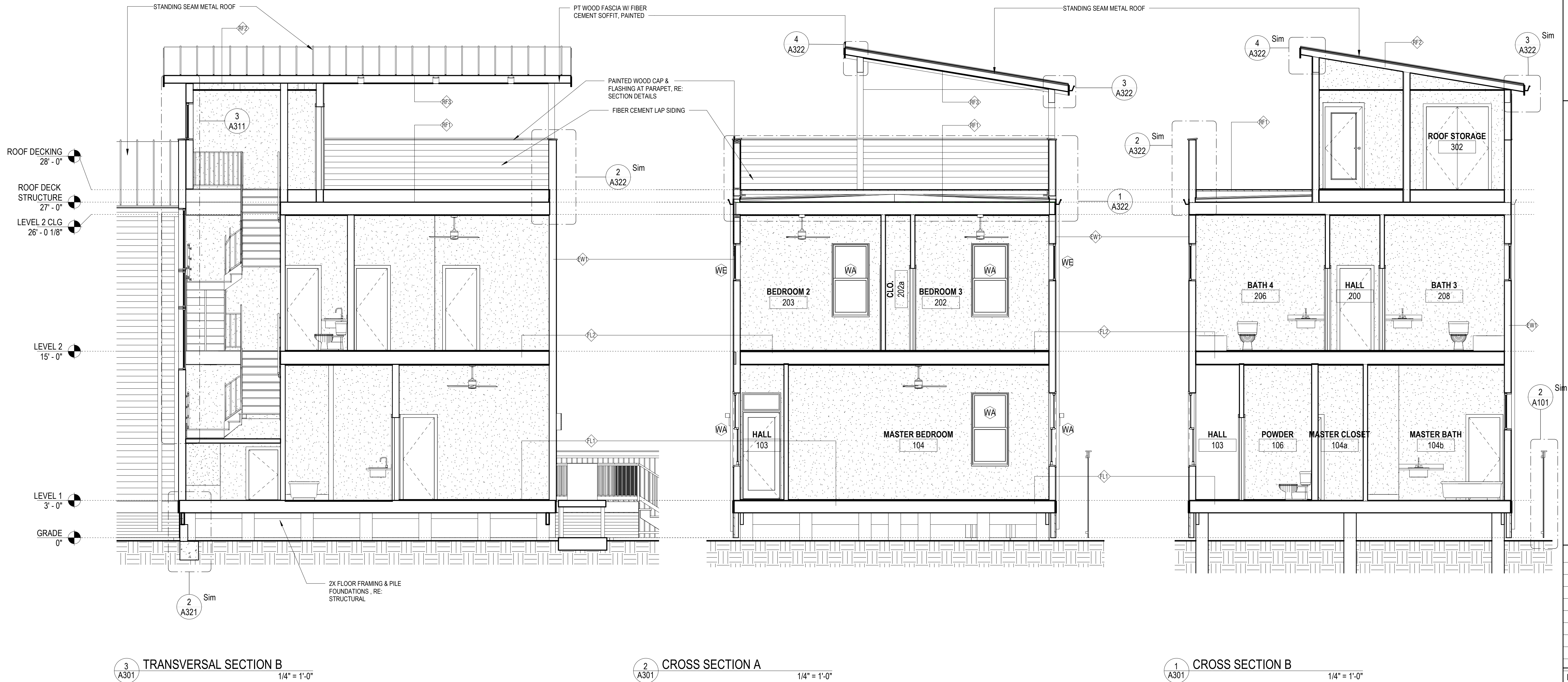
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DATE 08/01/22

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REFER TO SHEET A801 FOR ALL WINDOW AND DOOR TRIM DETAILS AND INSTALLATION ANNOTATIONS, WINDOWS ON THIS SHEET ARE FOR REFERENCE



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No.	Date	Scope

DRAWING
BUILDING SECTIONS

DRAWING BY JWA
SCALE 1/4" = 1'-0"
JOB No. 520064
DATE 08/01/22

Sheet No.

A301

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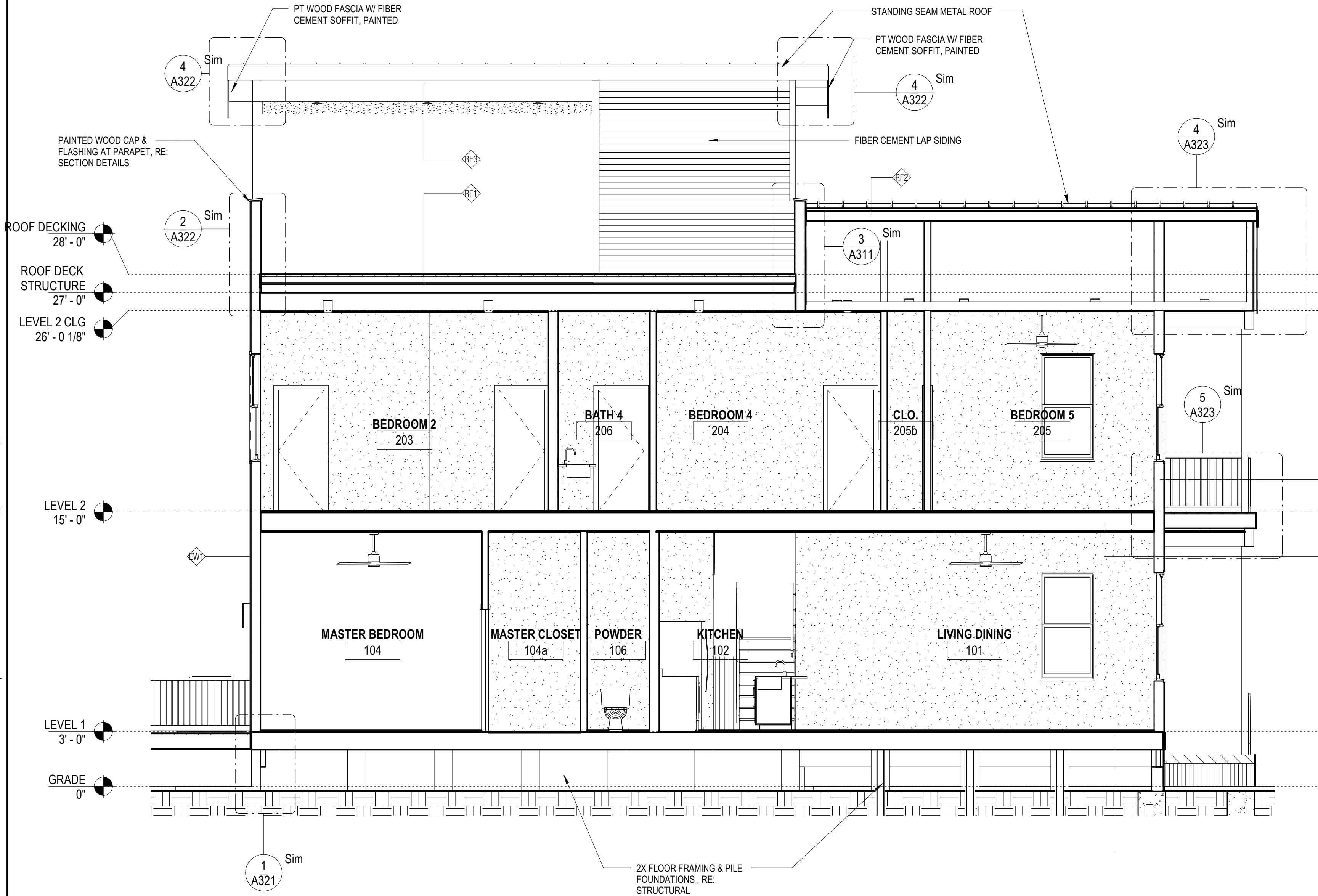
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BUILDING SECTIONS

DRAWING BY JWA
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JOB No. 520064
DATE 08/01/22

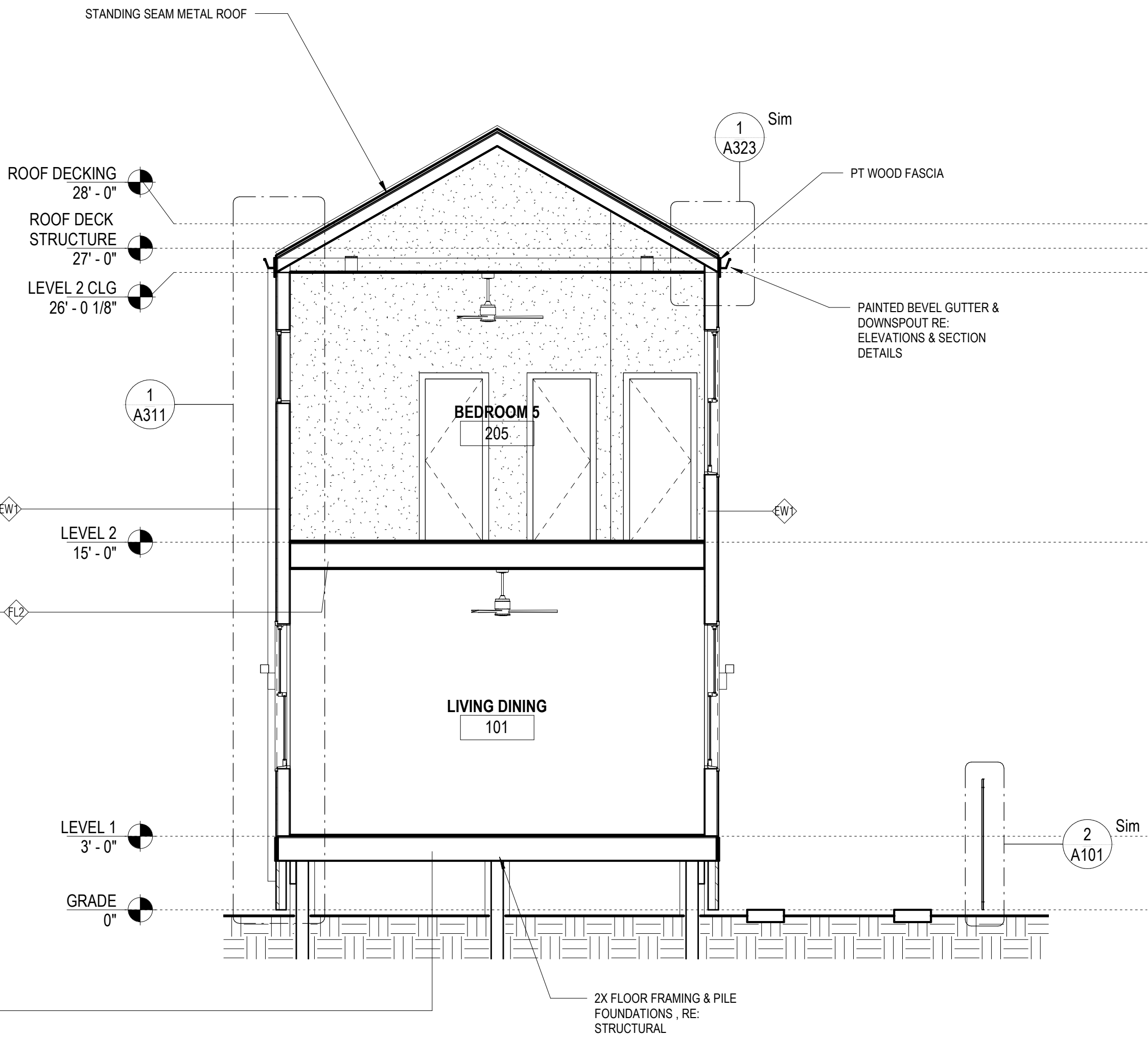
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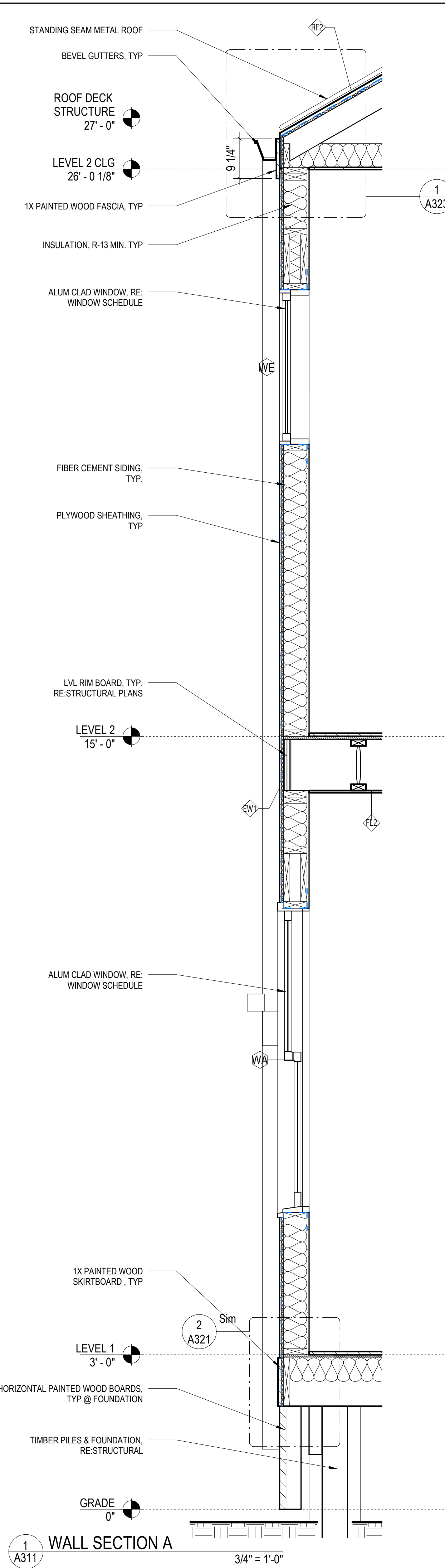
REFER TO SHEET A801 FOR ALL WINDOW AND DOOR TRIM DETAILS AND INSTALLATION ANNOTATIONS, WINDOWS ON THIS SHEET ARE FOR REFERENCE



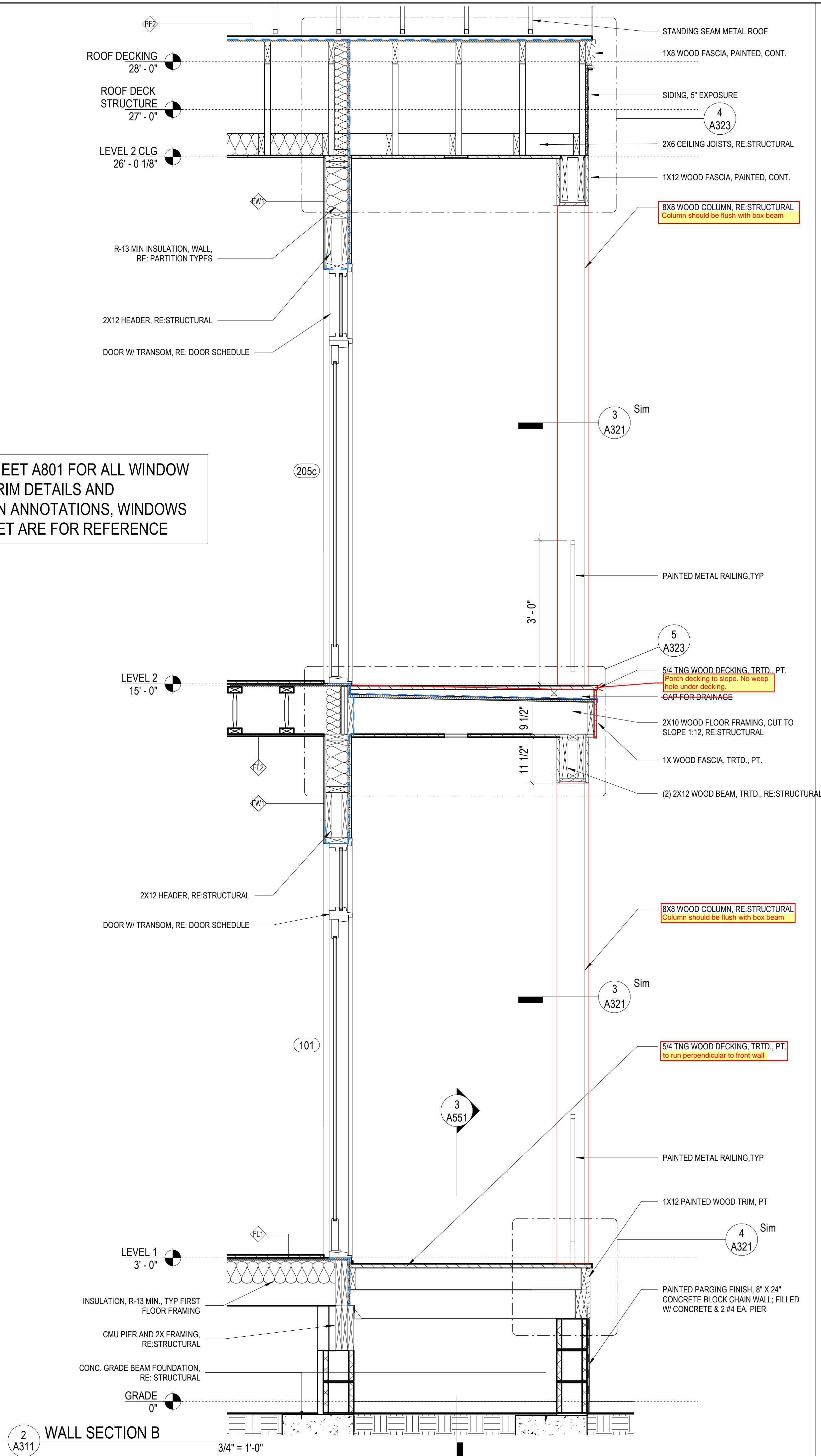
1 A302 TRANSVERSAL SECTION A
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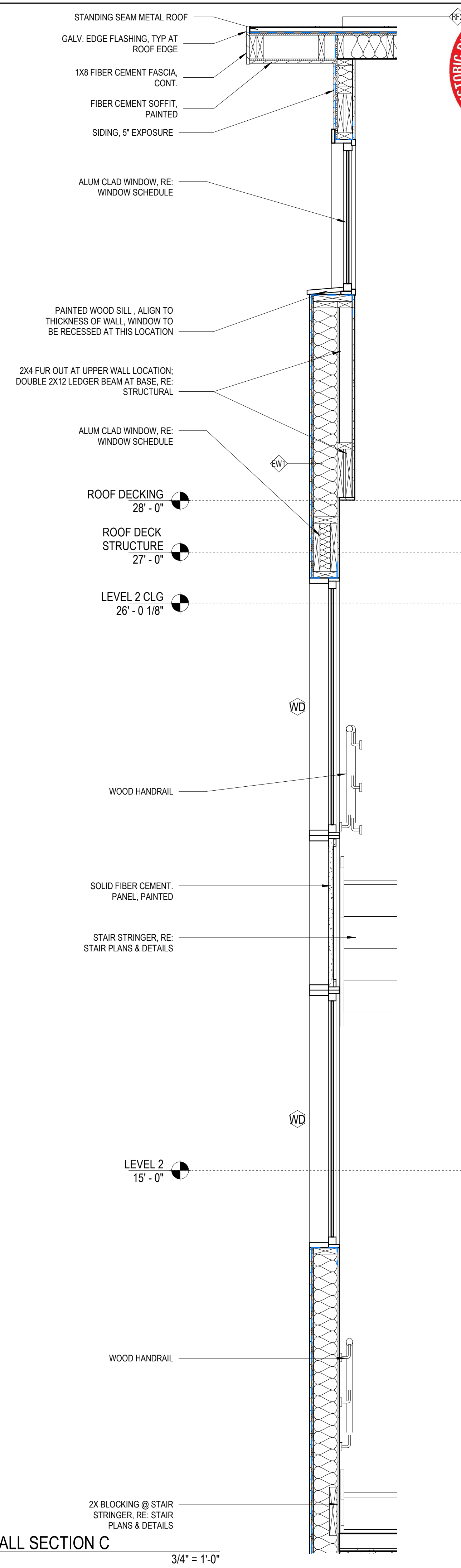
2 A302 CROSS SECTION C
1/4" = 1'-0"



WALL SECTION A

$$\frac{3}{4}'' = 1'-0''$$


WALL SECTION B

$$3/4'' = 1'-0$$


WALL SECTION C

3/4" = 1'-0"




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X 



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-REVISIONS-

[illegible]

DRAWING
WALL SECTIONS

DRAWING BY	JWA
SCALE	3/4" = 1'-0"
JOB No.	520064
DATE	08/01/22

Sheet No.

