

1423-1425 Jackson Avenue | November 15, 2022 | ARC

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*Home Owner: Tatum Neill  
Contractor: Tyler Ainsworth*

# Review Contents

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*Section 1*  
**Existing Building Photographs**

*Section 2*  
**Existing Site Plan & Proposed Changes**

*Section 3*  
**Existing Floor/ Roof Plans & Proposed Changes**

*Section 4*  
**Existing Elevations & Proposed Changes**

*Section 5*  
**Context Drawing, & Siteline Study**

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*View from Jackson Avenue*





*View in Front Yard*





*View of Front Facade*



Existing Building Photographs



*View of Second Floor Front Balcony*



*View From Second Floor Front Balcony of Front Yard*



Existing Building Photographs



*View of Side Yard / Drive Aisle*



*View of Garage*



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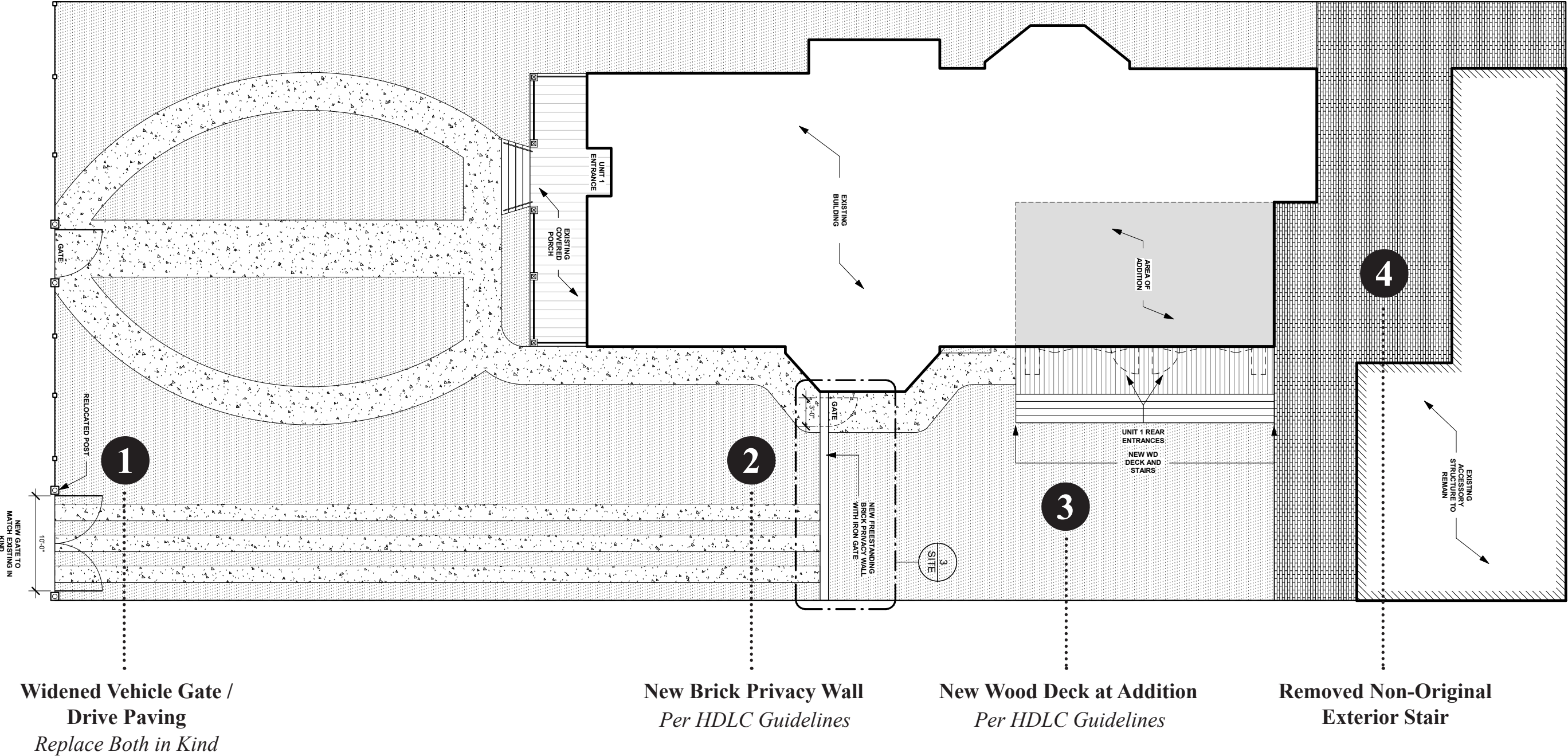
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*Section 2*  
Proposed Site Changes & Existing Conditions

