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PROJECT INFORMATION

- I. **LOCATION:** 323 Octavis Street
New Orleans, LA 70115
- II. **PROJECT DESCRIPTION:**
787 SF Second Story Addition to an existing 2 Story Building.
Existing Use: Offices. Proposed Use: Offices.
- III. **ZONING:**
HU-MU
- IV. **SQUARE FOOTAGE:**
Existing First Floor: Reginelli's: 1,631.7 SF
Restaurant Space: 1,258.8 SF
Existing Second Floor: Residential (3 Units): 2,074.3 SF
Balcony & Stair: 393.7 SF
Second Floor Addition: Offices: 787.3 SF
New Balcony & Stair: 299.7 SF
- V. **APPLICABLE CODES:**
- A. **N.O.B.C. / IBC-2015**
1. Occupancy Group: Group "B" (Business); Group "A-2" (Assembly);
Group "R-2" (Residential)
2. Occupancy Load: Business: 25; Assembly: 22; Residential: 11.
- B. **NFPA 101-2015**
1. Occupancy Type: Business; Assembly<300; Apartment Building
2. Occupancy Load: Business: 25; Assembly: 27; Residential: 11.
- C. **2010 ADAAG**
- D. **2015 INTERNATIONAL PLUMBING CODE**
- E. **2015 INTERNATIONAL MECHANICAL CODE**
- F. **2015 INTERNATIONAL FUEL & GAS CODE**
- G. **2014 NATIONAL ELECTRICAL CODE**
- VI. **AUTOMATIC SPRINKLER SYSTEM:** NO
- VII. **FIRE ALARM SYSTEM:** Not Required

SYMBOLS

- EXIST. TO REMAIN**
- CONCRETE**
- WD. OR METAL STUD FRAMING**
- BRICK VENEER**
- CONCRETE BLOCK**
- 1 HR FIRE-RATED PARTITION**
- EXIST. TO BE REMOVED OR HIDDEN LINE**
- CENTER LINE**
- PROPERTY LINE**
- 8'-0"** **DIMENSION LINE**
- 1 = NEW DOOR NUMBER**
- E = EXIST. DOOR TO REMAIN**
- 101 = ROOM NUMBER**
- W-1 = WINDOW TYPE**
- EXIST. ELECTRICAL OUTLET**
- NEW DUPLEX OUTLET**
- GROUND FAULT CIRCUIT INTERRUPT**
- WATERPROOF DUPLEX**
- QUAD OUTLET**
- DUPLEX FLOOR**
- SD = SMOKE DETECTOR**
- WALL SWITCH**
- THREE WAY WALL SWITCH**
- WALL SWITCH - DIMMER**

ABBREVIATION

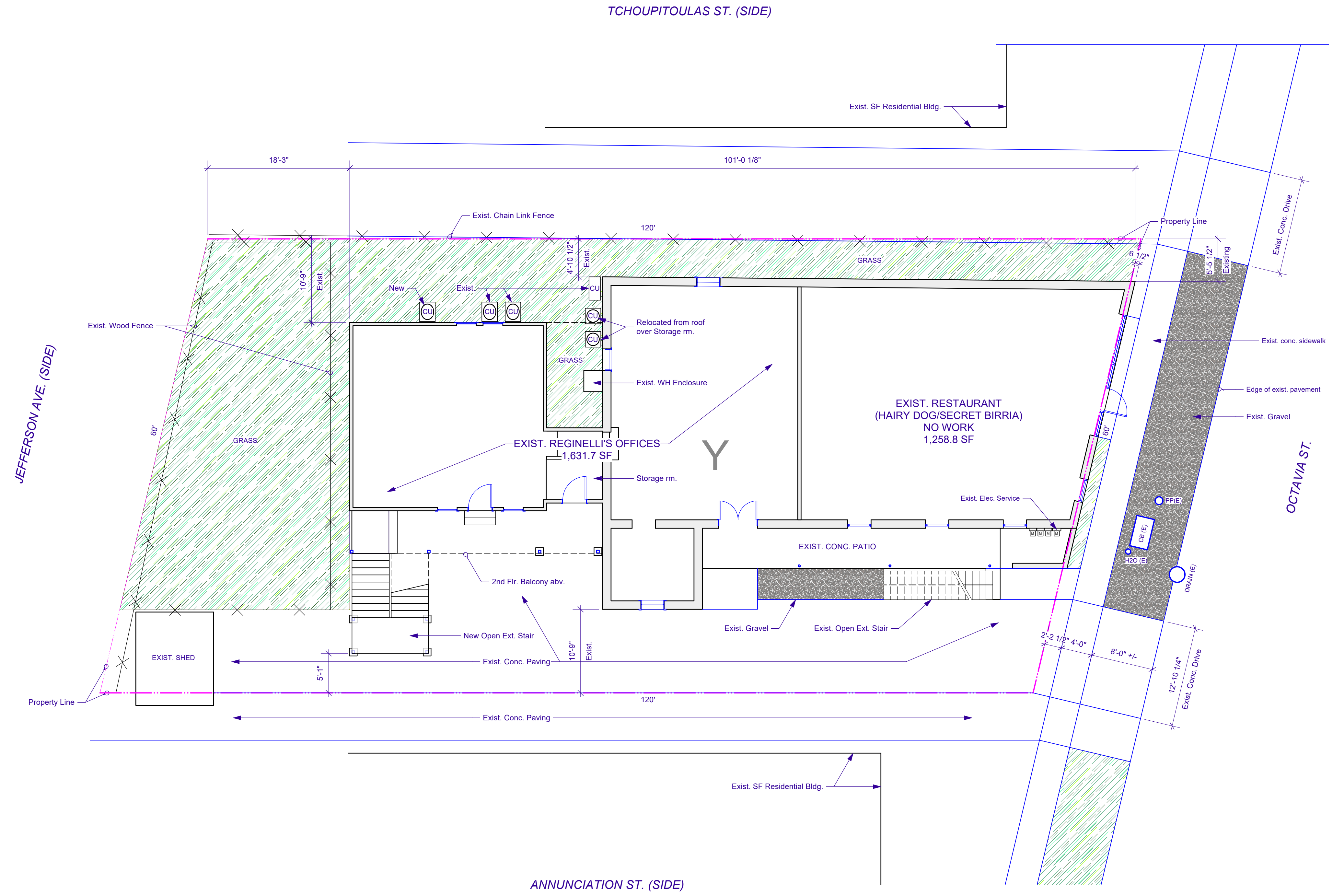
- A/C AIR CONDITIONING
A.F.F. ABOVE FINISH FLOOR
ALUM. ALUMINUM
@ AT
BD. BOARD
BET. BETWEEN
BLK'G. BLOCKING
BOT. BOTTOM
B.L. BRICK LEDGE
B.V. BRICK VENEER
BLDG. BUILDING
C.T. CERAMIC TILE
CLG. CEILING
C.J. CEILING JOIST
COL. COLUMN
CONC. CONCRETE
CONT. CONTINUOUS
CMU CONCRETE MASONRY UNIT
DET. DETAIL
DBL. DOUBLE
DN. DOWN
DRWG. DRAWING
DW DISHWASHER
D DRYER
EA. EACH
E.I.F.S. EXTERIOR INSULATION AND FINISH SYSTEM
ELEC. ELECTRICAL
ELEV. ELEVATION(BUILDING)
EL. ELEVATION(GRADE)
EQ. EQUAL
EXIST. EXISTING
EXT. EXTERIOR
FIN. FINISH
FLR. FLOOR
F.J. FLOOR JOIST
F.V. FIELD VERIFY
FR. FREEZER
FTG. FOOTING
GA. GAUGE
GALV. GALVANIZED
GALVM. GALVALUME
GR. GRADE
GYP.BD. GYPSUM BOARD
HT. HEIGHT
HORIZ. HORIZONTAL
H.B. HOSE BIBB
I.F. INSIDE FACE
I.F.S. INSIDE FACE OF STUD
INSUL. INSULATION
INT. INTERIOR
M.E. MATCH EXISTING
MFR. MANUFACTURER
MATL. MATERIAL
- M.C. MEDICINE CABINET
M.O. MASONRY OPENING
MTL. METAL
MLD. MOULDING
N.I.C. NOT IN CONTRACT
OPG. OPENING
NO. NUMBER
O.C. ON CENTER
O.D. OUTSIDE DIAMETER
O.F. OUTSIDE FACE
O.F.S. OUTSIDE FACE OF STUD
PNL. PANEL
PLYWD. PLYWOOD
PCF. POUNDS PER CUBIC FOOT
PSI POUNDS PER SQUARE INCH
RE: REFER TO
REF. REFRIGERATOR
R/A RETURN AIR
RM. ROOM
R.O. ROUGH OPENING
R RISER
S SHEET
SIM. SIMILAR
S.O.H. SIMILAR OPPOSITE HAND
S SINK
S.C. SOLID CORE
SPECS. SPECIFICATIONS
S.S. STAINLESS STEEL
STL. STEEL
STRUCT. STRUCTURE/STRUCTURAL
T.S. THIN SET
T & G TONGUE & GROOVE
T.O.S. TOP OF SLAB
T TREAD
TRTD. TREATED
TYP. TYPICAL
U.O.N. UNLESS OTHERWISE NOTED
VERT. VERTICAL
V.C.T. VINYL COMPOSITION TILE
W WASHER
W.C. WATER CLOSET
WH WATER HEATER
WP WATERPROOF
w/ WITH
WD. WOOD.

These plans and specifications have been prepared by me, or under my direct supervision. To the best of my knowledge the requirements of the applicable building codes have been met.

I will make site observation visits during construction



Project Title AS NOTED		Sheet No. T1.0 of 19	
Project Title ADDITION TO: REGINELLI'S OFFICES 323 OCTAVIA ST. NEW ORLEANS, LA 70115		Sheet Title INDEX OF DRAWINGS SYMBOLS; ABBREVIATIONS PROJECT INFORMATION	
Designed By GNK		Date 4/4/2022	
Drawn By GNK		Revision	
Checked By GNK		Project ID 21-27	
Reviewed By GNK		Drawing Code T1.0 [Cover Sheet-1]	
Submitted By gnkarch@att.net		GDS File Name 21-271_Prelim.vwx	
Project Manager GNK		File Date 4/4/2022	
TEL: 504-865-1937 E-MAIL: gnkarch@att.net		FAX: 866-859-6774	
7734 WALMSLEY AVE NEW ORLEANS, LA 70125		A 4/4/2022 Release for Permits	
		No. Date Issue Notes	



1 SITE PLAN
C1.0 Scale: 1/8" = 1'-0"

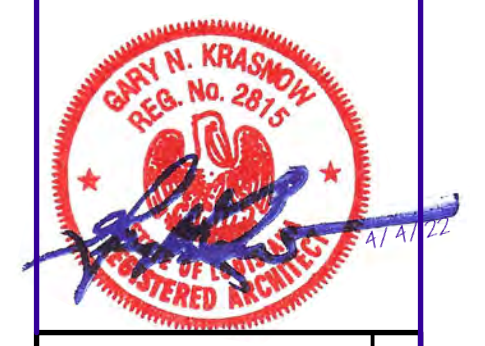
LOT 'Y'
SQUARE NO. 129, RICKERVILLE
SIXTH DISTRICT
NEW ORLEANS, LA
ORLEANS PARISH
ZONED: MU-MU

- LEGEND**
- Indicates slope in the finish grade of new paving.
 - 00.00 Indicates the top of the new paving or sidewalk elevation.
 - M.E. Match existing grade elevation.
 - 00.00 (E) Existing grade elevation.
 - D.I.: Drop Inlet (24" x 24" Frame & Grate)
 - DMH: Drain Manhole
 - CB: Catch Basin
 - F.H.: Fire Hydrant
 - P.P.: Power Pole
 - L.P.: Light Pole
 - SMH: Sewer Manhole
 - GR: Grass/Planting Area
 - (E): Following/preceding other designations indicates that item is existing.

- SITE PLAN NOTES**
- ALL conditions shown on the Site Plan are existing to remain, u.o.n.
 - All driveways shown on the plan(s) are existing.
 - All paving shown on the plan(s) is existing, unless otherwise noted.

SITE AREA: 7,005 SF
PERMEABLE OPEN SPACE: 2,008 SF / 28.7%
IMPERVIOUS AREA: 4,997 SF

- OFF-STREET PARKING**
- EXISTING: 1**
NEW: 0
- NOTE**
- NOCZO, Article 22.5, Par. A, 6: The first five-thousand (5,000) square feet in gross floor area for commercial uses in the HU-B1, HU-MU and MU-1 Districts are exempt from the vehicle parking requirements of Table 22-1.



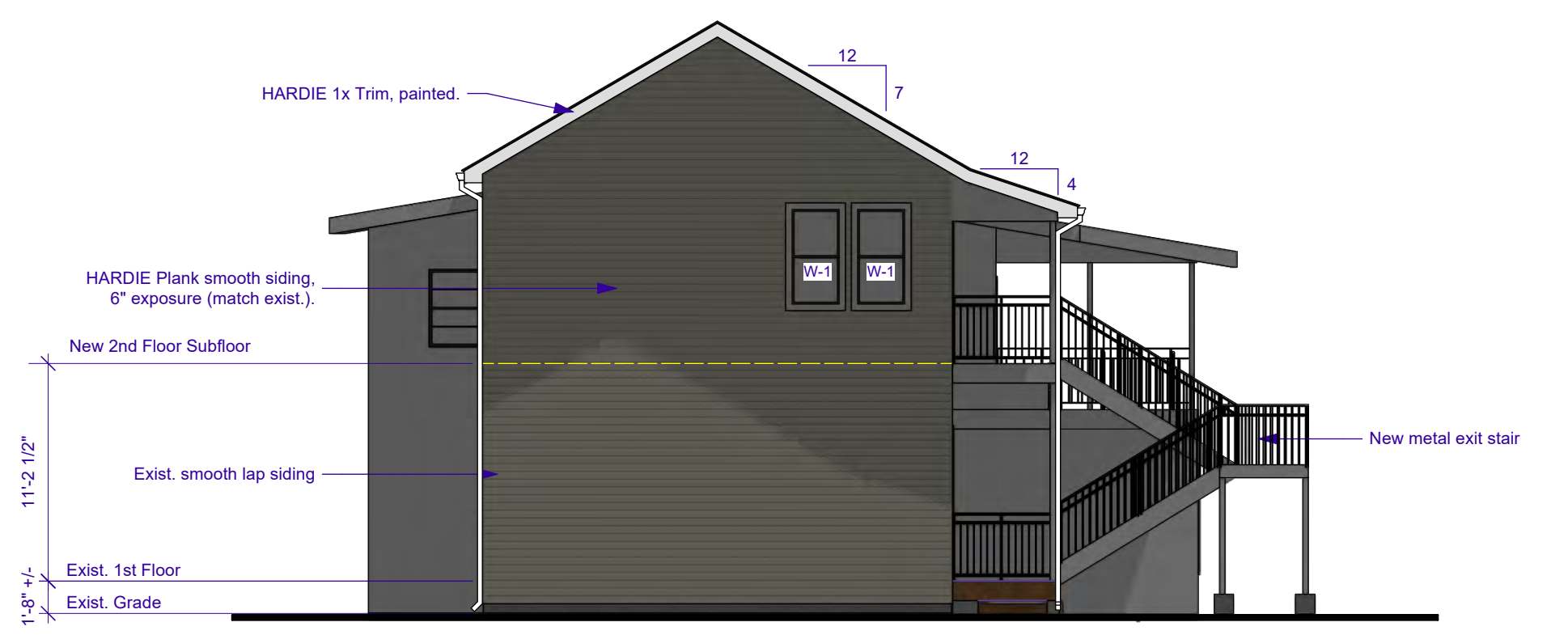
Release for Permits		Date		No.		Issue Notes	
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Designed By	GNK	Date	4/4/2022	Revision		Project ID	21-27
Drawn By	GNK	Revision		Project ID	21-27	Drawing Code	C1.0 [Site Plan (General)]
Checked By	GNK	Checked By	GNK	Submitted By	GNK	COPIES	21-27_Prelim vwx
Reviewed By	GNK	Reviewed By	GNK	Project Manager	GNK	File Date	4/4/2022
GARY N. KRASNOW ARCHITECT, LLC 7734 WALMSLEY AVE NEW ORLEANS, LA 70125 TEL: 504-865-1937 FAX: 866-859-6774 E-MAIL: gnkarch@att.net							
ADDITION TO: REGINELLI'S OFFICES 323 OCTAVIA ST. NEW ORLEANS, LA 70115				SITE PLAN			
AS NOTED							
C1.0 of 19							



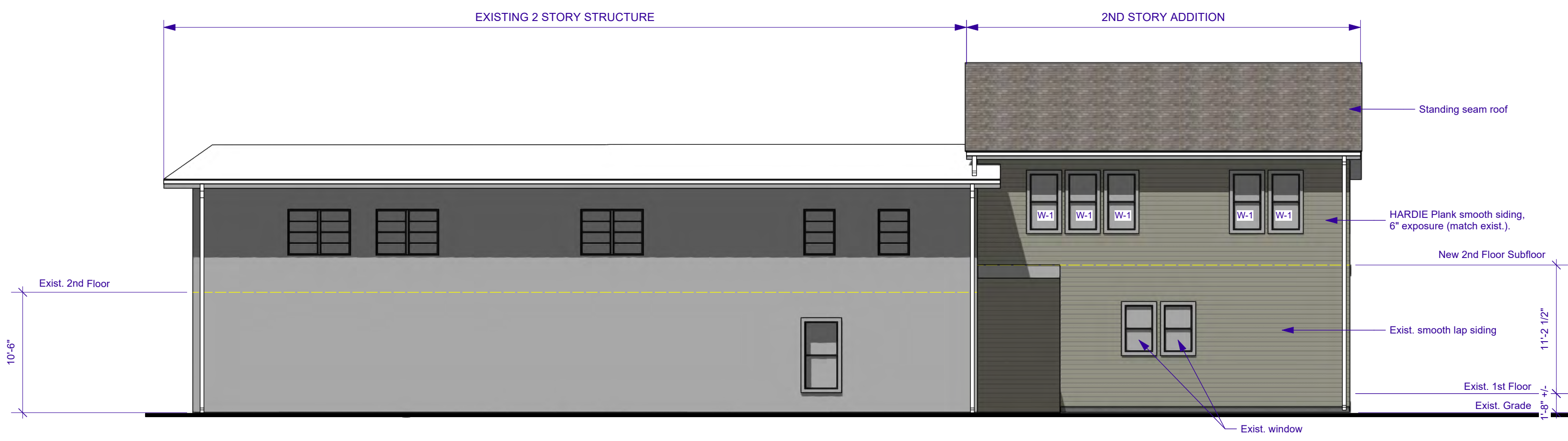
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|-----------|---------------------------------------------|
| Scale | AS NOTED |
| Sheet No. | <p>A2.1</p> <p>_____ of _____</p> <p>19</p> |