A311



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X John Wilbur

[illegible]

Sheet No.

POST BASE CONNECTION TO FOUNDATION/FRAMING; INSTALL PER MANUFACT. RECOMMENDATIONS; RE: STRUCTURAL

PT. 6X6 POST AT CORE OF BOXED COLUMN

1X PT. & PAINTED WOOD TRIM; 45 DEG BEVEL AT BOT. EDGE; MITERED CORNERS

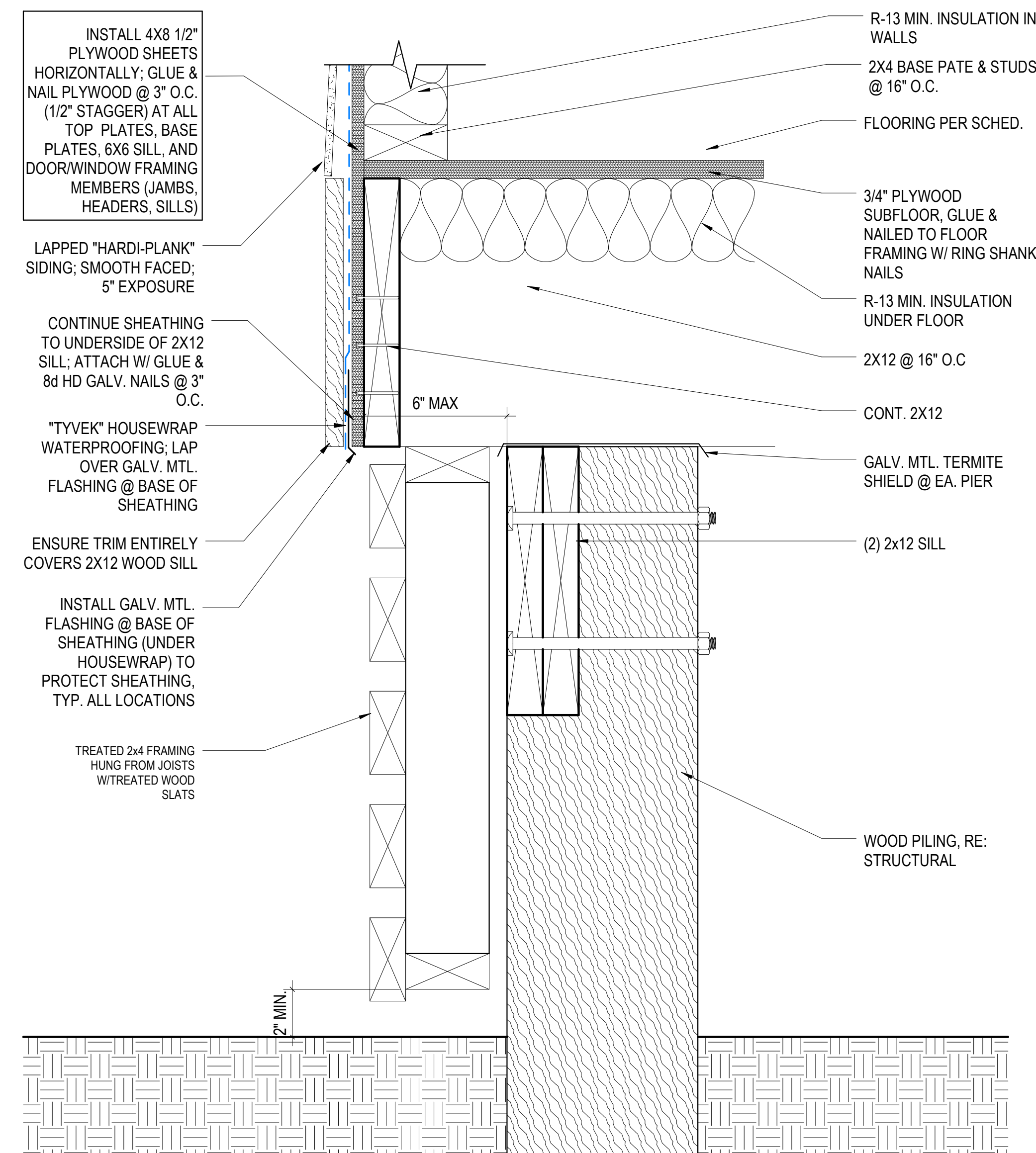
PROVIDE PLYWOOD COVERING ALL SIDES TO CREATE 8" X 8" DIM WITH EXT. TRIM

3/4" PT. PAINTED WOOD TRIM

8"

8"

TYPICAL COLUMN REVEAL BASE
AT FRONT PORCH

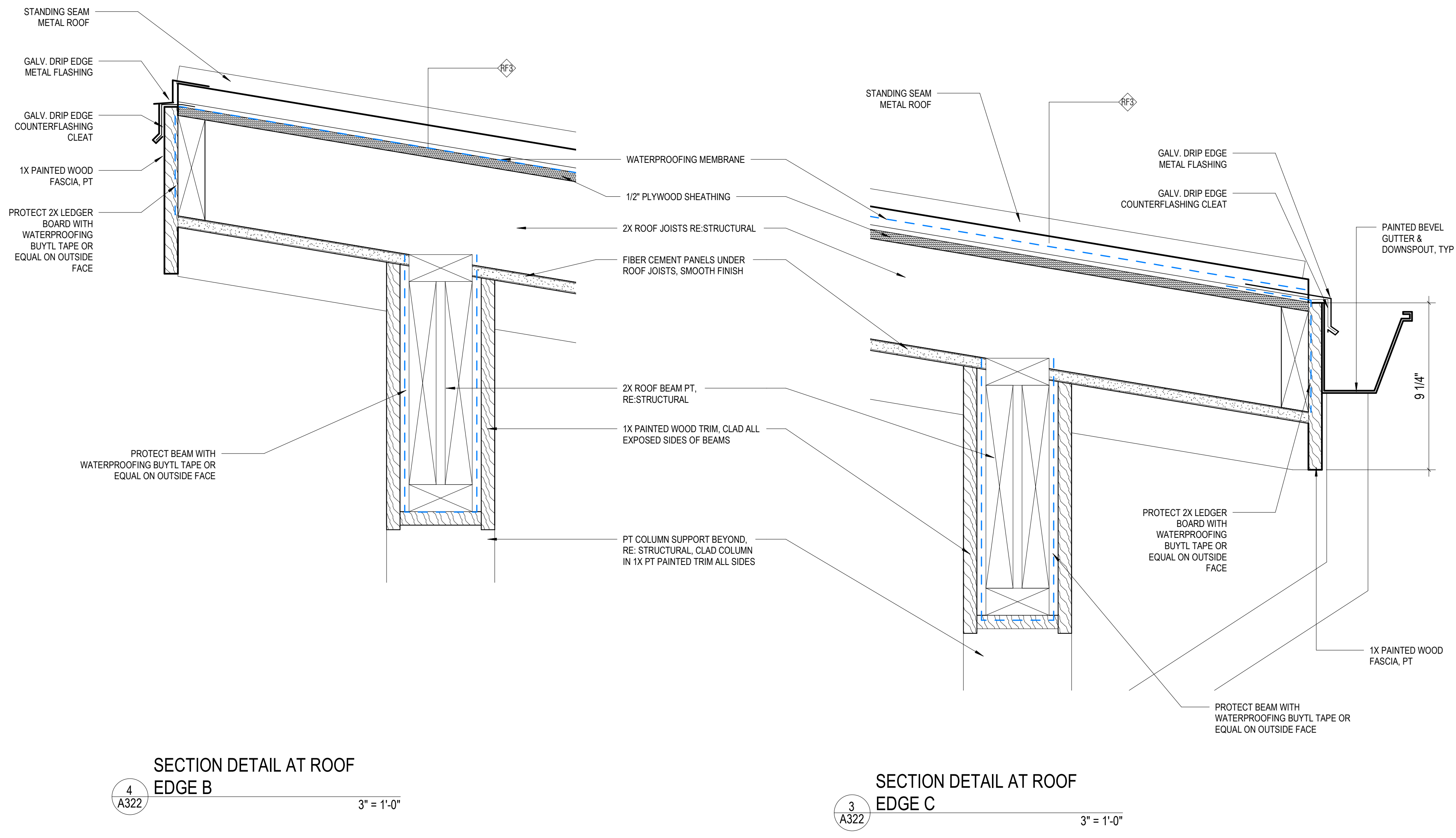
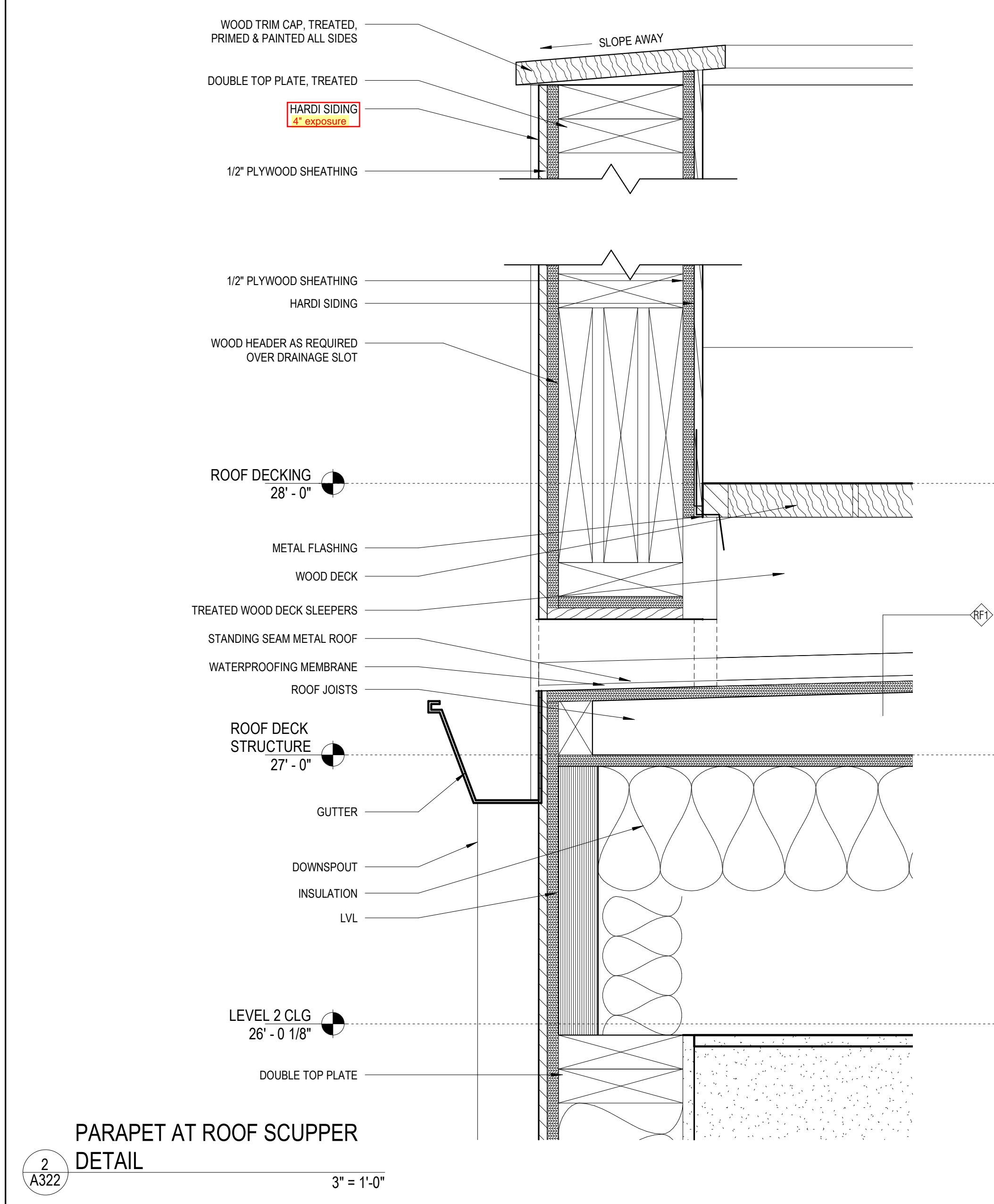
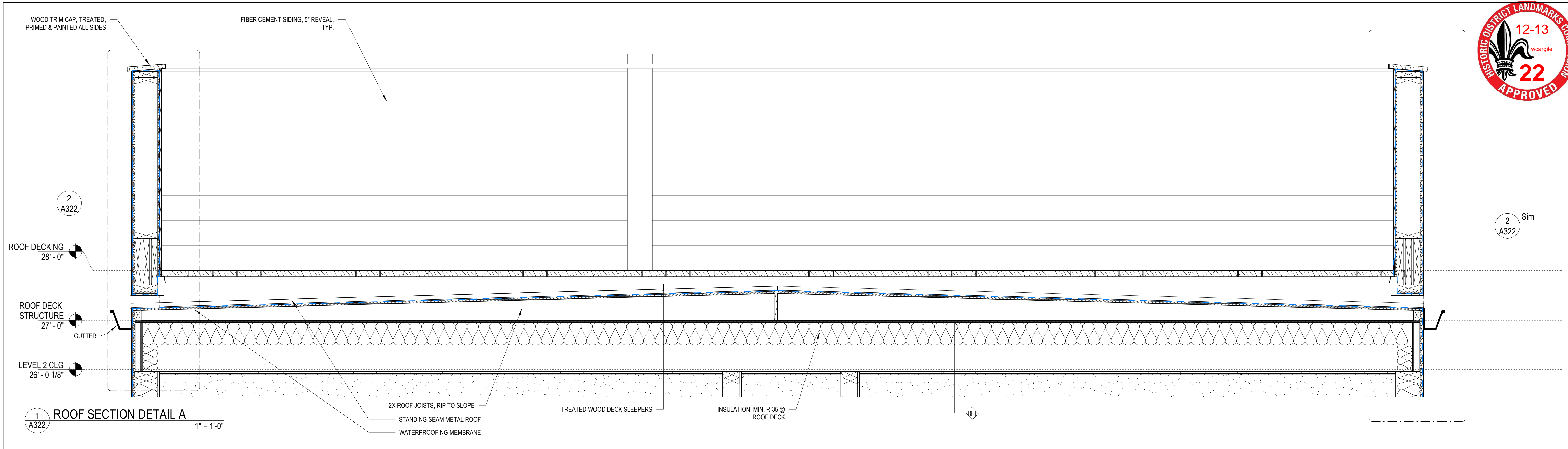


1
A321

TYPICAL SILL DETAIL AT PILE

3" = 1'-0"

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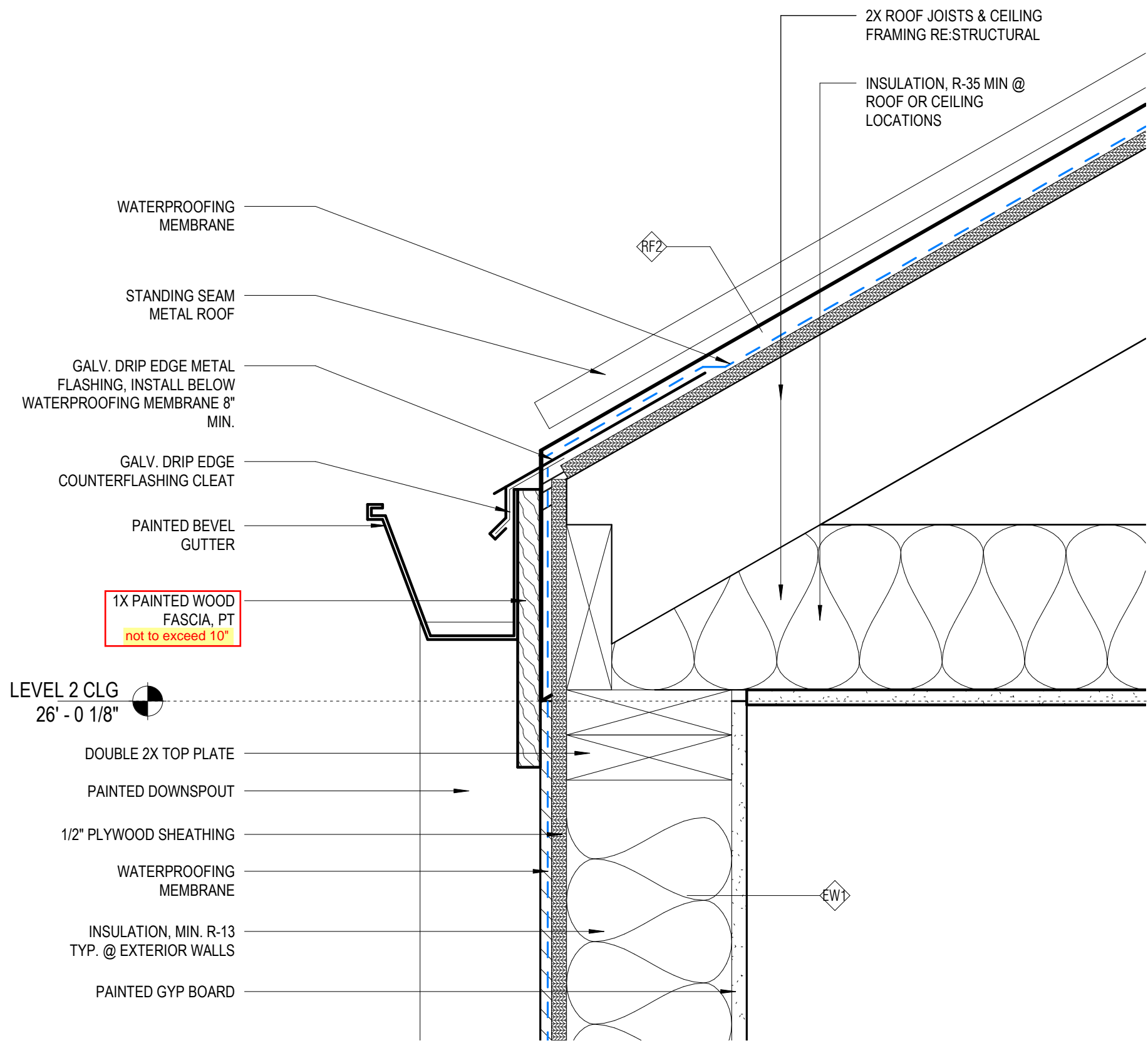
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No.	Date	Scope

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SECTION DETAILS
DRAWING BY
SCALE As indicated
JOB No. 520064
DATE 08/01/22
Sheet No.

