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PROJECT INFORMATION

. **LOCATION:** 323 Octavis Street New Orleans, LA 70115

II. PROJECT DESCRIPTION:

787 SF Second Story Addition to an existing 2 Story Building. Existing Use: Offices. Proposed Use: Offices.

III. ZONING: HU-MU

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IV. SQUARE FOOTAGE:

Existing First Floor: Reginelli's: 1,631.7 SF
Restaurant Space: 1,258.8 SF
Existing Second Floor: Residential (3 Units): 2,074.3 SF
Balcony & Stair: 393.7 SF
Second Floor Addition: Offices: 787.3 SF
New Balcony & Stair: 299.7 SF

V. APPLICABLE CODES:

A. N.O.B.C. / IBC-2015

1. Occupancy Group: Group "B" (Business); Group "A-2" (Assembly);

Group "R-2" (Residential)
2. Occupancy Load: Business: 25; Assembly: 22; Residential: 11.

B. NFPA 101-2015

Occupancy Type: Business; Assembly<300; Apartment Building
 Occupancy Load: Business: 25; Assembly: 27; Residential: 11.

C. 2010 ADAAG

D. 2015 INTERNATIONAL PLUMBING CODE

E. 2015 INTERNATIONAL MECHANICAL CODE

F. 2015 INTERNATIONAL FUEL & GAS CODE

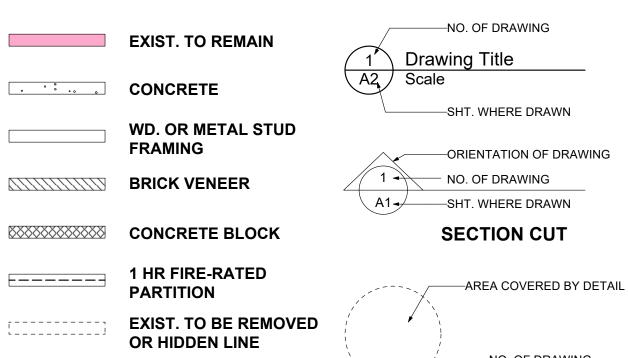
G. 2014 NATIONAL ELECTRICAL CODE

VI. AUTOMATIC SPRINKLER SYSTEM: NO

VII. FIRE ALARM SYSTEM: Not Required

SYMBOLS

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CENTER LINE

PROPERTY LINE

DIMENSION LINE

EXIST. ELECTRICAL OUTLET

NEW DUPLEX OUTLET

GROUND FAULT CIRCUIT

WATERPROOF DUPLEX

1) = NEW DOOR NUMBER

101 = ROOM NUMBER

W-1 = WINDOW TYPE

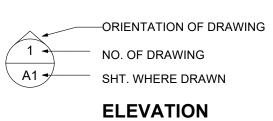
INTERRUPT

QUAD OUTLET

DUPLEX FLOOR

(E) = EXIST. DOOR TO REMAIN





RE: 5/A5 = REFER TO TO DRAWING NO. 5 ON SHT. A5

D1 = DEMOLITION KEY NOTE

SD = SMOKE DETECTOR

\$ WALL SWITCH

three way wall switch

e DM WALL SWITCH - DIMMER



HOSE BIBB

INSIDE FACE

INSULATION

MATCH EXISTING MANUFACTURER

INTERIOR

MATERIAL

INSIDE FACE OF STUD

	AID CONDITIONING	M.C.	MEDICINE CABINET
	AIR CONDITIONING	M.O.	MASONRY OPENING
	ABOVE FINISH FLOOR	MTL.	METAL
LUM.	ALUMINUM	MLD.	MOULDING
D	AT	N.I.C.	NOT IN CONTRACT
BD.	BOARD		
BET.	BETWEEN	OPG.	OPENING
BLK'G.	BLOCKING	NO.	NUMBER
ВОТ.	BOTTOM	O.C.	ON CENTER
3.L.	BRICK LEDGE	O.D.	OUTSIDE DIAMETER
3.V.	BRICK VENEER	O.F.	OUTSIDE FACE
BLDG.	BUILDING	O.F.S.	OUTSIDE FACE OF STUD
C.T.	CERAMIC TILE	PNL.	PANEL
CLG.	CEILING	PLYWD.	PLYWOOD
).J.	CEILING CEILING JOIST	PCF	POUNDS PER CUBIC FOOT
		PSI	POUNDS PER SQUARE INCH
OL.	COLUMN	RE:	REFER TO
ONC.	CONCRETE	REF.	REFRIGERATOR
ONT.	CONTINUOUS	R/A	RETURN AIR
MU	CONCRETE MASONRY UNIT	RM.	ROOM
ET.	DETAIL	R.O.	ROUGH OPENING
BL.	DOUBLE	R	RISER
N.	DOWN	SHT.	SHEET
RWG.	DRAWING	SIM.	SIMILAR
)W	DISHWASHER	S.O.H.	SIMILAR OPPOSITE HAND
)	DRYER		SINK
Α.	EACH	S	
.I.F.S.	EXTERIOR INSULATION AND	S.C.	SOLID CORE
	FINISH SYSTEM	SPECS.	
LEC.	ELECTRICAL	S.S.	STAINLESS STEEL
LEV.	ELEVATION(BUILDING)	STL.	STEEL
L.	ELEVATION(GRADE)		STRUCTURE/STRUCTURAL
Q.	EQUAL	T.S.	THIN SET
XIST.	EXISTING	T & G	TONGUE & GROOVE
XIST.	EXTERIOR	T.O.S.	TOP OF SLAB
IN.	FINISH	Т	TREAD
LR.	FLOOR	TRTD.	TREATED
		TYP.	TYPICAL
.J.	FLOOR JOIST	U.O.N.	UNLESS OTHERWISE NOTED
.V.	FIELD VERIFY	VERT.	VERTICAL
R.	FREEZER	V.C.T.	VINYL COMPOSITION TILE
TG.	FOOTING	W	WASHER
SA.	GAUGE	W.C.	WATER CLOSET
BALV.	GALVANIZED	WH	WATER GEOGET WATER HEATER
SALVM.	GALVALUME	WP	WATERPROOF
SR.	GRADE		WATERPROOF
SYP.BD.	GYPSUM BOARD	w/	
łT.	HEIGHT	WD.	WOOD.
IORIZ.	HORIZONTAL		
I D	HOSE BIDD		

These plans and specifications have been prepared by me, or under my direct supervision. To the best of my knowledge the requirements of the applicable building codes have been met.



				4/4/2022 Release for Permits		Issue Notes
				4/4/2022		Date
				⋖		No.
Date 4/4/2022	Revision	Project ID 21-27	Drawing Code T1.0 [Cover Sheet-1]	CAD File Name 21-27_Prelim.vwx	Plot Date	4/4/2022
Designed By	Drawn By GNK	Checked By GNK	Reviewed By GNK	Submitted By	Project Manager	GNK
Y N. KRASNOW	HITECT, LLC	NEW ORLEANS, LA 70125		FAX: 866-859-6774	grikaron@att.net	

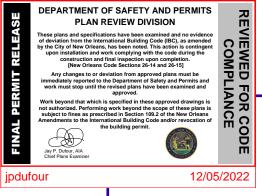
ADDITION TO:
REGINELLI'S OFFIC
323 OCTAVIA ST
EW ORLEANS, LA

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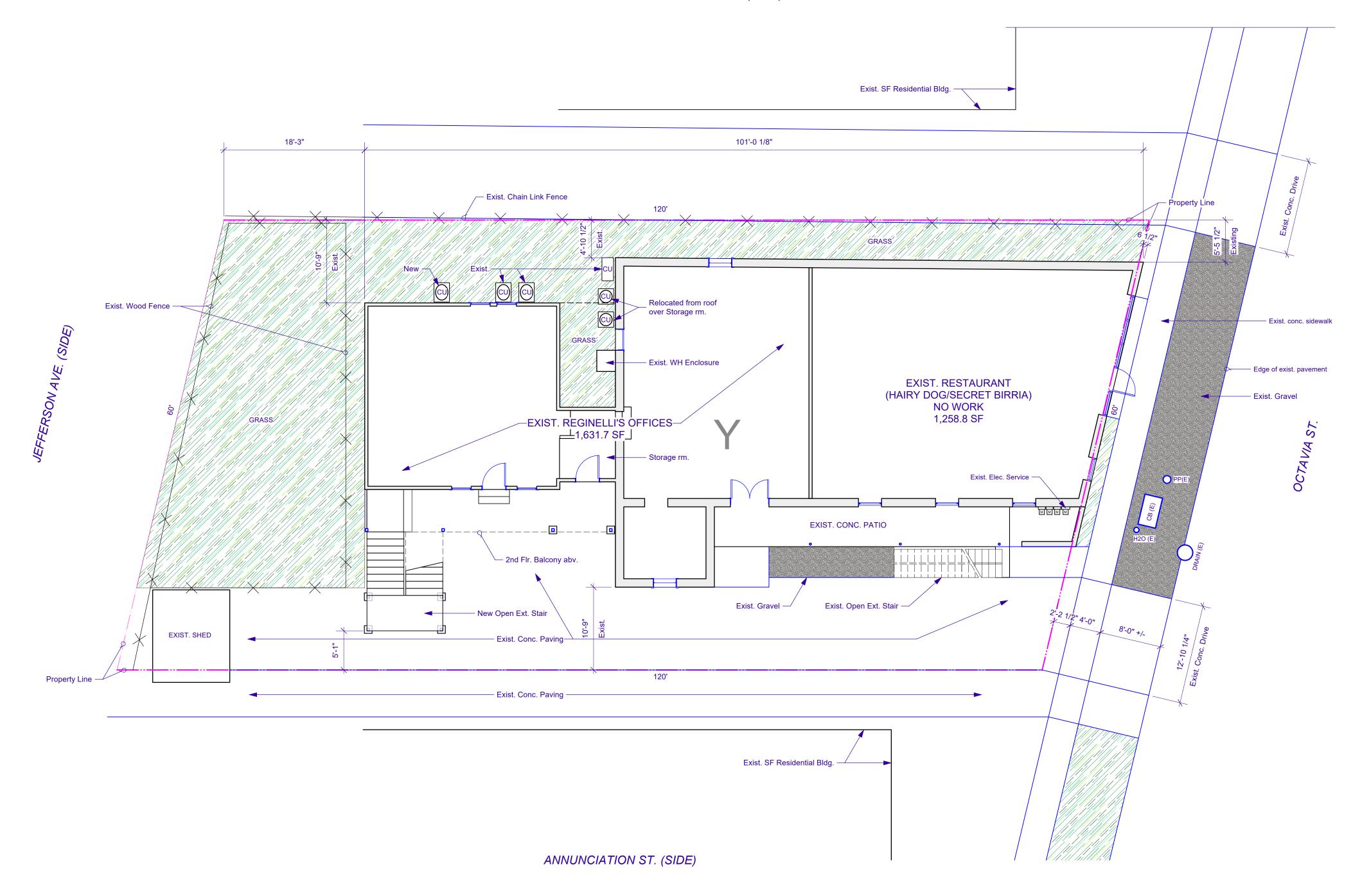
AS NOTED

T1.0

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TCHOUPITOULAS ST. (SIDE)







LOT 'Y' SQUARE NO. 129, RICKERVILLE SIXTH DISTRICT NEW ORLEANS, LA **ORLEANS PARISH**

ZONED: MU-MU

LEGEND

Indicates slope in the finish grade of new paving.

Indicates the top of the new paving or sidewalk

M.E. Match existing grade elevation.

00.00 (E) Existing grade elevation.

D.I.: Drop Inlet (24" x 24" Frame & Grate)

DMH: Drain Manhole CB: Catch Basin

F.H.: Fire Hydrant P.P.: Power Pole

L.P.: Light Pole **SMH:** Sewer Manhole

GR: Grass/Planting Area

(E): Following/preceeding other designations indicates that item is

SITE PLAN NOTES

- 1. ALL conditions shown on the Site Plan are existing to remain, u.o.n.
- 2. All dirveways shown on the plan(s) are existing.
- 3. All paving shown on the plan(s) is existing, unless otherwise noted.



PERMEABLE OPEN SPACE: 2,008 SF / 28.7%

IMPERVIOUS AREA: 4,997 SF

OFF-STREET PARKING

EXISTING: 1 NEW: 0

NOTE

1. NOCZO, Article 22.5, Par. A, 6: The first five-thousand (5,000) square feet in gross floor area for commercial uses in the HU-B1, HU-MU and MU-1 Districts are exempt from the vehicle parking requirements of Table 22-1.

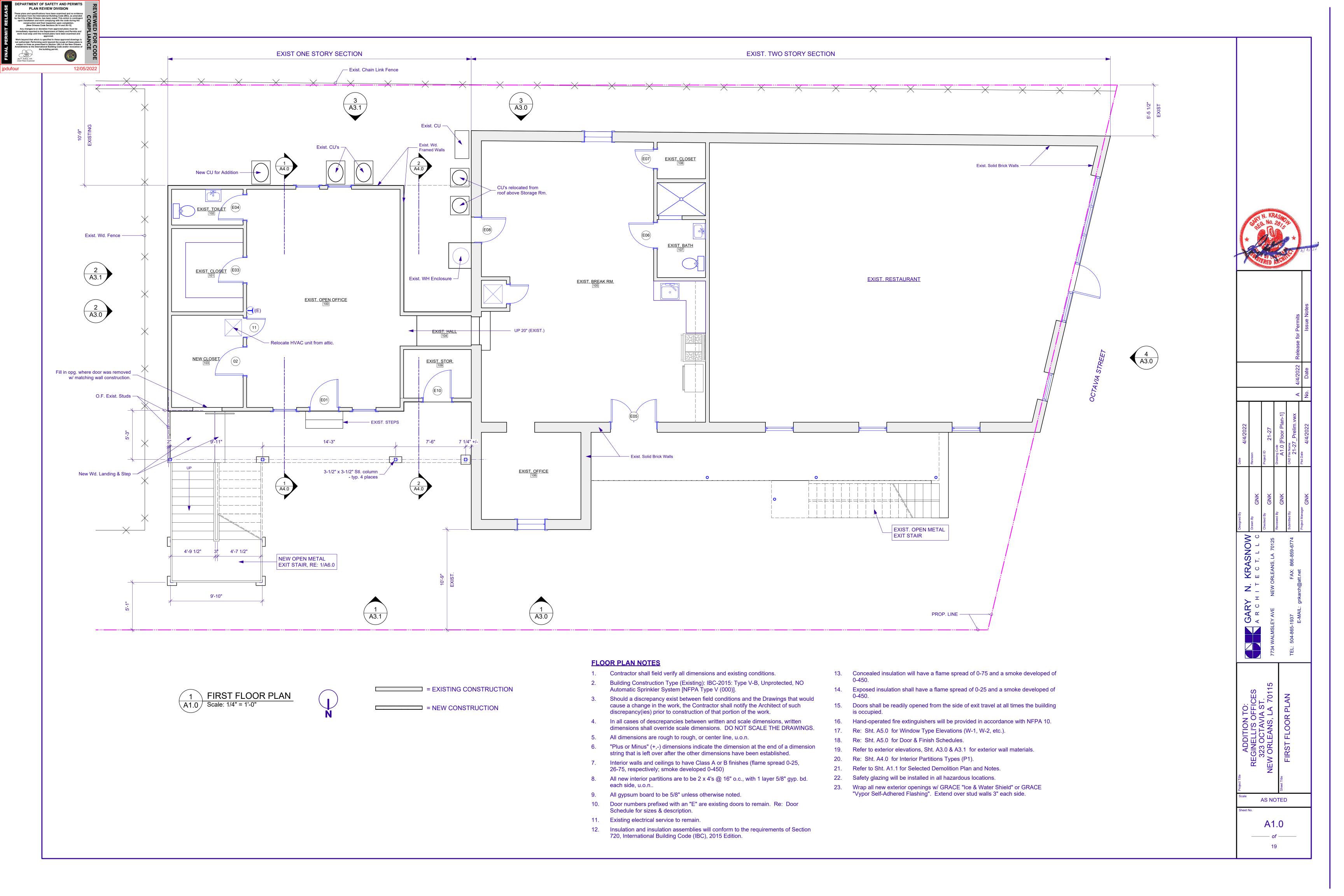


>	Designed by	Jate 4/4/2022		
> 0	Drawn By GNK	Revision		
ĸ	Checked By GNK	Project ID 21-27		
)	Reviewed By GNK	Drawing Code C1.0 [Site Plan (General)]		
4	Submitted By	CAD File Name 21-27_Prelim.vwx	٥	4/4/
	Project Manager	Plot Date	: [
	GNK	4/4/2022	No.	