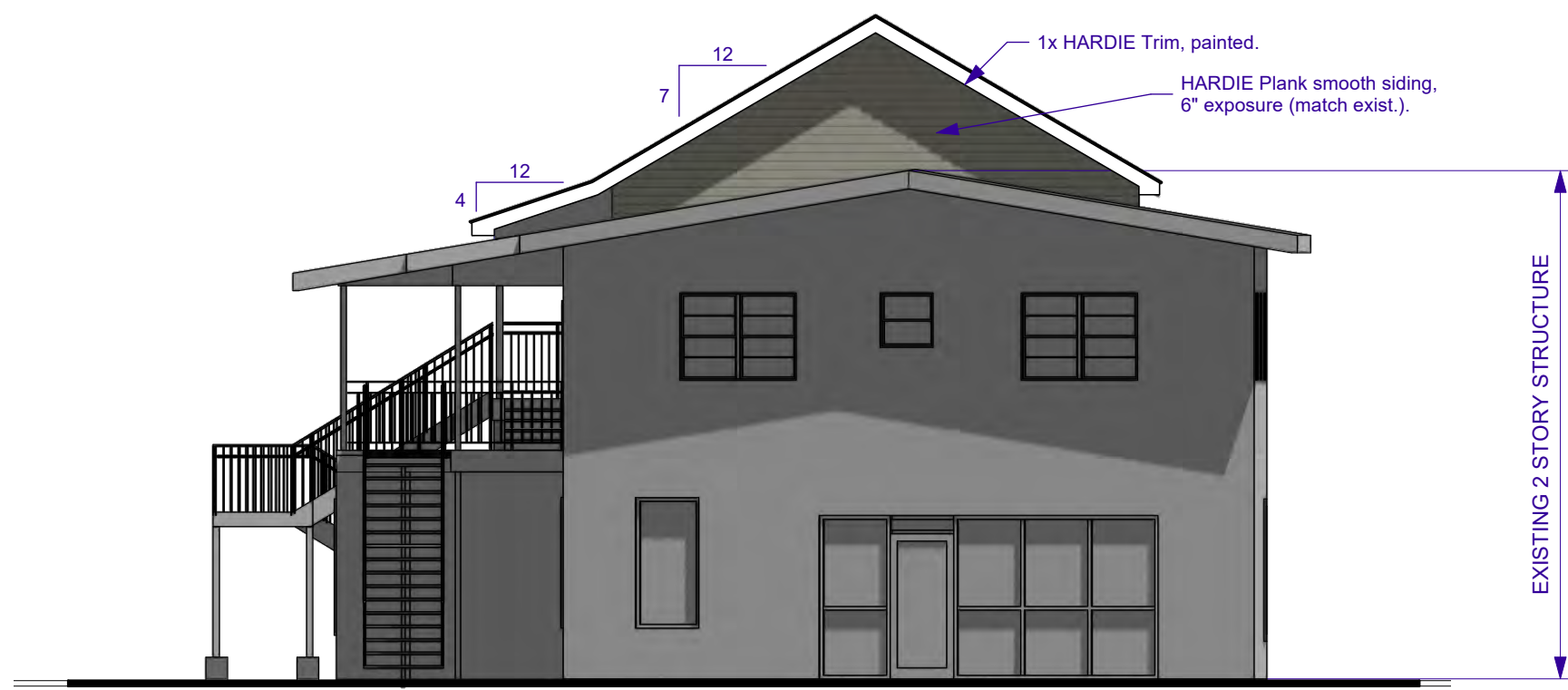
1 LEFT ELEVATION
A3.0 Scale: 1/8" = 1'-0"



2 REAR ELEVATION
A3.0 Scale: 1/8" = 1'-0"



3 RIGHT ELEVATION
A3.0 Scale: 1/8" = 1'-0"



4 FRONT ELEVATION (OCTAVIA ST.)
A3.0 Scale: 1/8" = 1'-0"

EXTERIOR ELEVATION NOTES

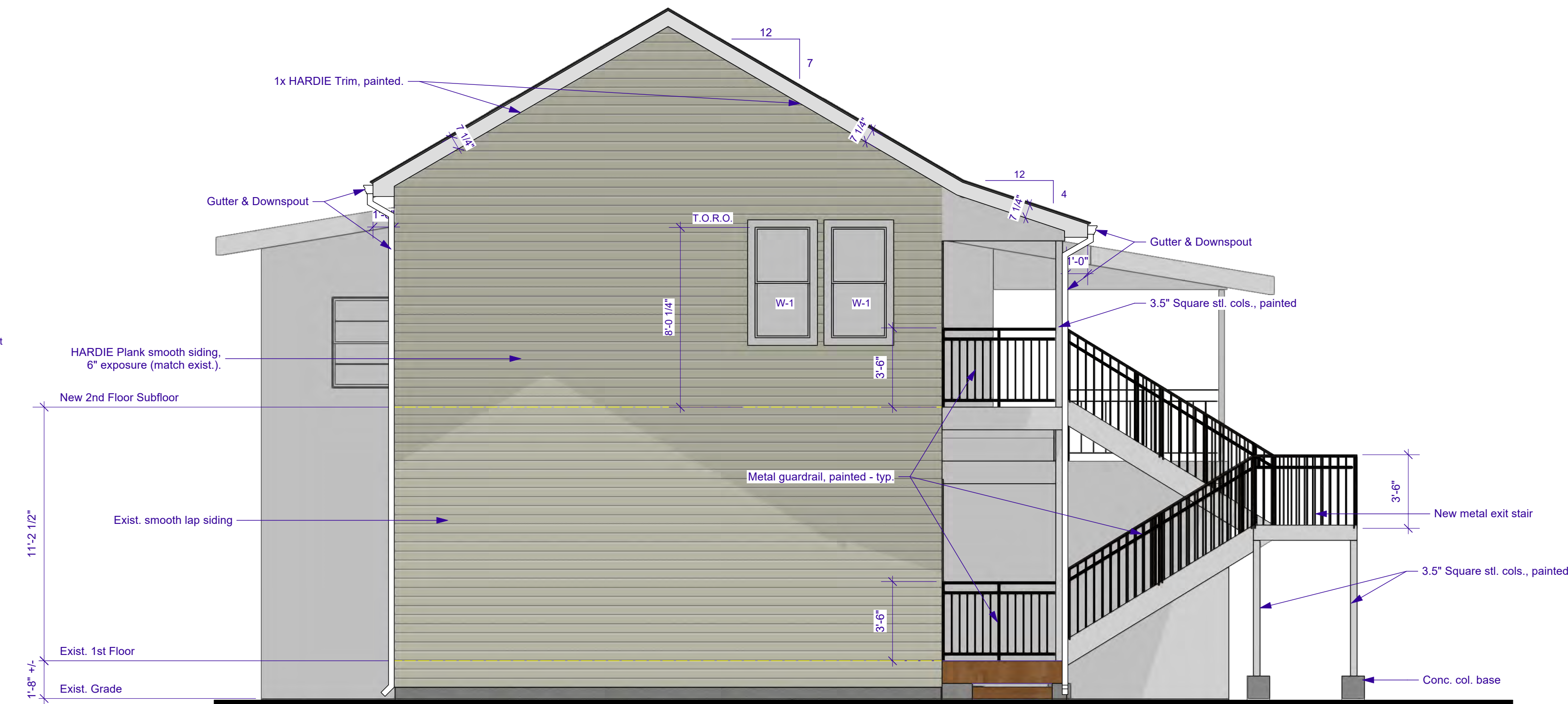
1. Exterior colors to be selected by the Owner.
2. Re: Sht. A5.0 for WindowType Elevations (W-1).
3. Re: Sht. A7.0 for Roof Plan.



Project Title		GARY N. KRASNOW ARCHITECT, LLC		7734 WALMSLEY AVE NEW ORLEANS, LA 70125		TEL: 504-865-1937 E-MAIL: gnkarch@att.net		FAX: 866-859-6774		Release for Permits	
AS NOTED		ADDITION TO: REGINELLI'S OFFICES 323 OCTAVIA ST. NEW ORLEANS, LA 70115		EXTERIOR ELEVATIONS - BUILDING		Designed By		GNK		Date	
Sheet No.		AS NOTED		Sheet Title		Drawn By		GNK		Revision	
						Checked By		GNK		Project ID	
						Reviewed By		GNK		Drawing Code	
						Submitted By		GNK		CAD File Name	
						Project Manager		GNK		Plot Date	
										A	
										4/4/2022	
										No.	
										Date	
										Issue Notes	
										4/4/2022	
										A3.0 [Elevations-M-1]	
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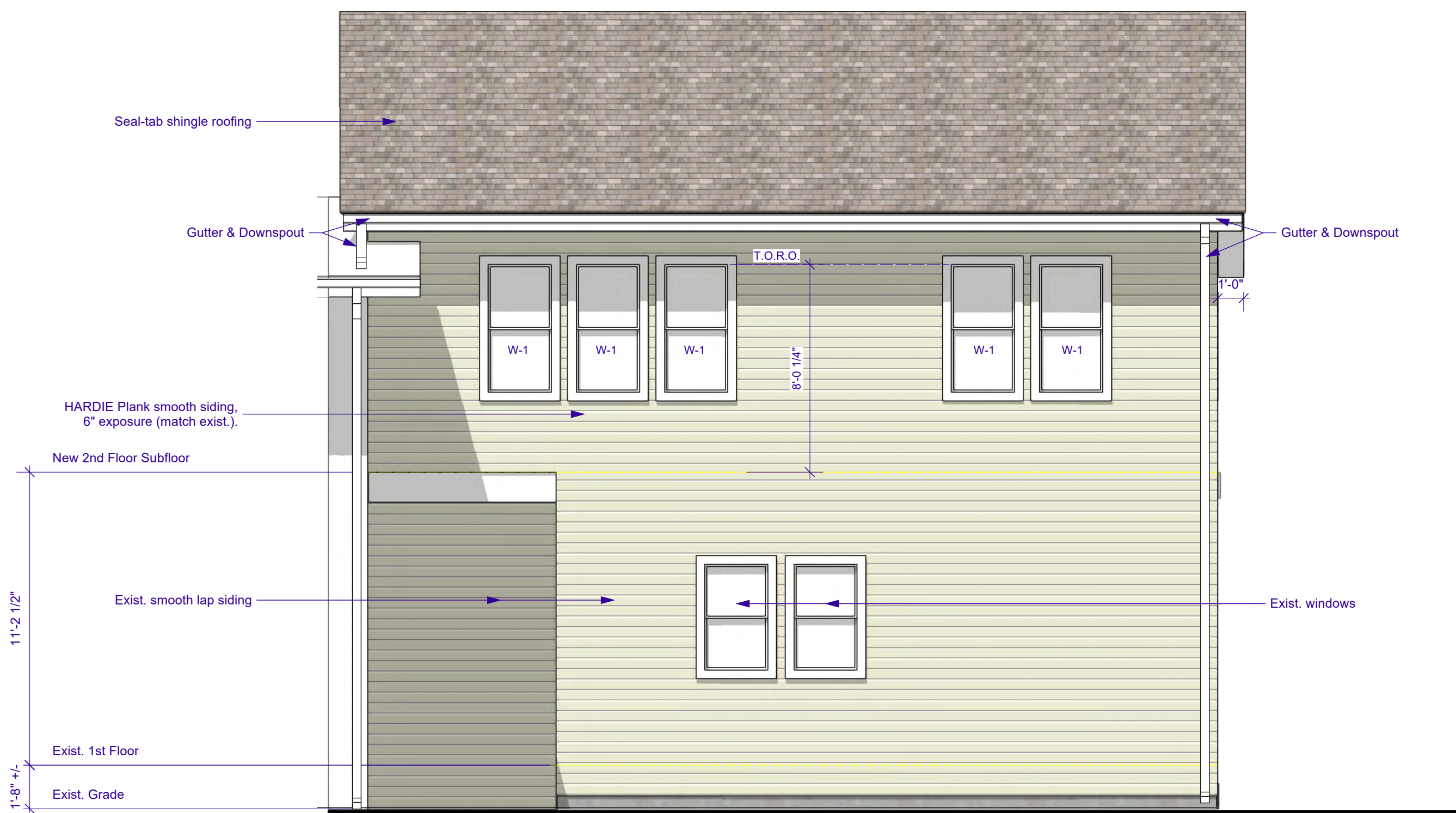
1 ADDITION - FRONT ELEVATION
A3.1 Scale: 1/4" = 1'-0"



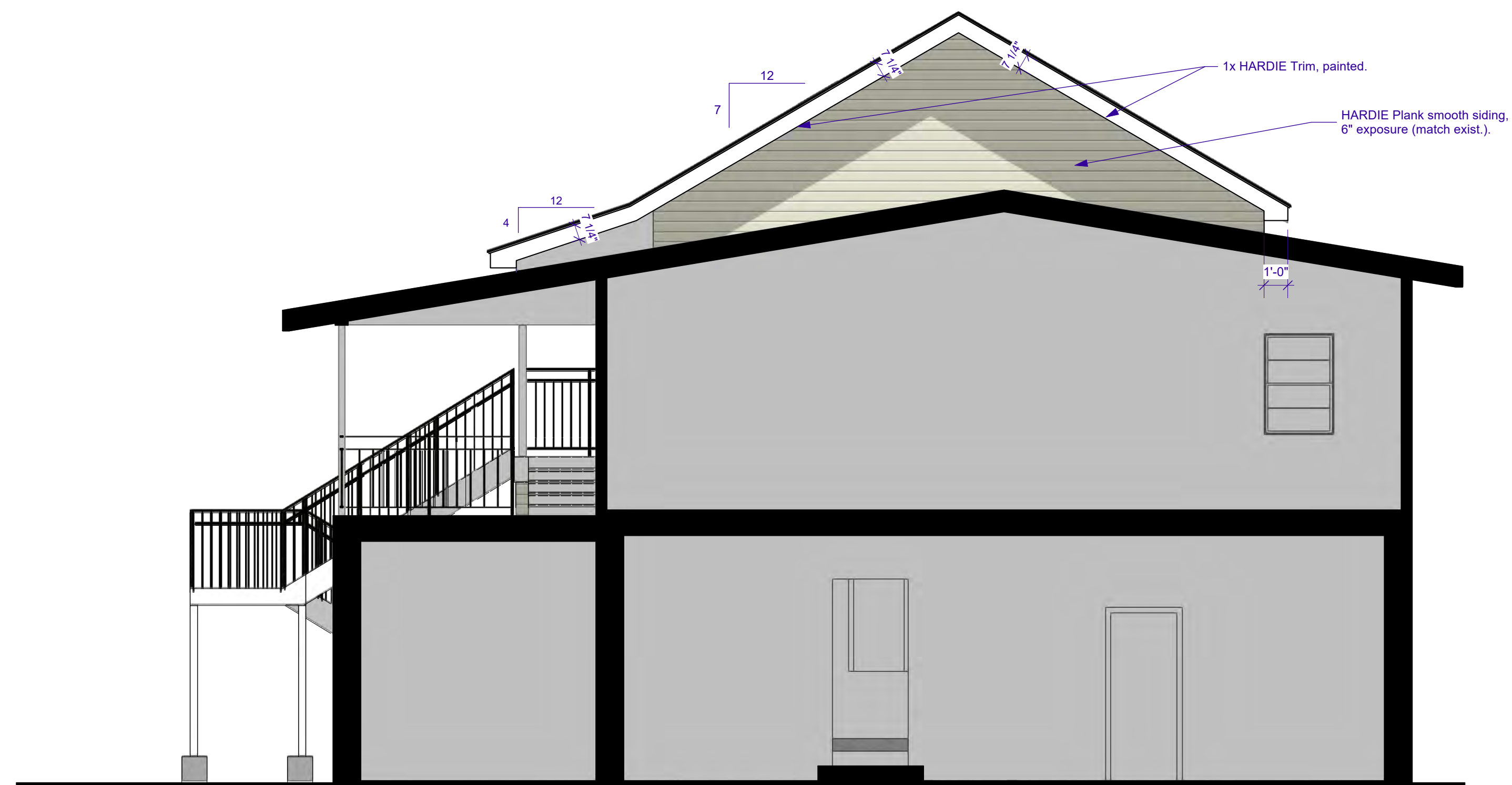
2 ADDITION - LEFT SIDE
A3.1 Scale: 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

1. Exterior colors to be selected by the Owner.
2. Re: Sht. A5.0 for WindowType Elevations (W-1).
3. Re: Sht. A7.0 for Roof Plan.



3 ADDITION - REAR ELEVATION
A3.1 Scale: 1/4" = 1'-0"



4 ADDITION - RIGHT SIDE ELEVATION
A3.1 Scale: 1/4" = 1'-0"



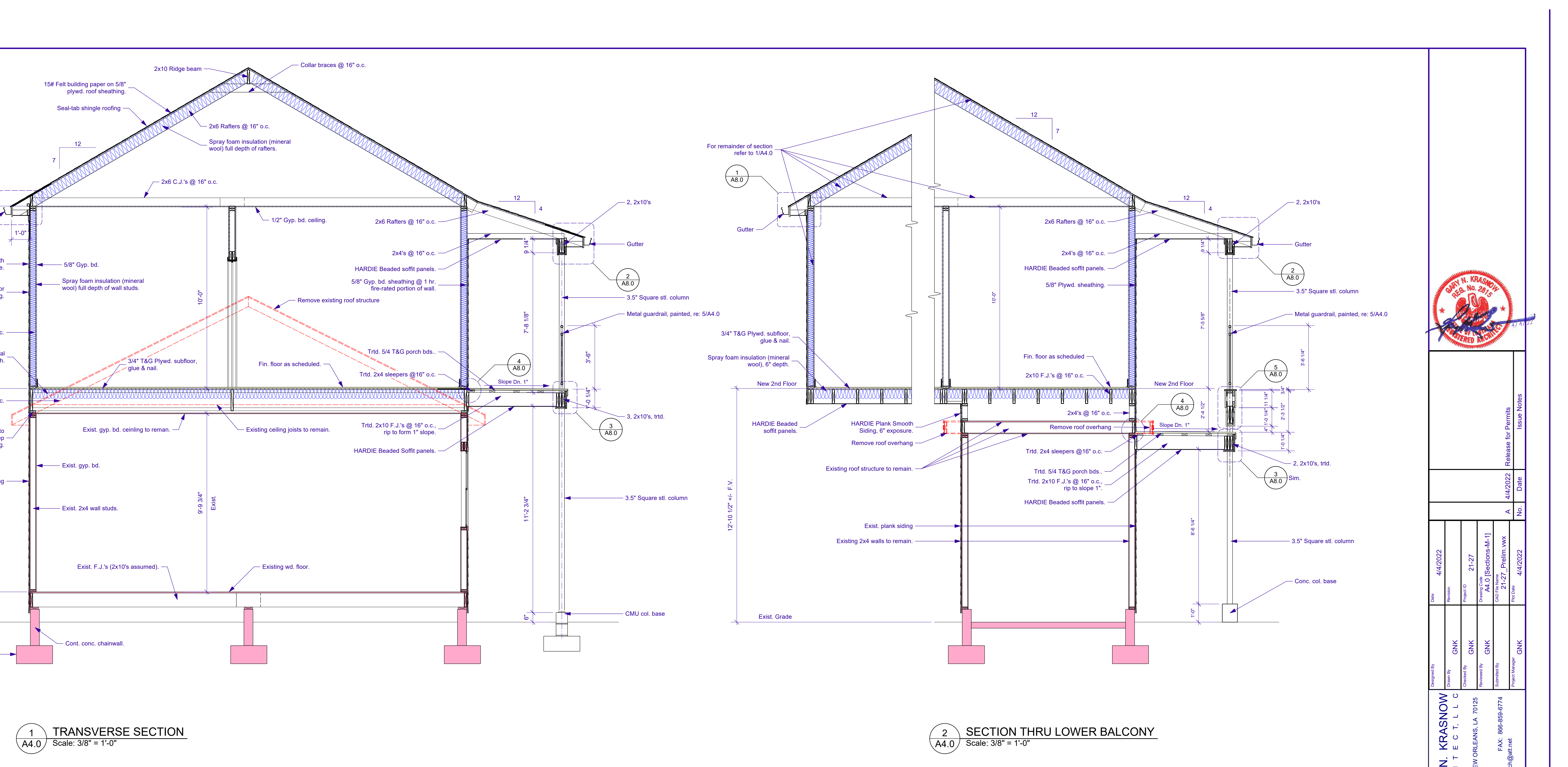
No.	Date	Issue Notes
A	4/4/2022	Release for Permits

Date	Revision	Project ID	Drawing Code	Project Name	Project Manager
4/4/2022		21-27	A3.0 [Elevations-M-1]	21-271_Prelim.wrk	GNK
4/4/2022					GNK
4/4/2022					GNK
4/4/2022					GNK
4/4/2022					GNK

GARY N. KRASNOW
ARCHITECT, LLC
7734 WALMSLEY AVE
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ADDITION TO:
REGINELLI'S OFFICES
323 OCTAVIA ST.
NEW ORLEANS, LA 70115
EXTERIOR ELEVATIONS -
ADDITION

AS NOTED
Sheet No. A3.1
of 19



NOTES:

1. All lock / latchsets to have lever handles.
2. Paint door & frame.
3. Verify all door hardware with the Owner.
4. All doors w/ an "E" prefix are existing doors to remain.