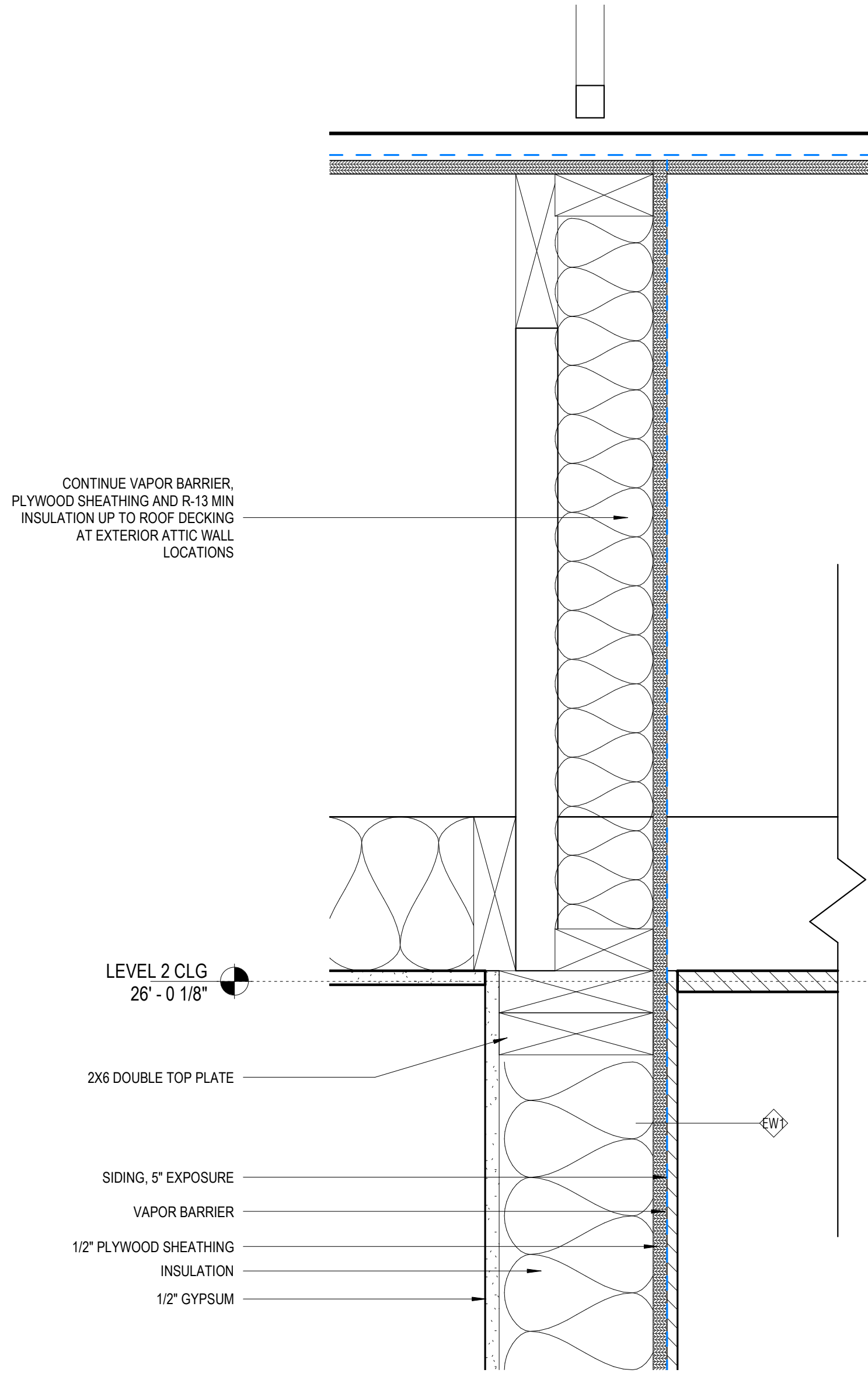
A322

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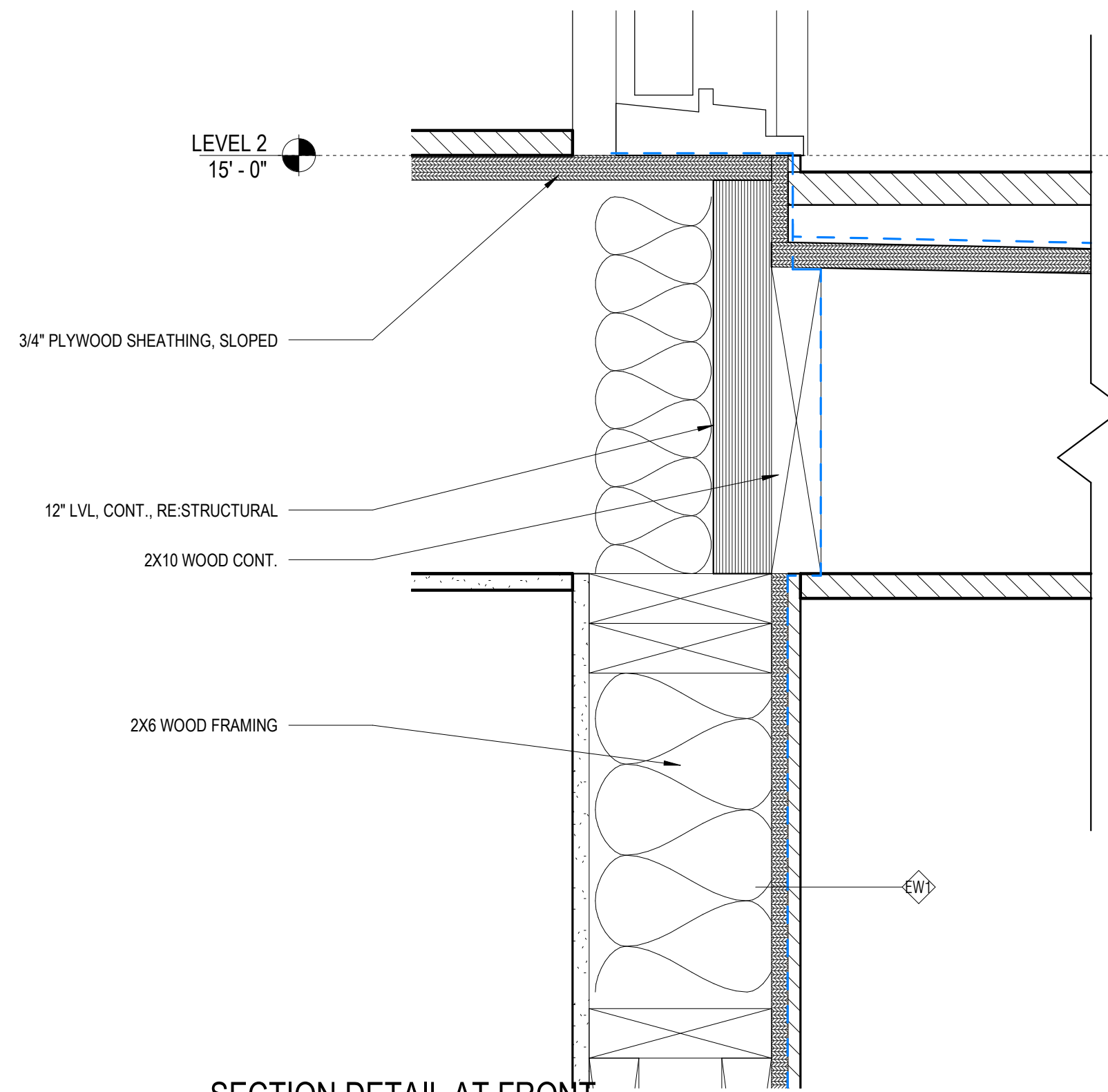
SECTION DETAIL AT ROOF
EDGE A

3" = 1'-0"



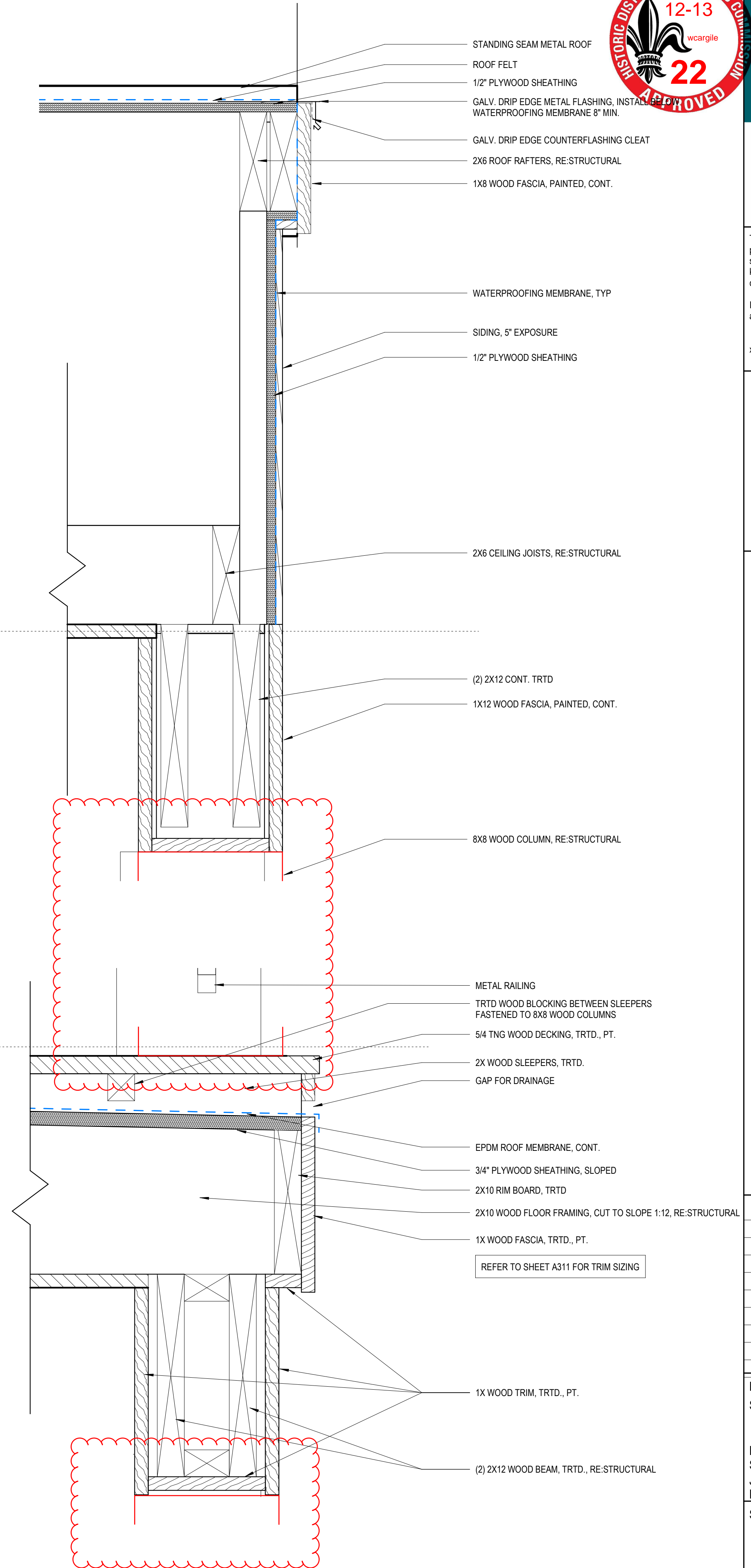
SECTION DETAIL AT FRONT
GALLERY ROOF

3" = 1'-0"



SECTION DETAIL AT FRONT
GALLERY LEVEL 2

3" = 1'-0"



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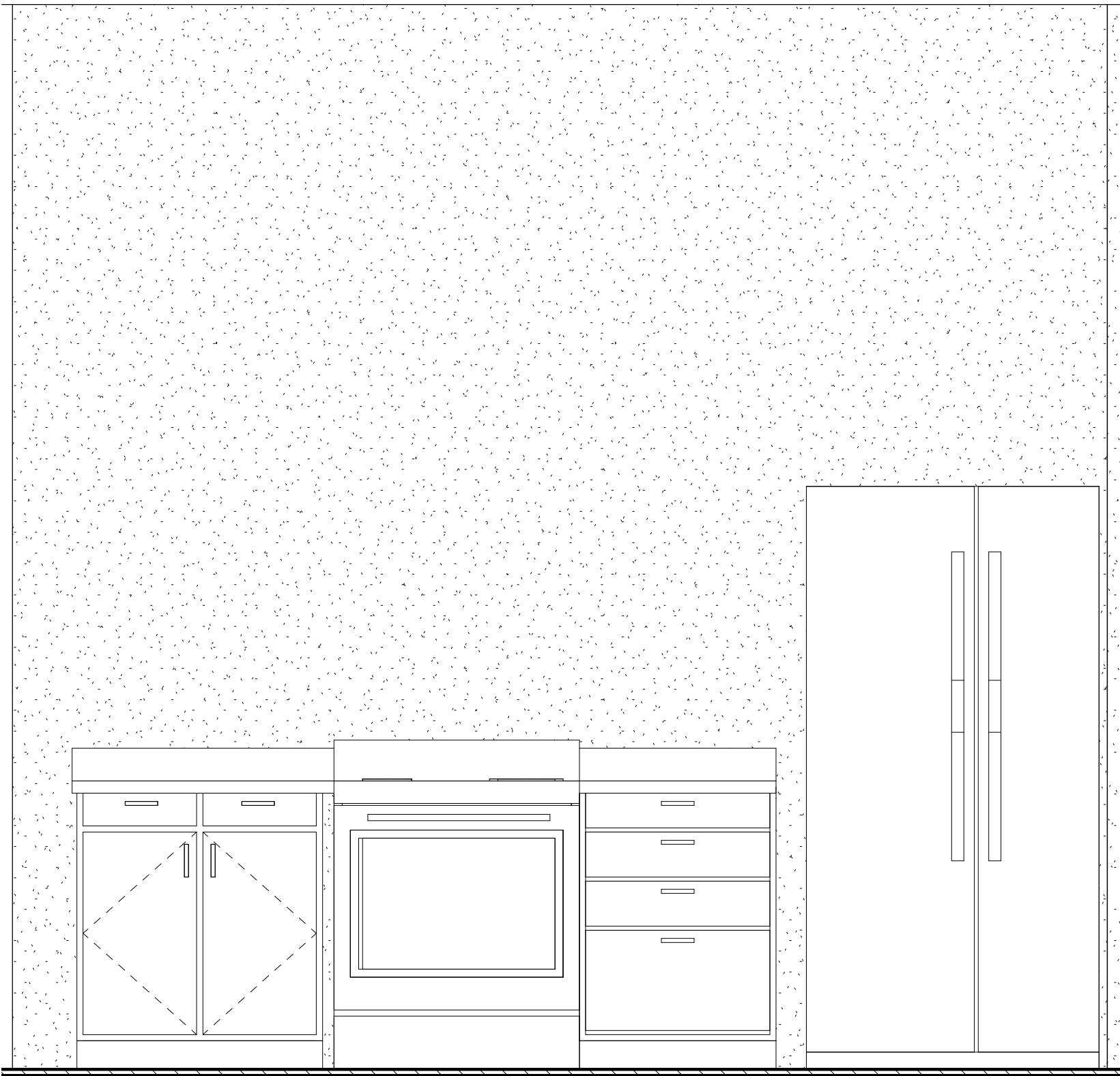
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SECTION DETAILS

DRAWING BY JWA
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JOB No. 520064
DATE 08/01/22

Sheet No.

A323

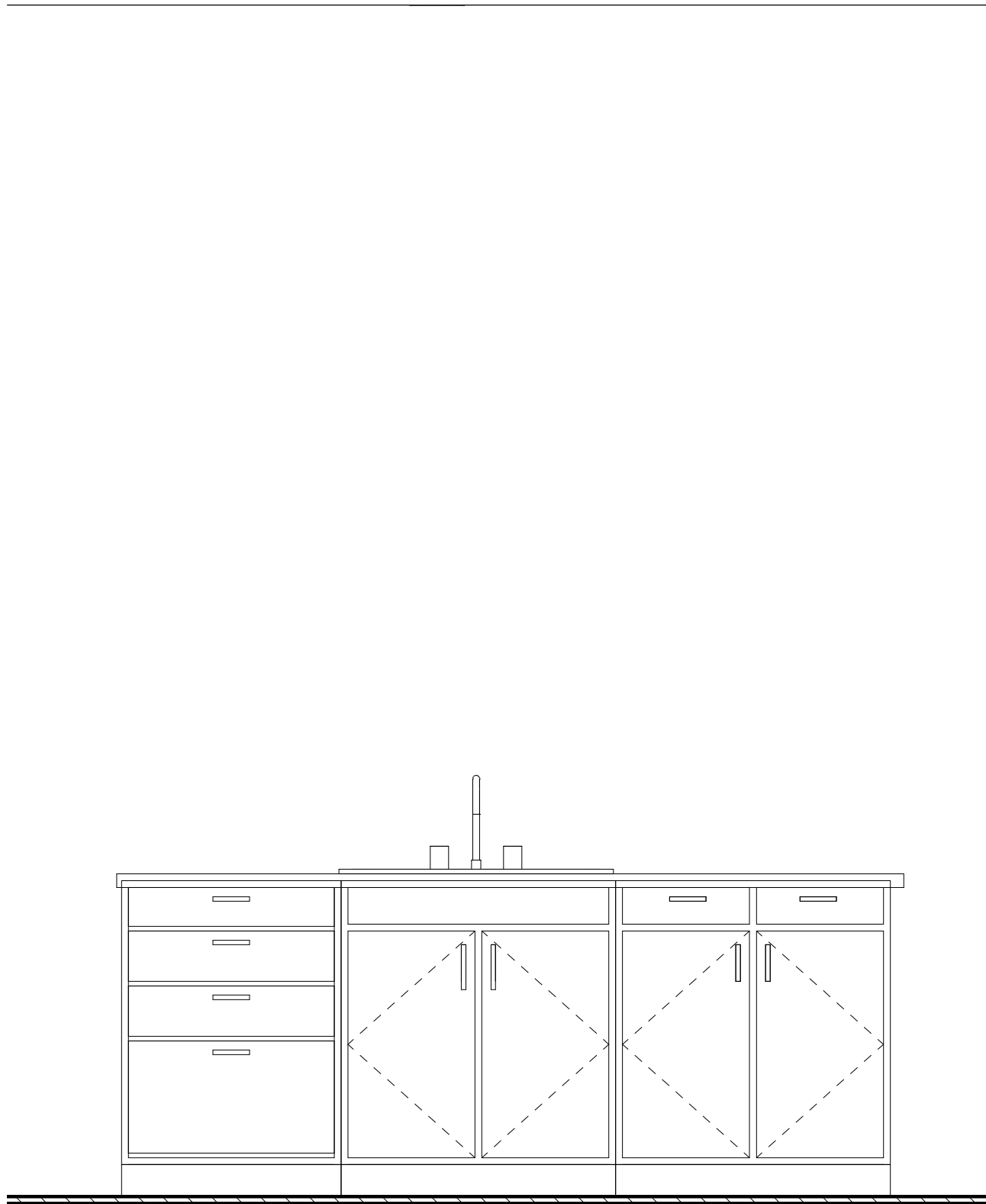
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INT ELEVATION - KITCHEN - WEST