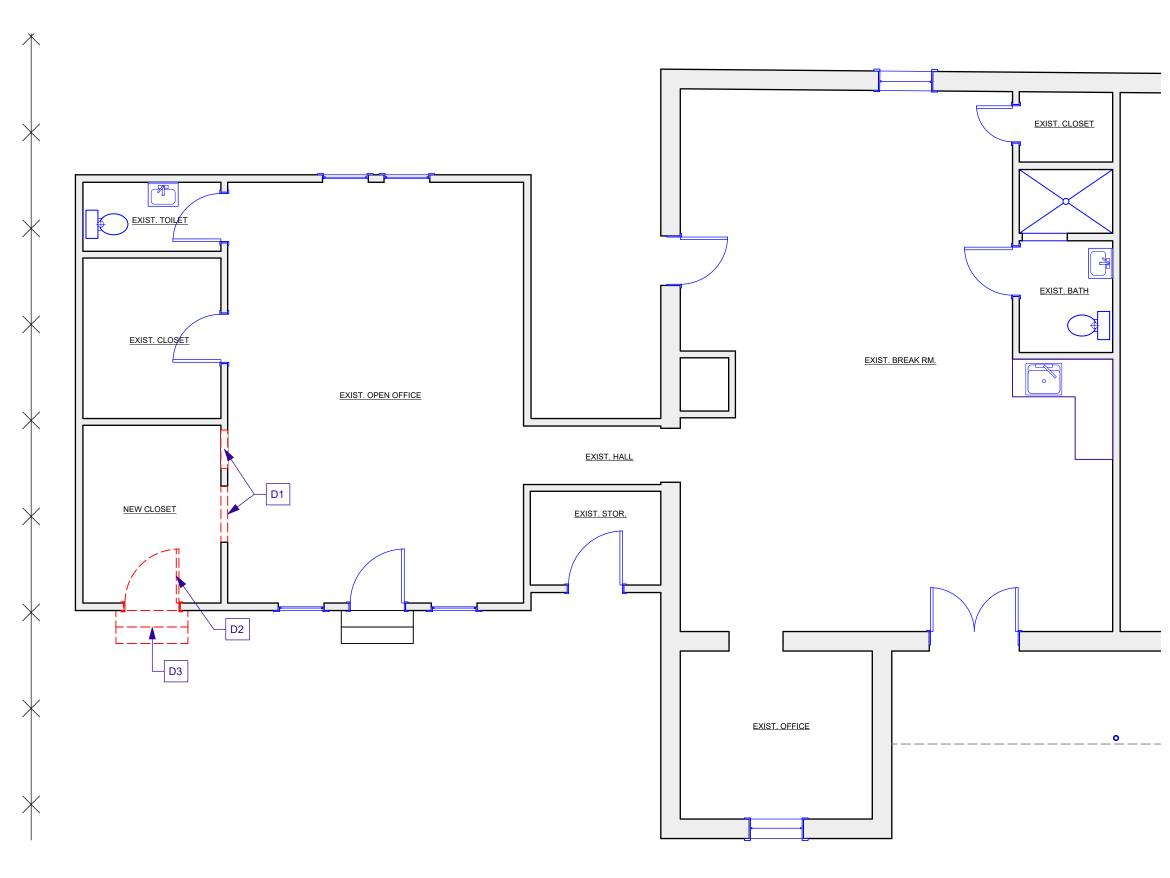


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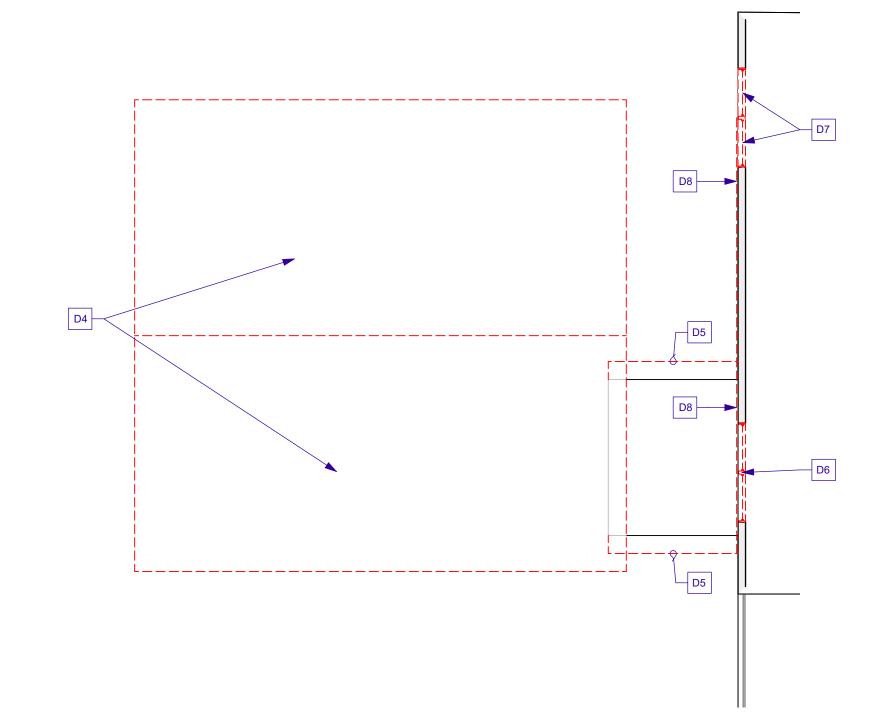


GENERAL DEMOLITION NOTES

- 1. It is the intent of these demolition notes to remove all the existing construction as indicated on the drawings which conflict with the intent of the new construction.
- 2. Conduct demolition operations and remove debris to ensure minimal interference with roads, streets, walks and other adjacent occupied and used facilities. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas. Promptly dispose of all demolished materials. Do not allow demolished materials to accumulate on site. Legally transport and dispose of all demolished materials.
- 3. Contractor shall coordinate all demolition work, whether indicated on the drawings or not, with new construction.
- 4. Demolition Constructor to survey the condition of the building to determine whether removing any element might result in a structural deficiency or unplanned collapse of any portion of the structure or adjacent structures during selective demolition. Do not demolish any load bearing walls or construction that will compromise the structural integrity of the structure. Notify the Architect of any structural issues arising from demolition.
- 5. Contractor shall notify the Architect of any existing conditions that are exposed during construction that may affect or interfere with any new work.
- 6. Demolish and remove components in an orderly and careful manner.
- 7. Existing utilities are to remain in service during selective demolition.
- Demolition of electrical deivices, wiring, conduit, etc. to be performed by an electrican licensed in the state of Louisiana.
- Removal of plumbing fixtures, supply and drain lines to be performed by a plumber licensed in the state of Louisiana.
- 10. Protect existing items which are not indicated to be
- 11. Protect existing supporting structural elements and adjacent area not scheduled for work.
- 12. Erect and maintain weatherproof airtight closures for exterior openings.
- 13. Thoroughly clean building upon completion of selective demoition.
- 14. Total scope of demolition may not be covered on this sheet. Review all sheets in the Construction Documents to determine total scope of demolition.

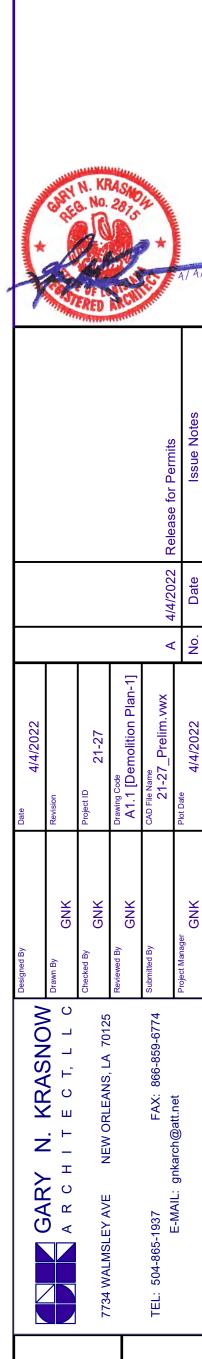
KEY DEMOLITION NOTES

- D1 Remove portion of wall as required to install new door, re: Door Schedule for size of door opg.
- D2 Remove existing door and frame and fill in opening with construction to match surrounding wall.
- D3 Remove existing steps.
- D4 Remove roof and roof structure from 1-story section.
- D5 Remove roof overhang.
- D6 Remove existing window and patch wall.
- D7 Remove existing double window and replace with single window to match existing.
- D8 Remove existing siding this wall as required to construct addition.



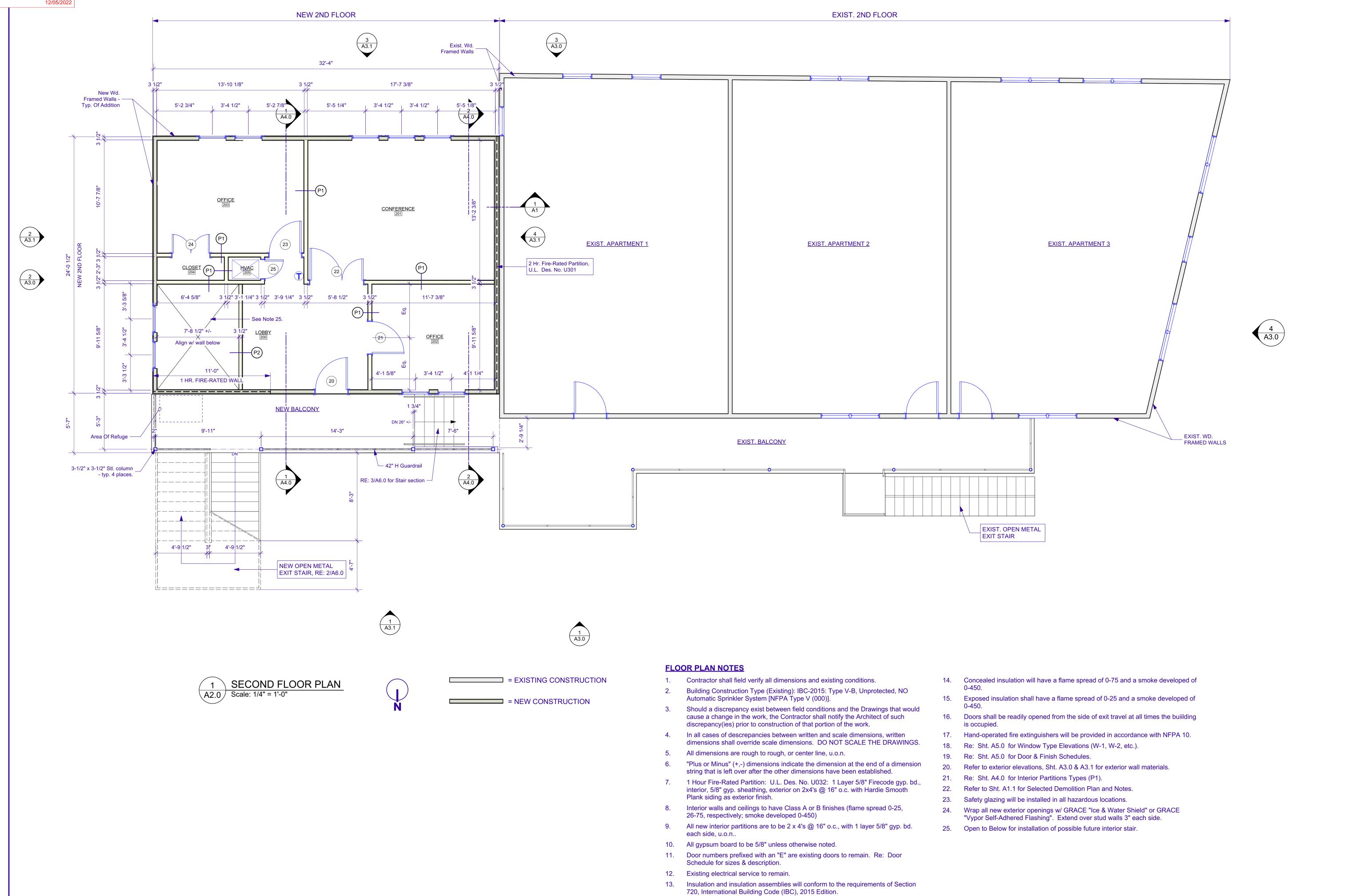






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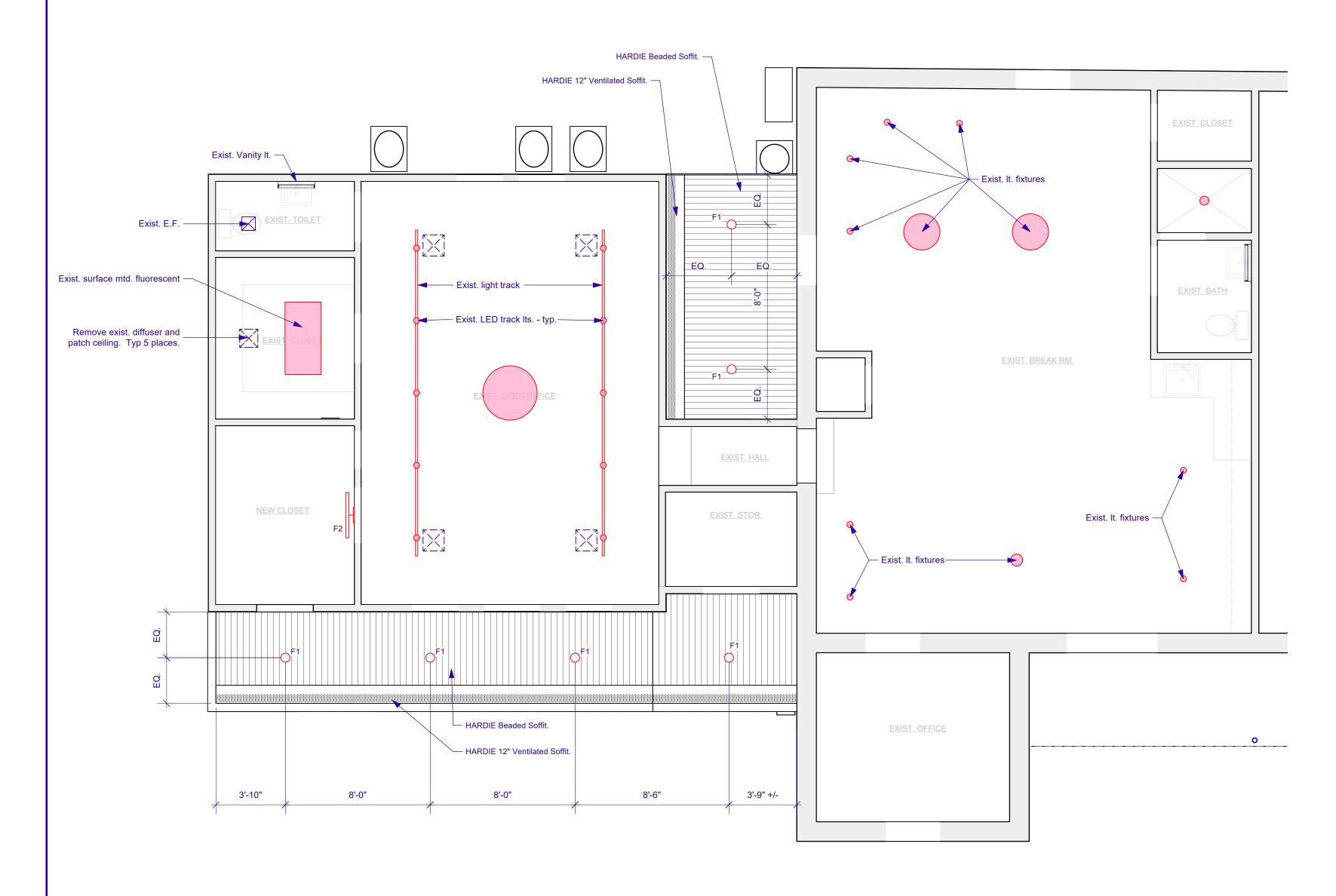




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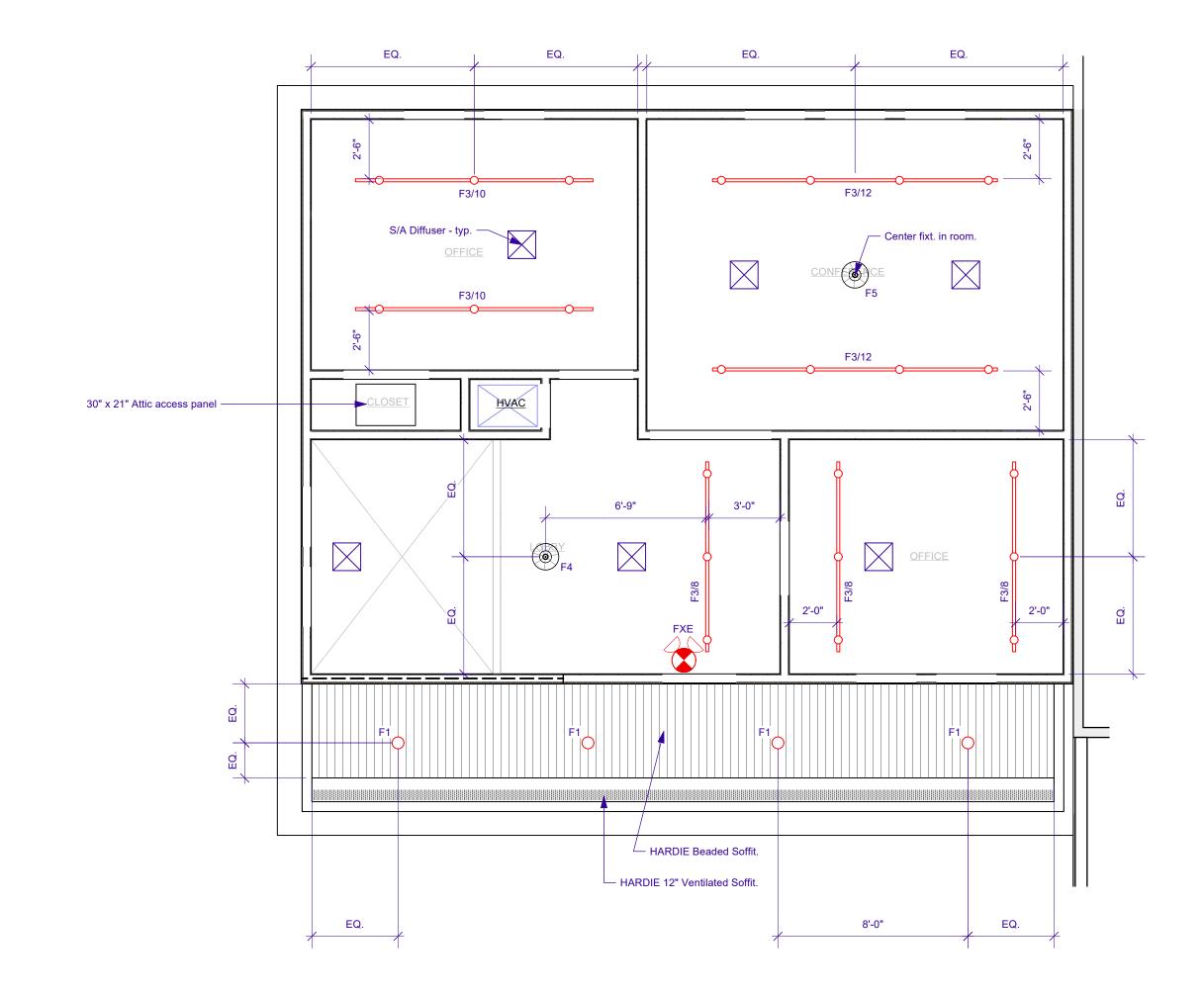


REFLECTED CEILING PLAN NOTES

- ALL New Light Fixtures shall be furnished by the Owner, installed be Contractor.
- 2. Verify all Light Fixture Types with the Owner.
- 3. Verify w/ Owner number of fixtures per light track.