NOTES:

1. All wall & ceiling finishes to be Class "A" or "B" (Flame Spread 0-25, 26-75 respectively; Smoke Developed 0-450).
2. Ceiling height varies.
3. Verify finish flooring with the Owner.

Room Finish Legend		
Ceiling		
EGB-1	Existing gyp. bd. ceiling	
EXP-1	Exposed roof structure	
GB-1	1/2" gypsum board, primed and painted, directly screwed to joists above	
Wall		
EGB-1	Existing gyp. bd. to remain.	
Exist.	existing finish to remain	
GB-2	5/8" gypsum board, primed and painted	
Base		
BW-1	Finish 1x6 with base shoe, painted.	
Exist.	existing finish to remain	
N/A	Not Applicable / None	
Floor		
Exist.	existing finish to remain	
SC-1	Sealed Concrete	
SUB-1	Exposed plywood subfloor.	
WD-1	3/4" Blind nailed T&G oak wood flooring.	

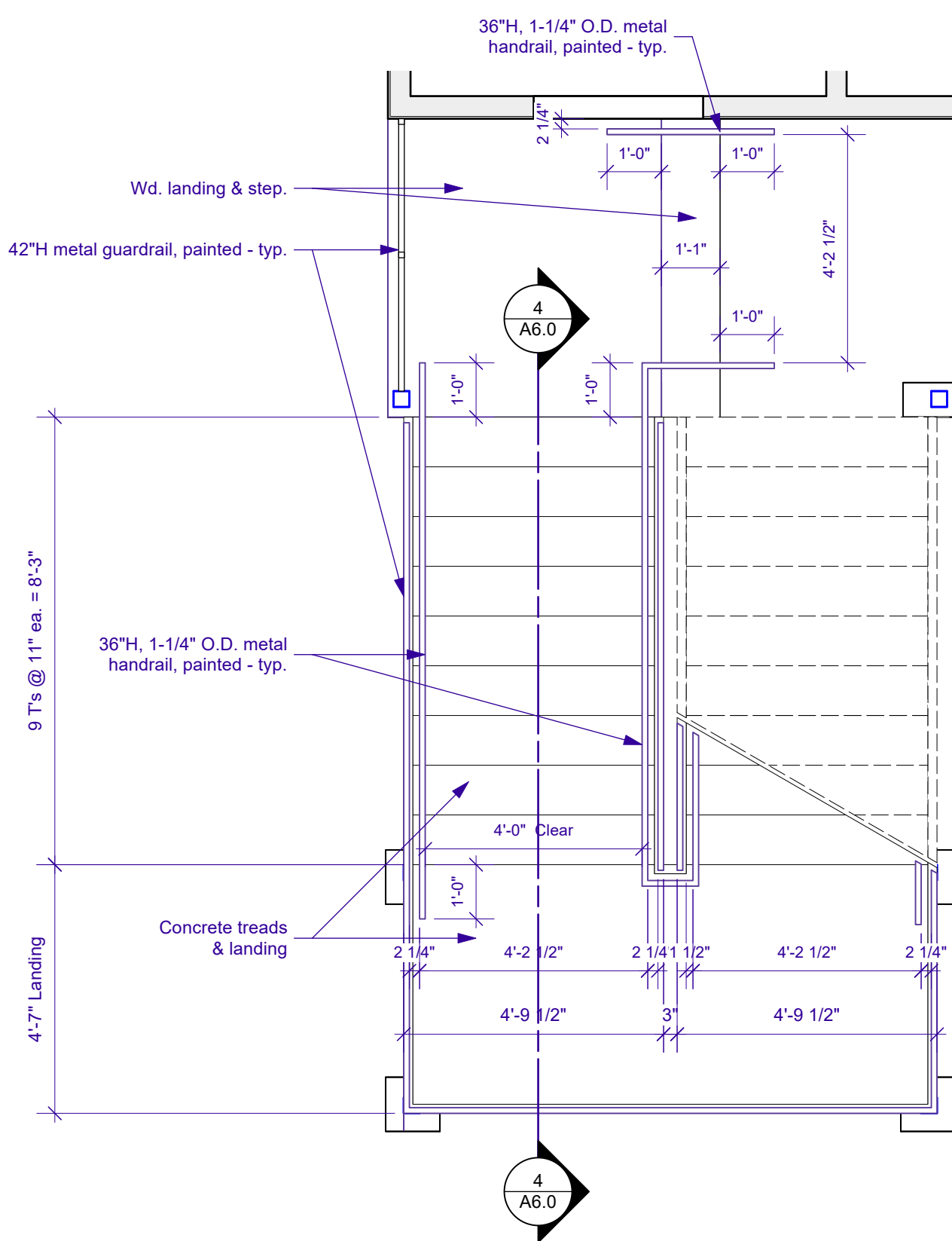
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GLAZING / STOREFRONT NOTES

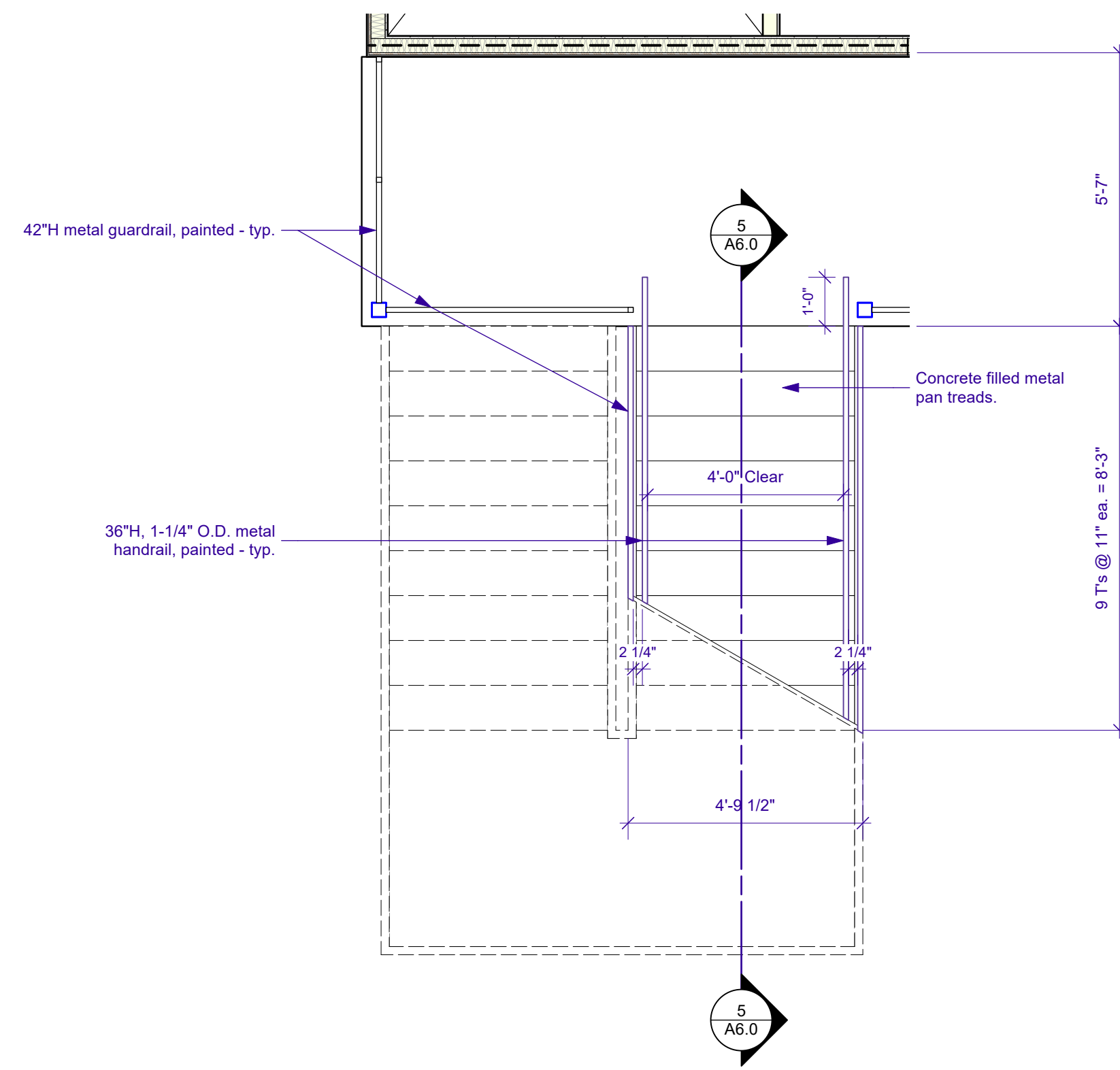
1. Window assemblies (and door assemblies as applicable) shall comply w/ IBC-2015:1609.1.2 - shall meet the requirements of the Large Missile Test of an approved impact resistant standard of ASTM E 1996 & ASTM E 1886 referenced therein.

1 DOOR JAMB (HEAD SIM.)
A5.0 Scale: 3" = 1'-0"

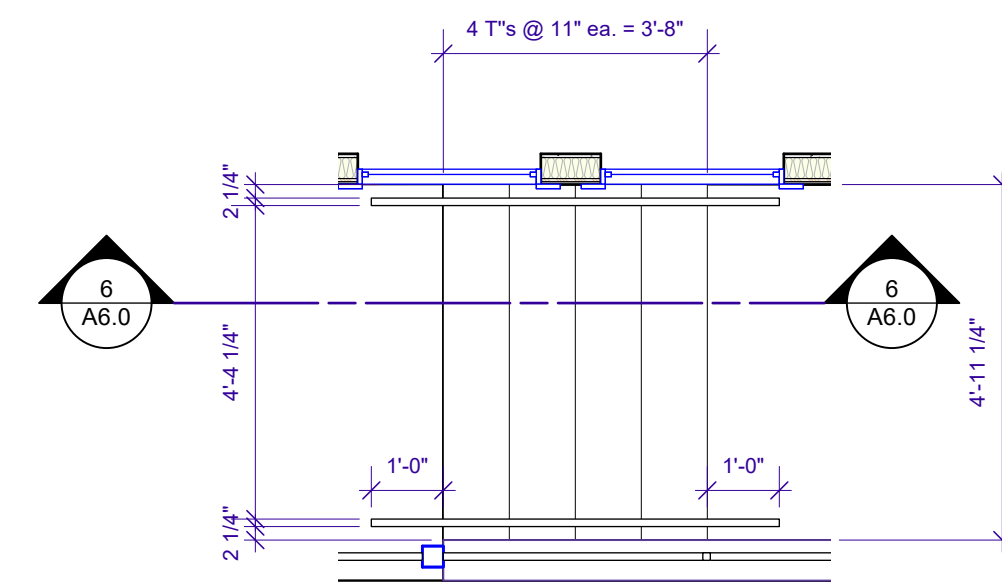
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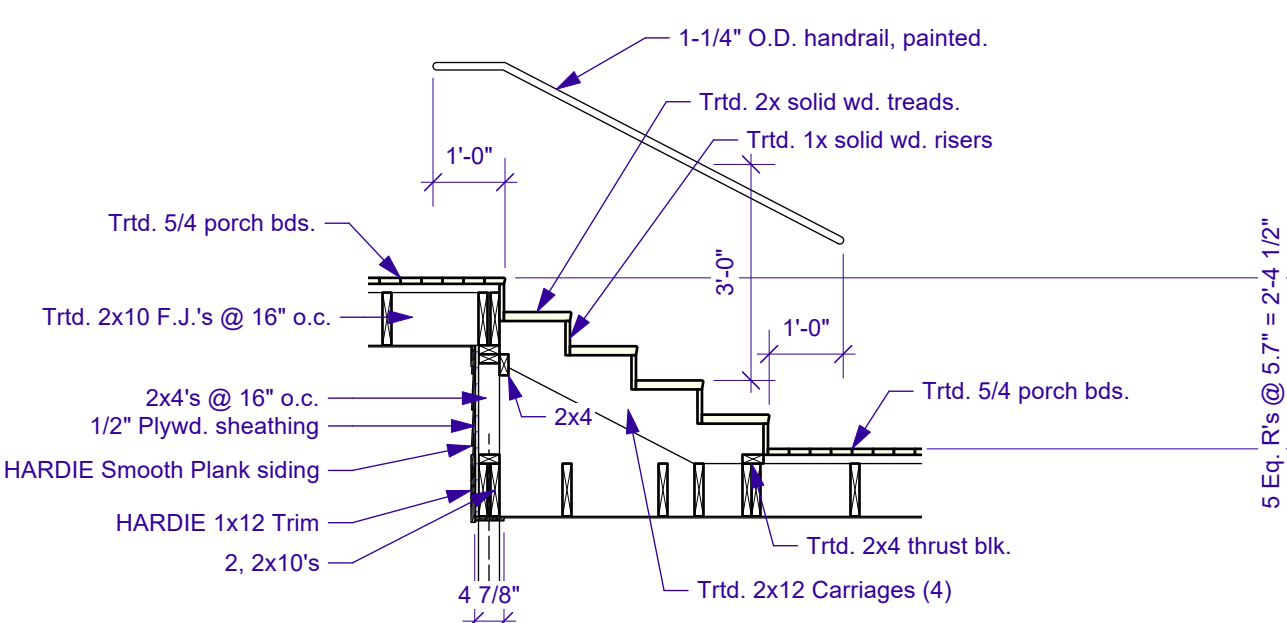
1 STAIR PLAN @ 1ST FLOOR
A6.0 Scale: 3/8" = 1'-0"



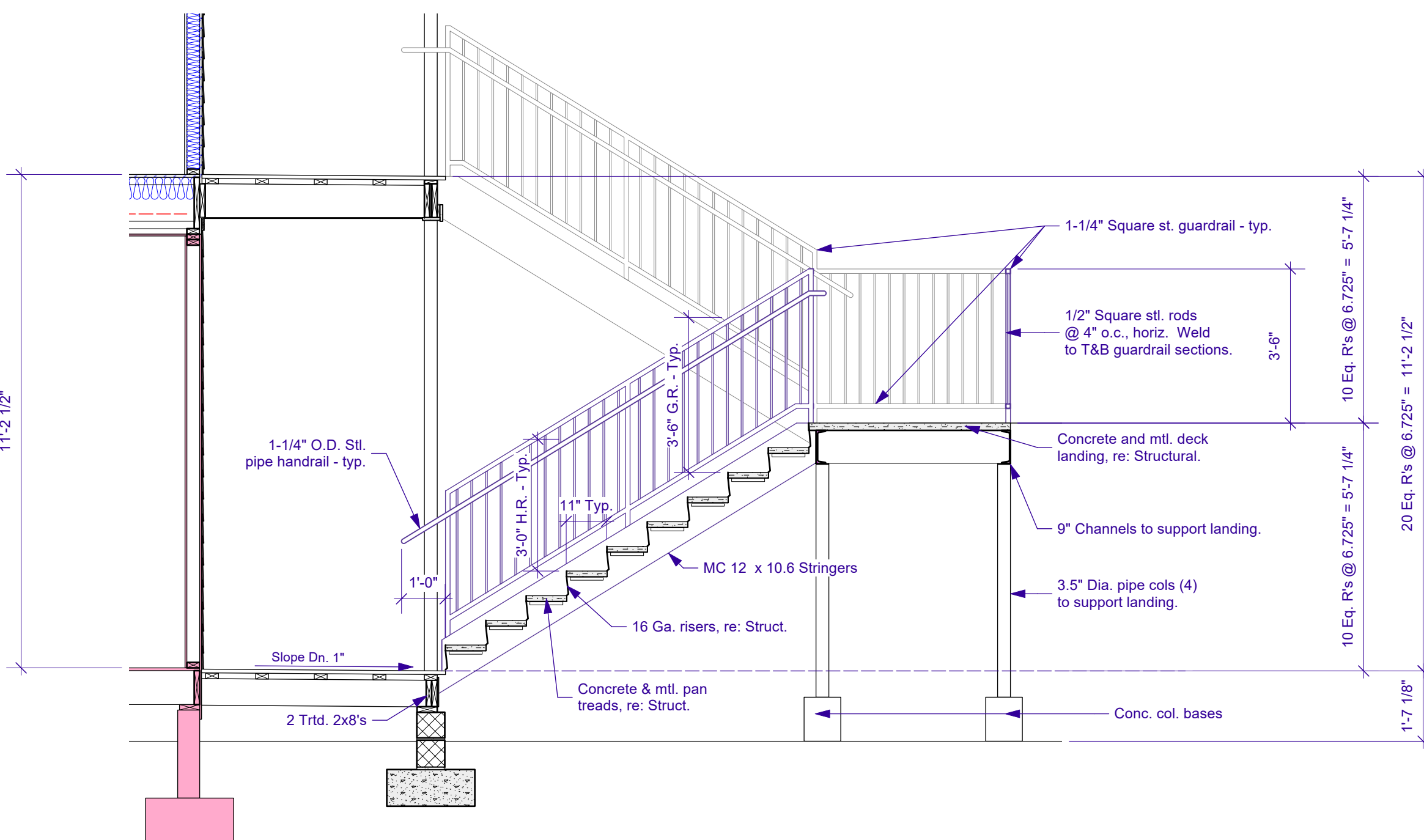
2 STAIR PLAN @ 2ND FLOOR
A6.0 Scale: 3/8" = 1'-0"