4
A501

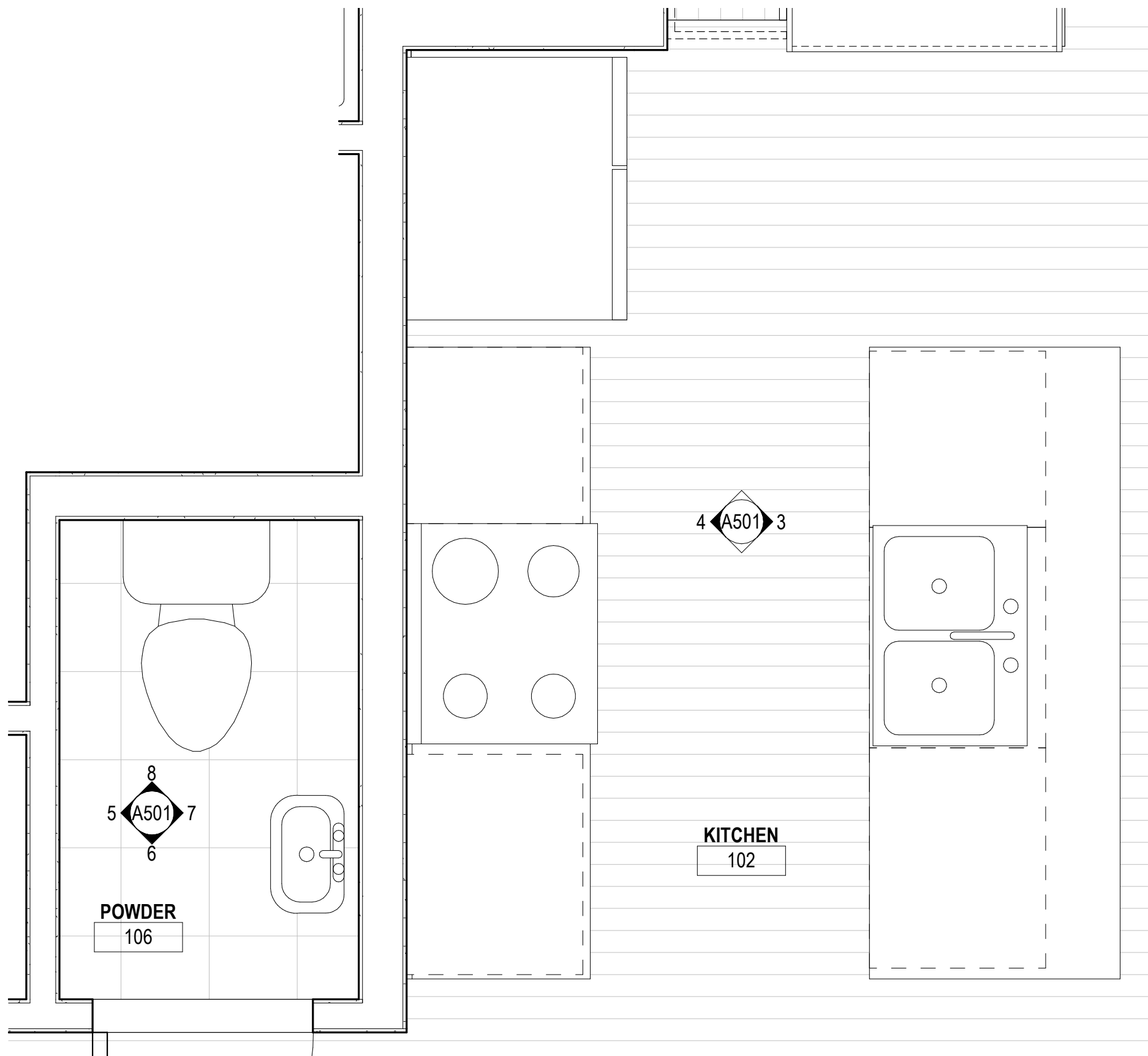
3/4" = 1'-0"



INT ELEVATION - KITCHEN - EAST

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A501

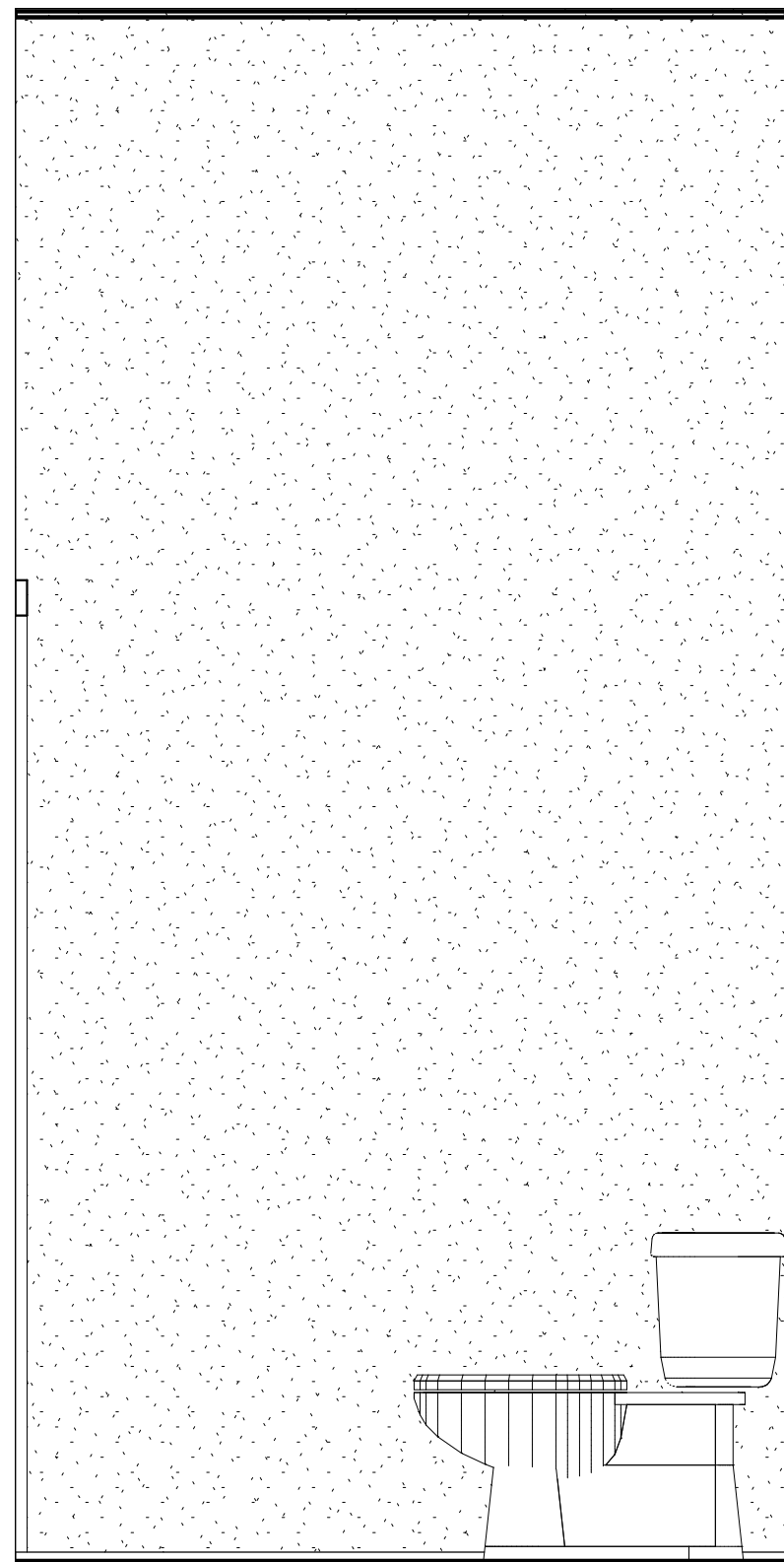
3/4" = 1'-0"



LEVEL 1 - ENLARGED KITCHEN PLAN

1
A501

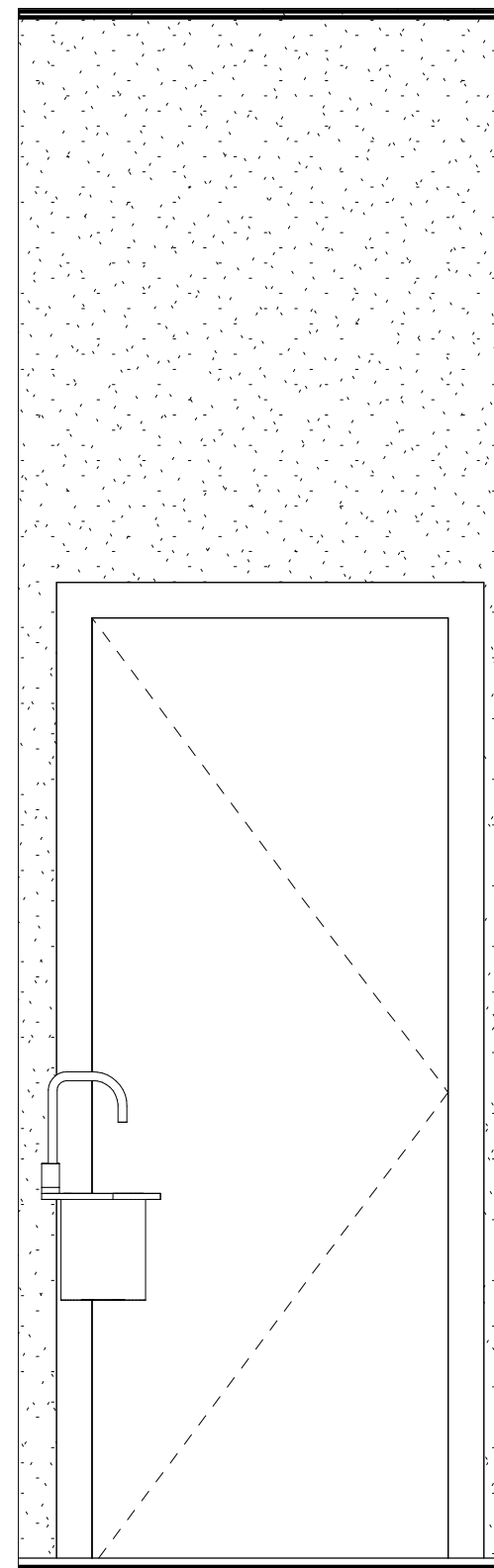
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INT ELEVATION - POWDER - WEST

5
A501

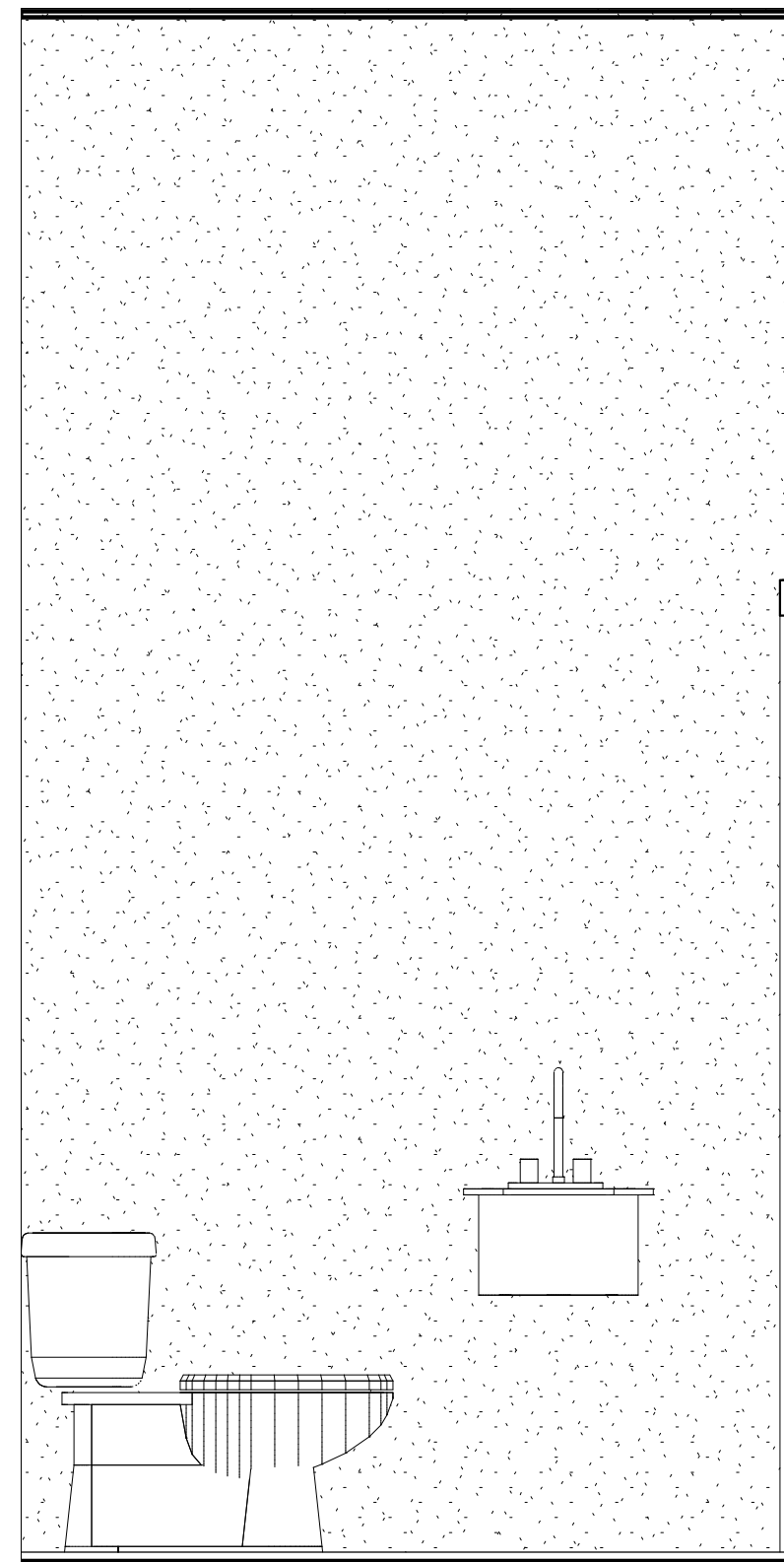
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INT ELEVATION - POWDER - SOUTH

6
A501

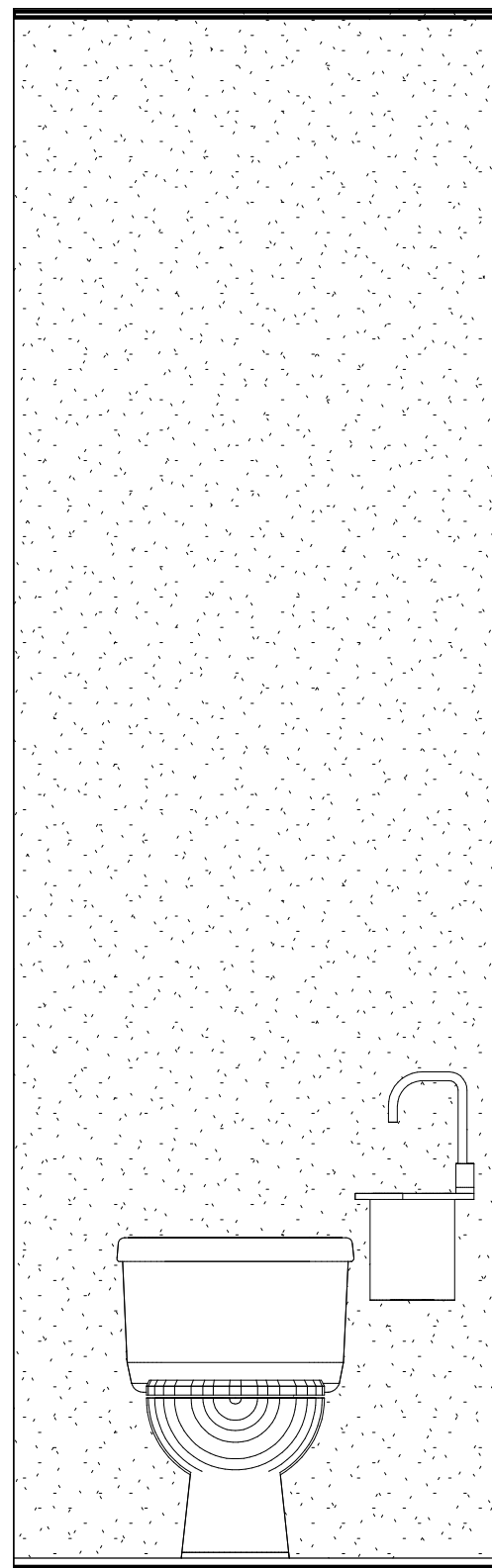
3/4" = 1'-0"



INT ELEVATION - POWDER - EAST

7
A501

3/4" = 1'-0"



INT ELEVATION - POWDER - NORTH

8
A501

3/4" = 1'-0"



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x. *John C. Williams*



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-REVISIONS-

No.	Date	Scope

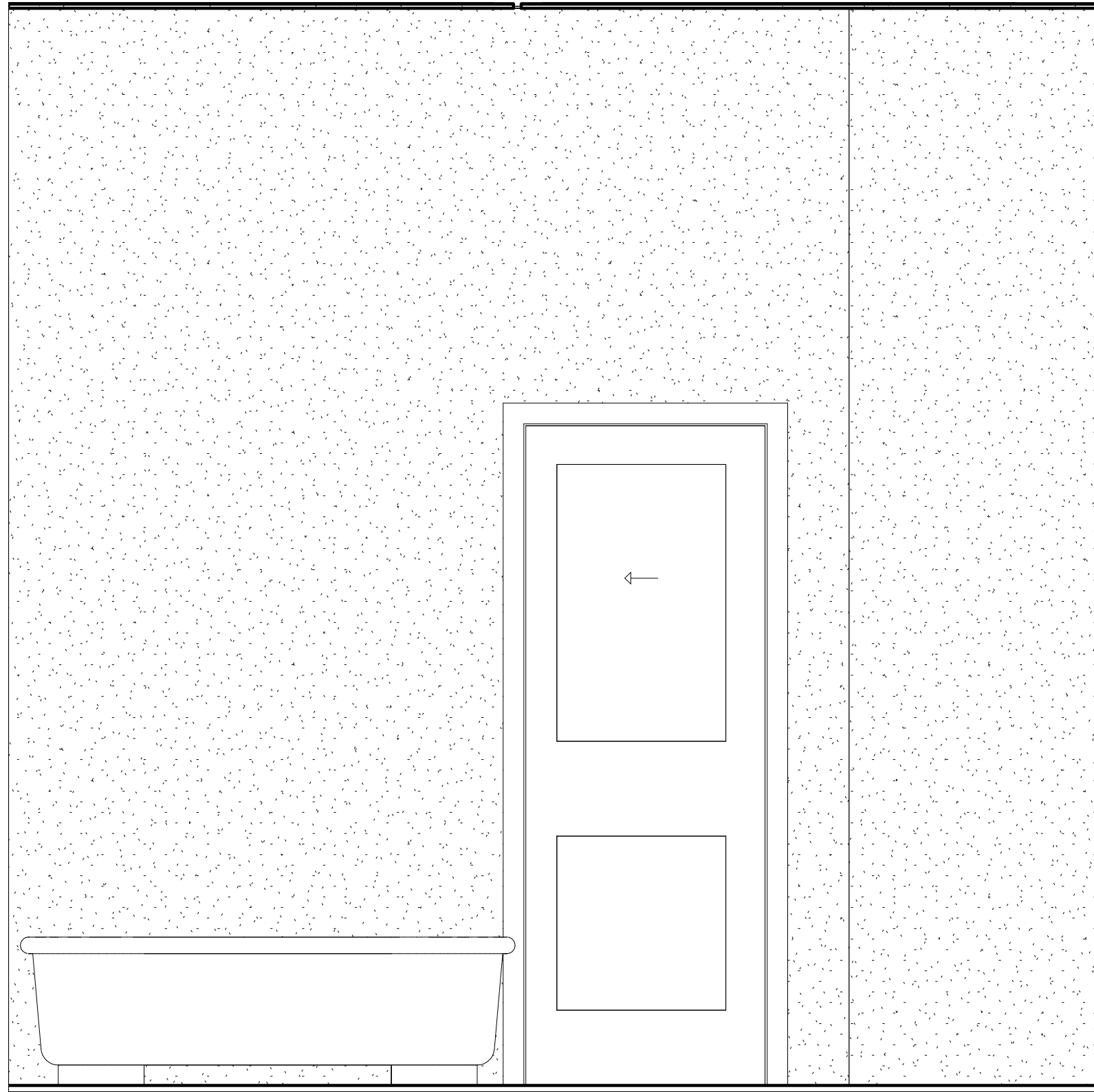
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ENLARGED PLAN - KITCHEN

DRAWING BY JWA
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JOB No. 520064
DATE 08/01/22