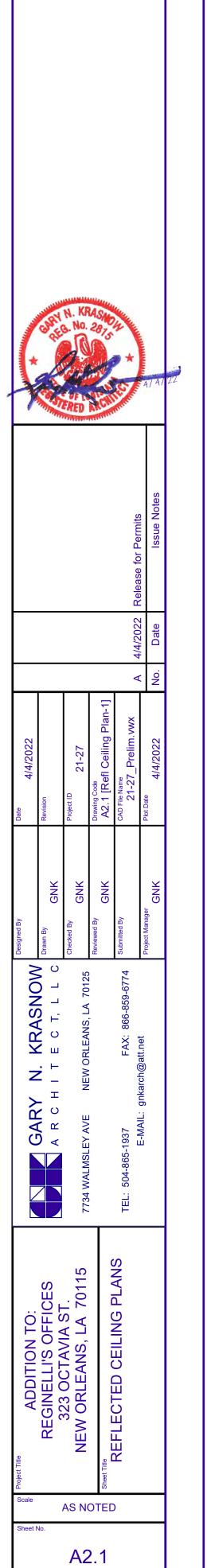
LIGHT FIXTURE TYPES

- 1. F1: Recessed 4 inch diameter LED downlight.
- 2. F2: Wall Mounted LED utility light.
- F3: Pendant Mounted Light track with length in feet (F4/12'). Match existing track on 1st floor. Number of fixtures (LED) to be determined by the Owner.
- 4. F4: Pendant LED fixture for Lobby. Furnished by the Owner.
- 5. F5: Pendant LED fixture for Conference. Furnished by the Owner.
- 6. FXE: Existing combination Exit/Emergency light w/ battery pack.

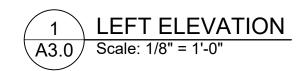


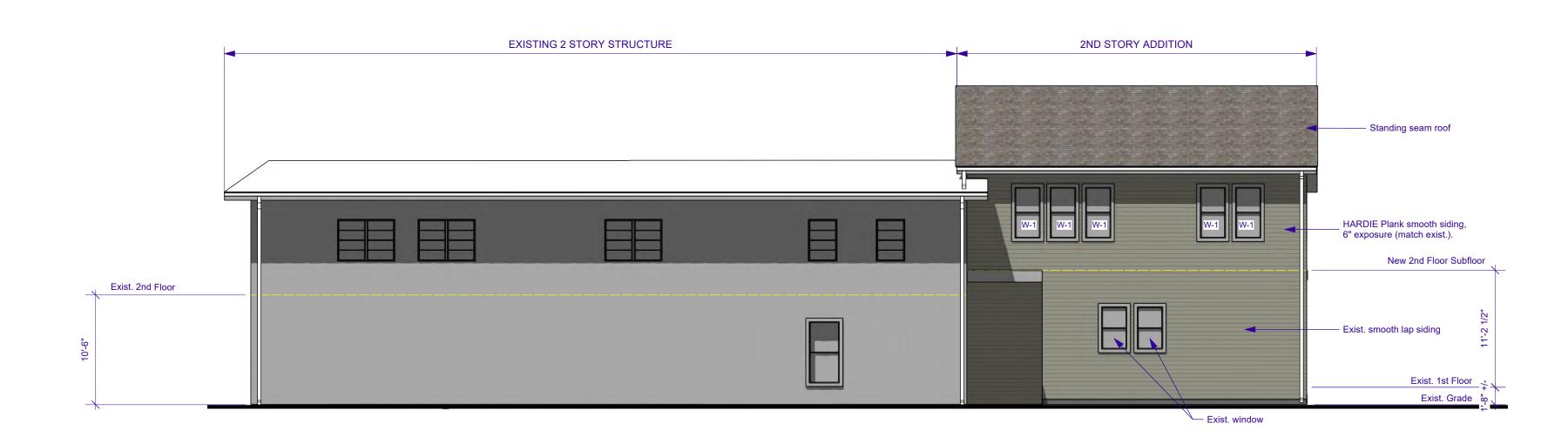




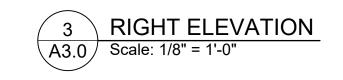






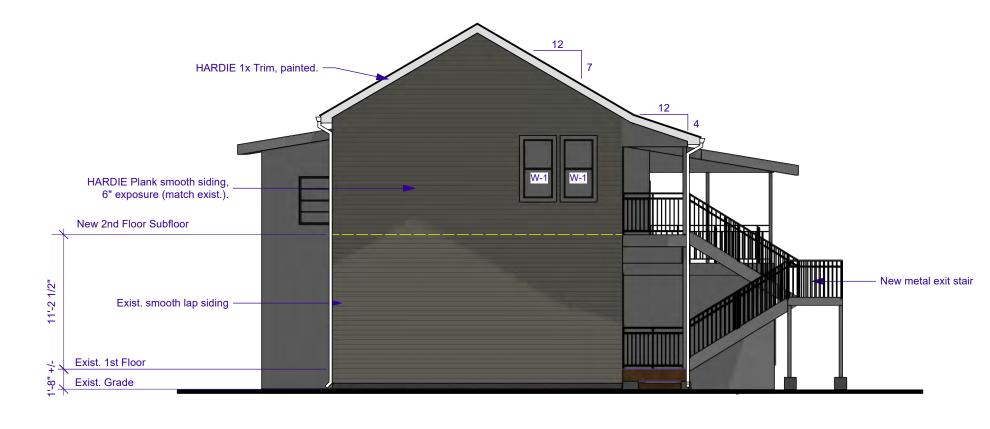


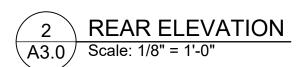
Exist. metal exit stair

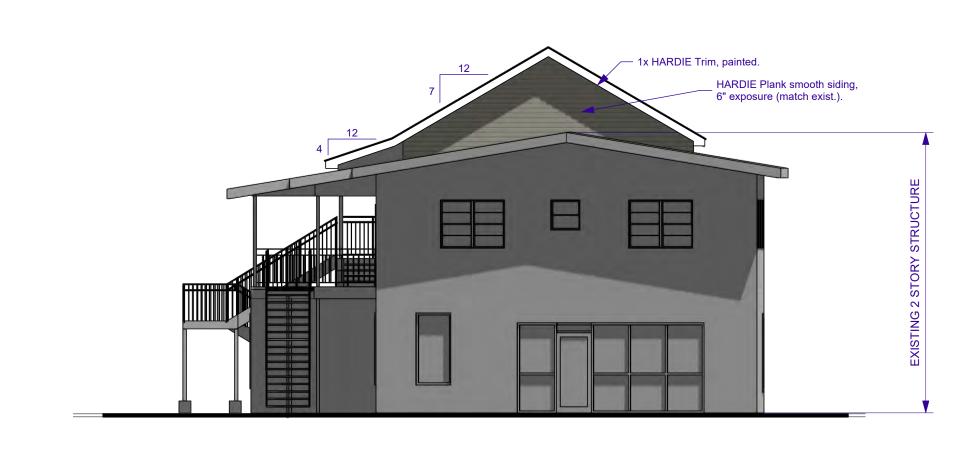


EXTERIOR ELEVATION NOTES

- 1. Exterior colors to be selected by the Owner.
- 2. Re: Sht. A5.0 for WindowType Elevations (W-1).
- 3. Re: Sht. A7.0 for Roof Plan.











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				Release for Permits		Issue Notes	
				4/4/2022		Date	
				٥		No.	
4/4/2022	Revision	Project ID 21-27	Drawing Code A3.0 [Elevations-M-1]	CAD File Name 21-27_Prelim.vwx	Plot Date	4/4/2022	
	Drawn By GNK	Checked By GNK	Reviewed By GNK	Submitted By	Project Manager	GNK	
KRASNOW		ORLEANS, LA 70125		866-859-6774	all.nel		

Des		Drav	Che	Revi	qns
	GARY N KRASNOW	A R C H I T E C T, L L C	NEW ORLEANS, LA 70125		EAY: 866 850 6774
	N GARY		734 WALMSLEY AVE		=I · 501_865_1037

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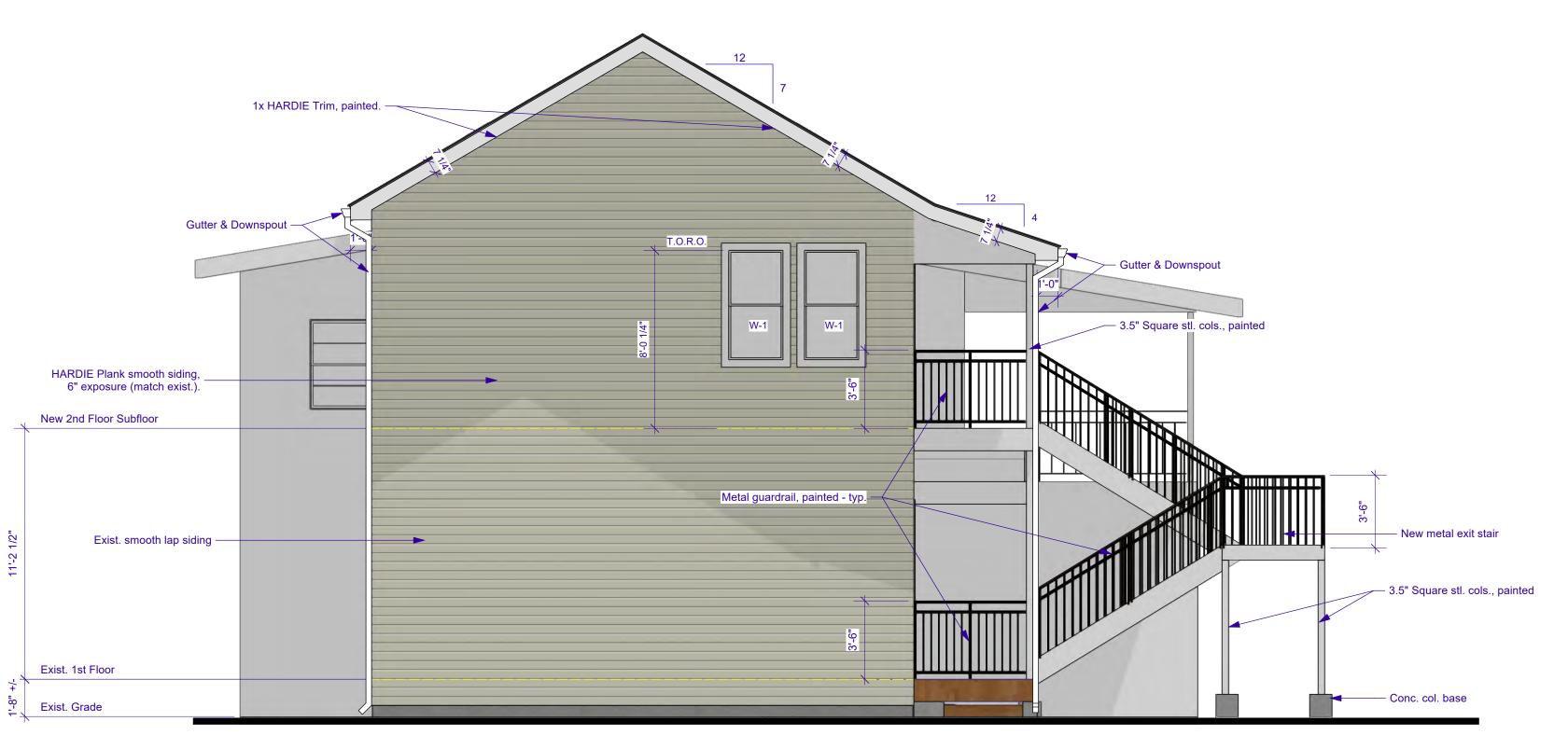
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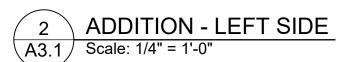
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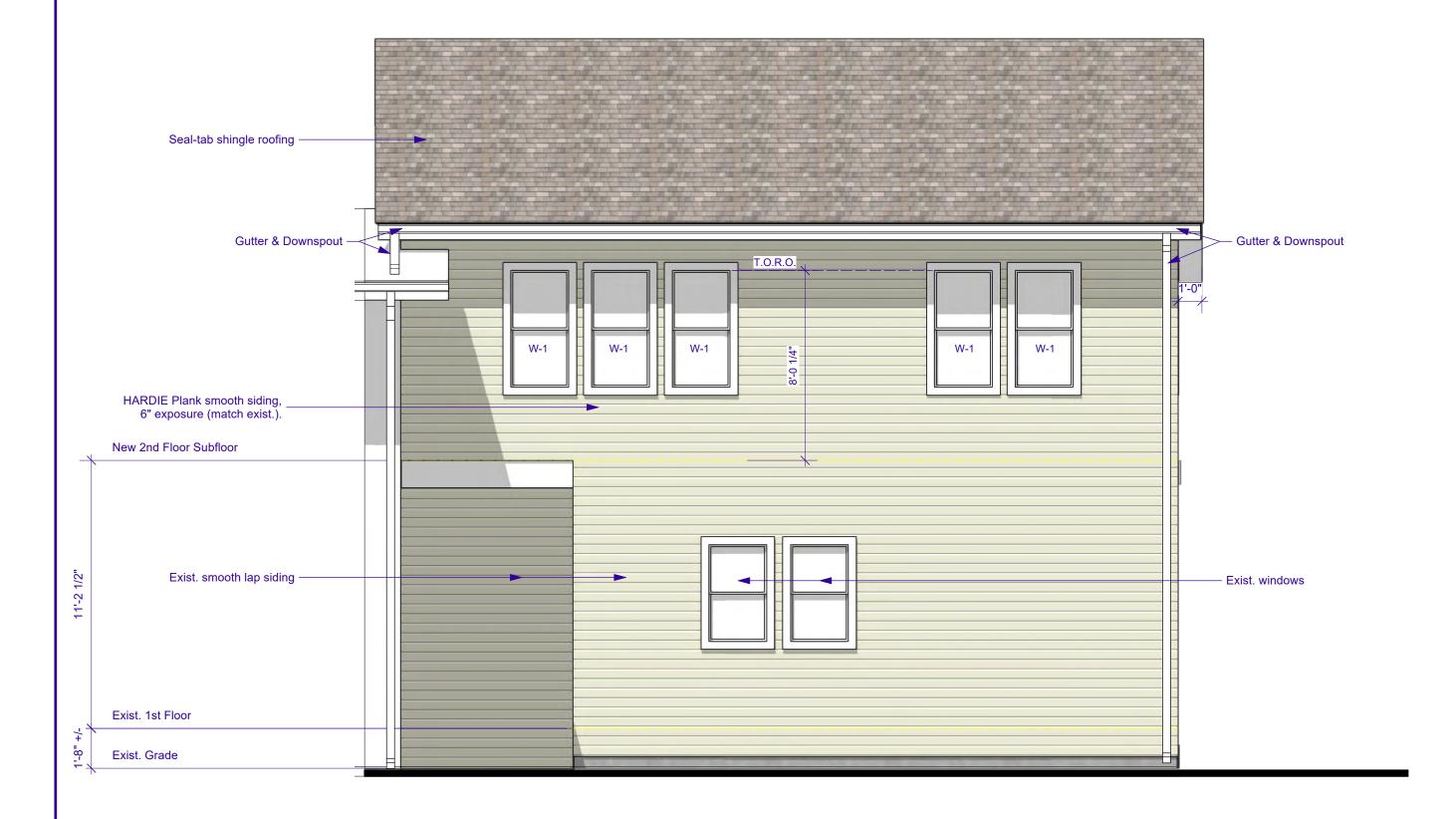