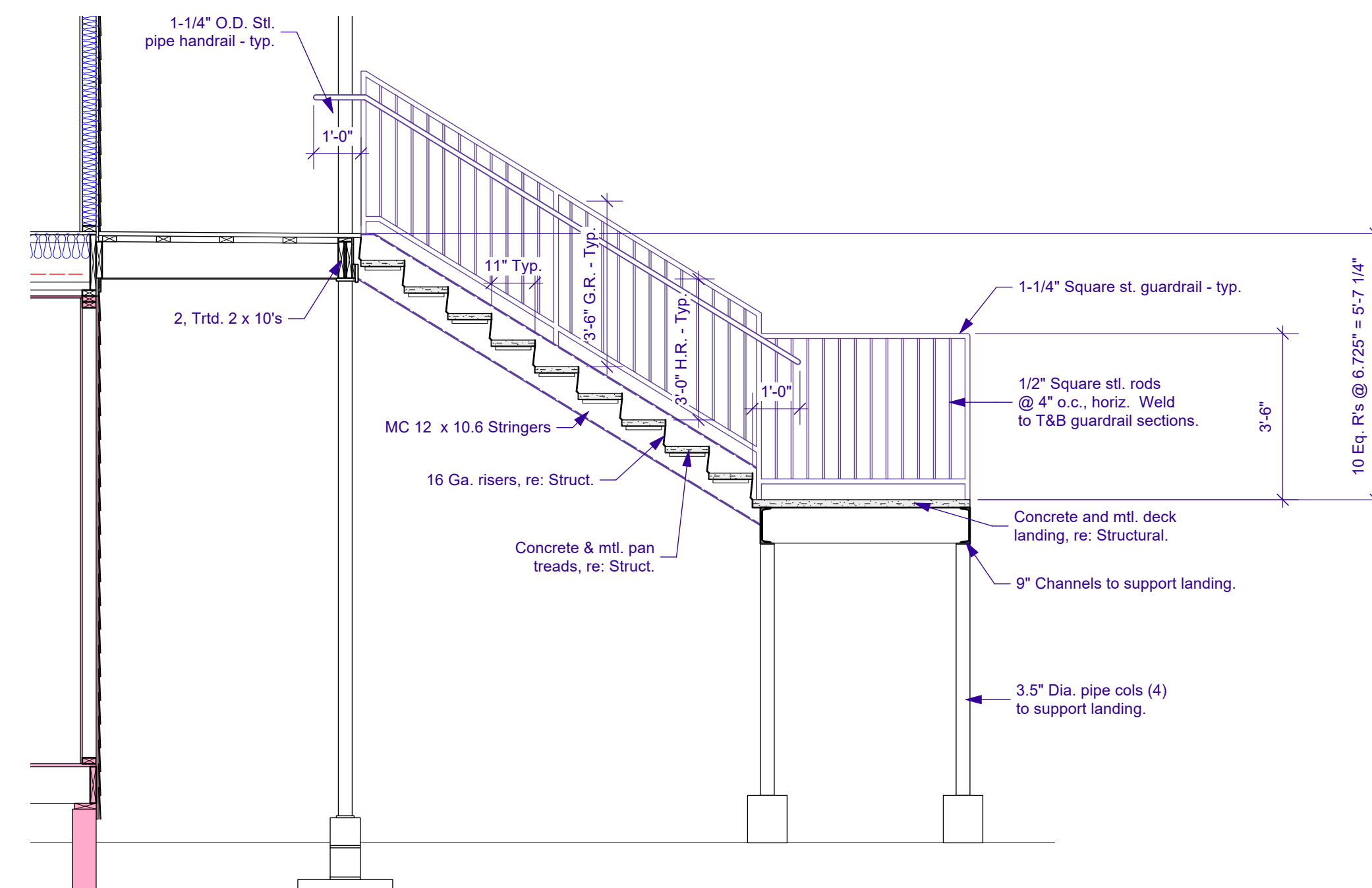
3 BALCONY STAIR PLAN



6 BALCONY STAIR SECTION
A6.0 Scale: 3/8" = 1'-0"




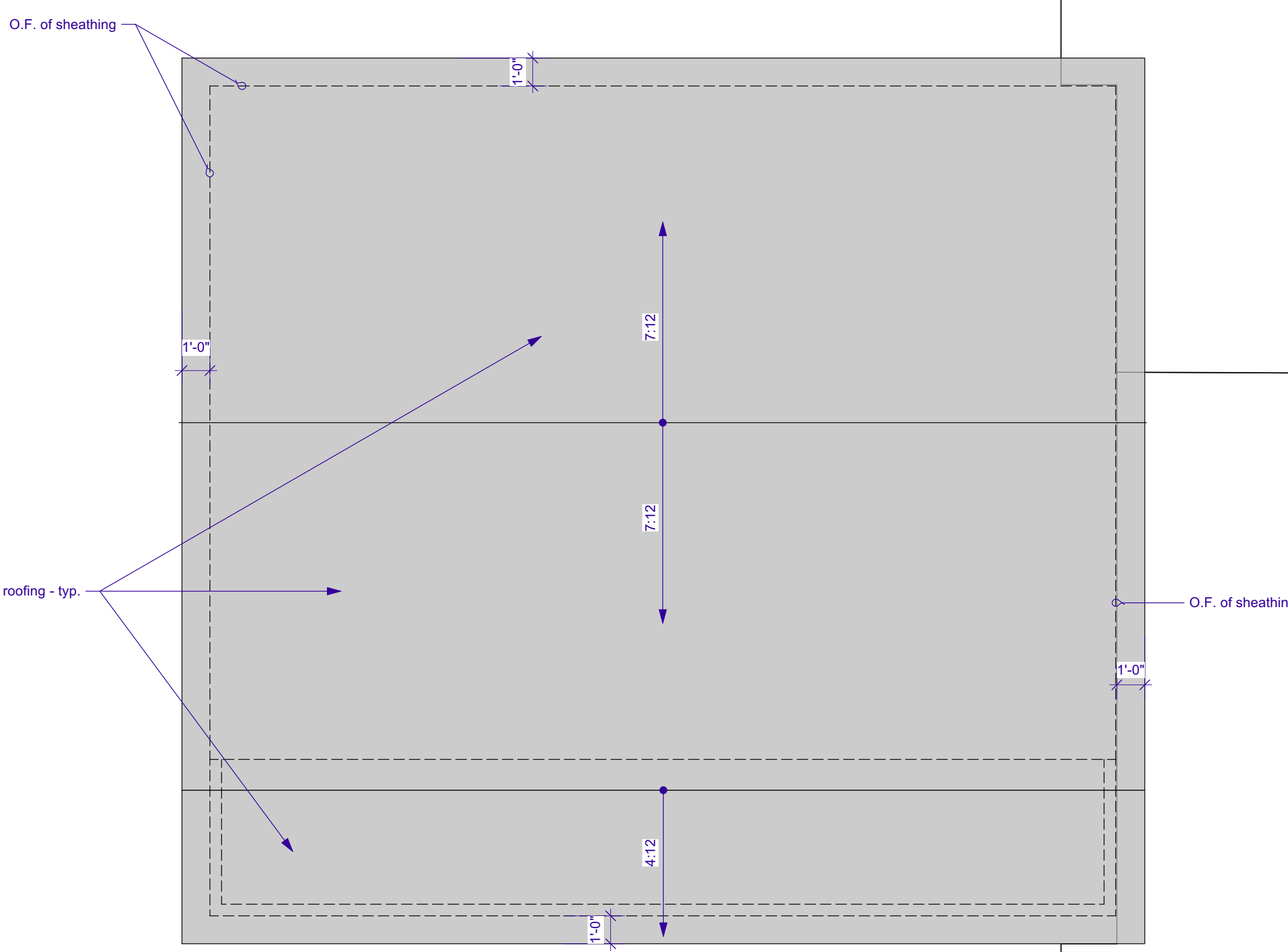
4 LOWER STAIR RUN SECTION
A6.0 Scale: 3/8" = 1'-0"



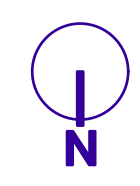
5 SECTION THRU UPPER STAIR RUN
A6.0 Scale: 3/8" = 1'-0"



ADDITION TO: REGINELLI'S OFFICES 323 OCTAVIA ST. NEW ORLEANS, LA 70115 STAIR PLANS & SECTIONS	Project Title	 GARY N. KRASNOW A R C H I T E C T S 7734 WALMSLEY AVE NEW ORLEANS, LA 70125 TEL: 504-865-1937 FAX: 866-659-6774 E-MAIL: gkrasnow@gatt.net	Designed By	4/4/2022		Release for Permits No. A Date 4/4/2022 Issue Notes
	Scale		Drawn By	Revision		
	AS NOTED A6.0 _____ of _____ 19		Checked By	Project ID		
			Reviewed By	Drawing Scale		
			Submitted By	CAD File Name		
			Project Manager	Plot Date		

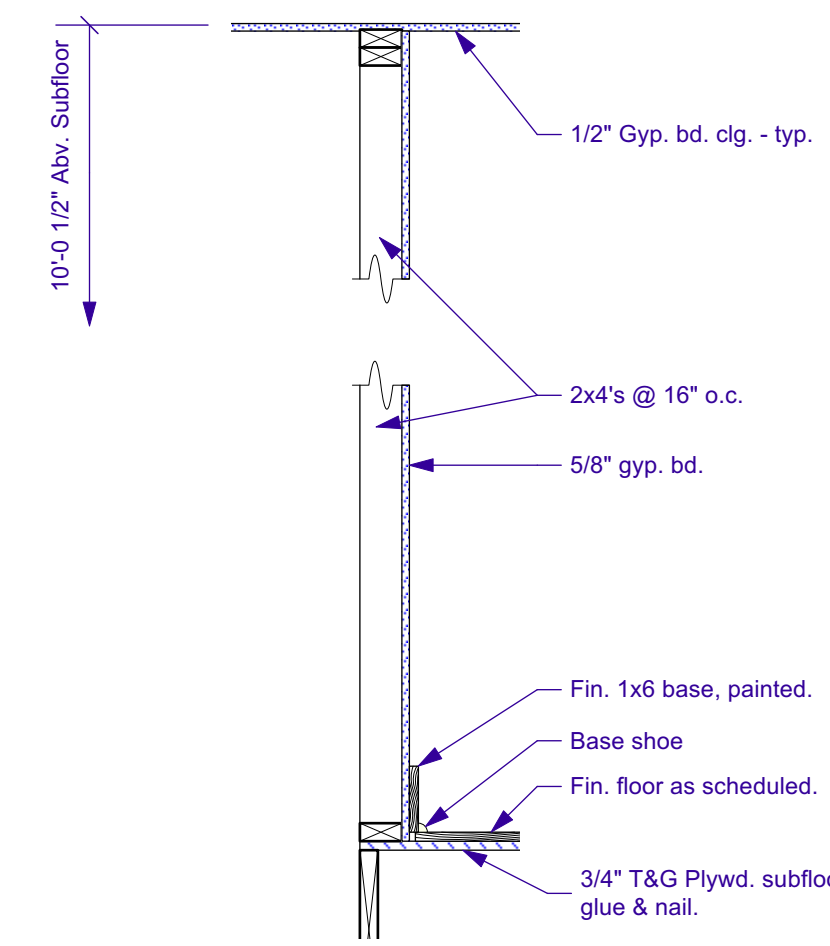


1 ADDITION ROOF PLAN
Scale: 1/4" = 1'-0"

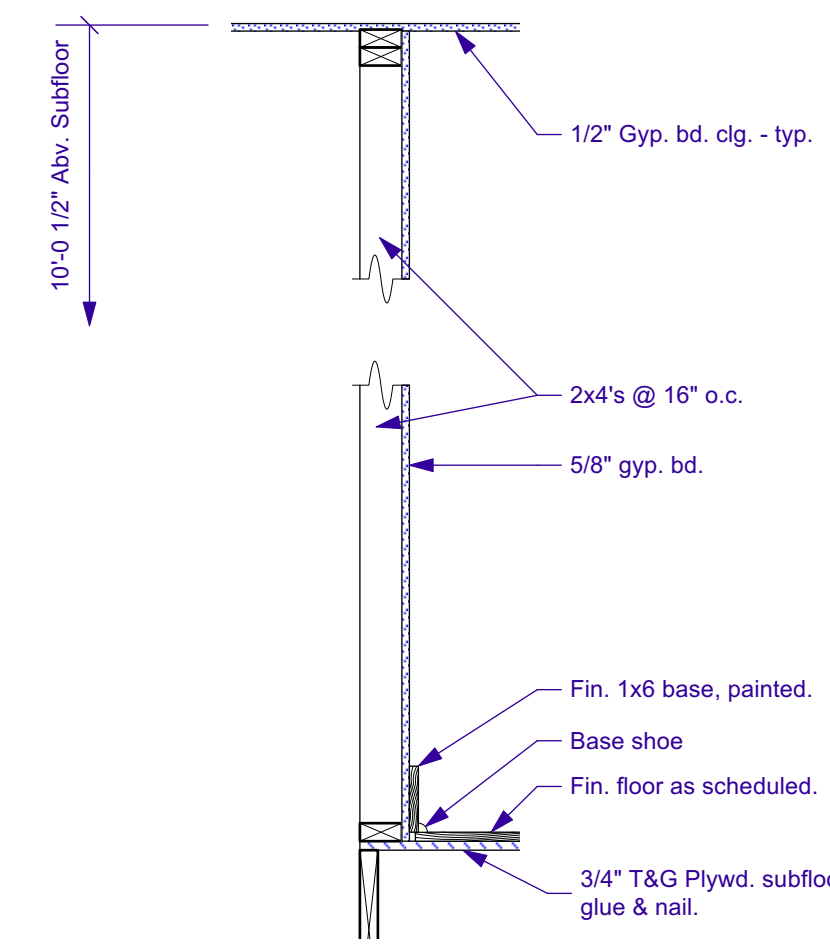


- ADDITION ROOF PLAN NOTES**
- All roofing to be shingle roofing u.o.n.
 - Roof Shingles are to meet the following requirements: Class "A" rating; UL 997; Lifetime limited transferable warranty. GAF "Grand Timberline" shingles or approved equivalent. Owner to select color.
 - Provide 24" wide, 24 ga. galvanized valley flashing @ all roof valleys.
 - At all Roof-to-Wall intersections provide 24 ga., galv. flashing. Extend up wall behind siding a min. of 4 inches, and extend over existing roof a min. of 4"
 - Refer to Exterior Elevations, Sht. A3.0 & A3.1 for downspout locations.
 - Provide 30# felt or 2 layers of 15 # felt building paper vapor barrier at roof sections with a slope of 4:12 or less.

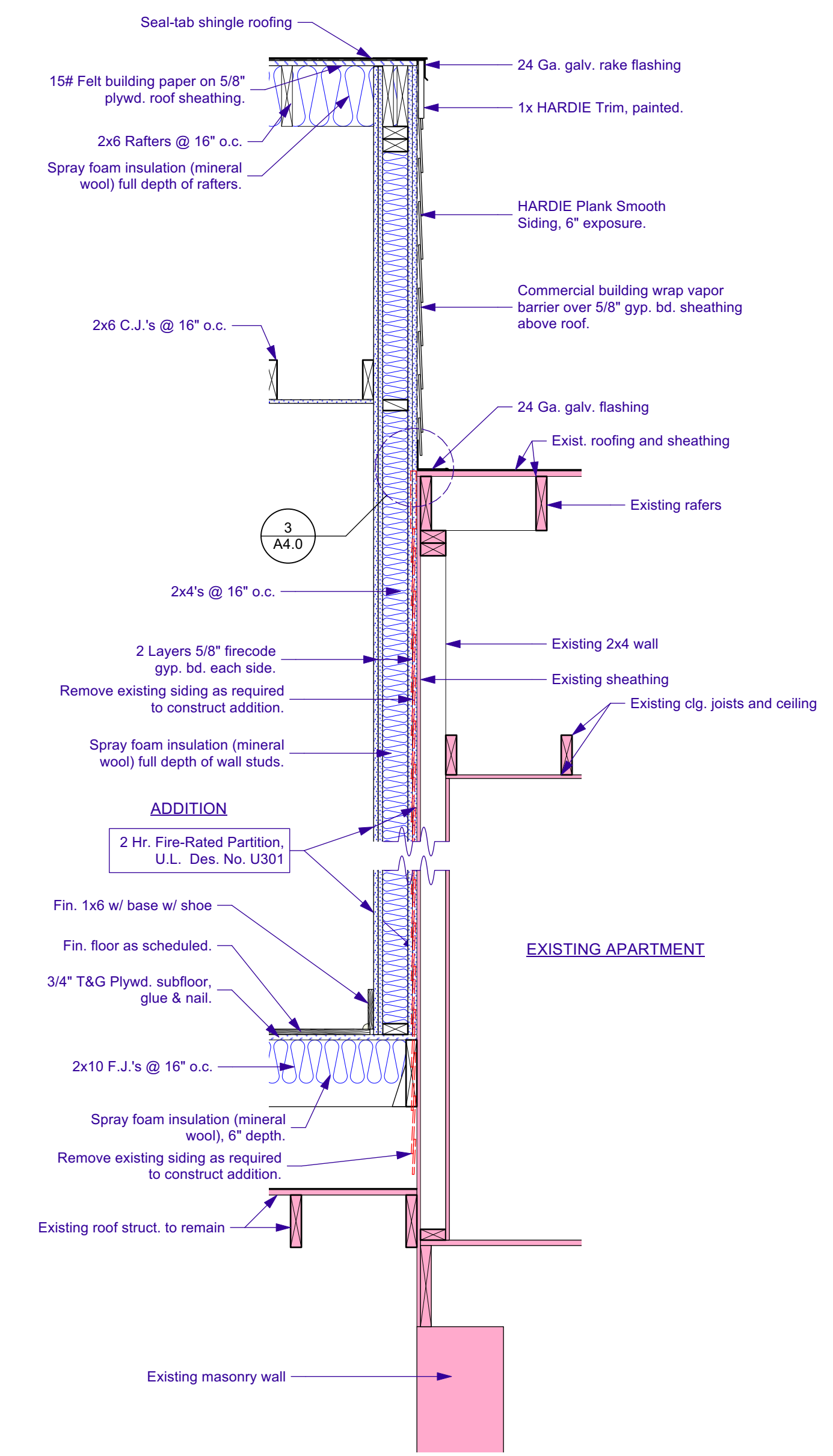
P1 INTERIOR PARTITION
Scale: 3/4" = 1'-0"