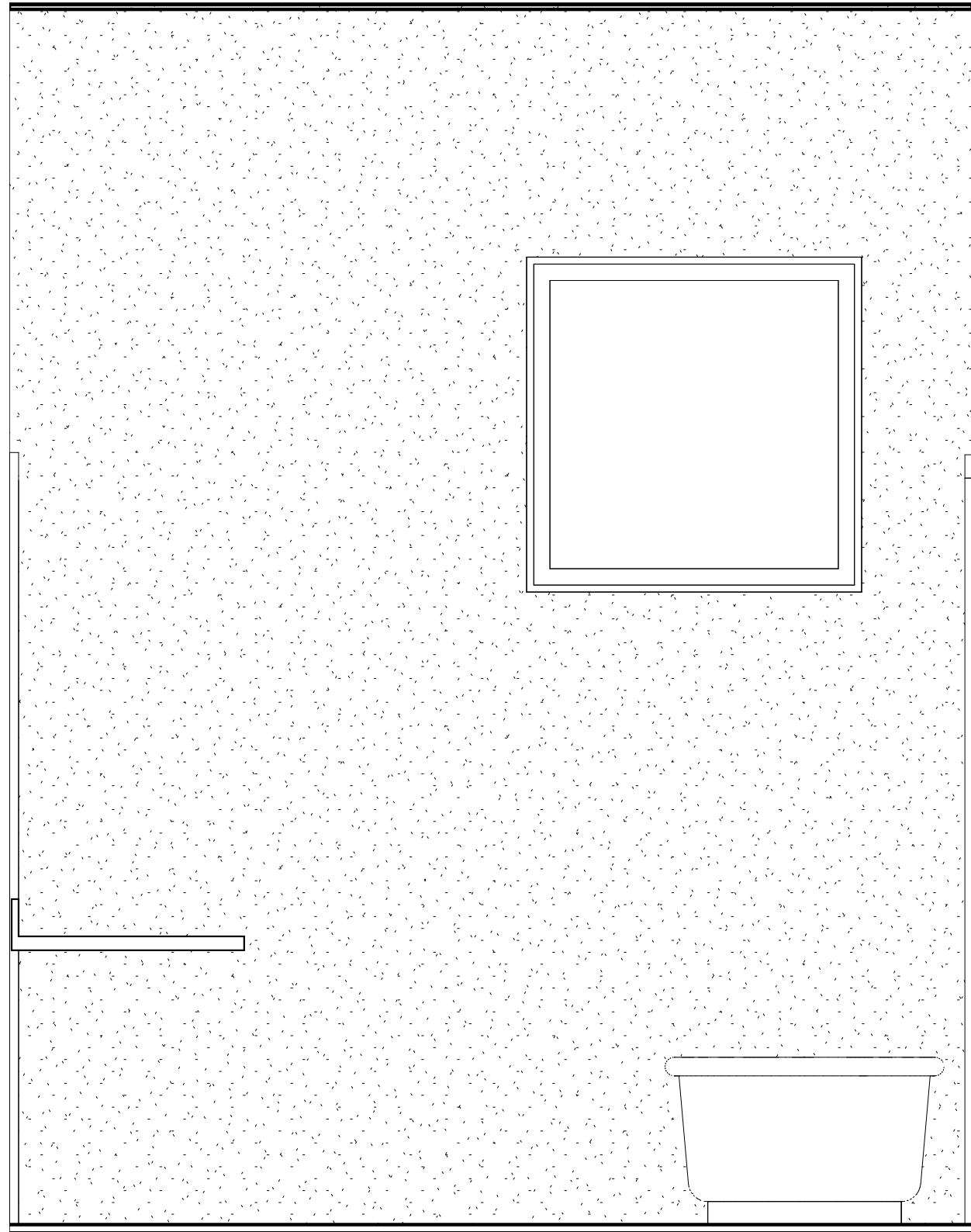
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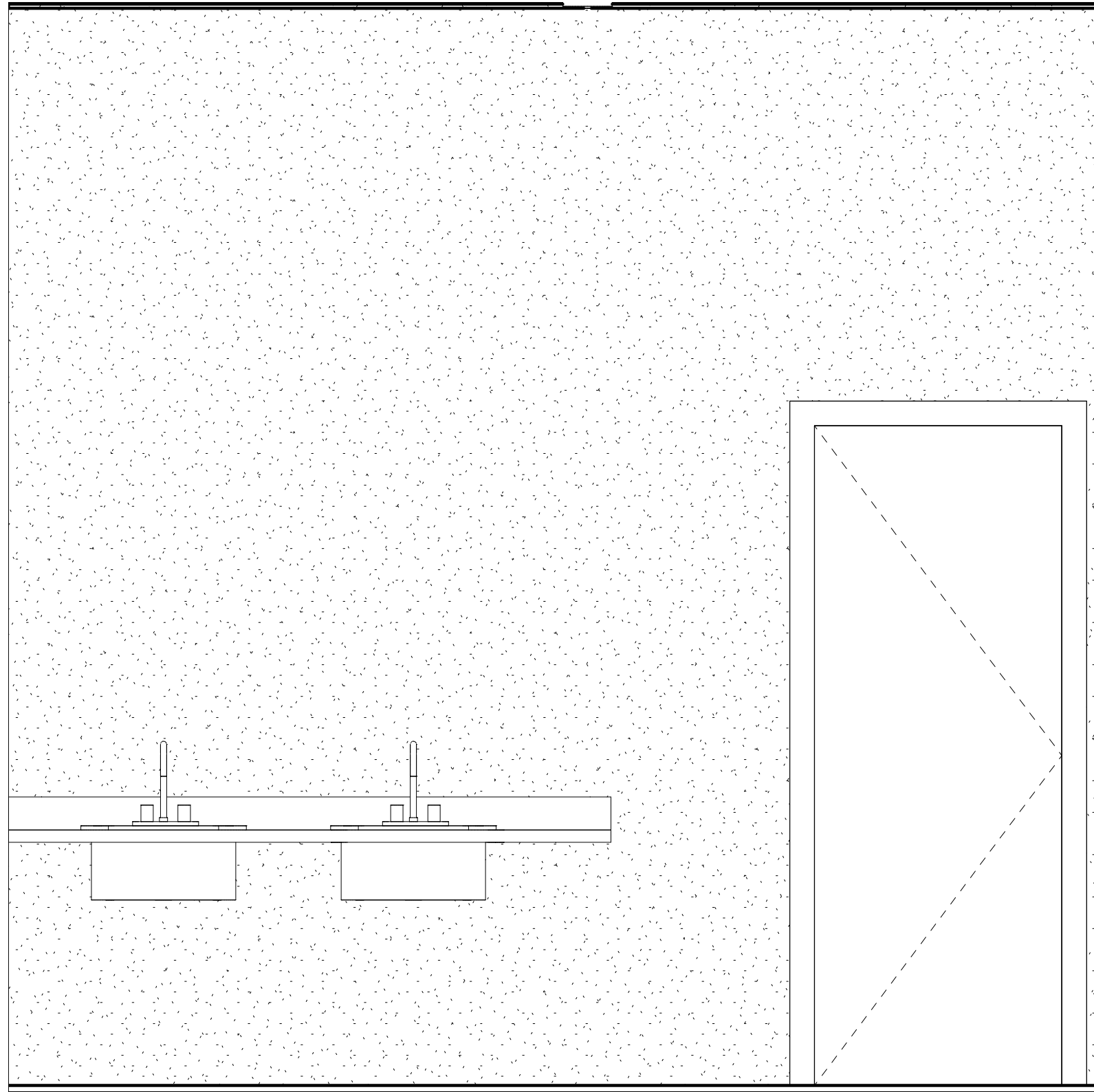
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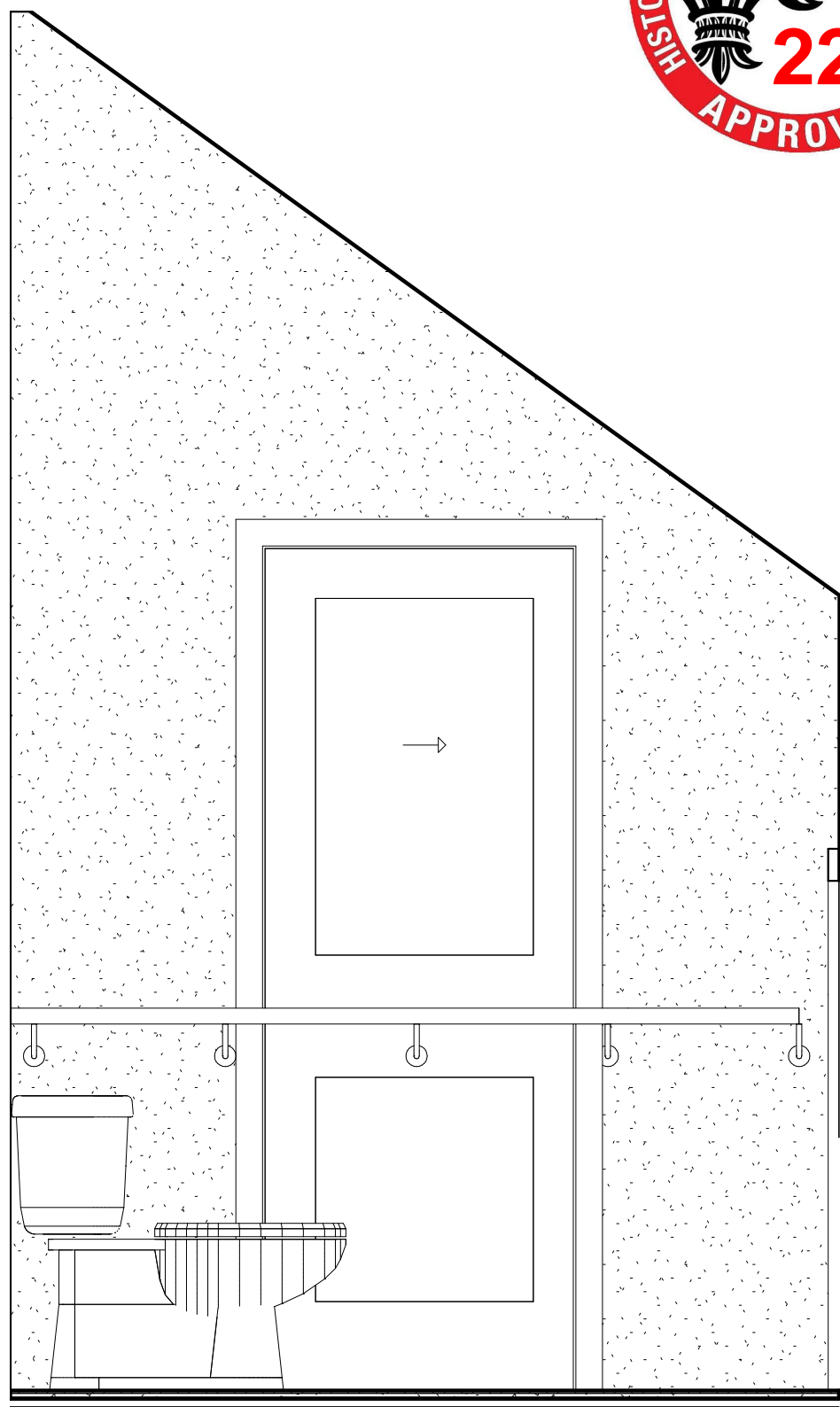
2
A502
INT ELEVATION - MASTER BATH
- EAST
3/4" = 1'-0"



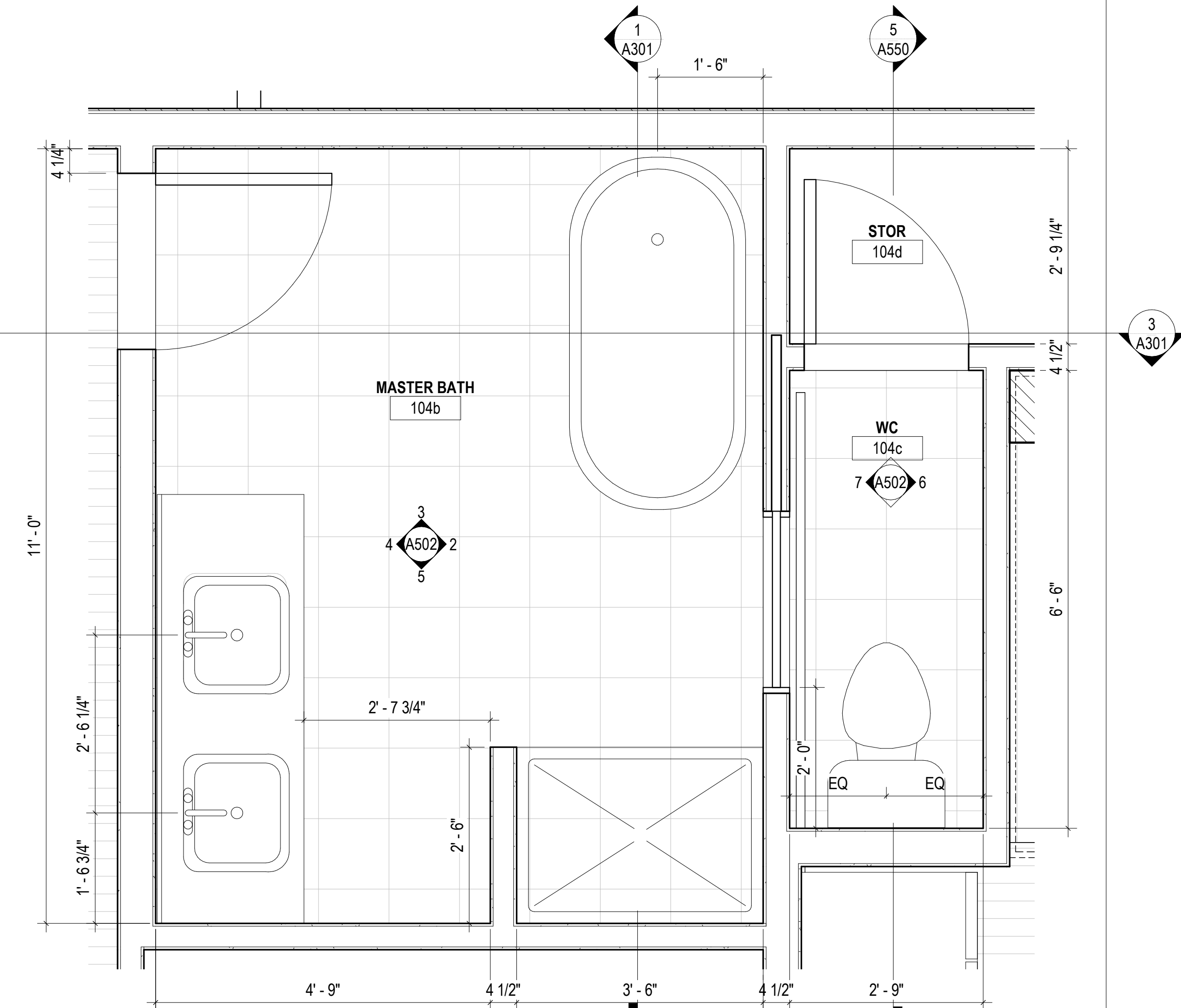
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INT ELEVATION - MASTER BATH
- NORTH
3/4" = 1'-0"



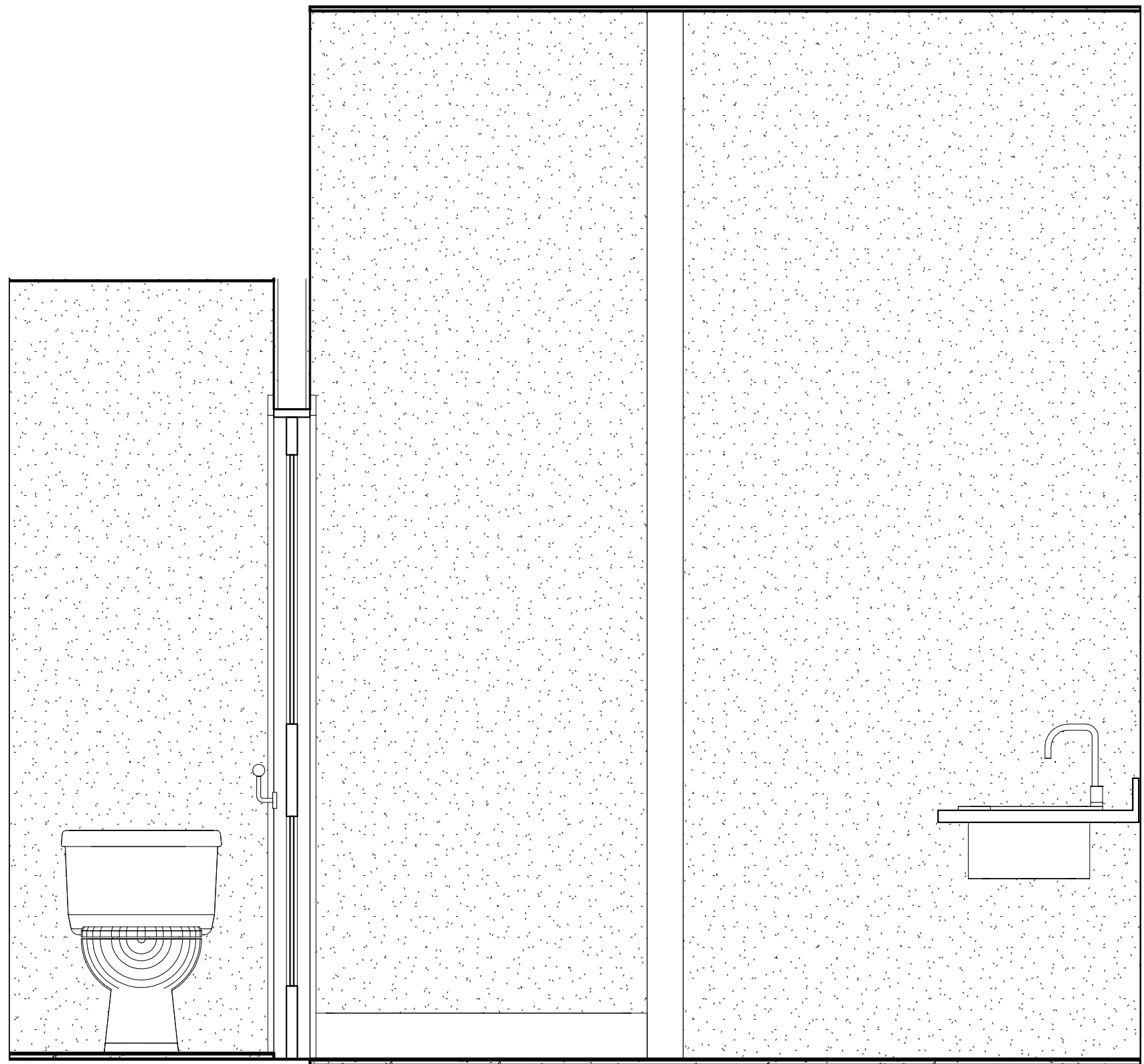
4
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INT ELEVATION - MASTER BATH
- WEST
3/4" = 1'-0"