1 ADDITION - FRONT ELEVATION
A3.1 Scale: 1/4" = 1'-0"

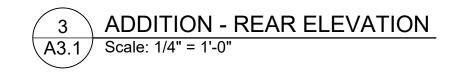


EXTERIOR ELEVATION NOTES

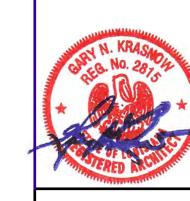
- 1. Exterior colors to be selected by the Owner.
- 2. Re: Sht. A5.0 for WindowType Elevations (W-1).
- 3. Re: Sht. A7.0 for Roof Plan











				4/4/2022 Release for Permits		Issue Notes
				4/4/2022	44.2021F	Date
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Date 4/4/2022	Revision	Project ID 21-27	Drawing Code A3.0 [Elevations-M-1]	CAD File Name 21-27_Prelim.vwx	Plot Date	4/4/2022
Designed By	Drawn By GNK	Checked By GNK	Reviewed By GNK	Submitted By	Project Manager	GNK
MON		70125		59-6774	•	

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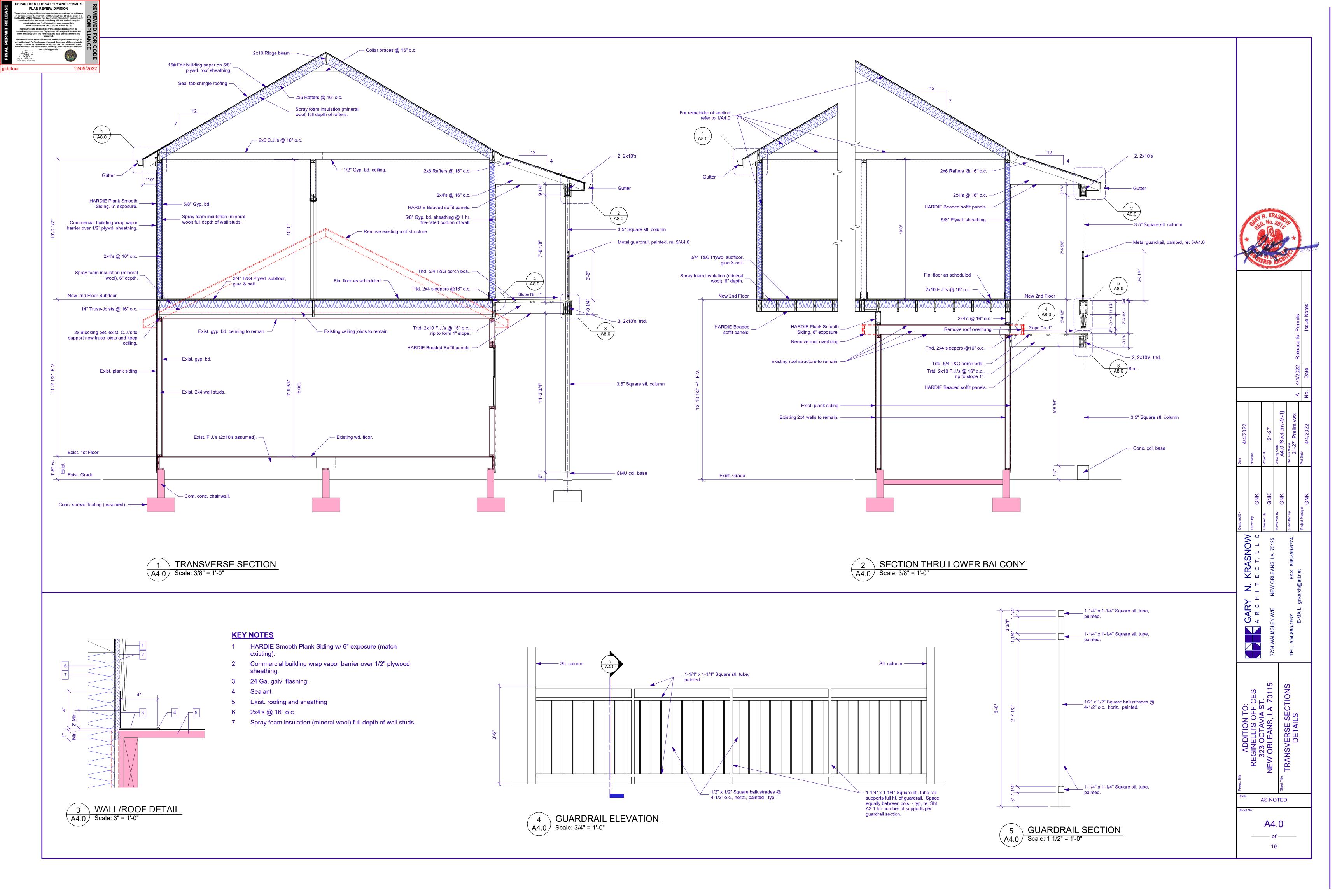
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ADDITION TO:
REGINELLI'S OFFICES
323 OCTAVIA ST.
NEW ORLEANS, LA 70115
Sheet Title
EXTERIOR ELEVATIONS ADDITION

AS NOTED
Sheet No.

A3.1

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FINAL PERMIT RELEASE	DEPARTMENT OF SAFETY AND PERMITS PLAN REVIEW DIVISION These plans and specifications have been examined and no evidence of deviation from the international Building Code (BC), as amended by the City of New Orleans, has been noted. This action is contingent upon the construction and final inspection upon completion. (New Orleans Code Sections 26-14 and 26-15) Any changes to or deviation from approved plans must be immediately reported to the Department of Safety and Permits and work must stop until the revised plans have been examined and approved. Work beyond that which is specified in these approved drawings is not authorized. Performing work beyond the scope of these plans is subject to fines as prescribed in Section 198.2 of the New Orleans Amendments to the International Building Code and/or revocation of the building permit.	REVIEWED FOR CODE COMPLIANCE
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dule Door Style Fire Rating 12/05/2022 Door Elev. Type Hardware Set Desc. 3'0" 6'8" 1 3/4" Swing Simple Panel Existing raised panel Existing See note 4 3'0" 6'8" 1 3/4" Swing Simple Solid
2'8" 6'8" 1 3/4" Swing Simple Solid
2'8" 6'8" 1 3/4" Swing Simple Solid Int., wd., s.c., flush See notes 1,2,3 See note 4 Exist. Int., wd., s.c., flush Existing Exist. Int., wd., s.c., flush Existing See note 4. **E 05** 4'10 1/2" 6'8" 1 3/4" Swing Bi-part Exist. raised panel Existing See note 4.
 E
 06
 2'8"
 6'8"
 1 3/4" Swing Simple
 Solid

 E
 07
 2'0"
 6'8"
 1 3/4" Swing Simple
 Solid

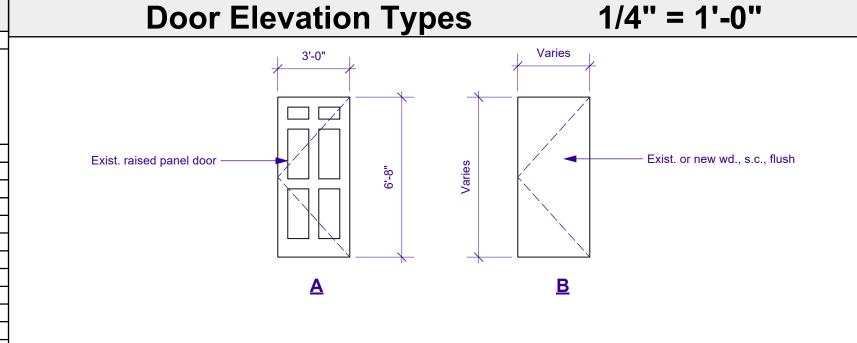
 E
 08
 2'7 1/2"
 6'8"
 1 3/4" Swing Simple
 Solid
 Exist. Int., wd., s.c., flush Existing See note 4. Exist. Int., wd., s.c., flush Existing See note 4. Exist. raised panel See note 4. Existing 3'0" 6'8" 1 3/4" Swing Simple Solid Existing See note 4. Exist. Ext., wd., s.c., flush 2'0" 4'0" 1 3/8" Swing Simple See notes 1,2,3. Int., wd., s.c., flush Passage
 3'0"
 7'0"
 1 3/4" Swing Simple
 Glass

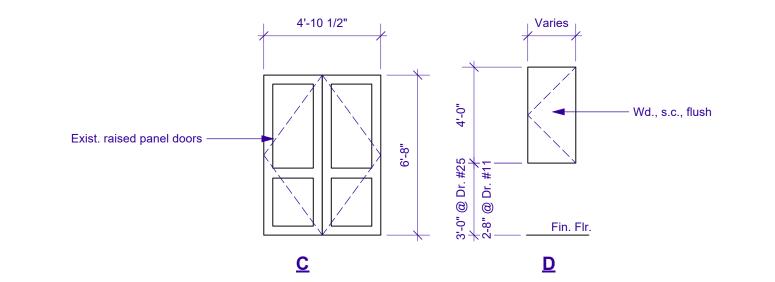
 3'0"
 7'0"
 1 3/4" Swing Simple
 Solid
 See notes 1,2,3. Ext., wd., full-glazed 0" 1/A5.0 Sim 1/A5.0 See notes 1,2,3. Int., wd., s.c., flush 5'0" 7'0" 1 3/4" Swing Bi-part Solid 0" 0" 1/A5.0 Sim 1/A5.0 Int., wd., s.c., flush Passage; Flush Bolts See notes 1,2,3. 3'0" 7'0" 1 3/4" Swing Simple Solid - 0" 0" 1/A5.0 Sim 1/A5.0 See notes 1,2,3. Int., wd., s.c., flush 3'6" 7'0" 1 3/8" Swing Bi-part Solid - 0" 0" 1/A5.0 Sim 1/A5.0 Int., wd., s.c., flush Passage 25 1'9" 4'0" 1 3/8" Swing Simple Solid - 0" 0" 1/A5.0 Sim 1/A5.0 Sin Int., wd., s.c., flush Passage See notes 1,2,3.

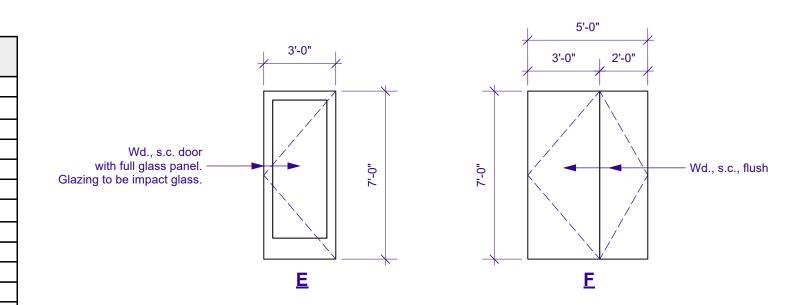
NOTES: 1. All lock / latchsets to have lever handles.

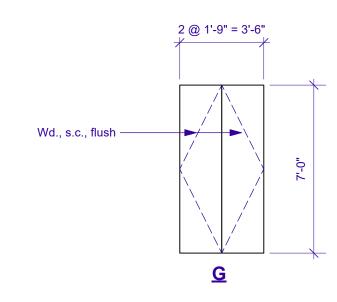
- 2. Paint door & frame.
- 3. Verify all door hardware with the Owner.
- 4. All doors w/ an "E" preffix are existing doors to remain.

Ro	om Finish S	Sche	dul	е							Roor	n Finish Legend
		FI	loor		,	Wall						
ımber	Room Name	Matl	Base	North	n East	South	n West	Ceiling	Ceiling Ht.	Remarks	Ceiling	
E	EXIST. OPEN OFFICE	Exist.	Exist.	EGB-1	EGB-1	EGB-1	EGB-1	EGB-1	9'9 3/4"	See note 1.	EGB-1	Existing gyp. bd. ceiling
E	EXIST. CLOSET	Exist.	Exist.	EGB-1	EGB-1	EGB-1	EGB-1	EGB-1	9'9 3/4"	See note 1.	EXP-1	Exposed roof structure
E	EXIST. TOILET	Exist.	Exist.	EGB-1	EGB-1	EGB-1	EGB-1	EGB-1	9'9 3/4"	See note 1.	GB-1	1/2" gypsum board, primed and painted, directly screwed to joists above
١	NEW CLOSET	SUB-1	N/A	GB-2	GB-2	GB-2	GB-2	EGB-1	21'2 1/2"	See notes 1,3.	<u> </u>	772 gypount board, printed and painted, directly sofewed to joint above
E	EXIST. HALL	Exist.	Exist.	EGB-1	EGB-1	EGB-1	EGB-1	EGB-1	0"	See notes 1,2.		
E	EXIST. BREAK RM.	Exist.	Exist.	EGB-1	EGB-1	EGB-1	EGB-1	EGB-1	9'6"	See note 1.	Wall	
E	EXIST. OFFICE	Exist.	Exist.	Exist.	Exist.	Exist.	Exist.	EGB-1	9'6"	See note 1.	EGB-1	Existing gyp. bd. to remain.
E	EXIST. BATH	Exist.	Exist.	EGB-1	EGB-1	EGB-1	EGB-1	EGB-1	9'6"	See notes 1.	Exist.	existing finish to remain
E	EXIST. CLOSET	Exist.	Exist.	EGB-1	EGB-1	EGB-1	EGB-1	EGB-1	9'6"	See notes 1.	GB-2	5/8" gypsum board, primed and painted
E	EXIST. STOR.	SC-1	N/A	Exist.	Exist.	Exist.	Exist.	EGB-1	9'8"	See note 1.		
L	OBBY	WD-1	BW-1	GB-2	GB-2	GB-2	GB-2	GB-1	10'0"	See notes 1,3.		
C	CONFERENCE	WD-1	BW-1	GB-2	GB-2	GB-2	GB-2	GB-1	10'0"	See notes 1,3.	Base	
C	OFFICE	WD-1	BW-1	GB-2	GB-2	GB-2	GB-2	GB-1	10'0"	See notes 1,3.	BW-1	Finish 1x6 with base shoe, painted.
C	OFFICE	WD-1	BW-1	GB-2	GB-2	GB-2	GB-2	GB-1	10'0"	See notes 1,3.	Exist.	existing finish to remain
C	CLOSET	WD-1	BW-1	GB-2	GB-2	GB-2	GB-2	GB-1	10'0"	See notes 1,3.	N/A	Not Applicable / None
F	HVAC	SUB-1	N/A	GB-2	GB-2	GB-2	GB-2	EXP-1	0"	See notes 1,2,3.		
NOTE	ES: 1 All wall 8 o	oiilina finia	chac to b	o Class	"A" or "D'	" (Elamo '	Sproad 0 '	25, 26-75 respective	dy: Smoko		Floor	
INOIL	Developed	_	SIICS IU L	Class	A OI D	(i laille	opicau 0-	20, 20-10 165pective	ay, officke		Exist.	existing finish to remain
	•	•									SC-1	Sealed Concrete
	Ceiling heigh	gnt varies.									SUB-1	Exposed plywood subfloor.

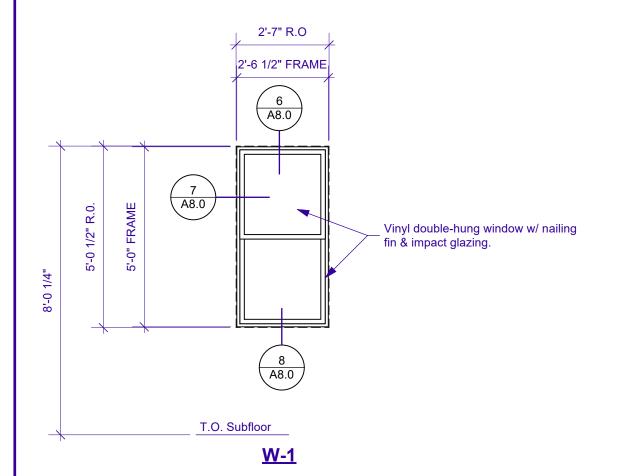








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	Reviewed By GNK	Drawing Code A5.0 [Arch [
FAX: 866-859-6774	Submitted By	CAD File Name
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AIL: grikarch@att.net	Project Manager	Plot Date
	GNK	4/4/;

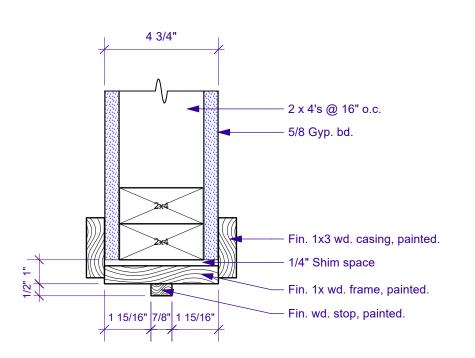


3. Verify finish flooring with the Owner.

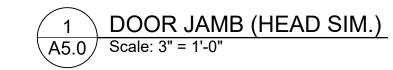
GLAZING / STOREFRONT NOTES

Window Elevation Types 3/8" = 1'-0"

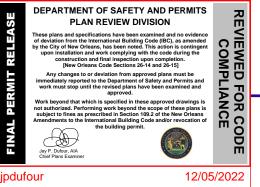
Window assemblies (and door assemblies as applicable) shall comply w/ IBC-2015:1609.1.2 - shall meet the requirements of the Large Missile Test of an approved impact resistant standard of ASTM E 1996 & ASTM E 1886 referenced therein.