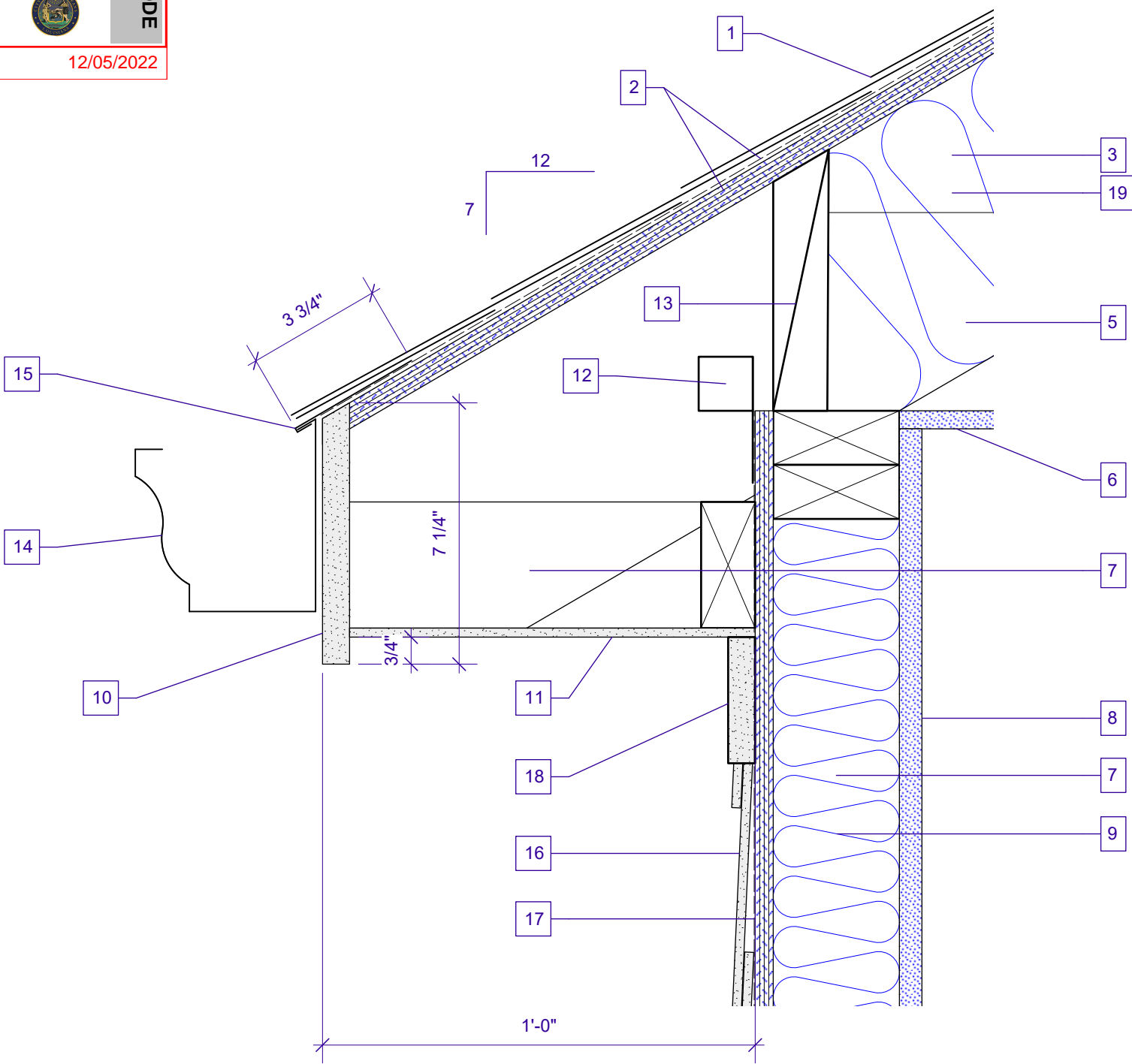
P2 INTERIOR PARTITION
Scale: 3/4" = 1'-0"



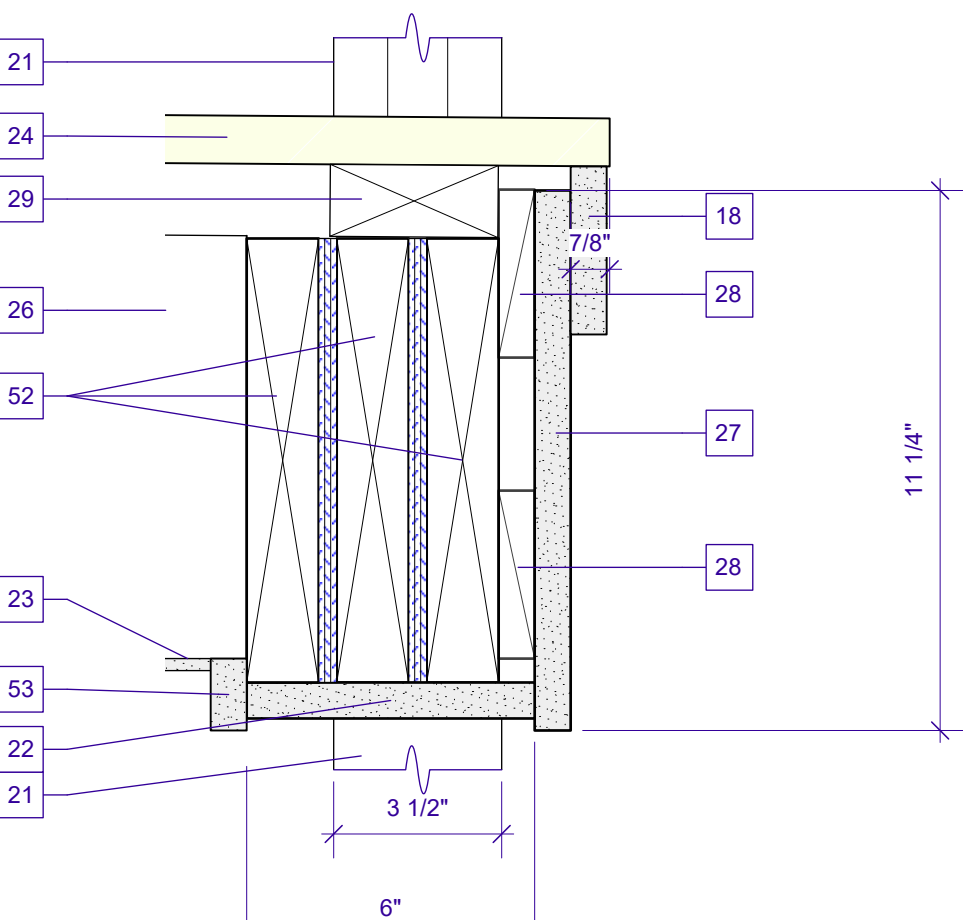
2 WALL SECTION
Scale: 3/4" = 1'-0"



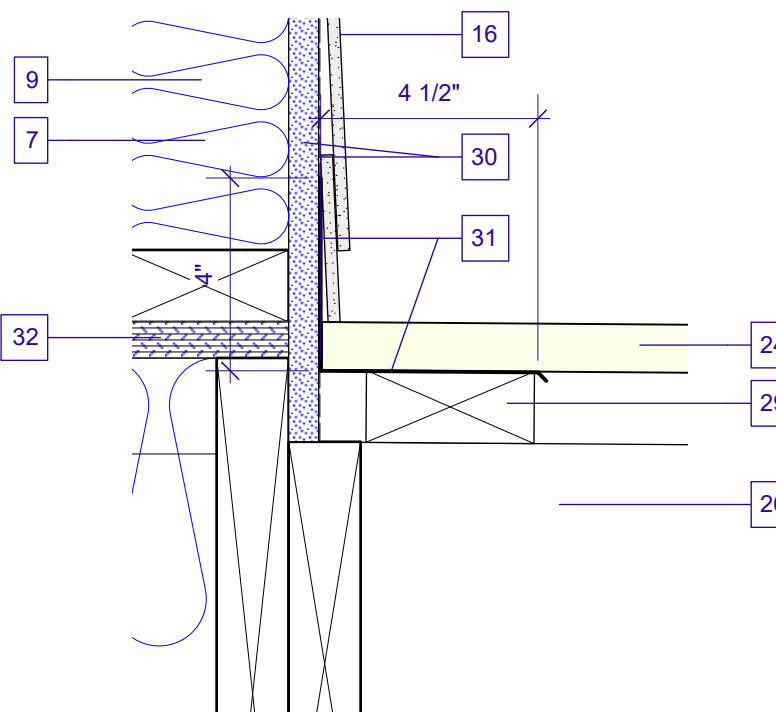
Project Title		Scale		Sheet No.		AS NOTED		A7.0		of		19		ADDITION TO: REGINELLI'S OFFICES 323 OCTAVIA ST. NEW ORLEANS, LA 70115		 GARY N. KRASNOW ARCHITECT, LLC 7734 WALMSLEY AVE NEW ORLEANS, LA 70125 TEL: 504-465-1937 FAX: 866-465-6774 E-MAIL: gknarch@aol.net		Designed By		Date		4/4/2022						Release for Permits		Issue Notes	
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Sheet Title		AS NOTED		A7.0		of		19		ADDITION ROOF PLAN INTERIOR PARTITION TYPES WALL SECTION								Drawn By		Revision		4/4/2022									
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																		Checked By		Project ID		21-27									
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																		Reviewed By		Drawing Code		A7.0 [Roof Plan]									
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																		Submitted By		CAD File Name		21-27_Prelim.vwx									
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																		Project Manager		Plot Date		4/4/2022									
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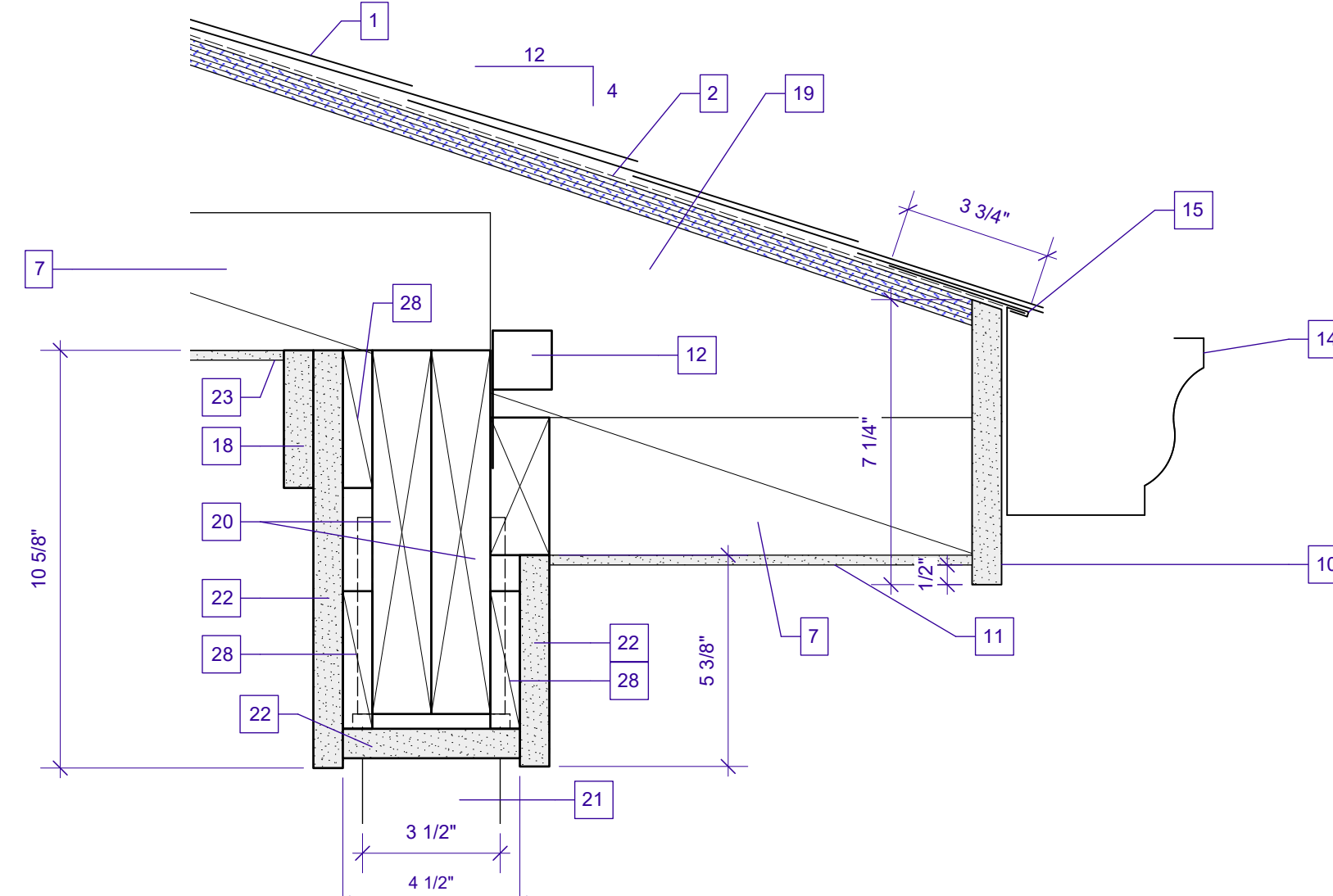
1 SOFFIT DETAIL
A8.0 Scale: 3" = 1'-0"



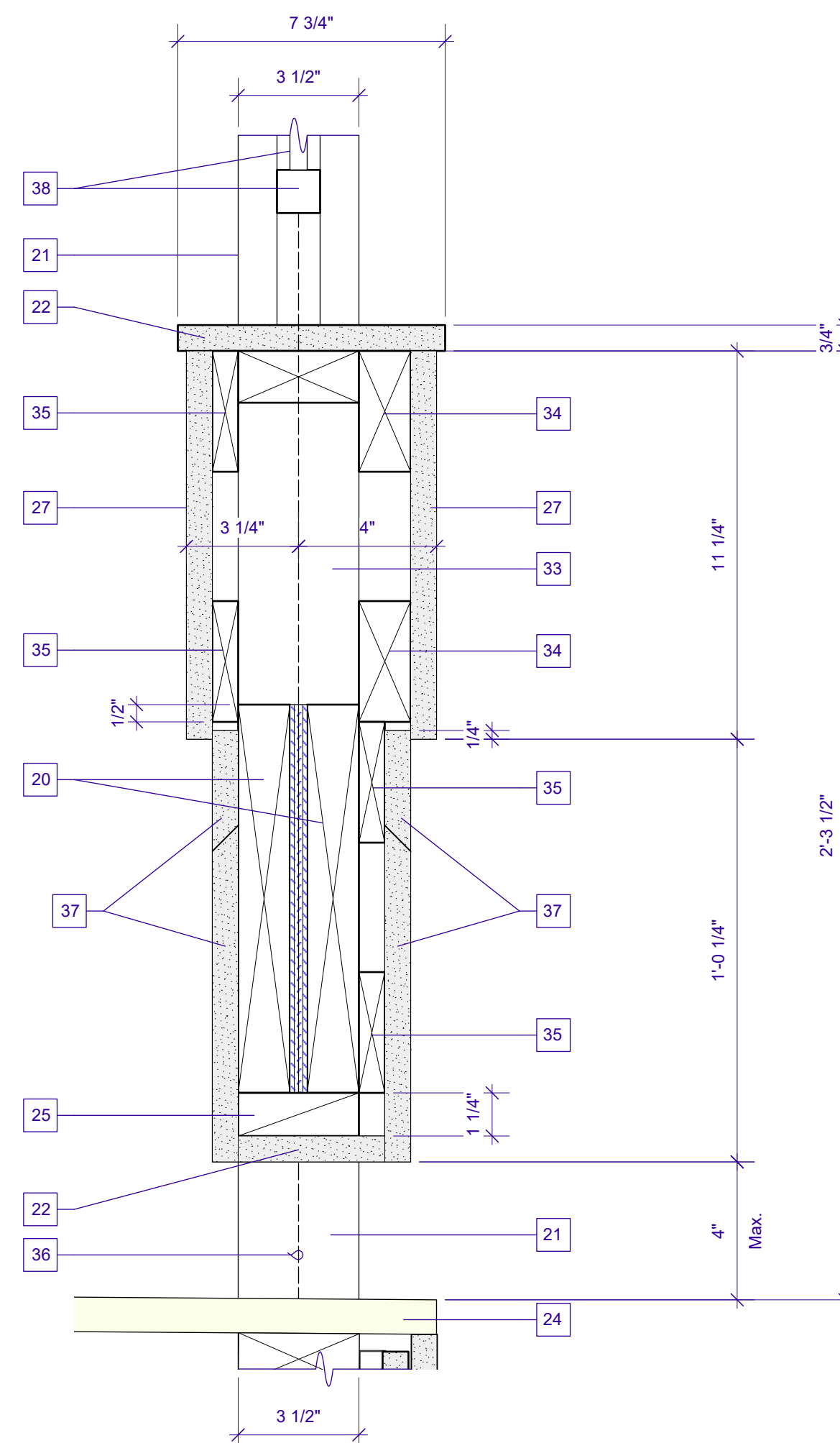
3 BEAM DETAIL
A8.0 Scale: 3" = 1'-0"



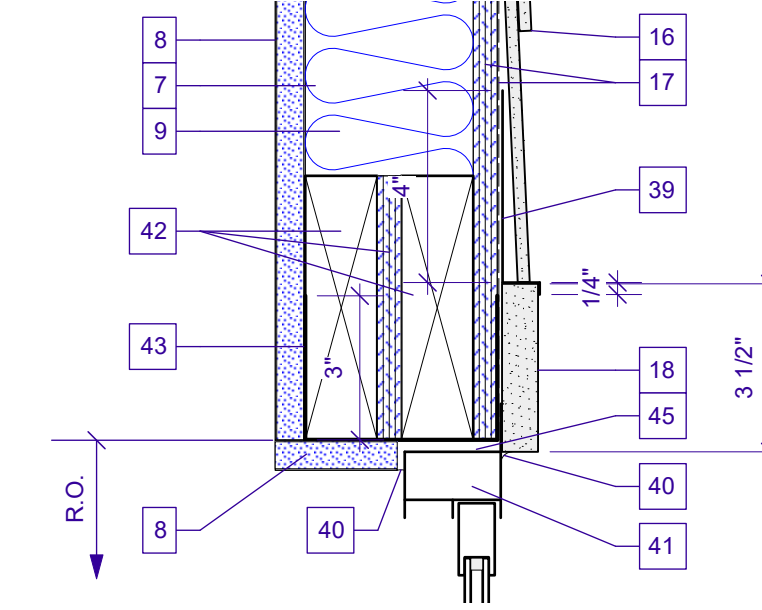
4 BALCONY/WALL DETAIL
A8.0 Scale: 3" = 1'-0"