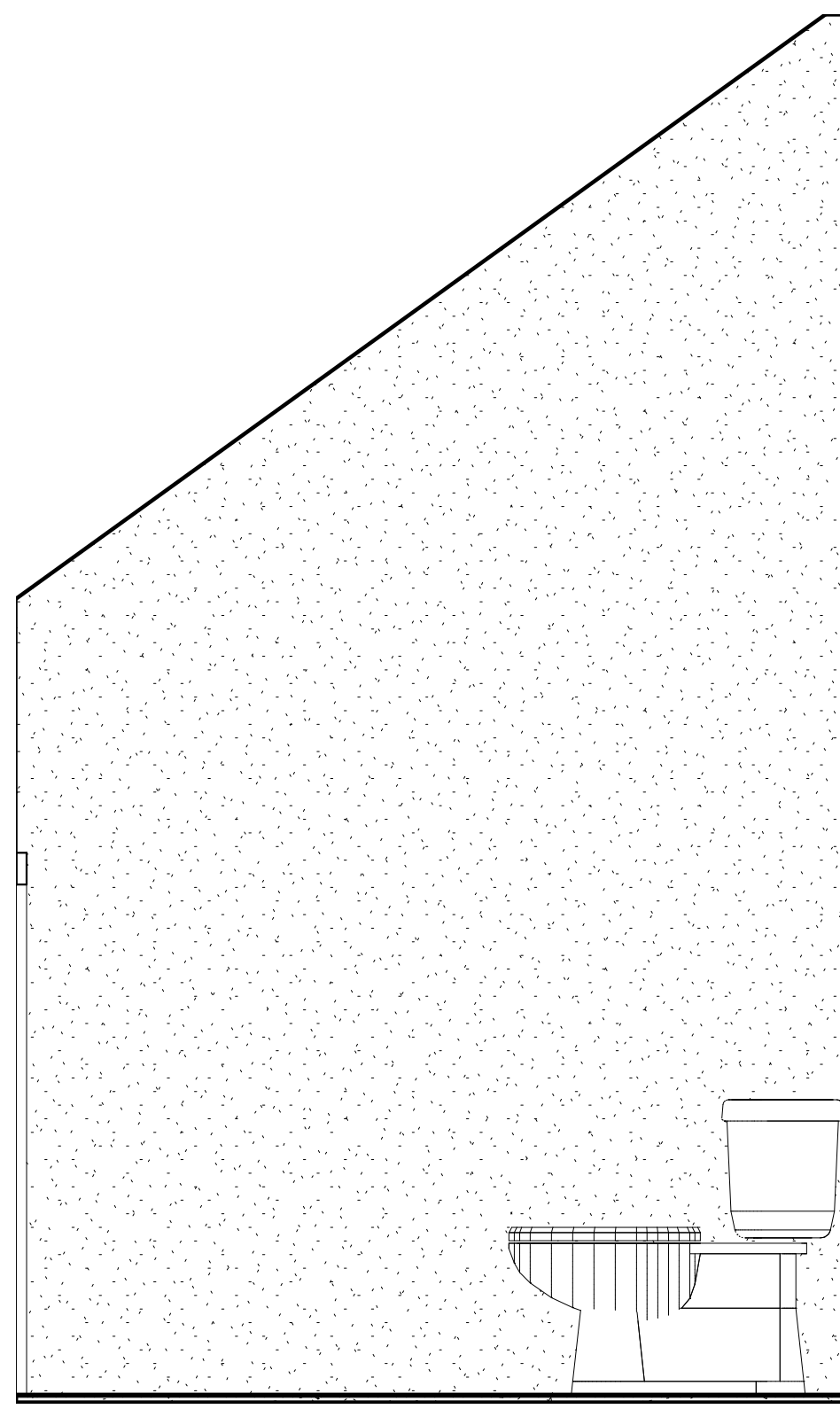
7
A502
INT ELEVATION - WC - WEST
3/4" = 1'-0"



1
A502
LEVEL 1 - ENLARGED MASTER
BATH PLAN
3/4" = 1'-0"



5
A502
INT ELEVATION - MASTER BATH
- SOUTH
3/4" = 1'-0"



6
A502
INT ELEVATION - WC - EAST
3/4" = 1'-0"



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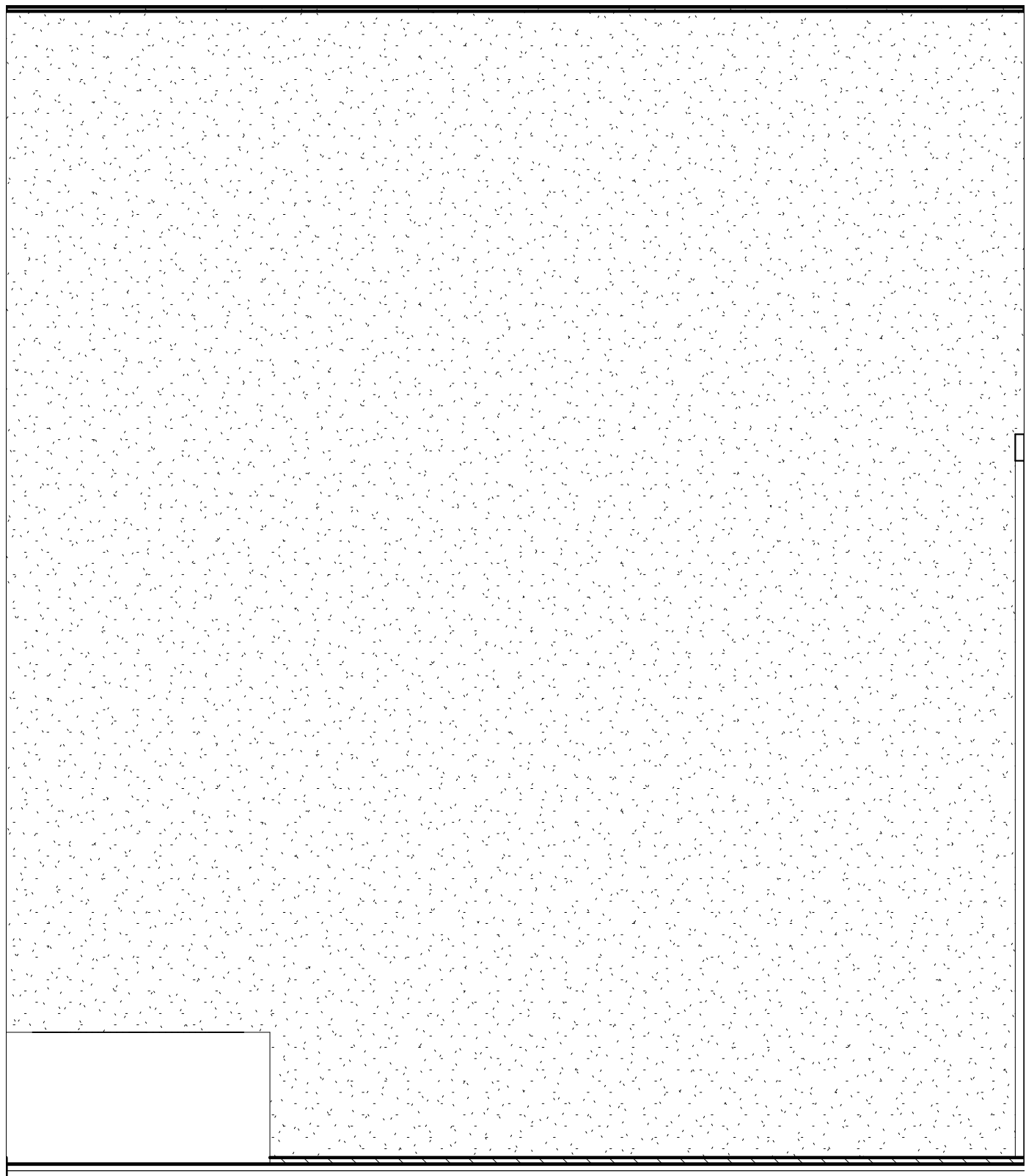
DRAWING
ENLARGED PLAN - MASTER
BATH

DRAWING BY JWA
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JOB No. 520064
DATE 08/01/22

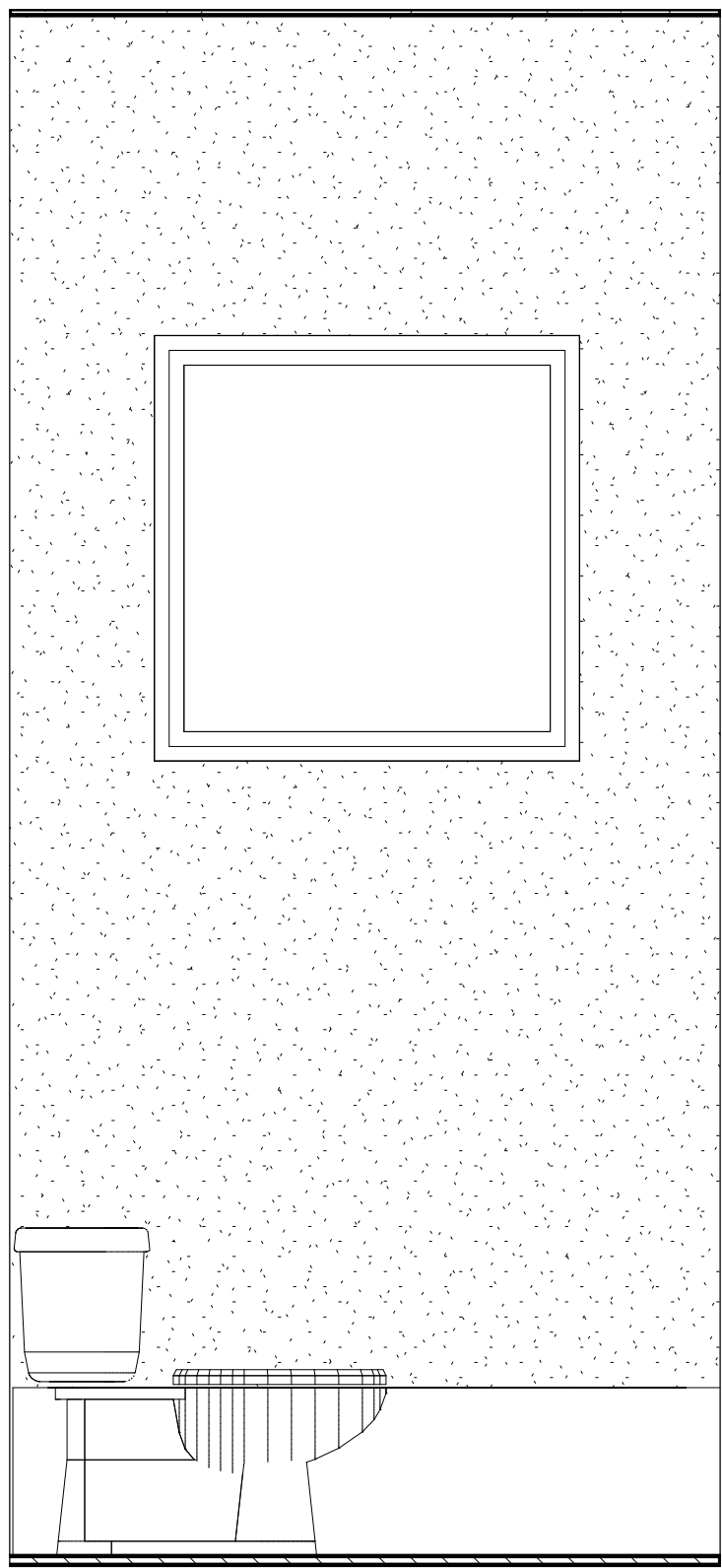
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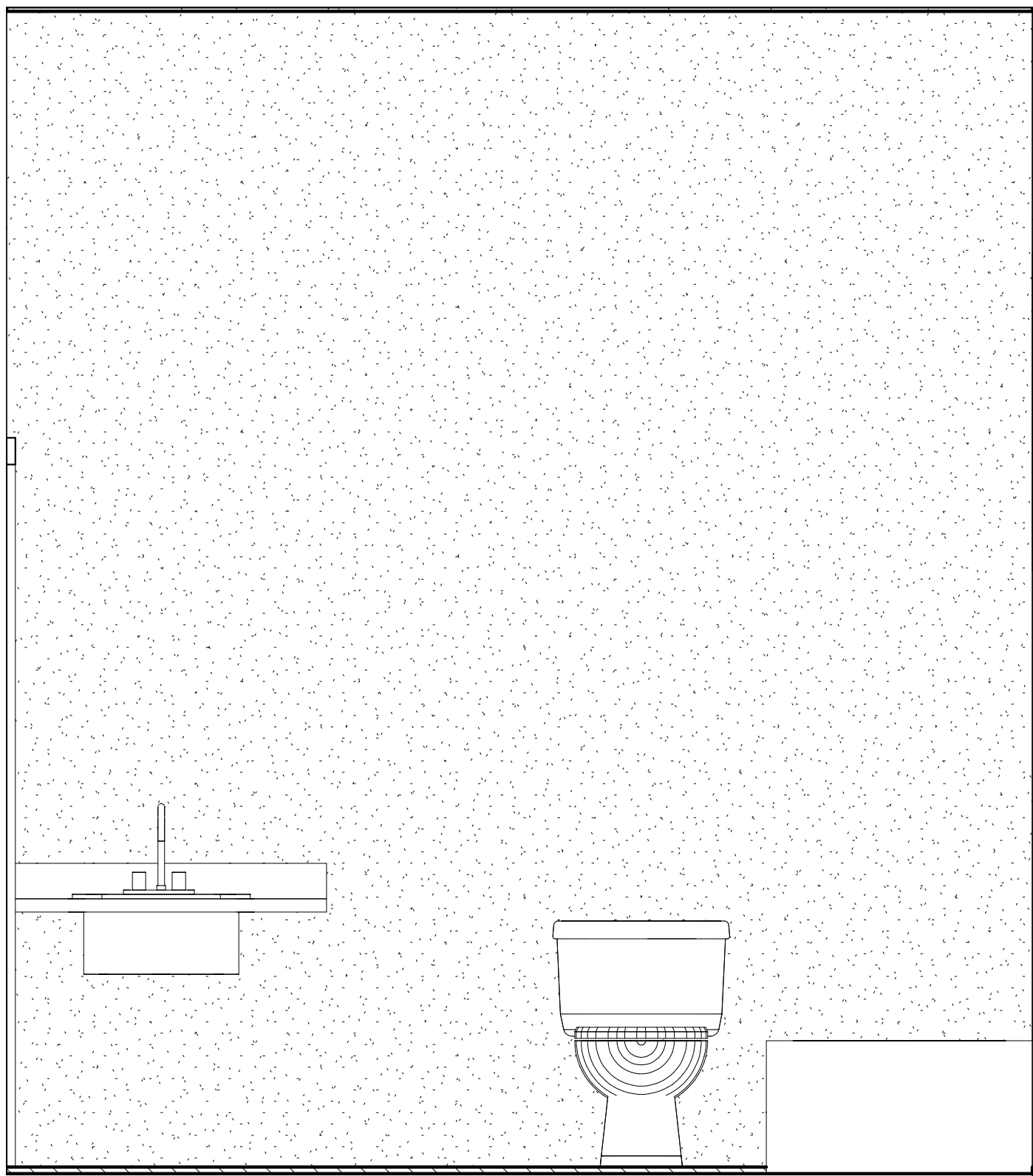
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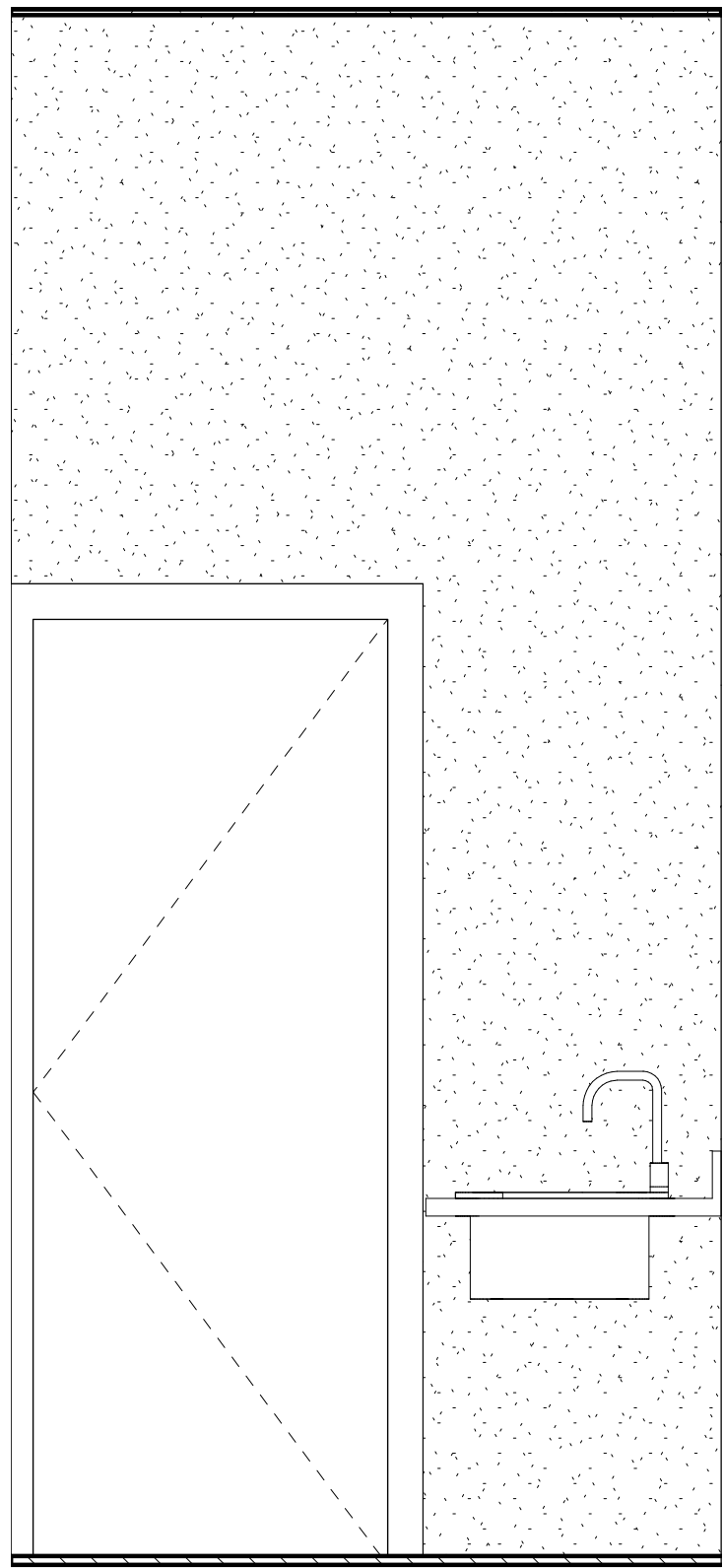
2 INT ELEVATION - BATH 3 - EAST
A503 3/4" = 1'-0"



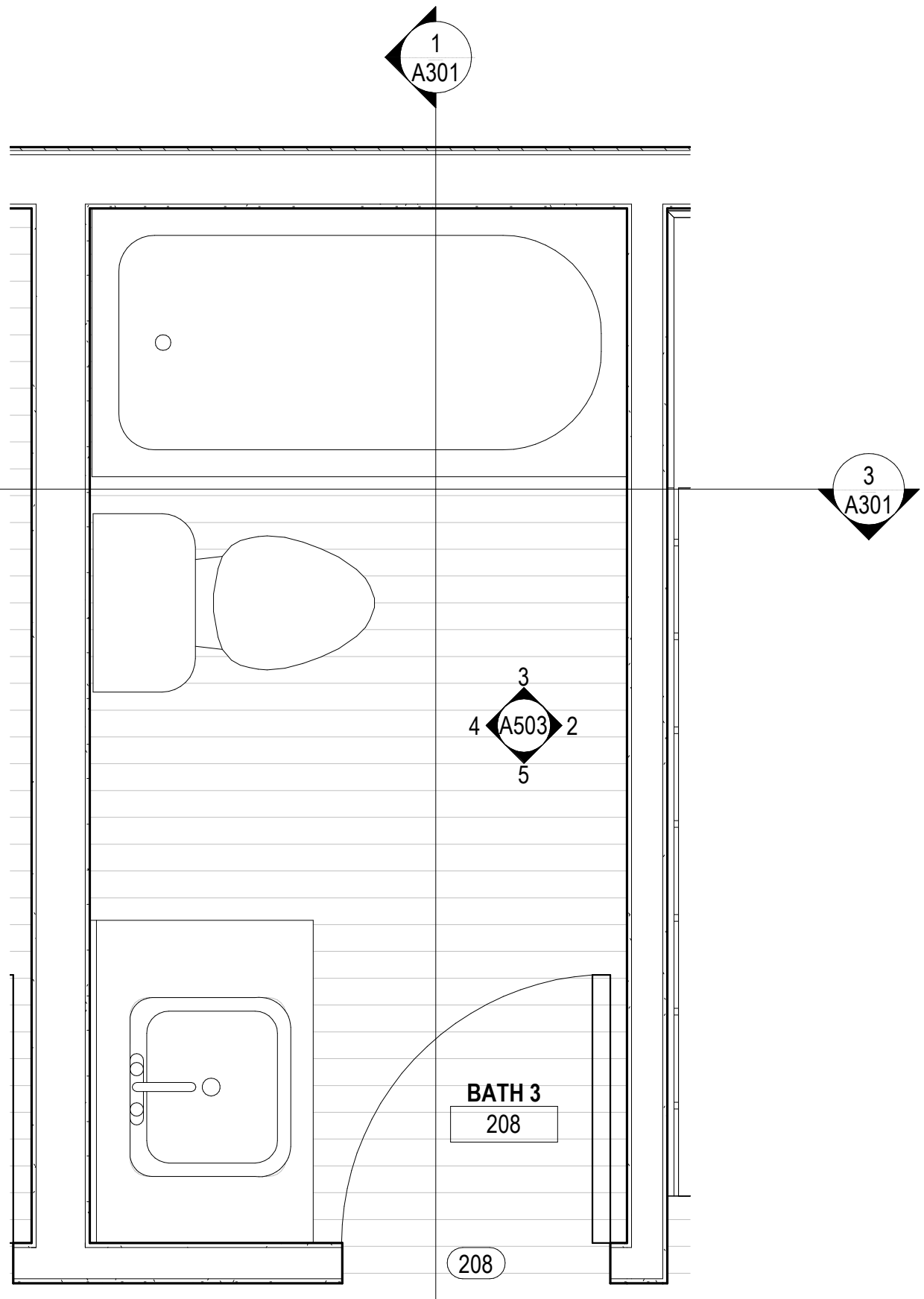
3 INT ELEVATION - BATH 3 - NORTH
A503 3/4" = 1'-0"