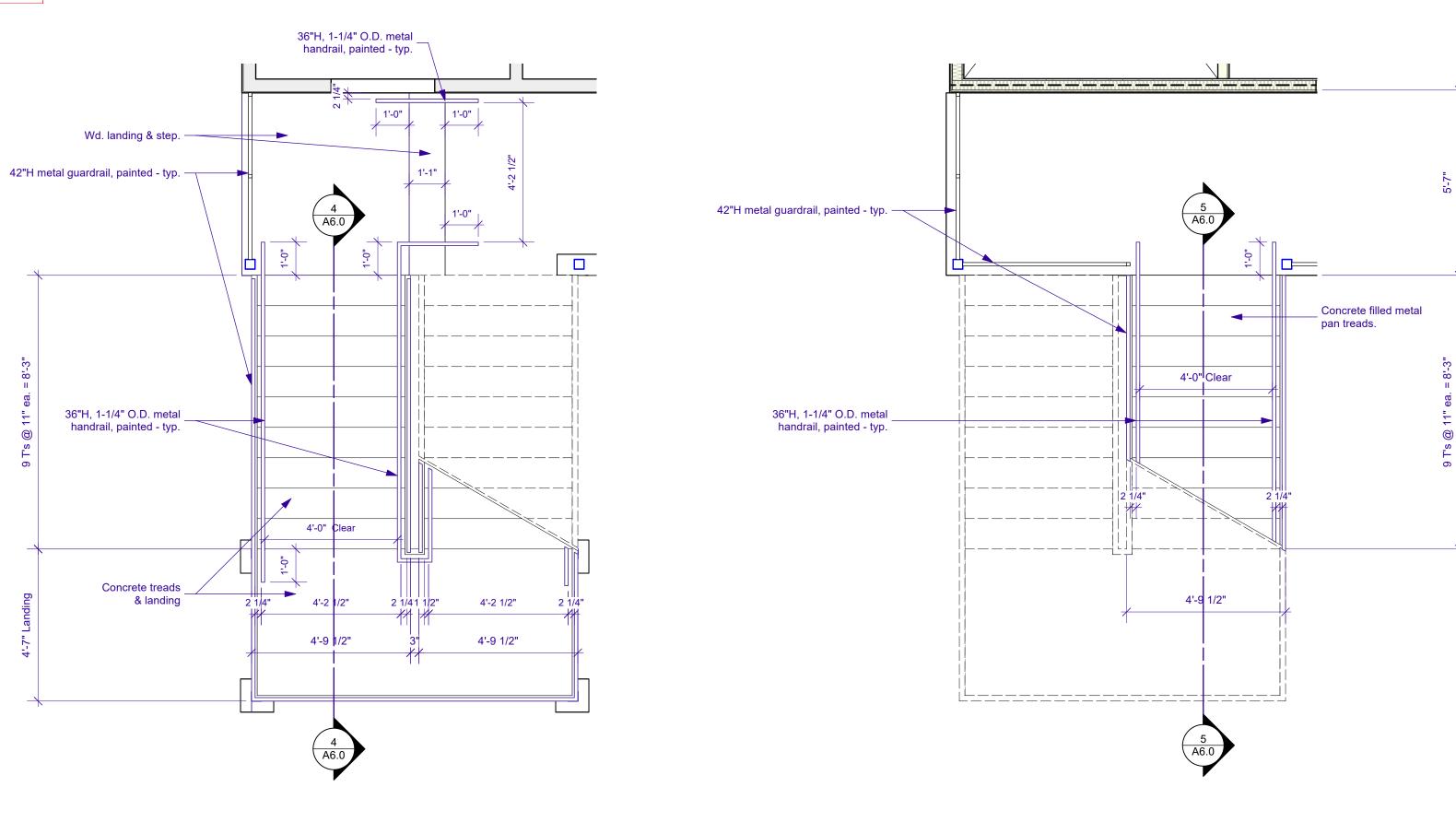


3/4" Blind nailed T&G oak wood flooring.

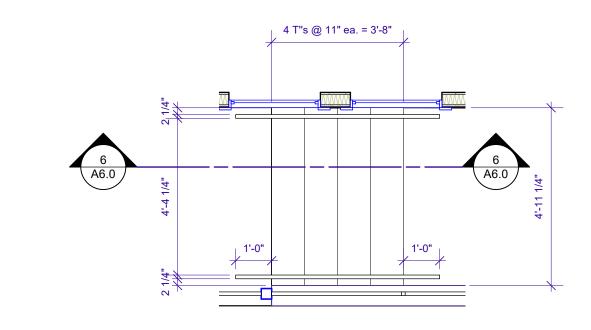




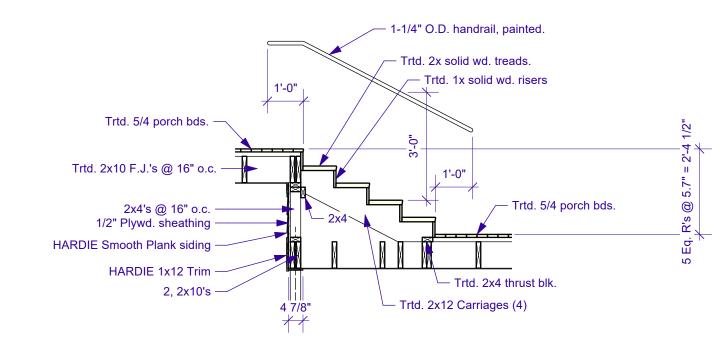




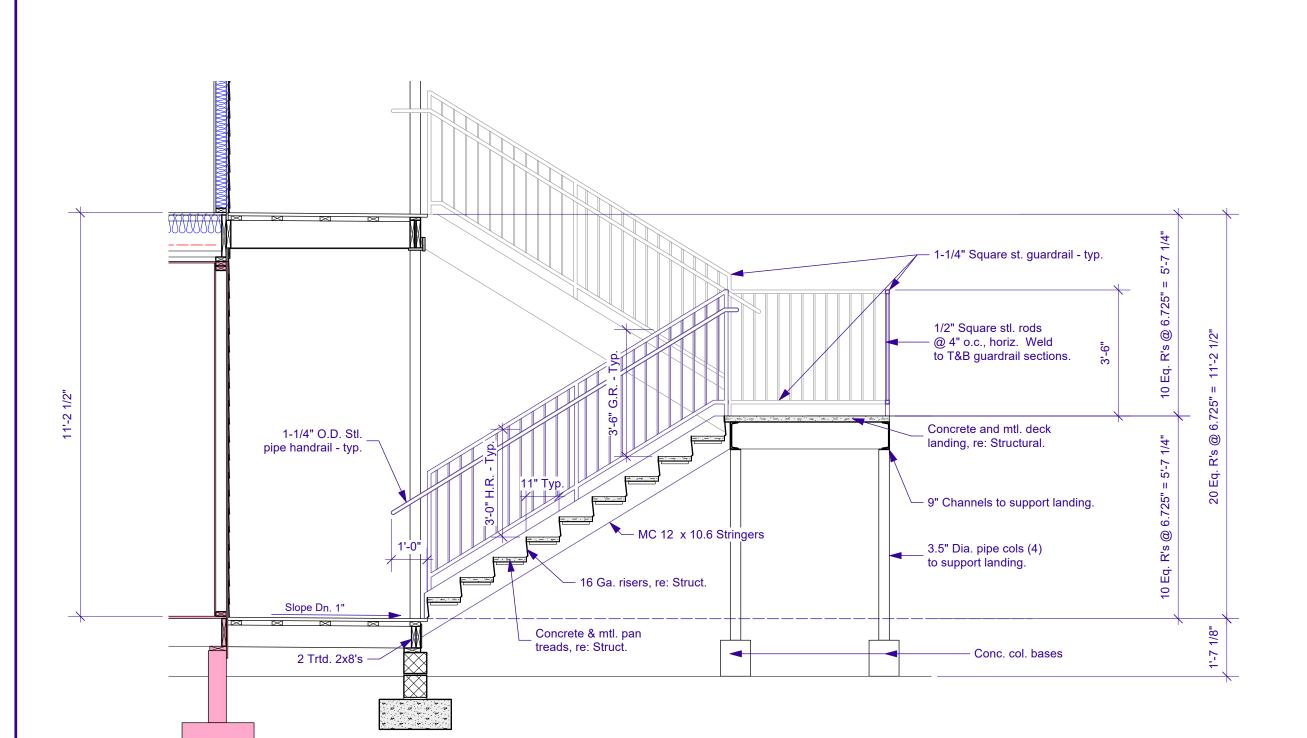
2 STAIR PLAN @ 2ND FLOOR A6.0 Scale: 3/8" = 1'-0"



3 BALCONY STAIR PLAN
A6.0 Scale: 3/8" = 1'-0"

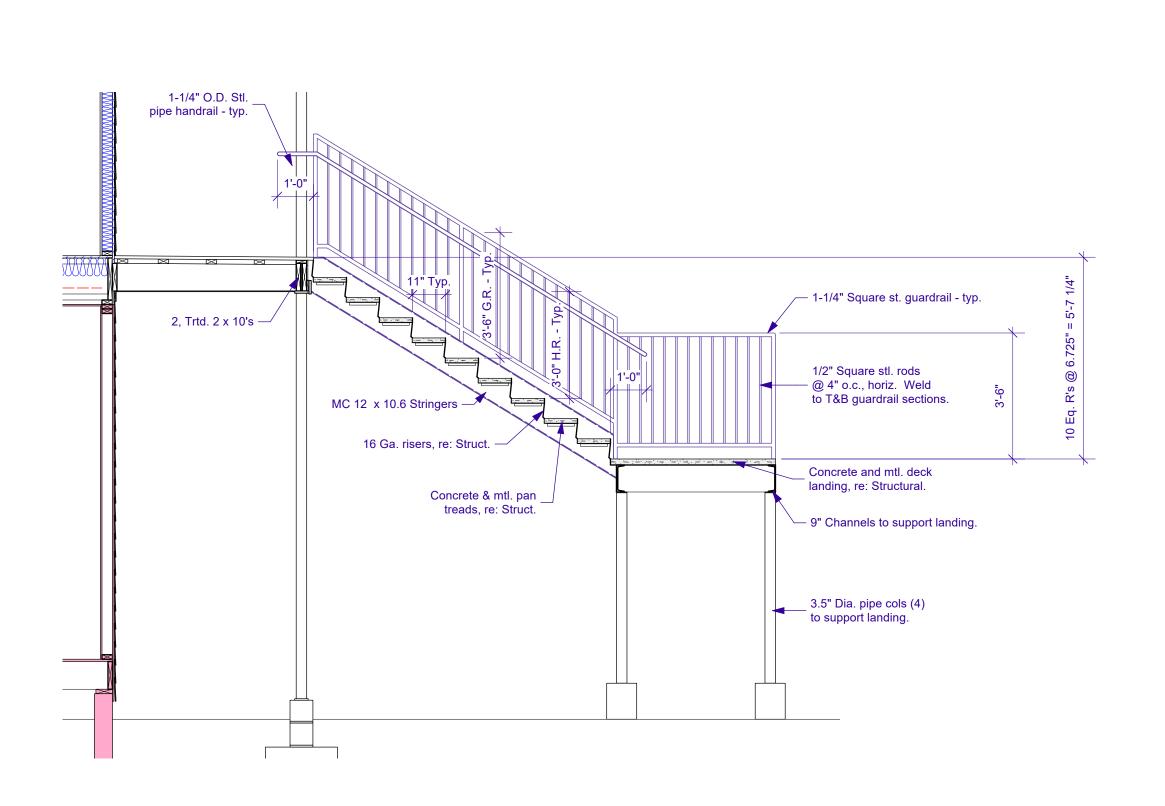


6 BALCONY STAIR SECTION
A6.0 Scale: 3/8" = 1'-0"



4 LOWER STAIR RUN SECTION
A6.0 Scale: 3/8" = 1'-0"

1 STAIR PLAN @ 1ST FLOOR A6.0 Scale: 3/8" = 1'-0"

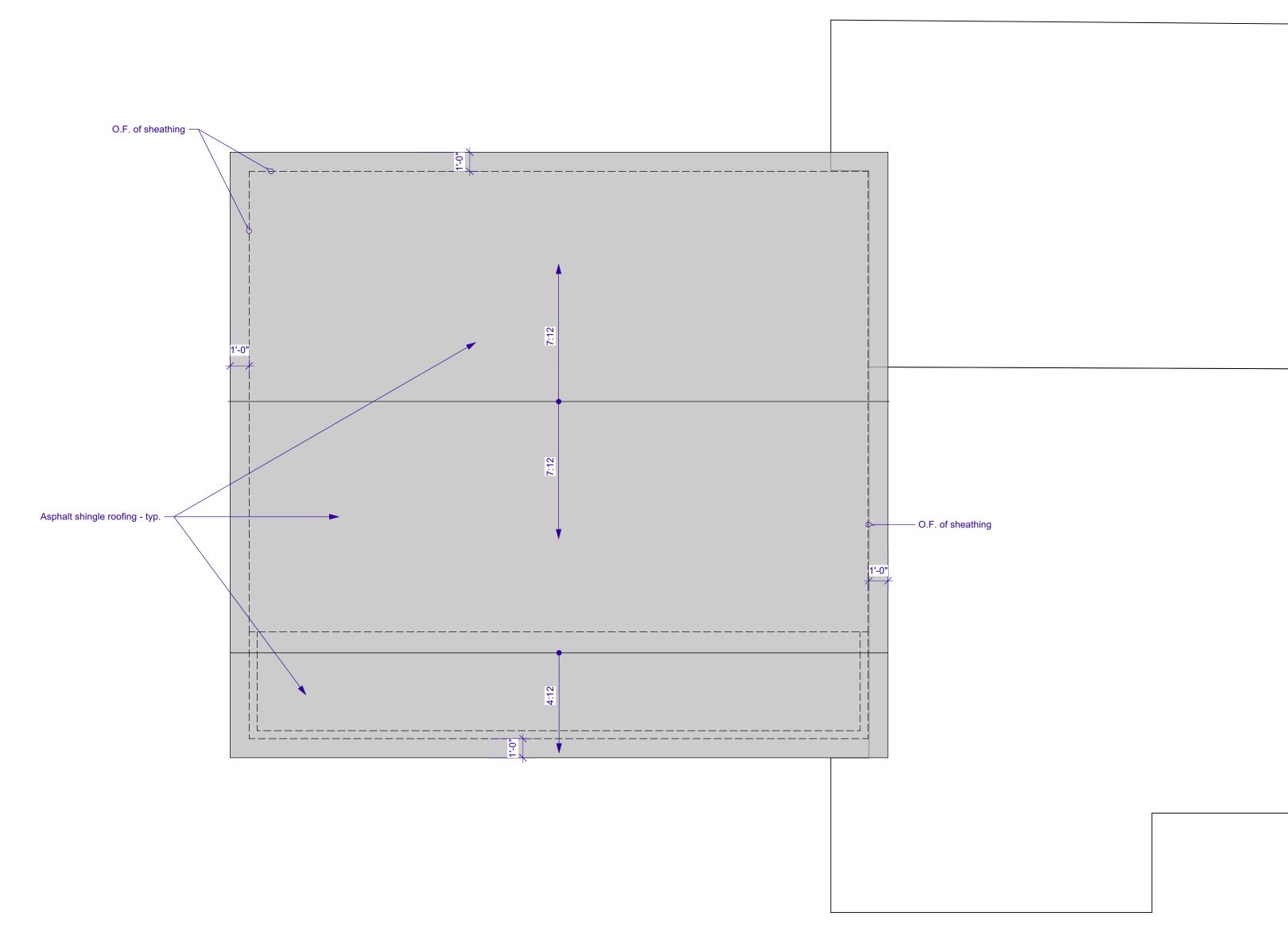


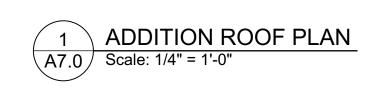
5 SECTION THRU UPPER STAIR RUN
A6.0 Scale: 3/8" = 1'-0"