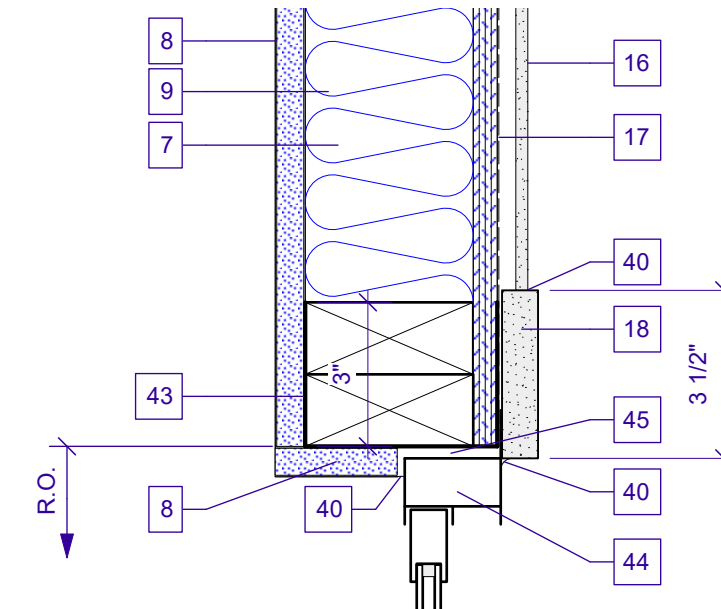
2 SOFFIT DETAIL
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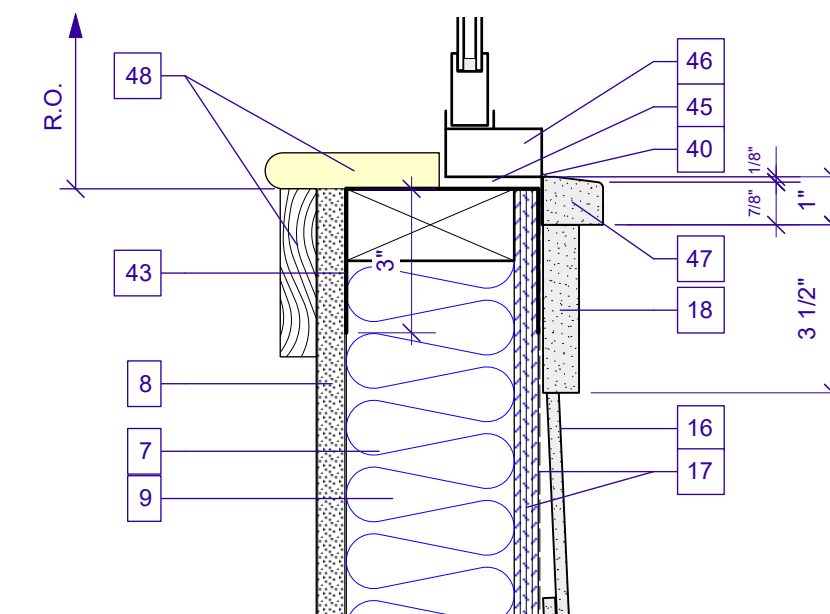
5 WALL/RAIL DETAIL
A8.0 Scale: 3" = 1'-0"



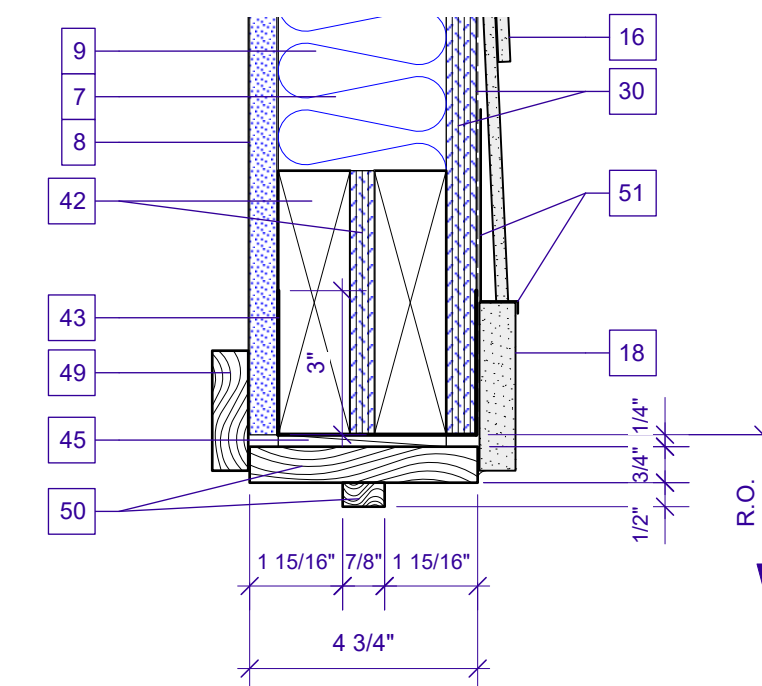
6 W-1 HEAD DETAIL
A8.0 Scale: 3" = 1'-0"



7 W-1 JAMB DETAIL
A8.0 Scale: 3" = 1'-0"



8 W-1 SILL DETAIL
A8.0 Scale: 3" = 1'-0"



9 HEAD DETAIL DOOR 20 (JAMB SIM.)
A8.0 Scale: 3" = 1'-0"

KEY NOTES

- Seal-tab shingle roofing
- 15# Felt building paper on 5/8" plywd. roof sheathing.
- Spray foam insulation (mineral wool) full depth of rafters.
- N/A
- 2x6 Ceiling Joists @ 16" o.c.
- 1/2" Gyp. bd. ceiling.
- 2x4's @ 16" o.c.
- 5/8" Gyp. bd.
- Spray foam insulation (mineral wool) full depth of wall studs.
- 1x8 HARDIE Smooth Trim fascia bd.
- HARDIE Smooth Soffit board.
- Hurricane ties @ each rafter, re: structural drawings.
- 2x Insulation block.
- Aluminum gutters and downspouts - match existing.
- 0.024" Aluminum edge flashing.
- HARDIE Smooth Plank Siding w/ 6" exposure (match existing).
- Commercial building wrap vapor barrier over 1/2" plywood sheathing.
- 1x4 HARDIE Smooth Trim bd., painted.
- 2x6 Rafters @ 16" o.c.
- 2, 2x10's, trtd.
- 3.5" Square stl. column
- 1x HARDIE Smooth Trim bd., rip to size shown, painted.
- HARDIE Smooth Perforated Soffit bd., 1st twelve inches, Beaded Soffit bd, remainder of ceiling. Re: Reflected Ceiling Plans, Sht. A2.1
- Trtd. 5/4 T&G porch bds., painted.
- Trtd. blkg.
- Trtd. 2x10 F.J.'s @ 16" o.c. Rip to form 1" slope.
- 1x 12 HARDIE Smooth Trim bd., painted.
- Trtd. 1x4 blkg.
- Trtd. 2x4 sleepers @ 16" o.c.
- Commercial building wrap vapor barrier over 5/8" plywood sheathing @ front wall. 5/8" Firecode gyp. sheathing @ fire-rated portion of the front wall.
- 24 Ga. galv. flashing.
- 3/4" T&G Plywd. subfloor, glue & nail.
- Trtd. 2x4's @ 16" o.c.
- Trtd. 2x4
- Trtd. 1x4
- Centerline of column
- 1x HARDIE Trim spliced to create width shown. Miter splice. Painted.
- 42"H Metal guardrail, painted. Re: 3/A7.0
- 24 Ga. galv. flashing, painted.
- Sealant
- W-1 Window head section w/ nailing fin.
- 2,2x6 Lintel w/ 1/2" plywood spacer.
- Wrap opps. w/ self-adhered membrane flashing.
- W-1 Window jamb section w/ nailing fin.
- 1/4" Shim space.
- W-1 Window sill section w/ nailing fin.
- 5/4 HARDIE Smooth Trim window sill, painted.
- Fin. wood window stool and casing. Match existing window trim on 1st floor.
- Fin. 1x3 wood casing, painted. Verify w/ the Owner.
- Fin. 1x Wood casing and stop, painted.
- 24 Ga. galv. flashing, painted. Omit @ jamb.
- 3, 2x10's Trtd. w/ 3/8" plywood plates, or 2, 2x10's w/ 2x blkg. See structural drawings for beam sizes.
- 1x2 HARDIE Trim, painted.



No.	Date	Issue Notes
1	4/4/2022	Release for Permits

Date	Revision	Project ID	Drawn Code	Checked By	Reviewed By	Submitted By	Project Manager
4/4/2022		21-27	AY 1 [Arch Dell/Sched-2]	GNK	GNK	GNK	GNK
			21-27_Prelim.wrk				

GARY N. KRASNOW ARCHITECT, L.L.C. 7734 WALMSLEY AVE NEW ORLEANS, LA 70125 TEL: 504-865-1937 FAX: 866-859-6774 E-MAIL: gkrasnow@att.net

ADDITION TO: REGINELLI'S OFFICES 323 OCTAVIA ST. NEW ORLEANS, LA 70115	DETAILS
---------------------------------------------------------------------------------	---------

AS NOTED
Sheet No. A8.0 of 19

GENERAL STRUCTURAL NOTES

I. GENERAL

- A. Contractor Responsibility - Construction documents represent the finished structure. Contractor is responsible for construction means, methods, sequences and safety precautions, including but not limited to shoring and temporary bracing.
- B. Omissions & Conflicts - Omissions or conflicts between various elements of the construction documents should be brought to the attention of the design team. If certain features are not fully delineated in the construction documents, their construction shall be of the same character as for similar conditions that are delineated.
- C. Existing Conditions - The Contractor shall verify the existing conditions and dimensions in the field. The Contractor shall report any discrepancies between the drawings and the actual existing conditions and dimensions to the Engineer.

II. DESIGN BASIS

- A. Applicable Codes and Standards
International Residential Code 2015
ASCE 7-2010
- B. Design Loads

Roof High Slope	
Live Load	18 psf
Dead Load	7 psf
Porch Roof	
Live Load	20 psf
Dead Load	6 psf
Attic	
Live Load	10 psf
Dead Load	4 psf
Porch Ceiling	
Live Load	10 psf
Dead Load	4 psf
2nd Floor	
Live Load	50 psf
Dead Load	16 psf
2nd Porch	
Live Load	80 psf
Dead Load	7 psf
1st Floor	
Live Load	50 psf
Dead Load	7 psf
Stair	
Live Load	100 psf
Dead Load	10 psf

Wind Load

The criteria is based on ASCE 7-2010 Minimum Design Loads for Buildings and Other Structures:

Basic Wind Velocity	143 mph
Risk Category	II
Exposure	B

III. MATERIALS

A. EARTHWORK

Place footings on undisturbed soil. Notify the Engineer if "soft spots", underground obstructions, or any unusual condition is encountered during stripping, excavation or filling. Soil bearing capacity is 800 psf.

B. CONCRETE

All concrete work shall conform to ACI 301 Specification for Structural Concrete for Buildings and meet the following requirements:
Concrete - Type I cement ASTM C 150, normal weight aggregates ASTM C 33, 3000 psi at 28 days, 5" slump.
Reinforcing Steel - ASTM A615 grade 60, welded wire fabric ASTM A185.
Reinforcing Steel Details - Except as noted otherwise where continuous reinforcing is specified, hook bars at non-continuous ends.
Lap bars as indicated below:
Lap Splices
#3 1'4"
#4 1'4"
#5 1'7"
Welded wire fabric - two spaces.
Provide the following cover for reinforcing:
Footings 3" bottom and sides.

C. CONCRETE MASONRY UNITS

All concrete masonry work shall conform to ACI 531.1 Specification for Masonry Construction.
Concrete Masonry Units - ASTM C90, grade N, type 1, lightweight units.
Mortar - ASTM C270, type S.
Grout - ASTM C476.
Reinforcing Steel - ASTM 615 grade 60, wire steel shall be ASTM A82.
Reinforcing Details
Lap reinforcing as indicated below:
Lap splices
#4 2'0"
Wire joint reinforcing - 1'0"
The masonry assemble shall achieve a unit strength (fm') = 1500 psi.

D. STRUCTURAL STEEL

All detailing, fabrication and erection of structural steel shall conform to AISC Specification for the Design, Fabrication and Erection of Structural Steel for Buildings, the AWS D1.1 Structural Welding Code and meet the following requirements:
Steel Channels, Angles, Rods and Plates : ASTM A 36, yield strength 36 ksi except where noted otherwise in sections.
Tube - ASTM A500 Grade B.
Anchor Bolts - ASTM A307.
Welding Materials - E70XX.
Paint - One coat shop applied red oxide, Type 1 primer - 2 mils thick. Do not paint surfaces to be welded, embedded in concrete or masonry, or contact surfaces of friction connections.

All welding by certified welders and in accordance with AWS D1.1, structural welding code. All electrodes used for submerged arc and shielded metal arc welding shall be compatible with the structural steel as specified in AWS and AISC.

E. LIGHT GAUGE METAL FRAMING ACCESSORIES

Joists hangers shall be type "U" unless indicated otherwise on the drawings as manufactured by the Simpson Strong-Tie Company. Install joists hangers where beams frame into beams at the same elevation and in strict accordance with the manufacturer's specifications. All steel parts for wood connections in contact with treated lumber shall be hot-dipped galvanized coated conforming to ASTM A653 Class G-185 minimum required weight of zinc coating total both sides of 1.85 ounces per square foot:

F. BOISE CASCADE ENGINEERED WOOD PRODUCTS

All structural members fabricated by the Boise Cascade Corporation shall be erected and braced in strict accordance with the manufacturer's specifications. All members designated as "LVL" shall be laminated veneer lumber having properties and strengths equal to the Boise Cascade Corporation "VERSA-LAM".

G. WOOD FRAMING

All wood framing fabrication and erection shall conform to the National Design Specification for Wood Construction by the NFPA, the Plywood Design Specification by the APA and meet the requirements below. Unless noted otherwise all wood connections shall be in accordance with the fastening schedule of the International Residential Code. All lumber in contact with concrete or masonry shall be treated:
Framing Lumber - Southern Yellow Pine, S4S, No. 2, maximum moisture content 19%.
Floor Framing - Provide bridging for dimensioned lumber floor joists at 8'-0" o.c. max.
Plywood Flooring - APA rated 48/24, 3/4" thick. Nail with 12d nails spaced at 6" o.c. at panel ends and 12" o.c. at intermediate supports.
Plywood Roofing - APA rated 32/16, 5/8" thick. Nail with 10d ring shank nails spaced at 6" o.c. at panel edges and 12" o.c. at intermediate supports.
Wall Sheathing - APA rated 32/16, 1/2" on all the exterior walls to brace the structure for wind loads. Nail plywood edges with 8d nails at 6" o.c. at panel edges and 12" o.c. at intermediate supports. Provide solid blocking at all panel edges.

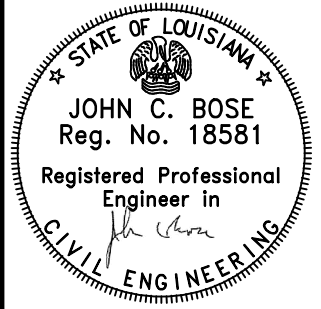
IV.ab MISCELLANEOUS

- No change in size or dimension of structural members shall be made without the written approval of the professional of record.
- The contractor is responsible for limiting the amount of construction load imposed upon structural framing. Construction loads shall not exceed the design capacity of the framing at the time the loads are imposed.
- The structure is designed to function as a unit upon completion. The contractor is responsible for furnishing all temporary bracing and/or support that may be required as the result of the contractor's construction methods and/or sequences.
- The contractor shall inform the professional of record in writing of any deviation from the contract documents. The contractor shall not be relieved of the responsibility of such deviation by the professional of record review of shop drawings, product data, etc., unless the contractor has specifically informed the professional of record of such deviation at the time of submission, and the professional of record has given written approval to the specific deviation.

V. QUALITY CONTROL

- A. The following work requires inspections:
- Reinforcing Steel
 - Concrete Placement
 - CMU Piers and Walls
 - Structural Steel
 - Wood Framing
- B. No work shall be done without inspectors knowledge.

REVISIONS:

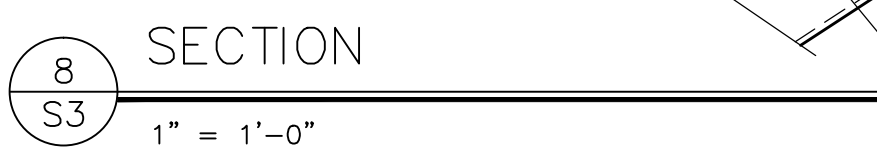
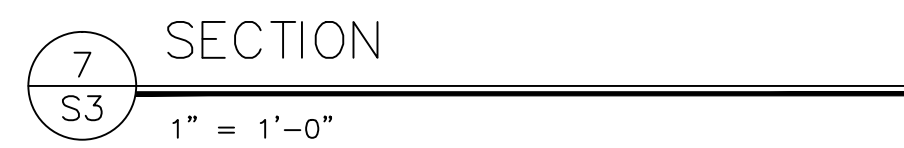
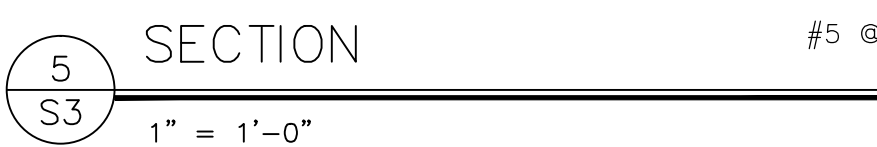
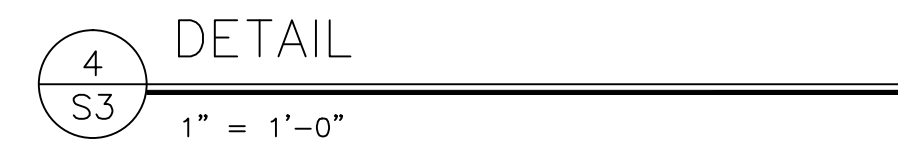
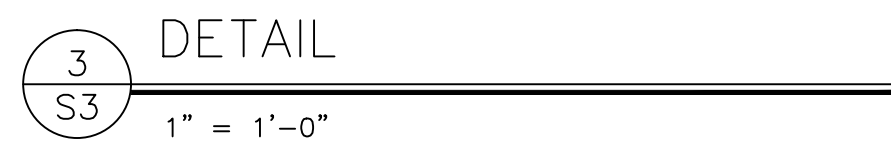
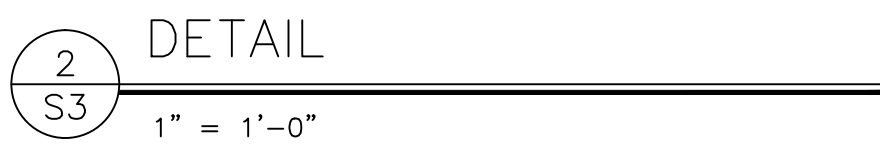
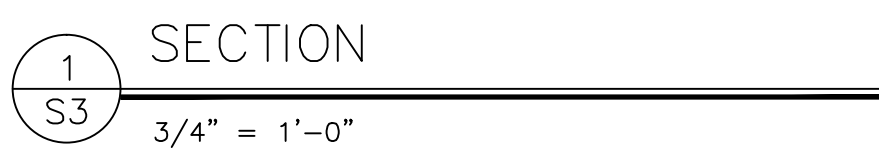

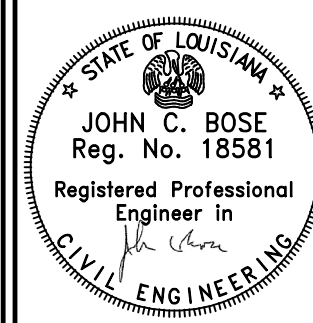


JOHN C. BOSE, CONSULTING ENGINEER
A PROFESSIONAL LIMITED LIABILITY COMPANY
2113 OCTAVIA STREET 70115
NEW ORLEANS, LOUISIANA 70115
(504) 866-9941

ADDITION TO REGINELLI'S OFFICE
323 OCTAVIA STREET
NEW ORLEANS, LA

Date: 4/4/22
Scale: AS NOTED
Drafted: HVG
Job No. 3637

S1
1 of 5

REVISIONS:

John C. Bose

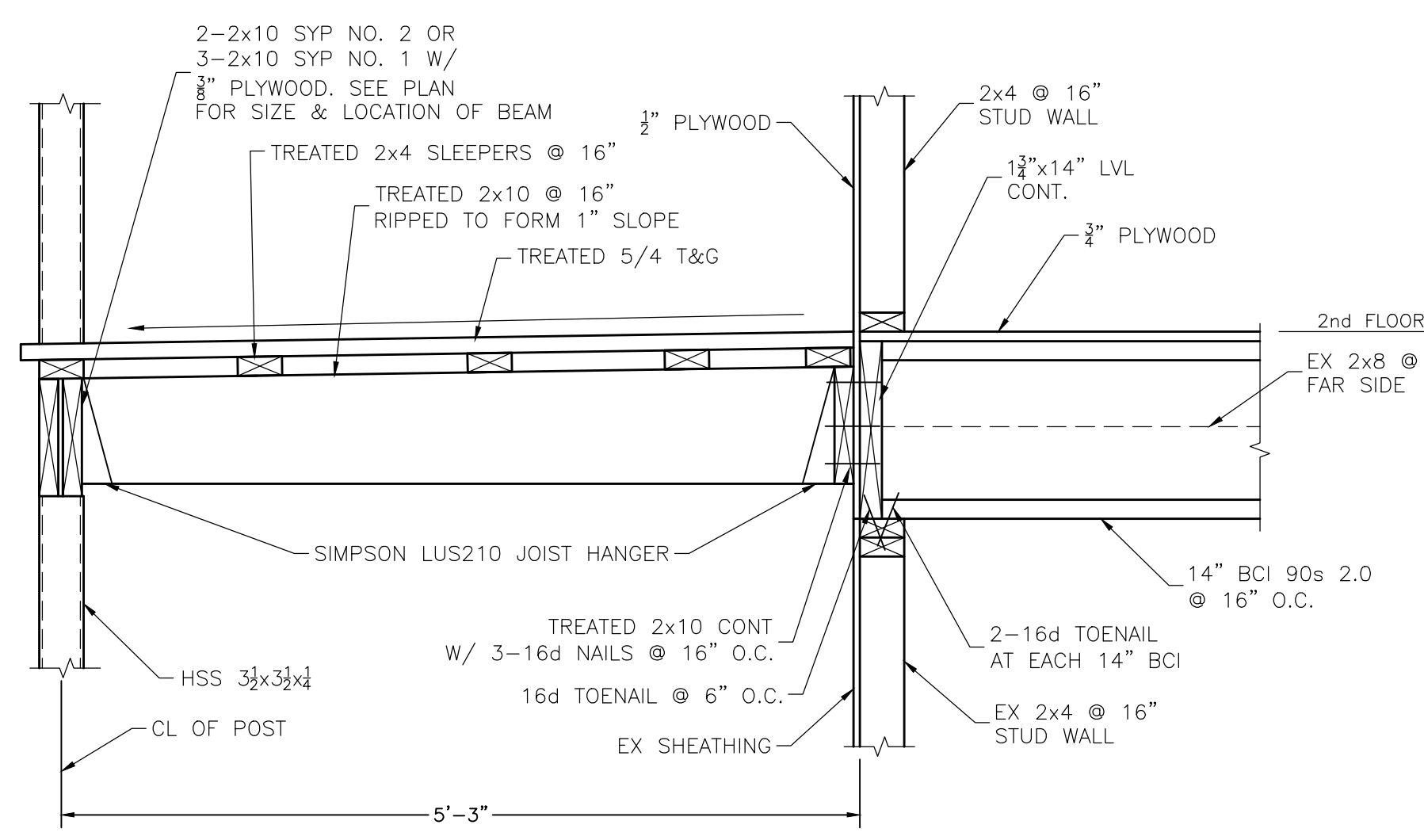
JOHN C. BOSE, CONSULTING ENGINEER
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(504) 866-9941

ADDITION TO REGINELL'S OFFICE
323 OCTAVIA STREET
NEW ORLEANS, LA

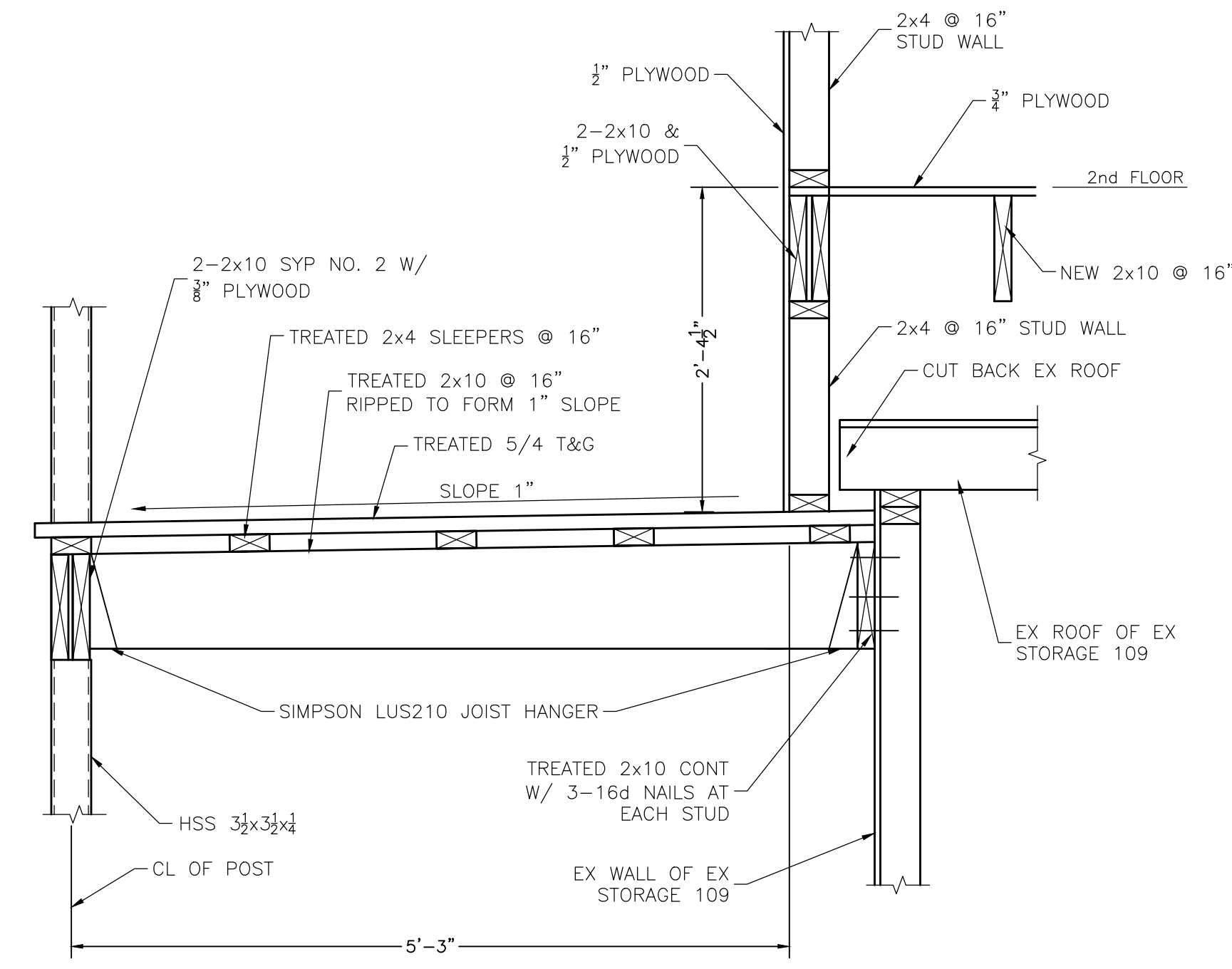
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Job No.	3637