4 INT ELEVATION - BATH 3 - WEST
A503 3/4" = 1'-0"



5 INT ELEVATION - BATH 3 - SOUTH
A503 3/4" = 1'-0"



1 LEVEL 2 - ENLARGED PLAN - BATH 3
A503 3/4" = 1'-0"



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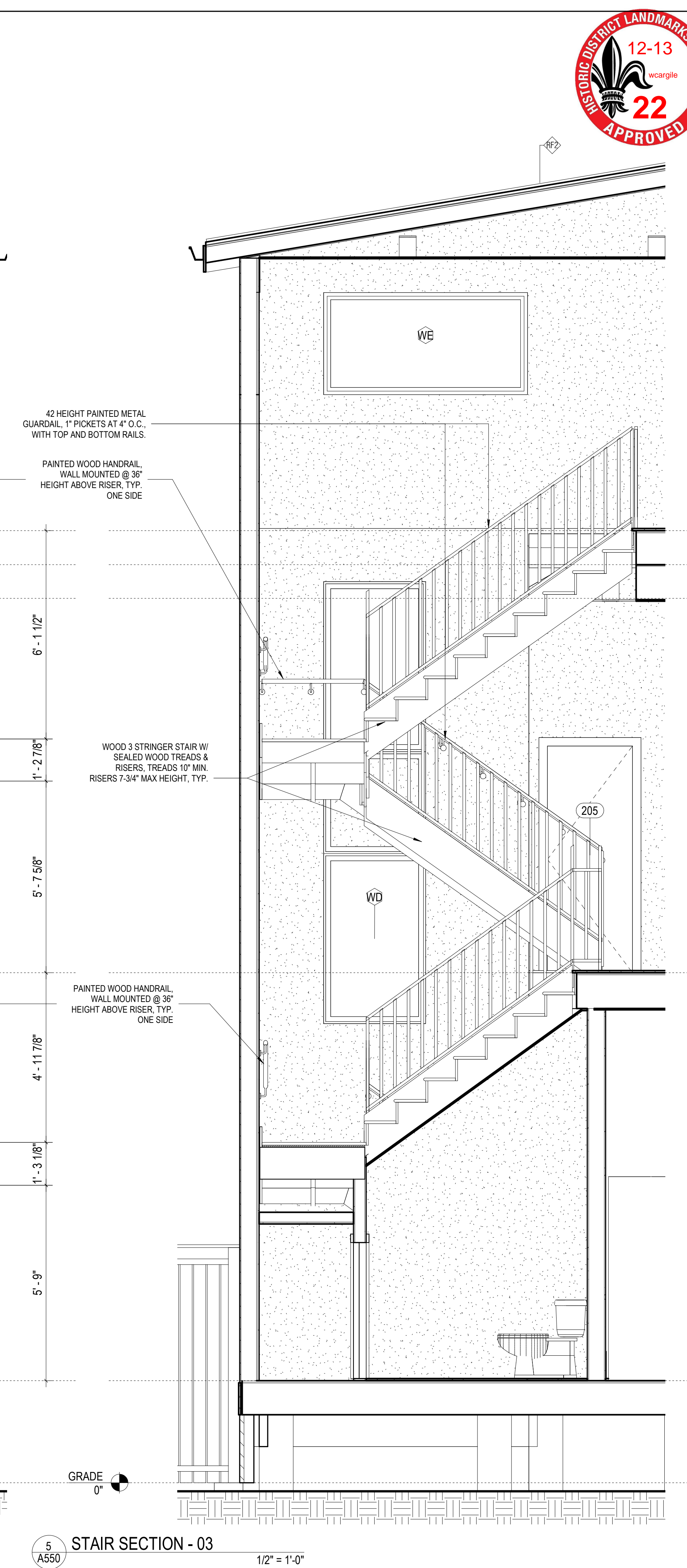
-REVISIONS-		
No.	Date	Scope

DRAWING
ENLARGED PLAN - BATH 3

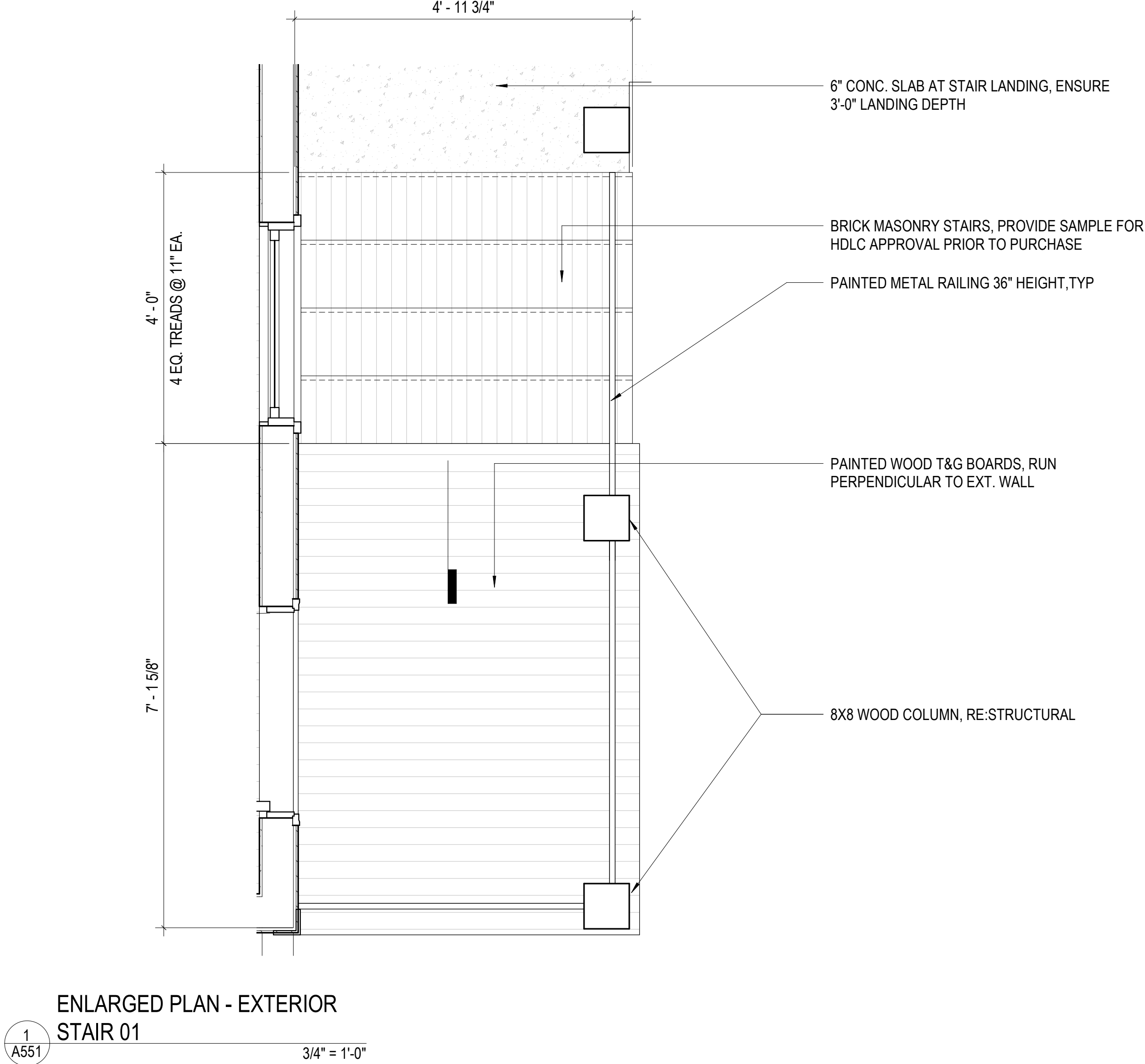
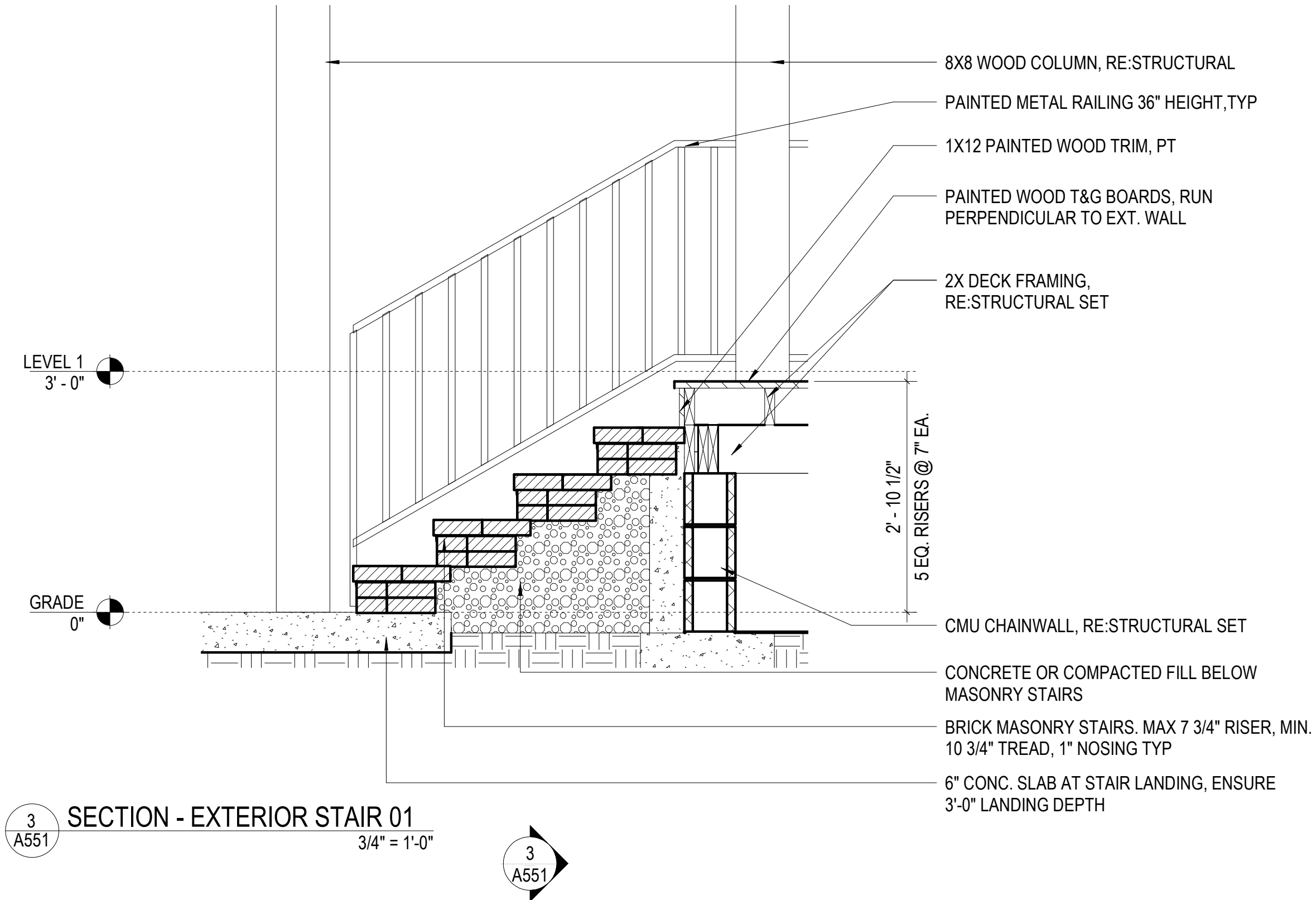
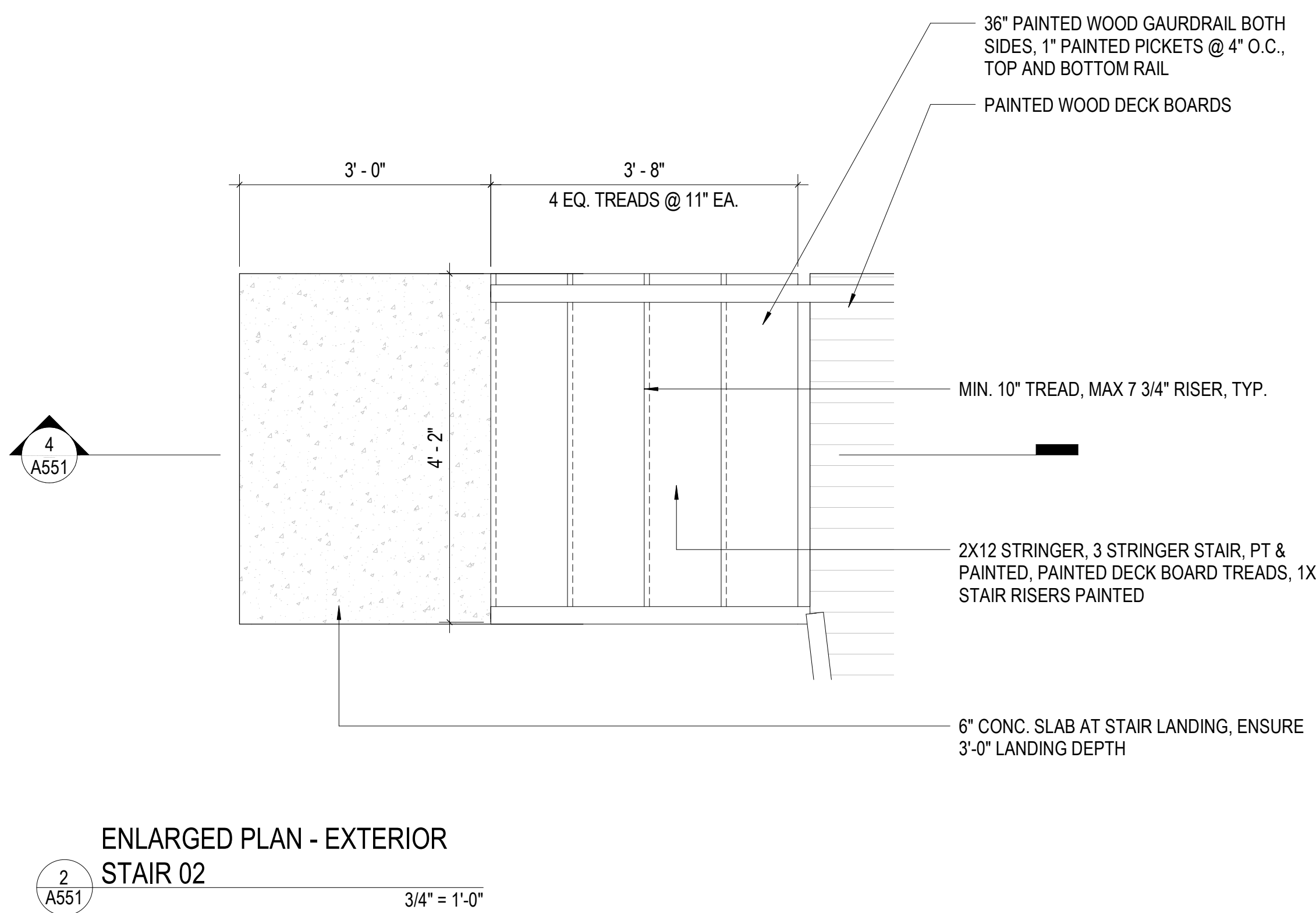
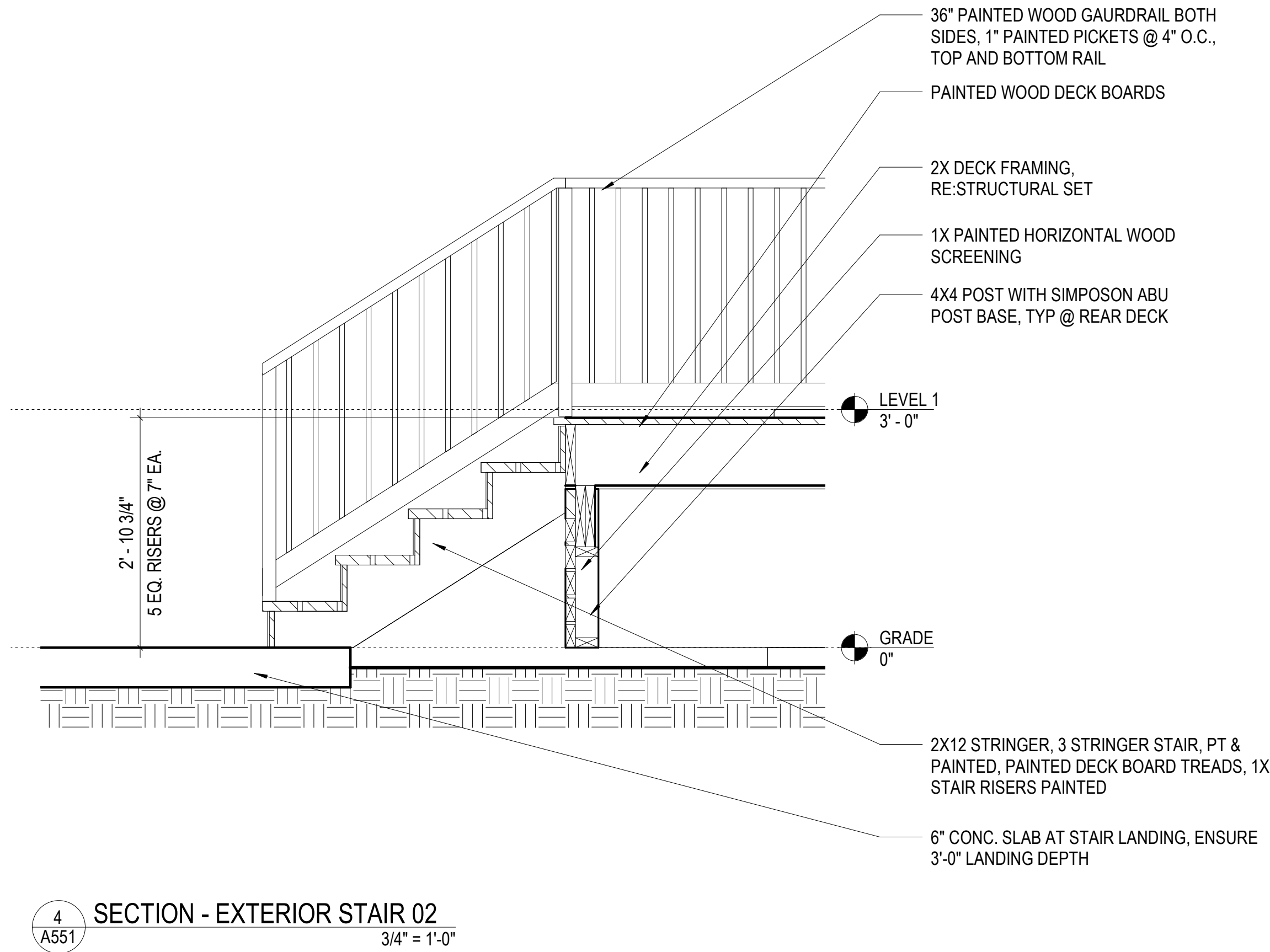
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JOB No. 520064
DATE 08/01/22

Sheet No.