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Date 4/4/2022	Revision	Project ID 21-27	Drawing Code A6.0 [Enlarged Plans-1]	CAD File Name 21-27_Prelim.vwx
Designed By	Drawn By GNK	Checked By GNK	Reviewed By GNK	Submitted By
MONSASNOW KRASNOW	A R C H I T E C T, L L C	NEW ORI FANS. 1 A 70125		1937 FAX: 866-859-6774
		7734 WAI MSI FY AVF		TEL: 504-865-1937
N TO:	OFFICES	S, LA 70115		& SECTIONS

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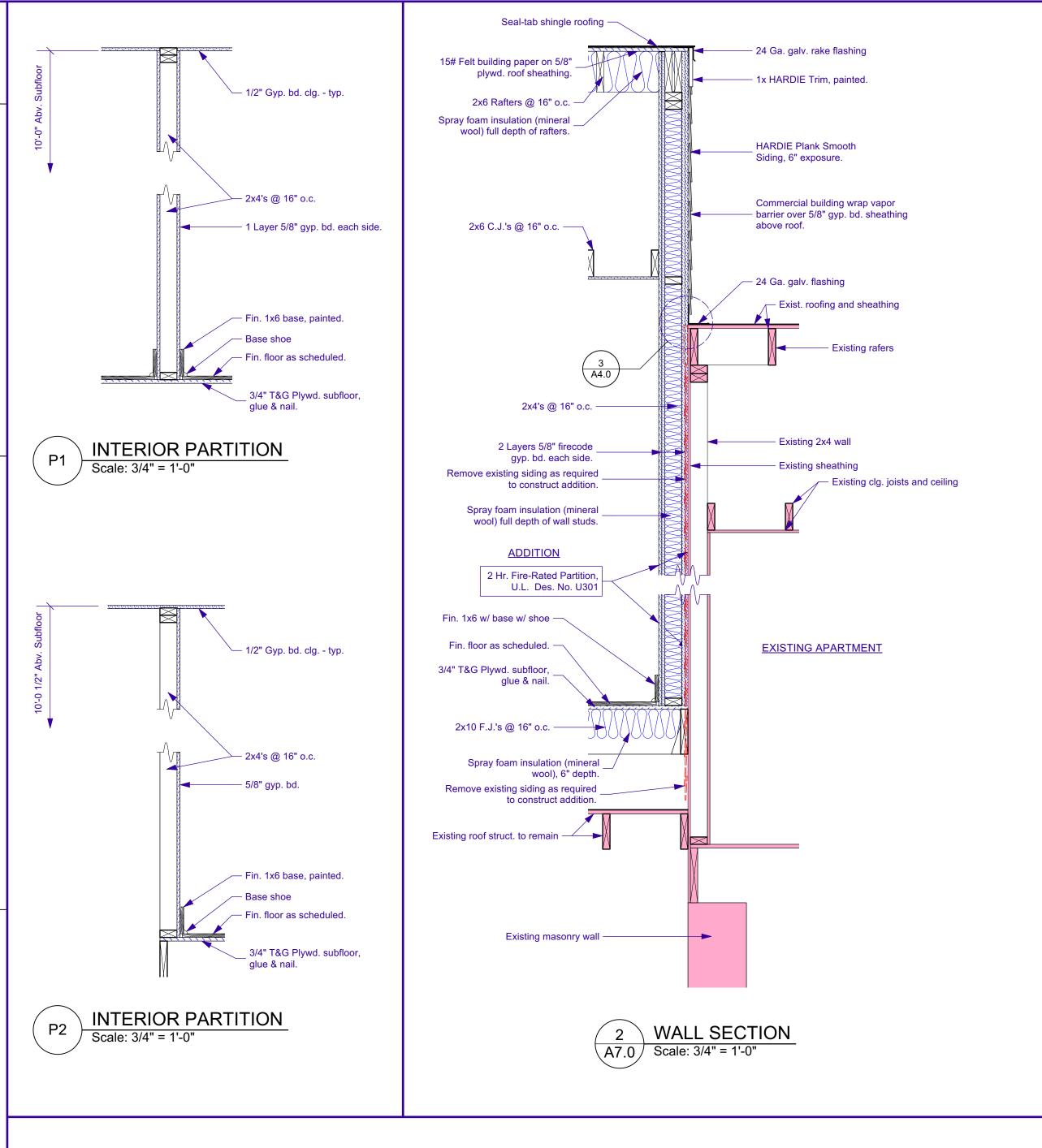






ADDITION ROOF PLAN NOTES

- 1. All roofing to be shingle roofing u.o.n.
- Roof Shingles are to meet the following requirements: Class "A" rating; UL 997; Lifetime limited transferable warranty. GAF "Grand Timberline" shingles or approved equivalent. Owner to select color.
- 3. Provide 24" wide, 24 ga. galvanized valley flashing @ all roof valleys.
- At all Roof-to-Wall intersections provide 24 ga., galv. flashing. Extend up wall behind siding a min. of 4 inches, and extend over existing roof a min. of 4"
- 5. Refer to Exterior Elevations, Sht. A3.0 & A3.1 for downspout locations.
- 6. Provide 30# felt or 2 layers of 15 # felt building paper vapor barrier at roof sections with a slope of 4:12 or less.

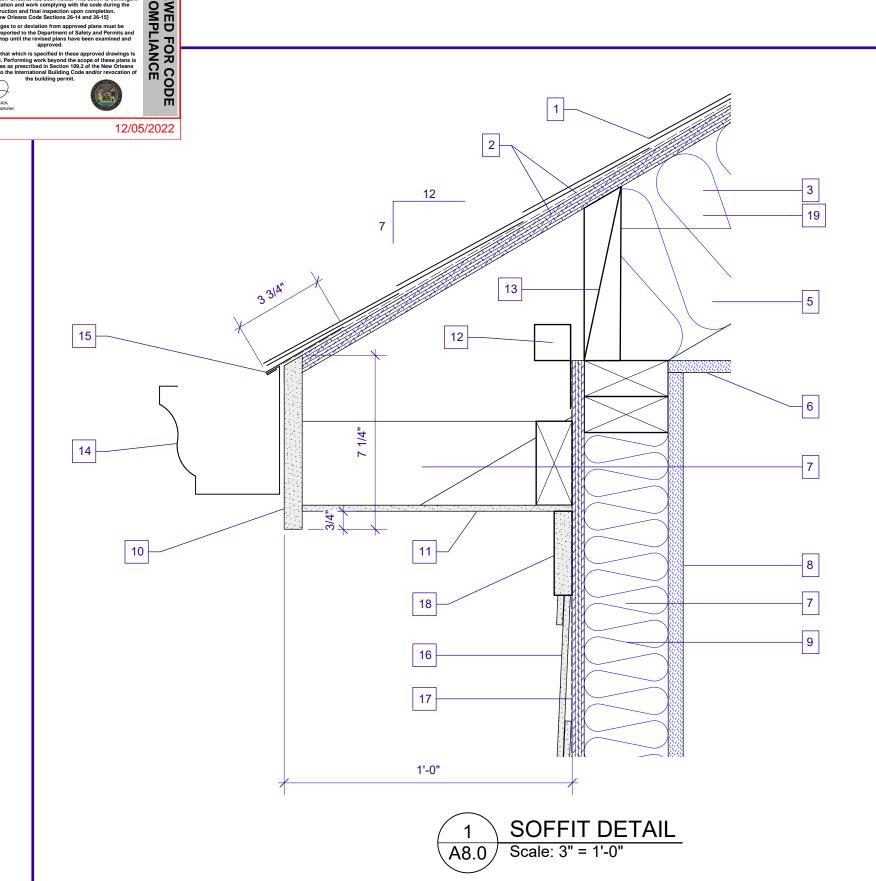


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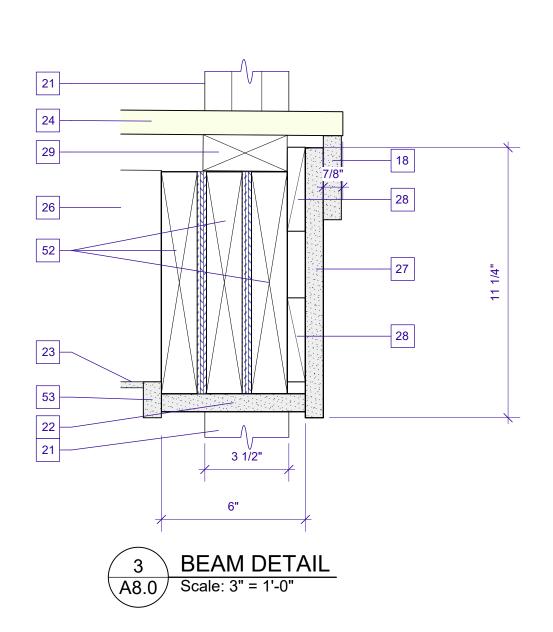
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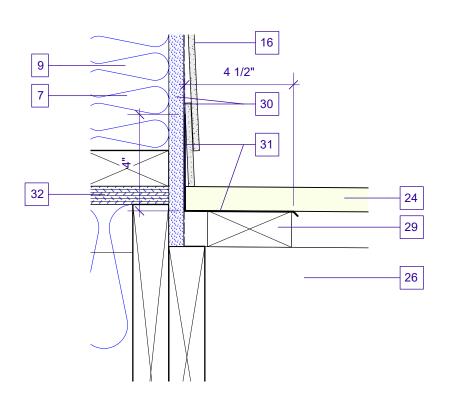
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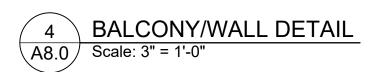
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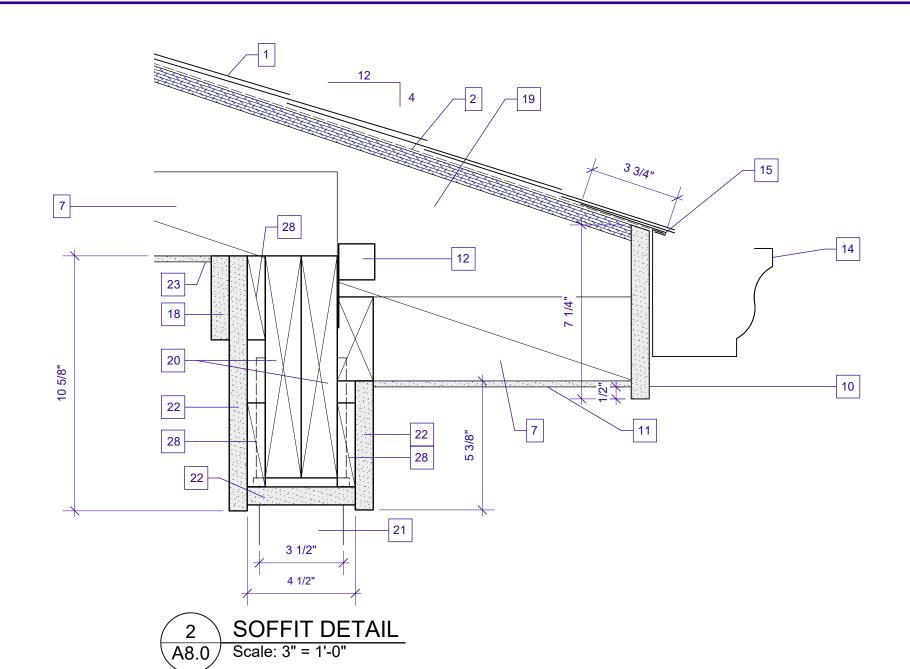


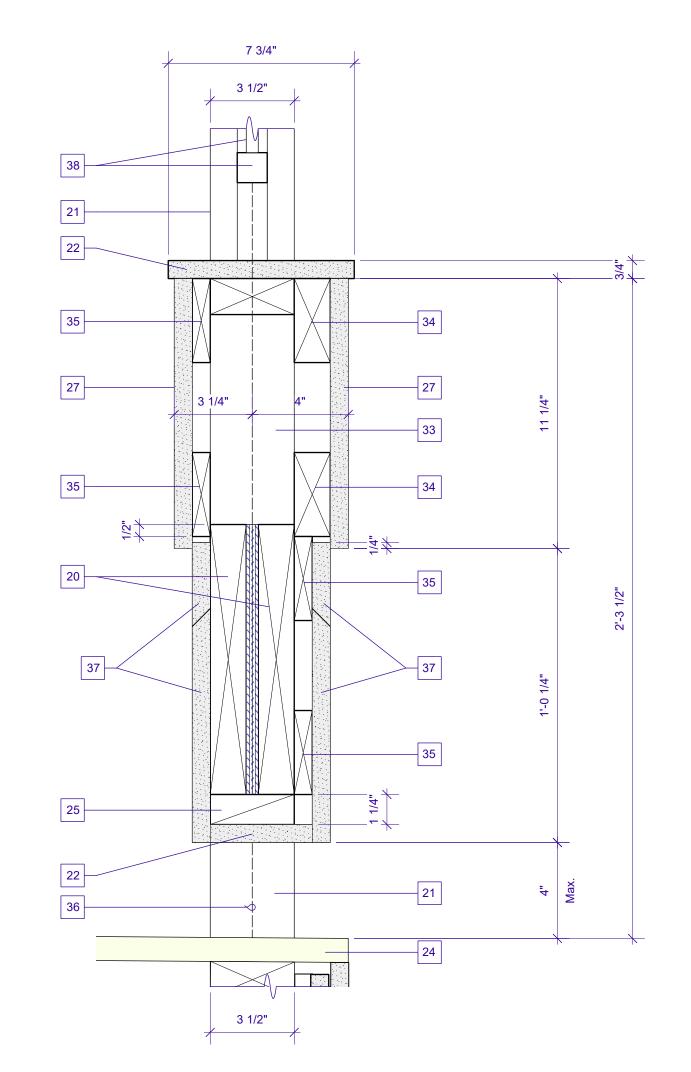
DEPARTMENT OF SAFETY AND PERMITS
PLAN REVIEW DIVISION

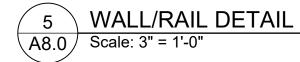


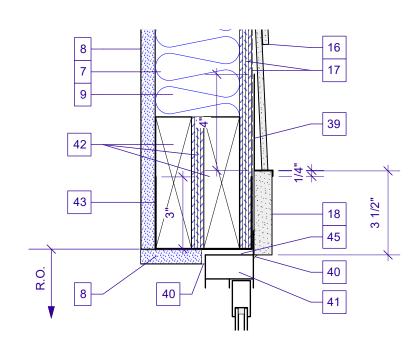


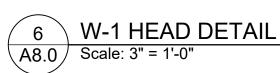


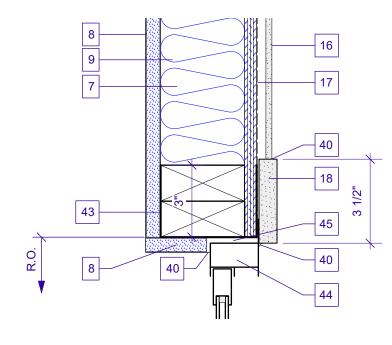


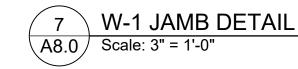


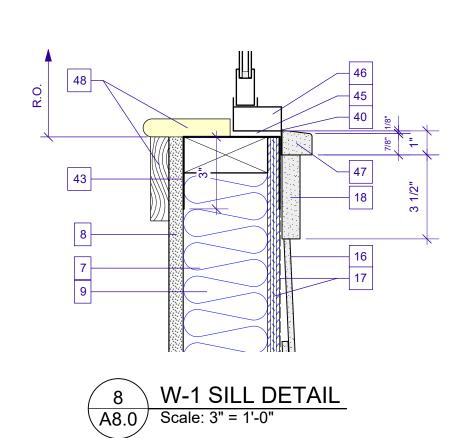


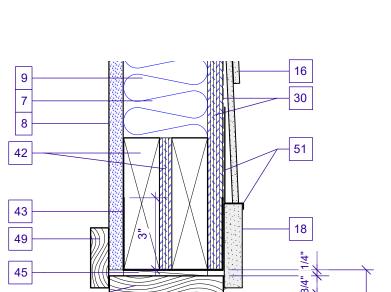














1 15/16" 7/8" 1 15/16"

4 3/4"

KEY NOTES

- 1. Seal-tab shingle roofing
- 2. 15# Felt building paper on 5/8" plywd. roof sheathing.
- 3. Spray foam insulation (mineral wool) full depth of rafters.
- 4. N/A
- 5. 2x6 Ceiling Joists @ 16" o.c.
- 6. 1/2" Gyp. bd. ceiling.
- 7. 2x4's @ 16" o.c.
- 8. 5/8" Gyp. bd.
- Spray foam insulation (mineral wool) full depth of wall studs.
- 10. 1x8 HARDIE Smooth Trim fascia bd.
- 11. HARDIE Smooth Soffit board.
- 12. Hurricane ties @ each rafter, re: structural drawings.
- 13. 2x Insulation block.
- 14. Aluminum gutters and downspouts match existing.
- 15. 0.024" Aluminum edge flashing.
- 16. HARDIE Smooth Plank Siding w/ 6" exposure (match
- 17. Commercial building wrap vapor barrier over 1/2" plywood sheathing.
- 18. 1x4 HARDIE Smooth Trim bd., painted.
- 19. 2x6 Rafters @ 16" o.c.
- 20. 2, 2x10's, trtd.
- 21. 3.5" Square stl. column
- 22. 1x HARDIE Smooth Trim bd., rip to size shown, painted.
- 23. HARDIE Smooth Perforated Soffit bd., 1st twelve inches, Beaded Soffit bd, remainder of ceiling. Re: Reflected Ceiling Plans, Sht. A2.1
- 24. Trtd. 5/4 T&G porch bds., painted.
- 25. Trtd. blkg.
- 26. Trtd. 2x10 F.J.'s @ 16" o.c. Rip to form 1" slope.
- 27. 1x 12 HARDIE Smooth Trim bd., painted.
- 28. Trtd. 1x4 blkg.
- 29. Trtd. 2x4 sleepers @ 16" o.c.
- 30. Commercial building wrap vapor barrier over 5/8" plywood sheathing @ front wall. 5/8" Firecode gyp. sheathing @ fire-rated portion of the front wall.
- 31. 24 Ga. galv. flashing.
- 32. 3/4" T&G Plywd. subfloor, glue & nail.
- 33. Trtd. 2x4's @ 16" o.c.
- 34. Trtd. 2x4
- 35. Trtd. 1x4 Centerline of column
- 37. 1x HARDIE Trim spliced to create width shown. Miter splice. Painted.
- 38. 42"H Metal guardrail, painted. Re: 3/A7.0
- 39. 24 Ga. galv. flashing, painted.
- 40. Sealant
- 41. W-1 Window head section w/ nailing fin.
- 42. 2,2x6 Lintel w/ 1/2" plywood spacer.
- 43. Wrap opgs. w/ self-adhered membrane flashing.
- 44. W-1 Window jamb section w/ nailing fin.
- 1/4" Shim space.
- 46. W-1 Window sill section w/ nailing fin.
- 47. 5/4 HARDIE Smooth Trim window sill, painted.
- 48. Fin. wood window stool and casing. Match existing window trim on 1st floor.
- 49. Fin. 1x3 wood casing, painted. Verify w/ the Owner.
- 50. Fin. 1x Wood casing and stop, painted,
- 51. 24 Ga. galv. flashing, painted. Omit @ jamb.
- 52. 3, 2x10's Trtd. w/ 3/8" plywood plates, or 2, 2x10's w/ 2x blkg. See structural drawings for beam sizes.
- 53. 1x2 HARDIE Trim, painted.