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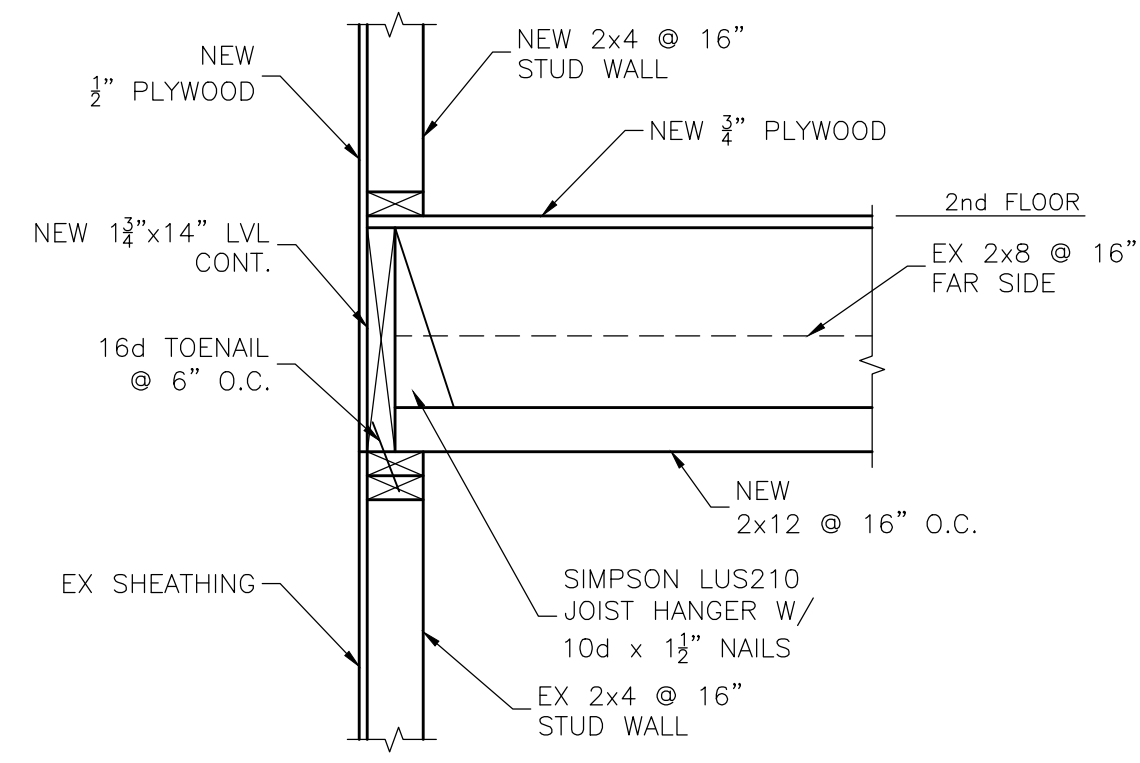
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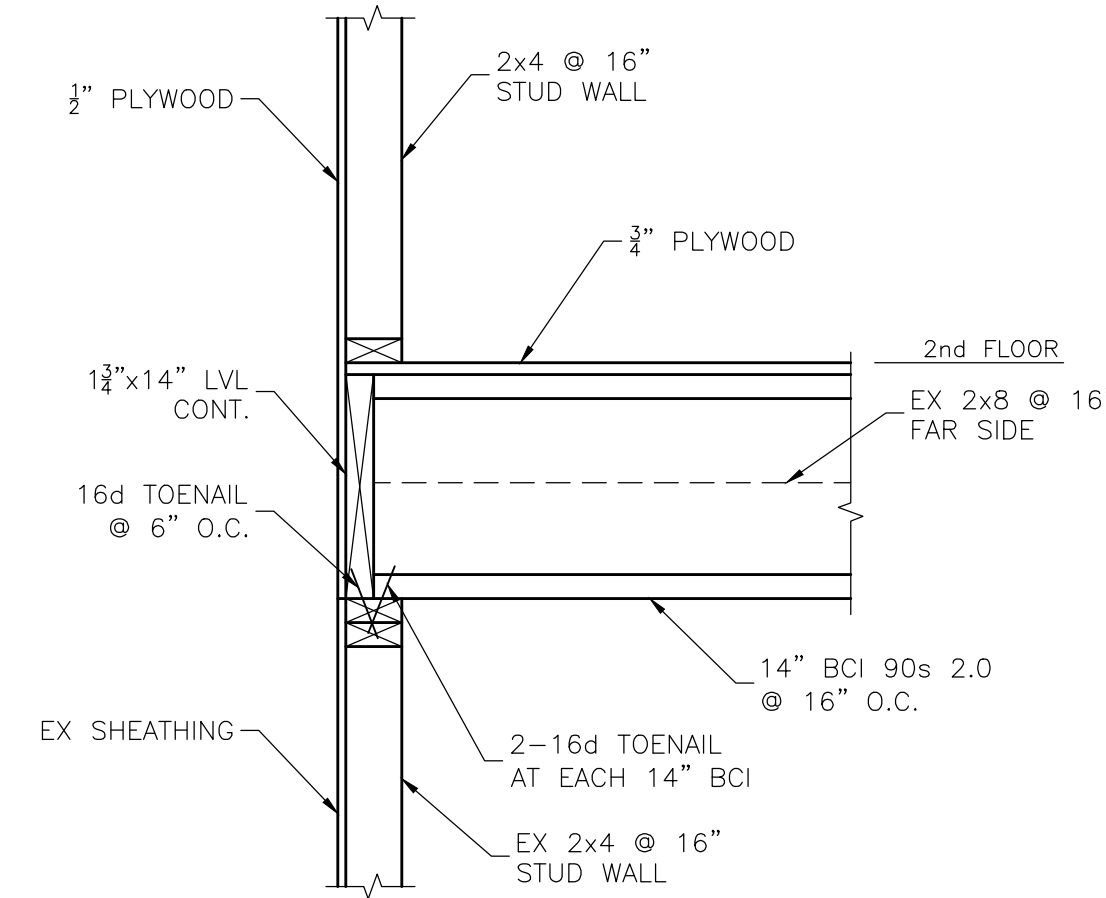
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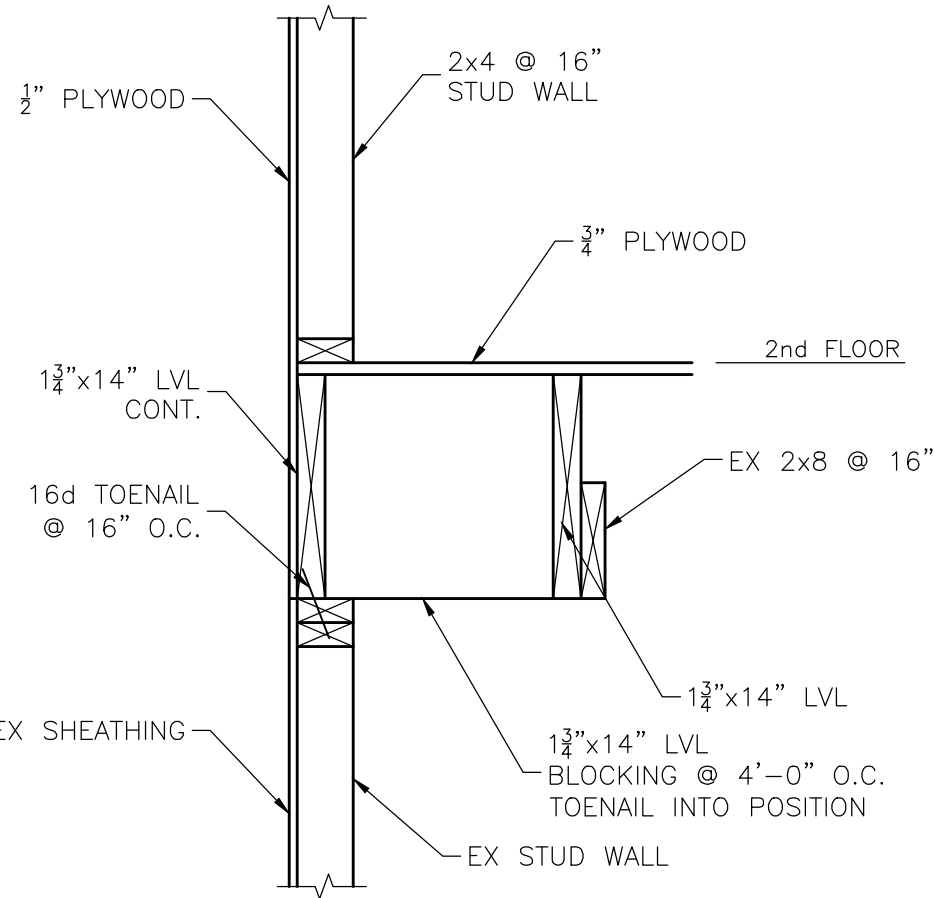
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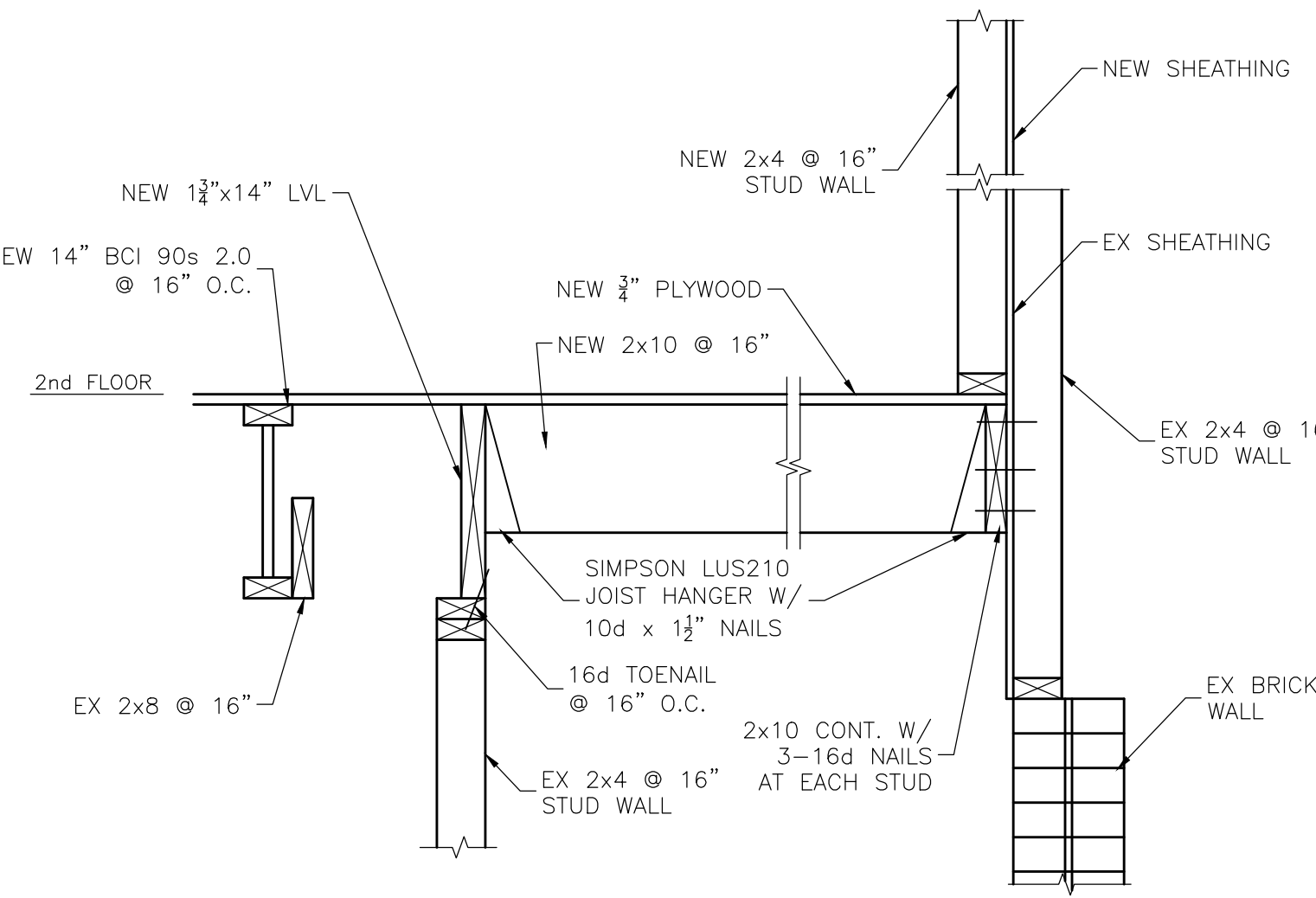
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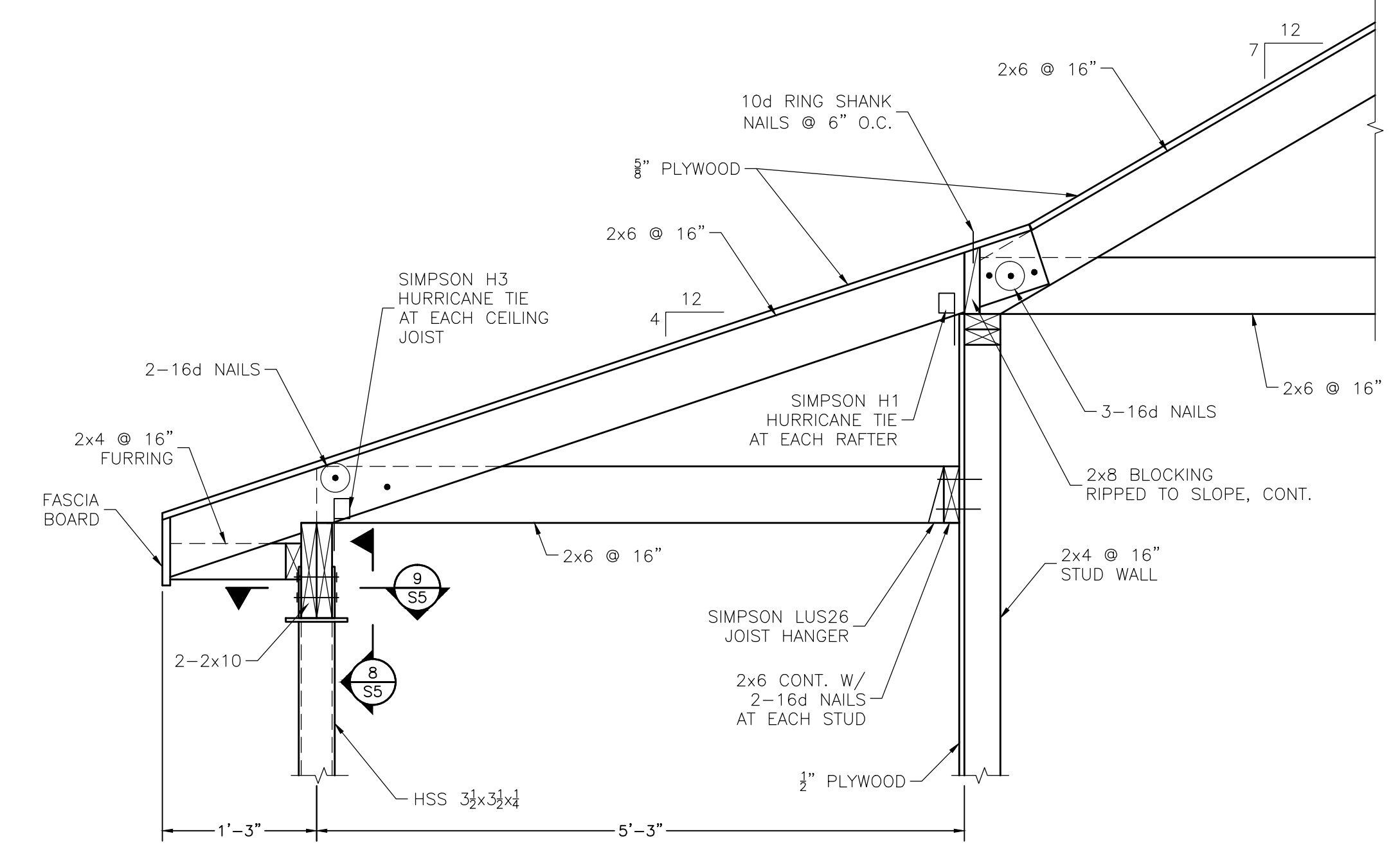
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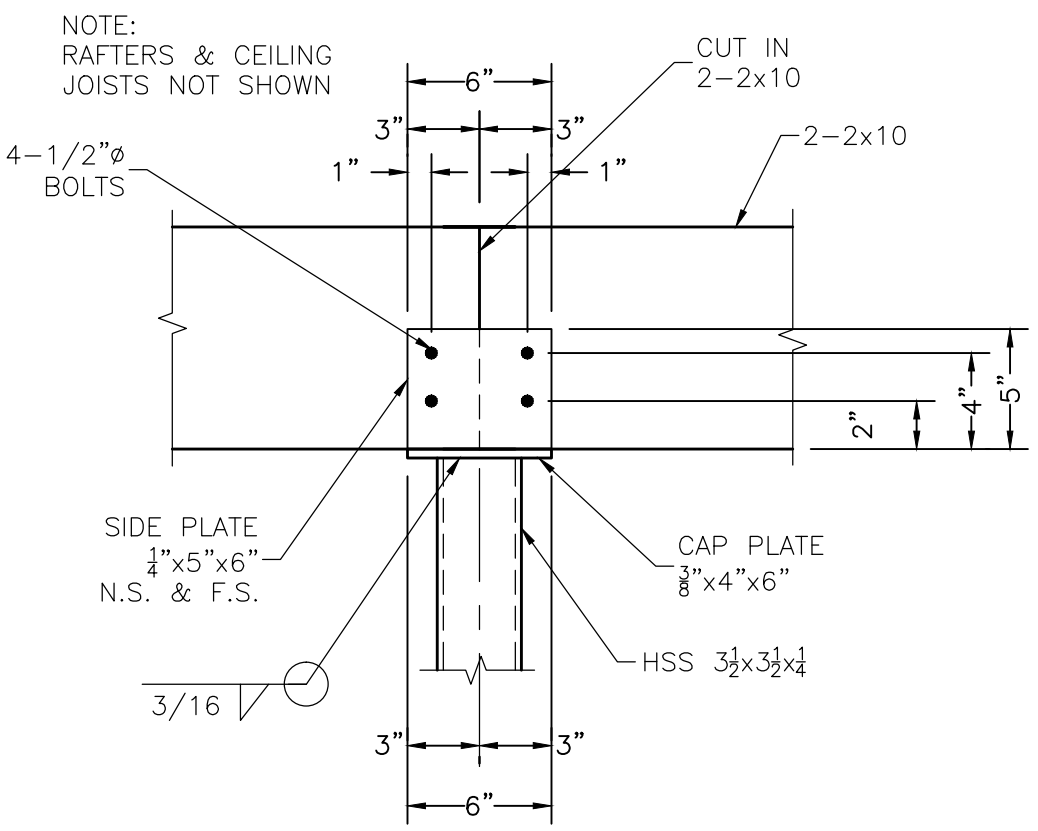
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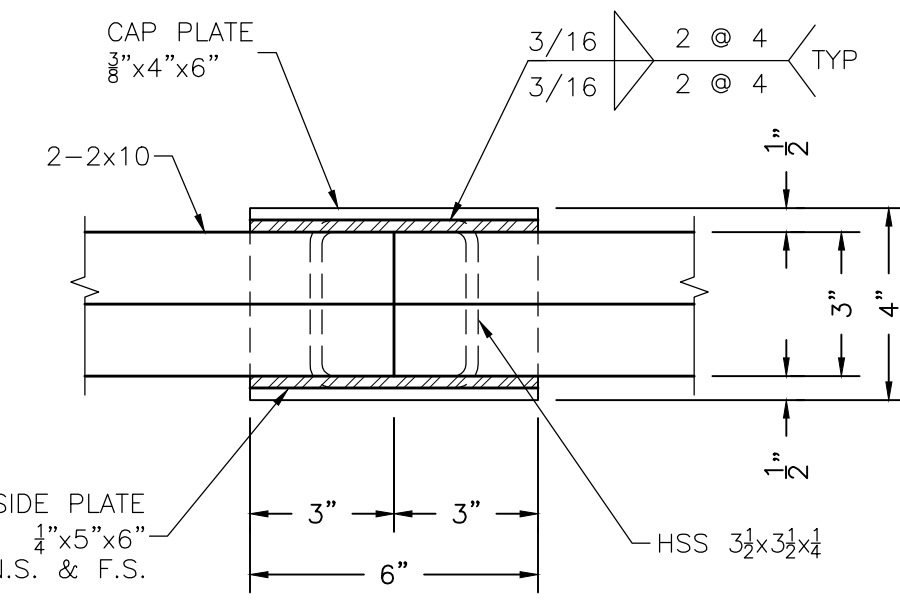
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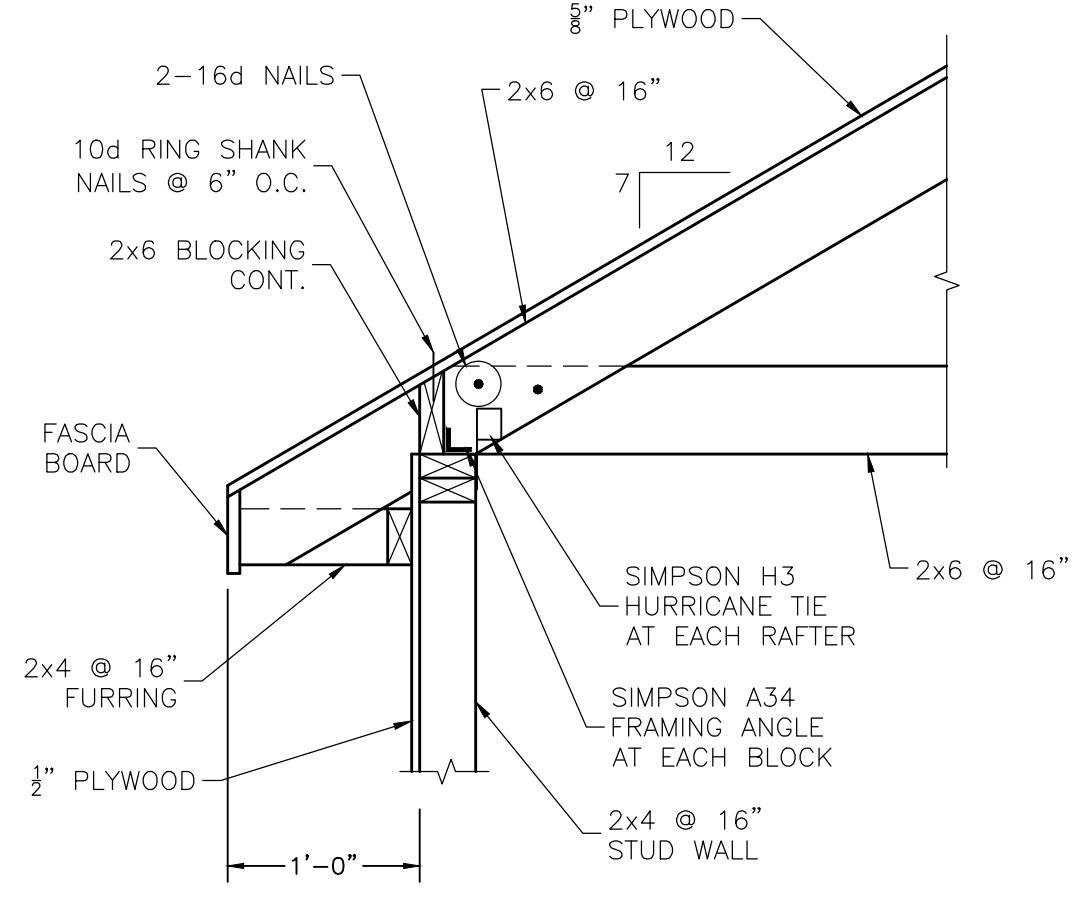
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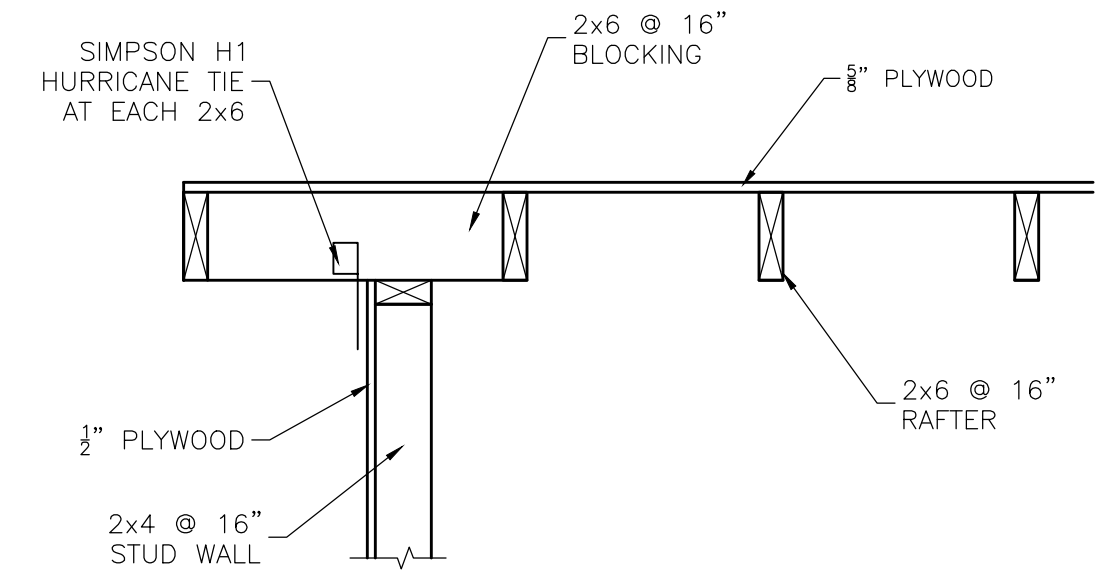
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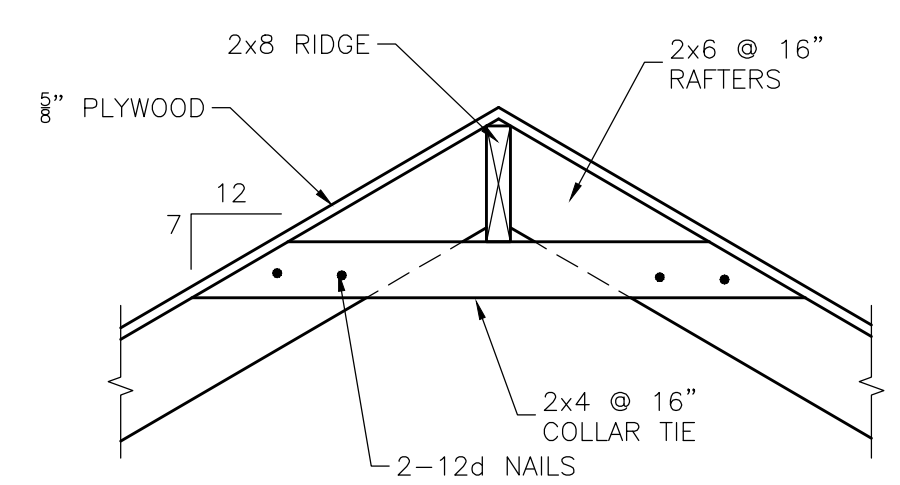
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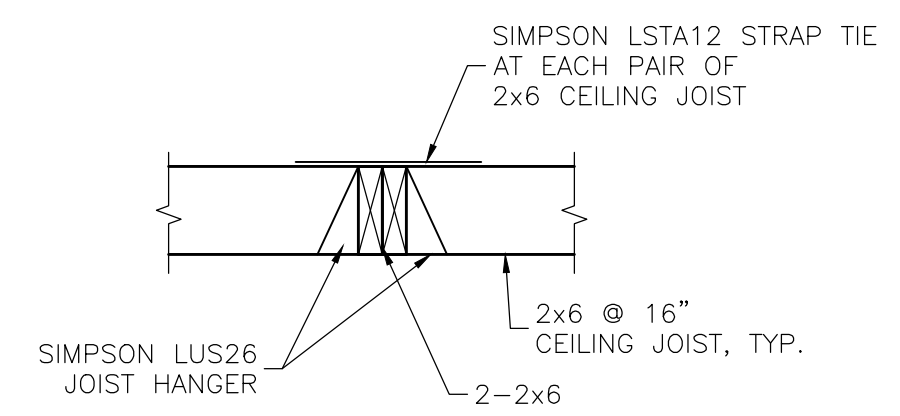
10 SECTION
S5 1" = 1'-0"



11 SECTION
S5 1" = 1'-0"



12 SECTION
S5 1" = 1'-0"



13 SECTION
S5 1" = 1'-0"

REVISIONS:

STATE OF LOUISIANA
JOHN C. BOSE
Reg. No. 18581
Registered Professional Engineer in
CIVIL ENGINEERING

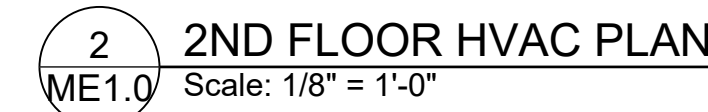
JOHN C. BOSE

ADDITION TO REGINELLI'S OFFICE
323 OCTAVIA STREET
NEW ORLEANS, LA

JOHN C. BOSE, CONSULTING ENGINEER
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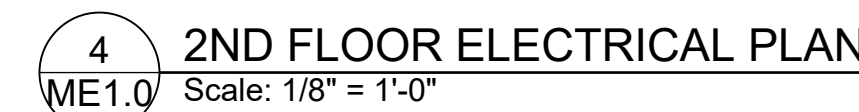
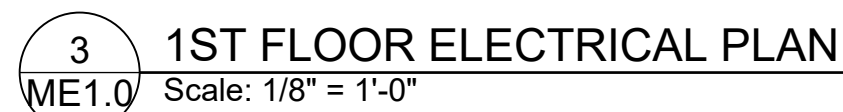
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No.		

 **GARY N. KRASNOW**
ARCHITECT, LLC

7734 WALMSLEY AVE NEW ORLEANS, LA 70125

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E-MAIL: gnrkarch@att.net

Scale	AS NOTED
Sheet No.	ME1.0 ———— of ———— 19



1. F1: Recessed 4 inch diameter LED downlight.
2. F2: Wall Mounted LED utility light.
3. F3: Pendant Mounted Light track with length in feet (F4/12'). Match existing track on 1st floor. Number of fixtures (LED) to be determined by the Owner.
4. F4: Pendant LED fixture for Lobby. Furnished by the Owner.
5. F5: Pendant LED fixture for Conference. Furnished by the Owner.
6. FXE: Existing combination Exit/Emergency light w/ battery pack.