A503



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No.	Date	Scope

DRAWING
STAIR PLANS & DETAILS -
EXTERIOR

DRAWING BY JWA
SCALE 3/4" = 1'-0"
JOB No. 520064
DATE 08/01/22

Sheet No.

A551

All windows and exterior doors to be submitted to HDLC prior to purchase and installation

DOOR SCHEDULE					
NUMBER	ROOM NAME	WIDTH	HEIGHT	DESCRIPTION	NOTES
101	ENTRY	3' - 1 7/16"	8' - 8"	EXTERIOR GRADE MTL CLAD WOOD DOOR WITH SINGLE LITE & TRANSOM	MAIN ENTRY DOOR
102	REAR ENTRY	3' - 1 7/16"	8' - 8"	EXTERIOR GRADE MTL CLAD WOOD DOOR WITH SINGLE LITE & TRANSOM	REAR ENTRY DOOR
103	POWDER	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED	
104	MASTER BEDROOM	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED	
104a	MASTER CLOSET	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED	
104b	MASTER BATHROOM	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED	
104c	WC	2' - 6"	6' - 8"	INTERIOR POCKET DOOR, SLIDING, PAINTED	
105	LAUNDRY	4' - 0"	6' - 8"	DOUBLE FLUSH SOLID OAK WOOD DOORS, PTD.	
202	BEDROOM 3	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED	
202a	CLOSET	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED	
203	BEDROOM 2	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED	
203a	CLOSET	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED	
204	BEDROOM 4	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED	
204a	CLOSET	2' - 4"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED	
205	BEDROOM 5	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED	
205a	CLOSET	2' - 4"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED	
205b	CLOSET	2' - 4"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED	
205c	BALCONY	3' - 1 7/16"	8' - 8"	EXTERIOR GRADE MTL CLAD WOOD DOOR WITH SINGLE LITE & TRANSOM	
206	BATH 4	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED	
207	HVAC	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED	
208	BATH 3	2' - 6"	6' - 8"	INTERIOR SINGLE SWING DOOR, PAINTED	
301	ROOF STAIR	3' - 0"	6' - 8"	EXTERIOR GRADE MTL CLAD WOOD DOOR WITH SINGLE LITE	
302	ROOF STORAGE	5' - 0"	6' - 8"	EXTERIOR GRADE MTL CLAD PAIR OF DOORS	
303	STORAGE	2' - 4"	4' - 0"	INTERIOR SINGLE SWING DOOR, PAINTED	

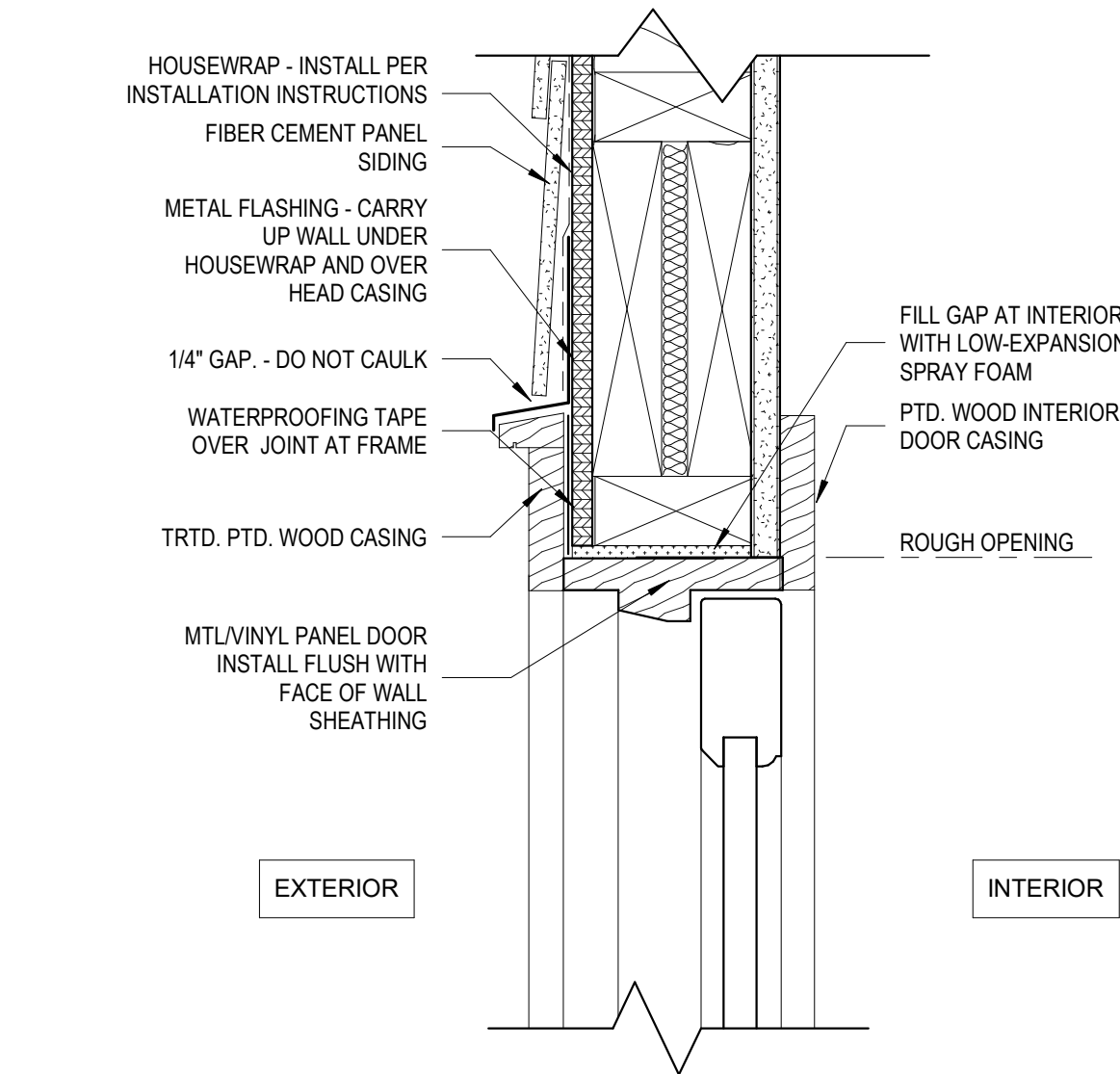
DOOR NOTES

1.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY RESCUE OPENING &SHALL MEET ALL ADDITIONAL REQUIREMENTS OFSECTION R310 "EMERGENCY ESCAPE AND RESCUE OPENINGS" IRC 2015.
2.
- INTERIOR DOORS SHALL BE PAINTED WOOD; PRE-HUNG WITH HINGES AND INTERIOR WOOD CASINGS.
3.
- IN ALL GLAZED DOORS, PROVIDE SAFETY GLAZING PER IRC R308.
4.
- UNDERCUT ALL INTERIOR DOORS 1" FROM TOP SUBFLOOR.
5.
- DOORS TO HAVE DOOR STOPS WHERE APPROPRIATE. COORDINATE WITH OWNER REGARDING TYPE AND LOCATIONS.
6.
- ALL INTERIOR DOOR FACES AND EDGES TO BE SANDED SMOOTH.

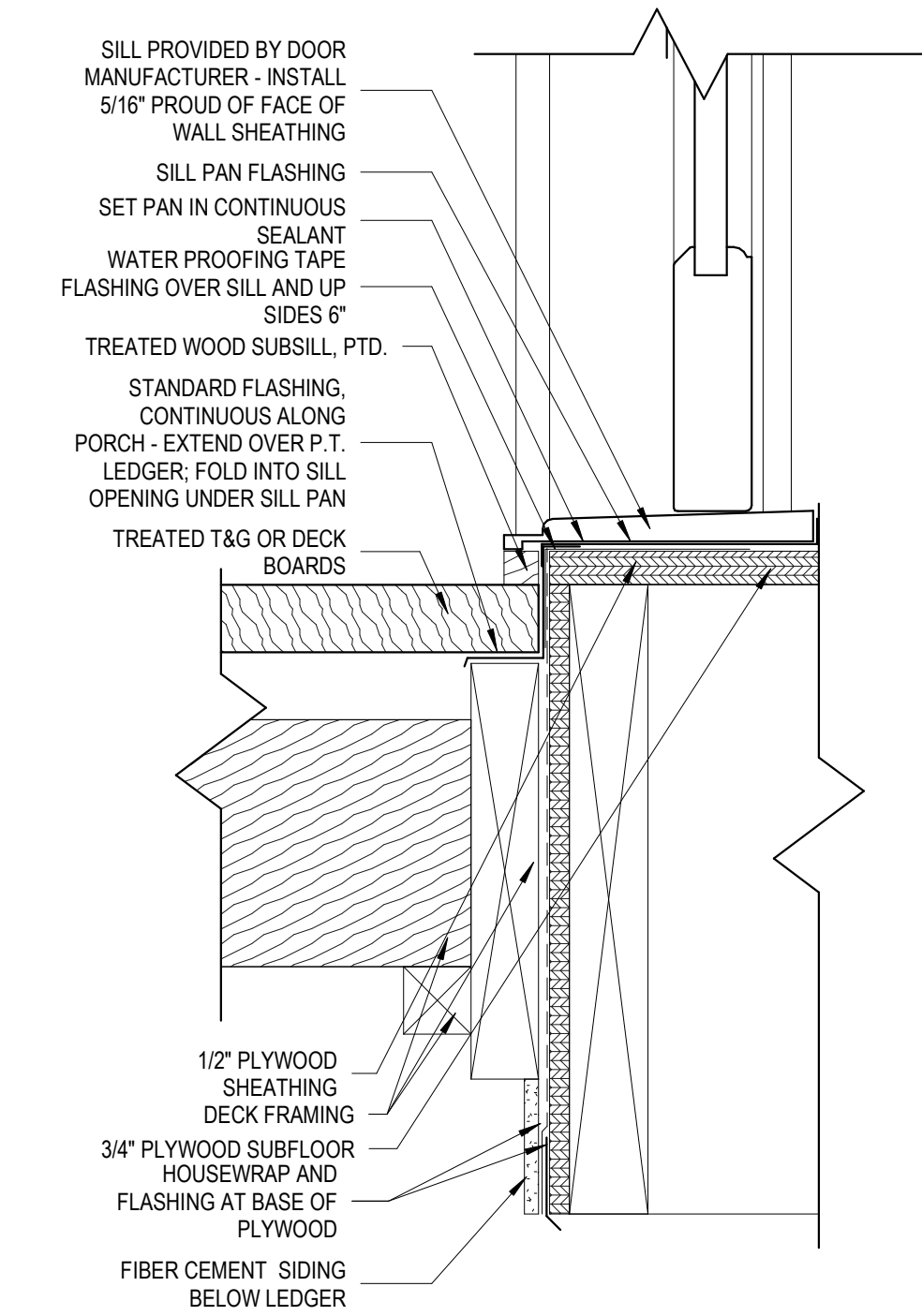
WINDOW NOTES

WINDOW SCHEDULE								
MARK	MODEL #	MODEL NAME	OPERATION	COLOR	Width	Height	R.O. HEAD HEIGHT	COMMENTS
WA	TBD	NEW METAL CLAD DOUBLE HUNG WINDOW 1 OVER 1	DBL HUNG	WHITE	3' - 0"	6' - 0"	8' - 8"	
WC	TBD	FIXED METAL CLAD WINDOW	FIXED	WHITE	3' - 0"	3' - 0"		
WD	TBD	FIXED VERTICAL METAL CLAD WINDOW ASSEMBLY	FIXED	WHITE	3' - 0"	5' - 0"		AT STAIRWELL
WE	TBD	FIXED METAL CLAD WINDOW	FIXED	WHITE	6' - 0"	3' - 0"		

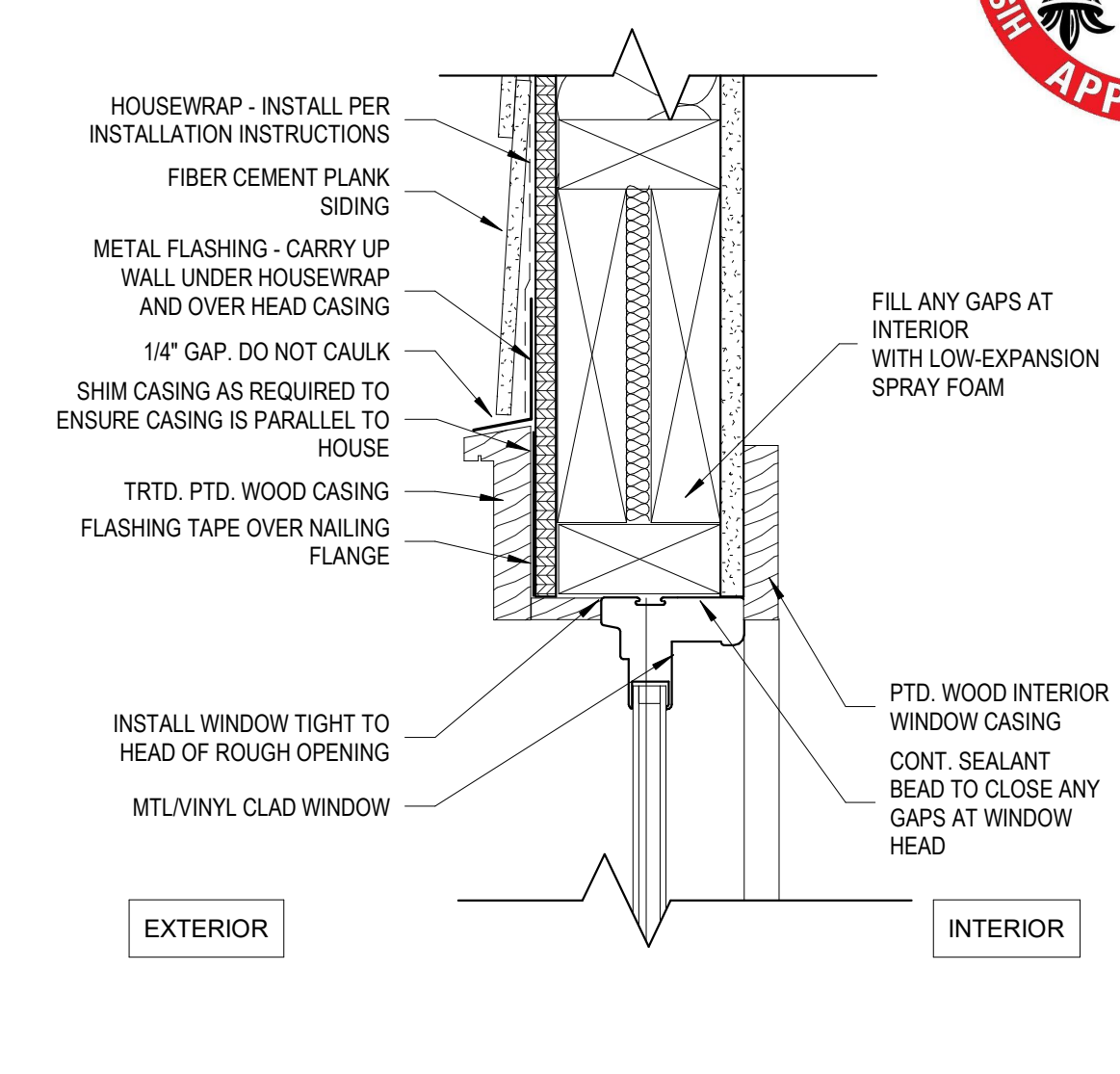
1.
- WINDOWS ARE TO BE ENERGY STAR, U-FACTOR 0.60 (MAX), SHGC 0.27 (MAX) (UNLESS OTHERWISE NOTED)
2.
- HURRICANE PROTECTION SHALL MEET THE MISSILE TEST PER SECTION R301.2.1.2, IRC 2015 AND FBC REQUIREMENTS - CERTIFICATE NO. 08-0313.01
3.
- ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA AND BUILDING SHALL MEET ALL ADDITIONAL REQUIREMENTS OF SECTION R303 "LIGHT VENTILATION AND HEATING" IRC 2015.
4.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EGRESS OPENING AND SHALL MEET ALL ADDITIONAL EGRESS REQUIREMENTS OF SECTION R310 "EMERGENCY ESCAPE AND RESCUE OPENINGS" IRC 2015.



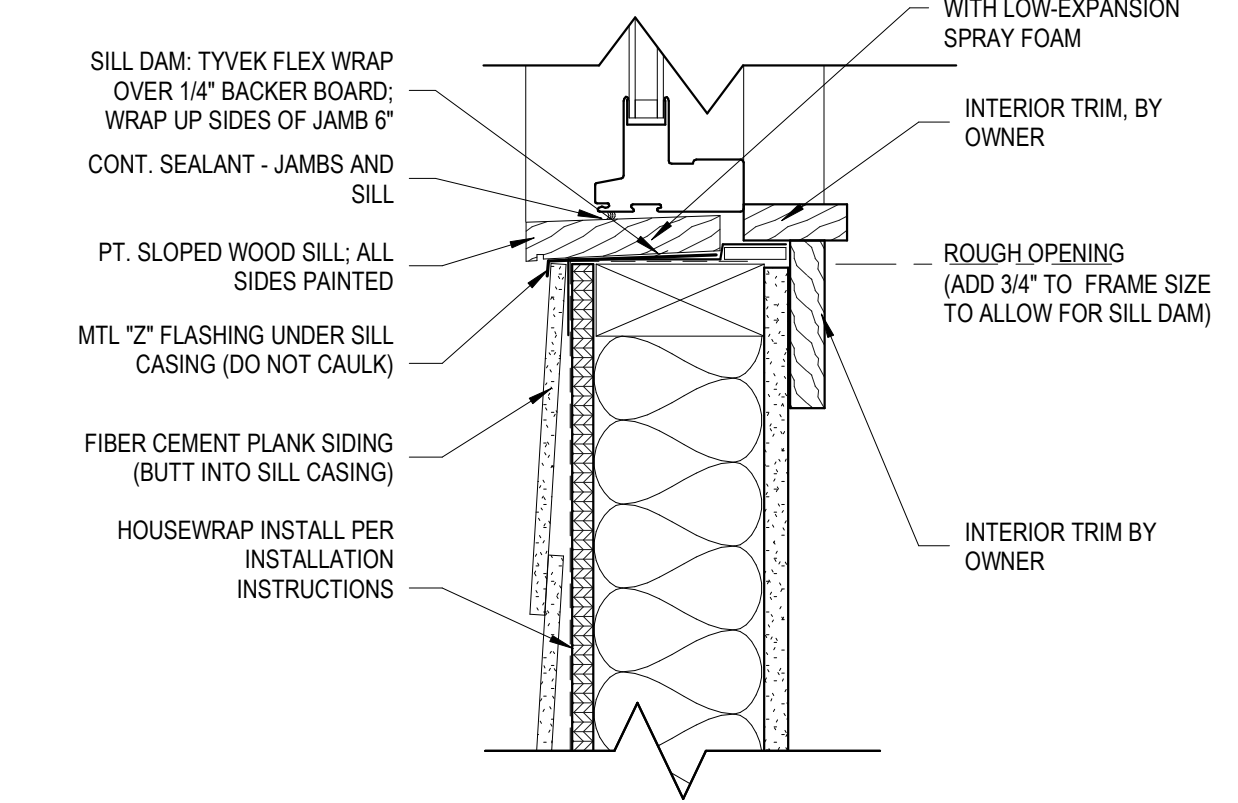
1
A801
DOOR HEAD DETAIL - LAP SIDING
3" = 1'-0"



3
A801
DOOR SILL DETAIL - LAP SIDING
3" = 1'-0"



2
A801
WINDOW HEAD - LAP SIDING
3" = 1'-0"



4
A801
WINDOW SILL - LAP SIDING
3" = 1'-0"



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Architect



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DRAWING
DOOR & WINDOW
SCHEDULE

DRAWING BY JWA
SCALE 3" = 1'-0"
JOB No. 520064
DATE 08/01/22

Sheet No.

A801