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A 70125	Checked By GNK	Project ID 21-27			
	Reviewed By GNK	Drawing Code A7.1 [Arch Detl/Sched-2]			
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	GNK	4/4/2022	No.	Date	Issue No

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GENERAL STRUCTURAL NOTES

I. GENERAL

- A. Contractor Responsibility Construction documents represent the finished structure. Contractor is responsible for construction means, methods, sequences and safety precautions, including but not limited to shoring and temporary bracing.
- B. Omissions & Conflicts Omissions or conflicts between various elements of the construction documents should be brought to the attention of the design team. If certain features are not fully delineated in the construction documents, their construction shall be of the same character as for similar conditions that are delineated.
- C. Existing Conditions The Contractor shall verify the existing conditions and dimensions in the field. The Contractor shall report any discrepancies between the drawings and the actual existing conditions and dimensions to the Engineer.

II. DESIGN BASIS

- A. Applicable Codes and Standards International Residential Code 2015 ASCE 7-2010
- B. Design Loads

Roof High Slope	
Live Load	18 psf
Dead Load	7 psf
Porch Roof	
Live Load	20 psf
Dead Load	6 psf
Attic	
Live Load	10 psf
Dead Load	4 psf
Porch Ceiling	
Live Load	10 psf
Dead Load	4 psf
2nd Floor	
Live Load	50 psf
Dead Load	16 psf
2nd Porch	
Live Load	80 psf
Dead Load	7 psf
1st Floor	
Live Load	50 psf
Dead Load	7 psf
Stair	
Live Load	100 psf
Dead Load	10 psf

Wind Load

The criteria is based on ASCE 7-2010 Minimum Design Loads for Buildings and Other Structures:

```
Basic Wind Velocity
                         143 mph
Risk Category
Exposure
```

III. MATERIALS

A. EARTHWORK

Place footings on undisturbed soil. Notify the Engineer if "soft spots", underground obstructions, or any unusual condition is encountered during stripping, excavation or filling. Soil bearing capacity is 800 psf.

B. CONCRETE

```
All concrete work shall conform to ACI 301 Specification for Structural Concrete for
          Buildings and meet the following requirements:
         Concrete - Type I cement ASTM C 150, normal weight aggregates ASTM C 33, 3000
          psi at 28 days, 5" slump.
         Reinforcing Steel - ASTM A615 grade 60, welded wire fabric ASTM A185.
          Reinforcing Steel Details - Except as noted otherwise where continuous reinforcing
          is specified, hook bars at non-continuous ends.
            Lap bars as indicated below:
                  Lap Splices
                  #3 1'4"
                  #4 1'4"
                  #5 1'7"
                   Welded wire fabric - two spaces.
            Provide the following cover for reinforcing:
                  Footings 3" bottom and sides.
C. CONCRETE MASONRY UNITS
```

```
All concrete masonry work shall conform to ACI 531.1 Specification for Masonry
Construction.
    Concrete Masonry Units - ASTM C90, grade N, type 1, lightweight units.
       Mortar - ASTM C270, type S.
        Grout - ASTM C476.
    Reinforcing Steel - ASTM 615 grade 60, wire steel shall be ASTM A82.
     Reinforcing Details
       Lap reinforcing as indicated below:
                     Lap splices
                     Wire joint reinforcing - 1'0"
The masonry assemble shall achieve a unit strength (fm') = 1500 \text{ psi}.
```

D. STRUCTURAL STEEL

All detailing, fabrication and erection of structural steel shall conform to AISC Specification for the Design, Fabrication and Erection of Structural Steel for Buildings, the AWS D1.1 Structural Welding Code and meet the following requirements:

Steel Channels, Angles, Rods and Plates: ASTM A 36, yield strength 36 ksi except where noted otherwise in sections.

Tube - ASTM A500 Grade B. **Anchor Bolts** - ASTM A307 Welding Materials - E70XX.

Paint - One coat shop applied red oxide, Type 1 primer - 2 mils thick. Do not paint surfaces to be welded, embedded in concrete or masonry, or contact surfaces of friction connections.

All welding by certified welders and in accordance with AWS D1.1, structural welding code. All electrodes used for submerged arc and shielded metal arc welding shall be compatible with the structural steel as specified in AWS and AISC.

E. LIGHT GAUGE METAL FRAMING ACCESSORIES

Joists hangers shall be type "U" unless indicated otherwise on the drawings as manufactured by the Simpson Strong-Tie Company. Install joists hangers where beams frame into beams at the same elevation and in strict accordance with the manufacturer's specifications. All steel parts for wood connections in contact with treated lumber shall be hot-dipped galvanized coated conforming to ASTM A653 Class G-185 minimum required weight of zinc coating total both sides of 1.85 ounces per square foot:

F. BOISE CASCADE ENGINEERED WOOD PRODUCTS

All structural members fabricated by the Boise Cascade Corporation shall be erected and braced in strict accordance with the manufacturer's specifications. All members designated as "LVL" shall be laminated veneer lumber having properties and strengths equal to the Boise Cascade Corporation "VERSA-LAM".

G. WOOD FRAMING

All wood framing fabrication and erection shall conform to the National Design Specification for Wood Construction by the NFPA, the Plywood Design Specification by the APA and meet the requirements below. Unless noted otherwise all wood connections shall be in accordance with the fastening schedule of the International Residential Code. All lumber in contact with concrete or masonry shall be treated:

Framing Lumber - Southern Yellow Pine, S4S, No. 2, maximum moisture content

Floor Framing - Provide bridging for dimensioned lumber floor joists at 8'-0" o.c.

Plywood Flooring - APA rated 48/24, 3/4" thick. Nail with 12d nails spaced at 6" o.c. at panel ends and 12" o.c. at intermediate supports. **Plywood Roofing** - APA rated 32/16, 5/8" thick. Nail with 10d ring shank nails spaced at 6" o.c. at panel edges and 12" o.c. at intermediate supports. **Wall Sheathing** - APA rated 32/16, 1/2" on all the exterior walls to brace the structure for wind loads. Nail plywood edges with 8d nails at 6" o.c. at panel edges and 12" o.c. at intermediate supports. Provide solid blocking at all panel edges.

IV.ab**MISCELLANEOUS**

- No change in size or dimension of structural members shall be made without the written approval of the professional of record.
- The contractor is responsible for limiting the amount of construction load imposed upon structural framing. Construction loads shall not exceed the design capacity of the
- framing at the time the loads are imposed. The structure is designed to function as a unit upon completion. The contractor is responsible for furnishing all temporary bracing and/or support that may be required as the result of the contractor's construction methods and/or sequences.
- The contractor shall inform the professional of record in writing of any deviation from the contract documents. The contractor shall not be relieved of the responsibility of such deviation by the professional of record review of shop drawings, product data, etc., unless the contractor has specifically informed the professional of record of such deviation at the time of submission, and the professional of record has given written approval to the specific deviation.

∀. QUALITY CONTROL

A. The following work requires inspections:

1. Reinforcing Steel 2. Concrete Placement 3. CMU Piers and Walls 4. Structural Steel 5. Wood Framing

B No work shall be done without inspectors knowledge.

REVISIONS:



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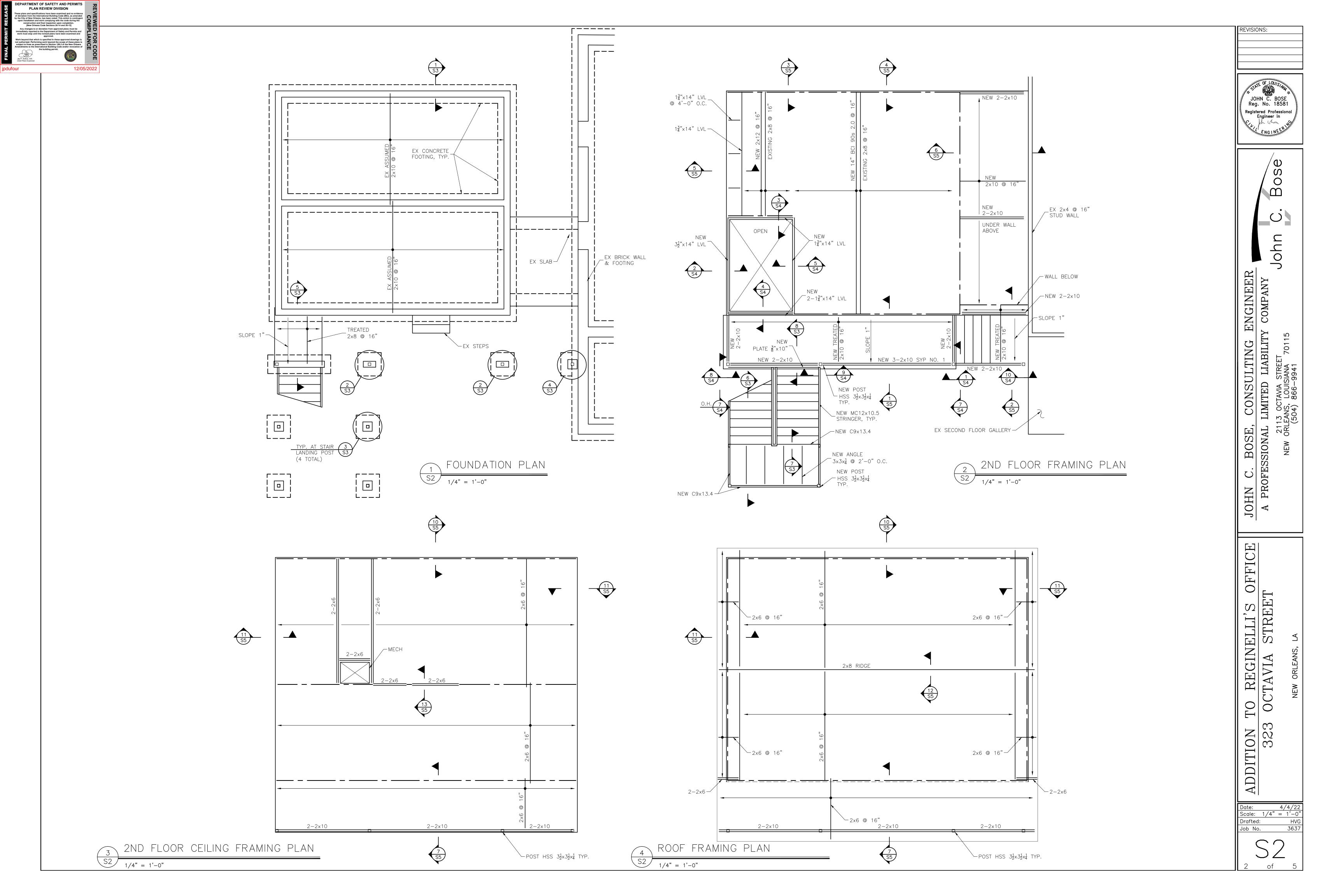
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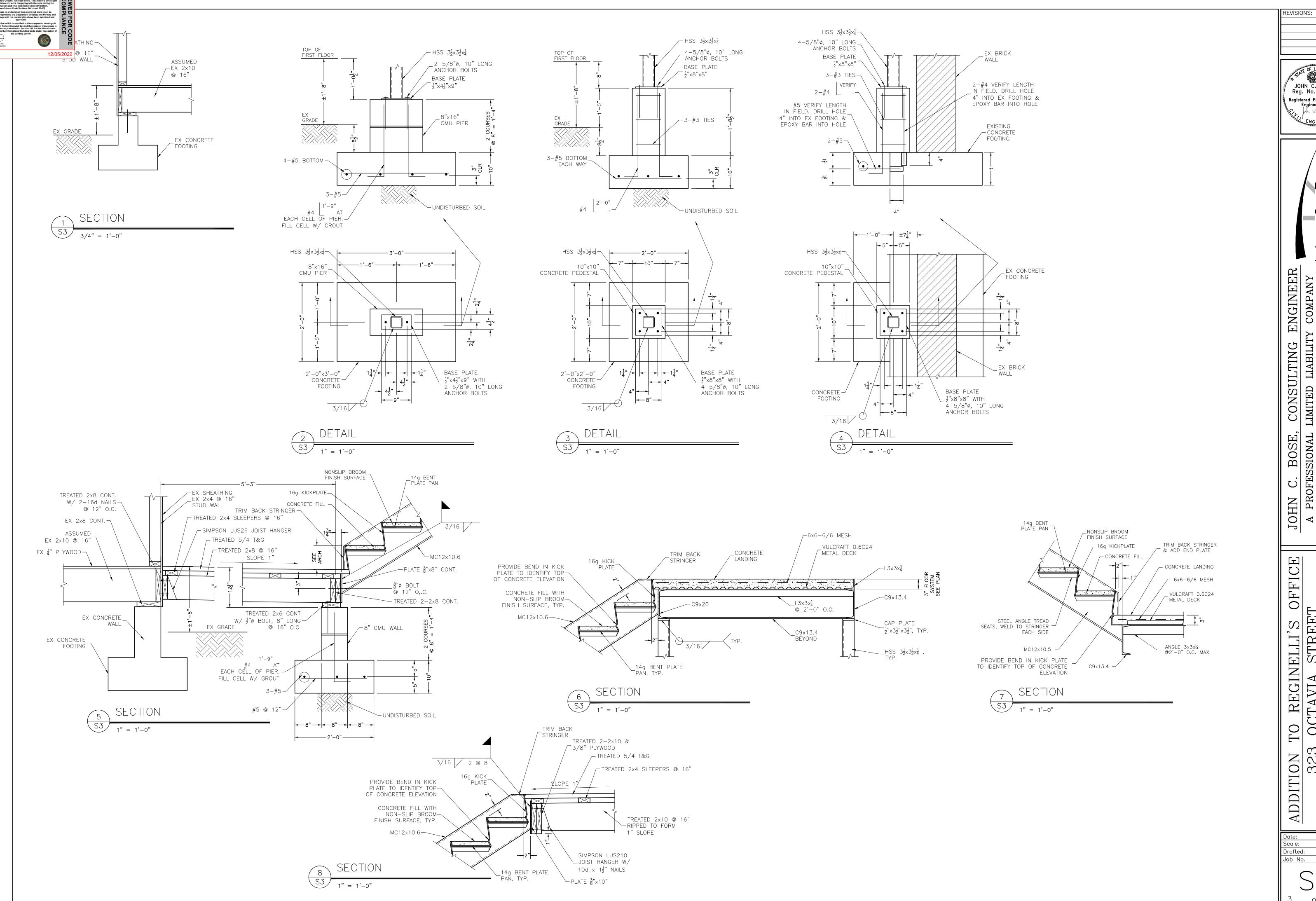
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DEPARTMENT OF SAFETY AND PERMITS
PLAN REVIEW DIVISION

JOHN C. BOSE Reg. No. 18581 Registered Professional Engineer in

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BOSE, CONSULTING ENGINEER
SSIONAL LIMITED LIABILITY COMPANY

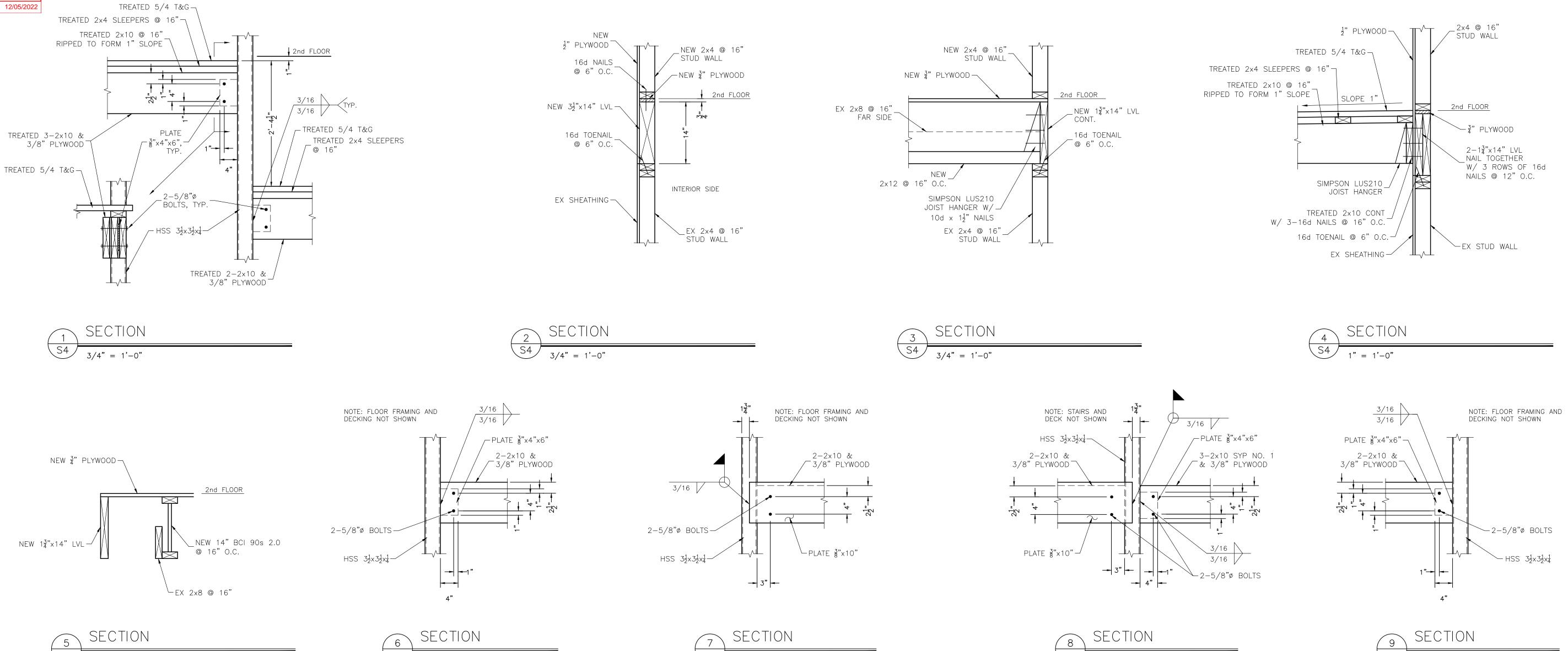
2113 OCTAVIA STREET

NEW ORLEANS, LOUISIANA 70115
(504) 866–9941

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ADDITION 323

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BOSE, CONSULTING ENGINEER
SIONAL LIMITED LIABILITY COMPANY
NEW ORLEANS, LOUISIANA 70115
(504) 866–9941 JOHN C. A PROFES

REVISIONS:

JOHN C. BOSE Reg. No. 18581

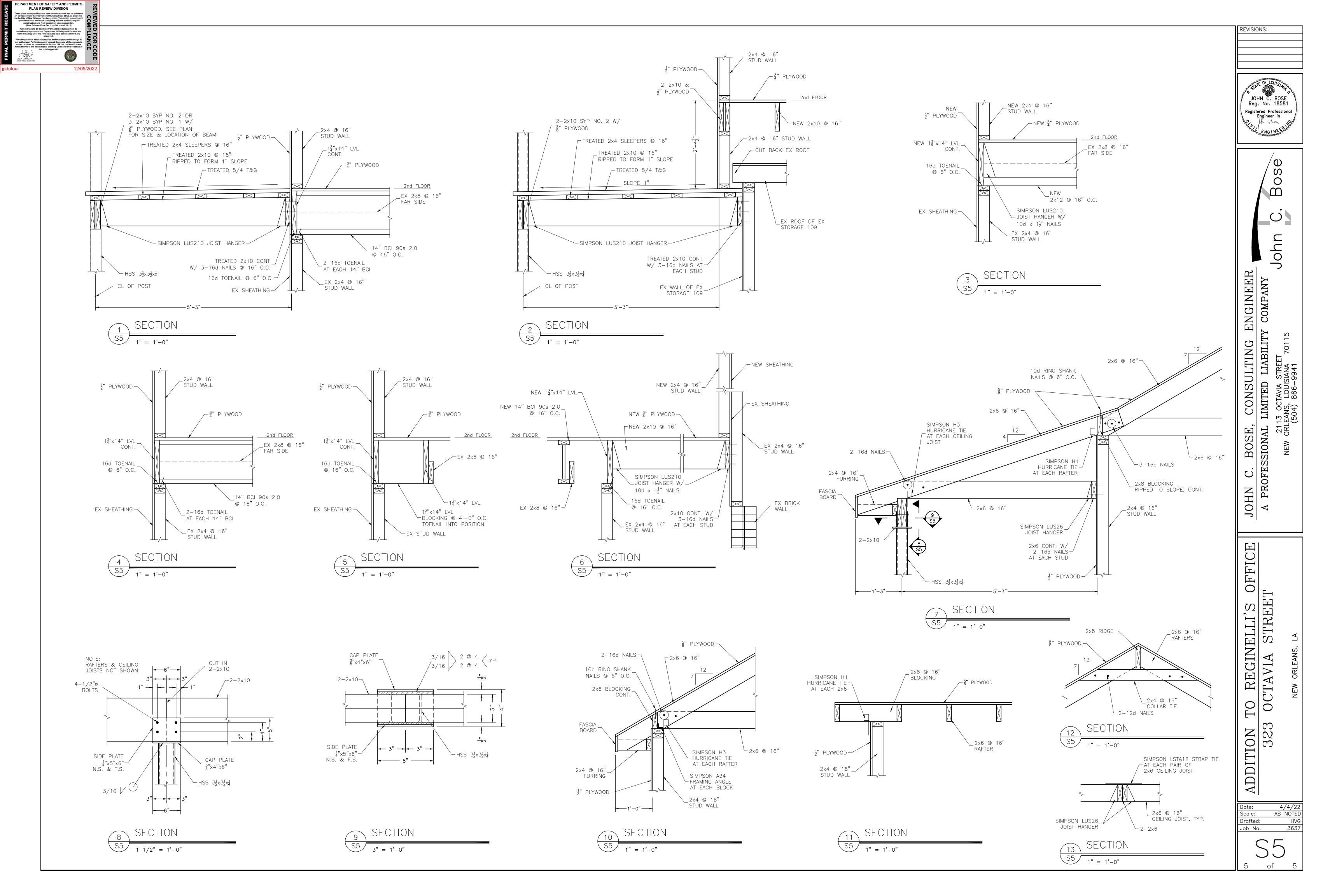
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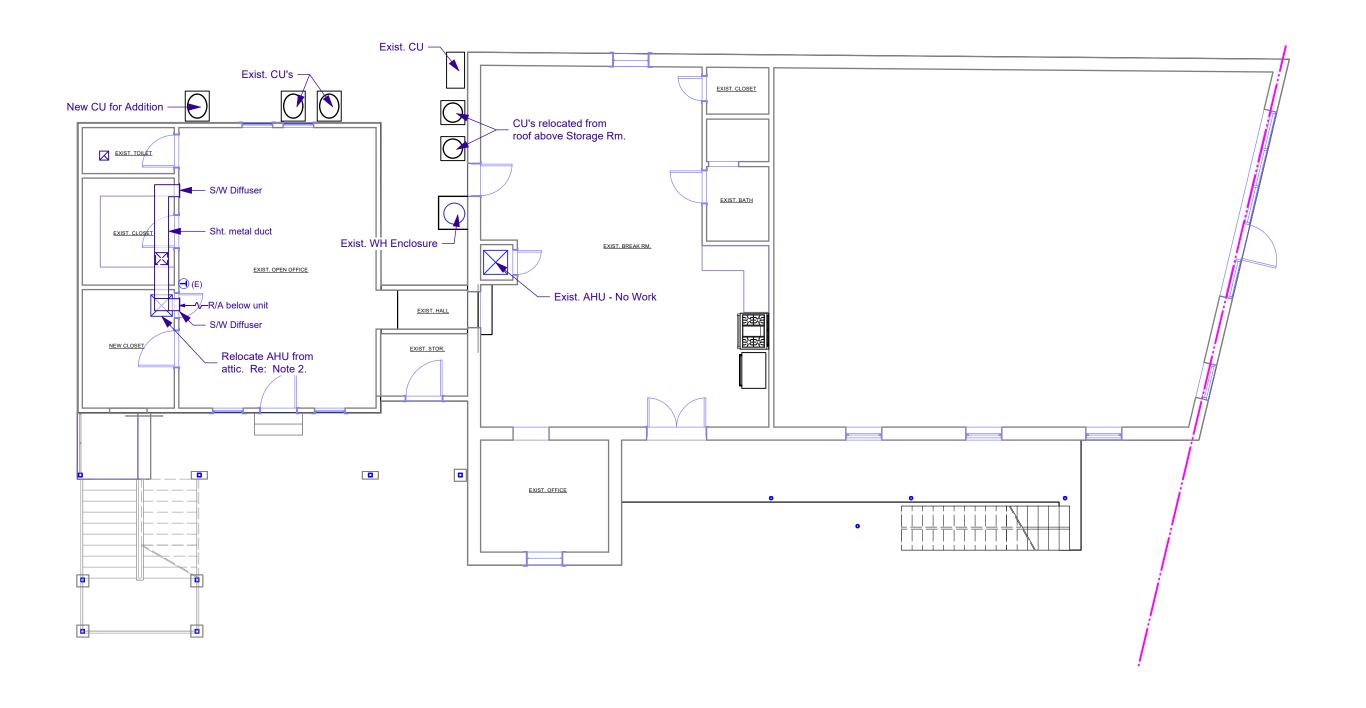
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Date: Scale: Drafted: Job No. 4/4/22 AS NOTED HVG 3637



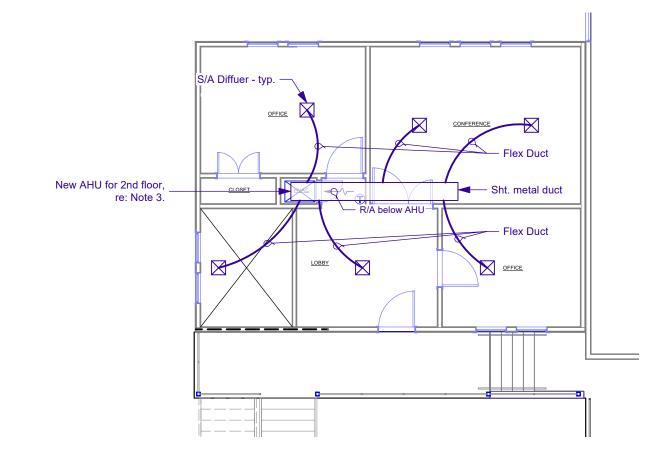


1ST FLOOR HVAC PLAN

1ST FLOOR ELECTRICAL PLAN

ME1.0 Scale: 1/8" = 1'-0"

ME1.0 Scale: 1/8" = 1'-0"



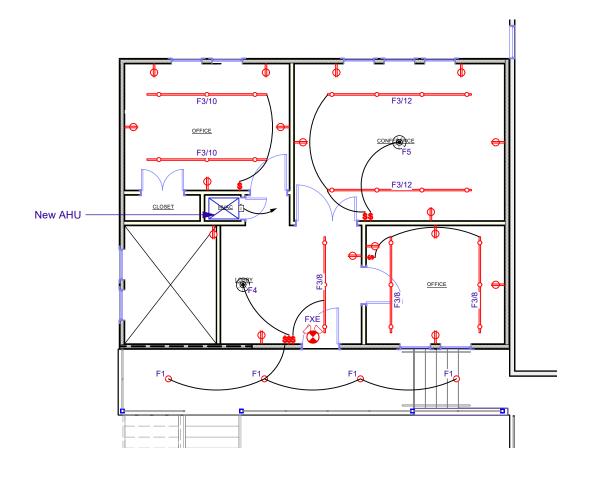


HVAC PLAN NOTES

- 1. All A/C equipment shall be installed in accordance with NFPA Bulletin 90A and with local authorities rules and regualtions.
- 2. 1st Floor H.V.A.C.: Relocate existing AHU from attic space that is scheduled to be removed. Provide sheet metal duct to feed S/A Diffusers. Maintain existing CFM's.
- 3. 2nd Floor H.V.A.C.: Mech. Subcontractor to determine size of AHU/CU. Main S/A duct to be sheet metal w/ flex duct to each S/A diffuser. All S/A ductwork yo be runin the attic space of 2nd floor addition.
- Mechanical Subcontractor shall perform Manual J-Load calculations to determine size of new 2nd floor unit.
- 5. All equipment will be installed as per manufacturer's specifications.
- All ducts shall be constructed in accordance with SMACNA manual for low pressure ductwork or as per ASHRAE guide.
- 7. Metal gauges as per SMACNA recommendations.
- All rectangular duct to be lined with 1" fiberglass, 1-1/2 lb.
- density with full coat adhesive.
- Flexible duct connections to fan-coil units.
- 10. Flexible round duct to be class I, UL 181 listed. Wrap with 2" fiberglass witht vapor seal.
- 11. When required, smoke detectors will be installed to stop the fan in HVAC duct systems larger than 2000 cfm.
- 12. Each return air duct will have a 125 degree firestat to stop
- 13. Fire dampers will be installed in all outside air ducts.
- 14. Each take-off will have a manual damper.
- 15. Safe pan under each fan-coil unit.
- 16. Refrigerant lines sized as per manufacturer's recommendations.
- 17. Suction lines and condensate drain lines to be insulated with 1/2" Rubbertex, or approved equivalent.

CU's relocated from roof above Storage Rm. Exist. CU — New CU for Addition — — Exist. light track → Exist. surface mtd. fluorescent Exist. Pendant fix Exist. WH Enclosure Exist. LED track Its. - typ. - Elec. Service 323 Octavia St. EXIST. OFFICE





4 2ND FLOOR ELECTRICAL PLAN ME1.0 Scale: 1/8" = 1'-0"

ELECTRICAL PLAN NOTES

- All electrical work shall comply with NFPA 70, National Electrical Code.
- Comply with local and state codes, OSHA requirements, and national electrical code.
- All equipment, material, wire, switches and devices must be U.L. approved for service intended.
- All wiring to be done by a licensed contractor. No sub-licensing will be allowed.
- All wiring to be copper.
- All receptacle circuits up to 100'-0" shall utilize #12 conductors minimum. All receptacle circuits from 101'-0" to 150'-0" in length utilize #10 conductors minimum. All receptacle circuits from 151'-0" to 250'-0" in length utilize #8 conductors minimum. Circuits above 251'-0" shall utilize #6 conductors minimum.
- Existing electrical service is existing to remain.
- All A/C condensers and air handlers (new & existing) to have visible means to disconnect (fused).
- Contractor to coordinate with the Owner location of all Telelphone jacks and Data outlets.
- 10. All electrical outlets to be mounted @ 18" a.f.f., unless otherwise noted.
- 11. Verify with Owner location of all electrical outlets and switches prior to rough-in.
- 12. Electrical contractor shall make all final connections as required for a fully complete and operable system.
- 13. All receptacles to be mounted vertically, not horizontally.

LIGHT FIXTURE TYPES

- 1. F1: Recessed 4 inch diameter LED downlight.
- F2: Wall Mounted LED utility light.
- 3. F3: Pendant Mounted Light track with length in feet (F4/12'). Match existing track on 1st floor. Number of fixtures (LED) to be determined by the Owner.
- 4. F4: Pendant LED fixture for Lobby. Furnished by the
- F5: Pendant LED fixture for Conference. Furnished by the Owner.
- FXE: Existing combination Exit/Emergency light w/ battery pack.



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d By GNK	Project ID 21-27			
ed By GNK	Drawing Code ME1.0 [HVAC Duct Plan-1]			
ed By	CAD File Name 21-27_Prelim.vwx	٥	4/4/2022	Release for Permits
Manager	Plot Date		414.602.5	Telegge for 1 cirilities
GNK	4/4/2022	No.	Date	Issue Notes

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AS NOTED

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