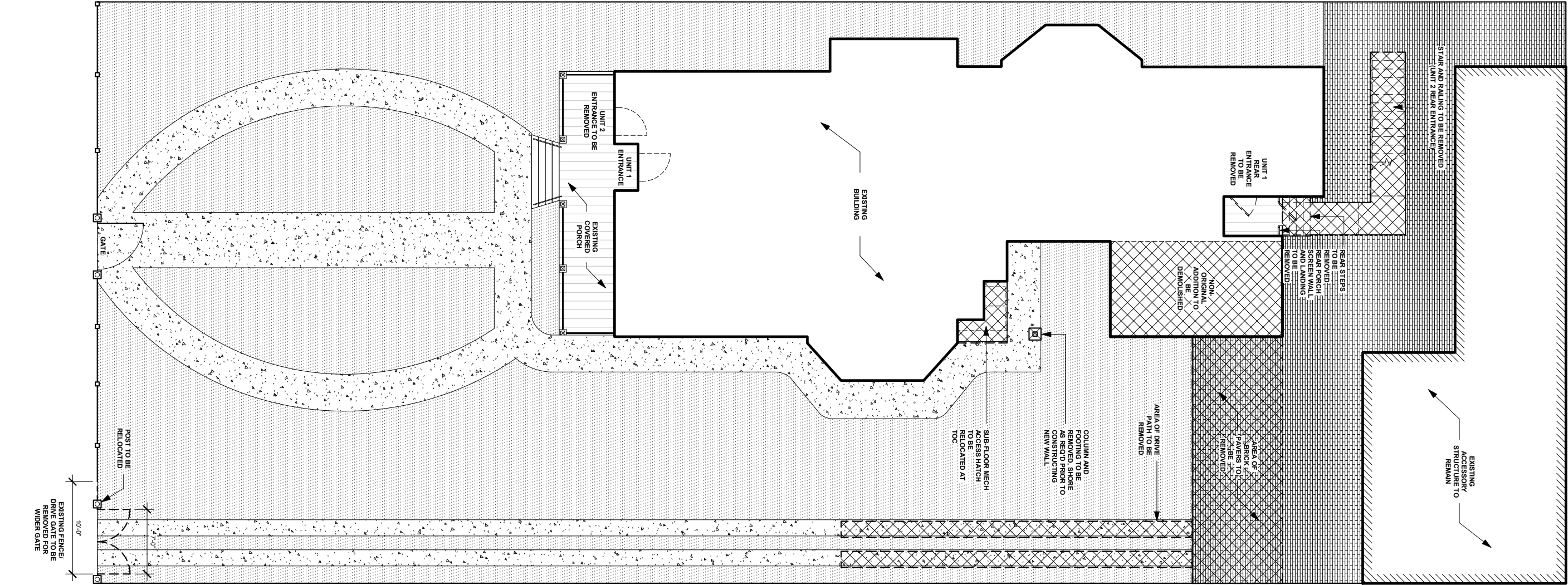
*Section 3*  
Proposed Floor Plan Changes & Existing Conditions

*Section 4*  
Proposed Elevation Changes & Existing Conditions

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Existing Vehicle Gate Condition



View from Jackson Avenue

- Widened Vehicle Gate / Drive Paving**  
*Replace Both in Kind*
- Relocate Ornamental Post
  - Replicate Gate (10'-0" Wide)
  - Redistribute Smaller Posts for Even Spacing



Proposed New Site Features



New Brick Wall Provides  
Privacy While Restoring  
Original Character of Yard  
*Per HDLC Guidelines*



New Addition to Feel Like  
Contextual With Building  
*All Details to Derive from  
Original Elements of Building*

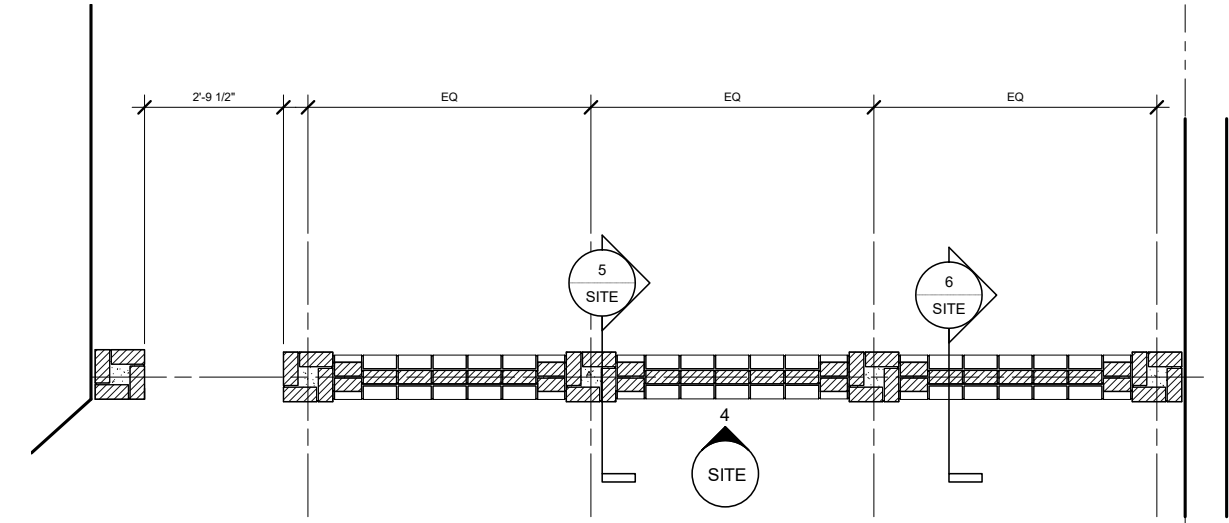


Wood Landing and Steps  
to Side Yard to Provide  
Seamless Interior / Exterior  
Experience at Addition  
*Per HDLC Guidelines*

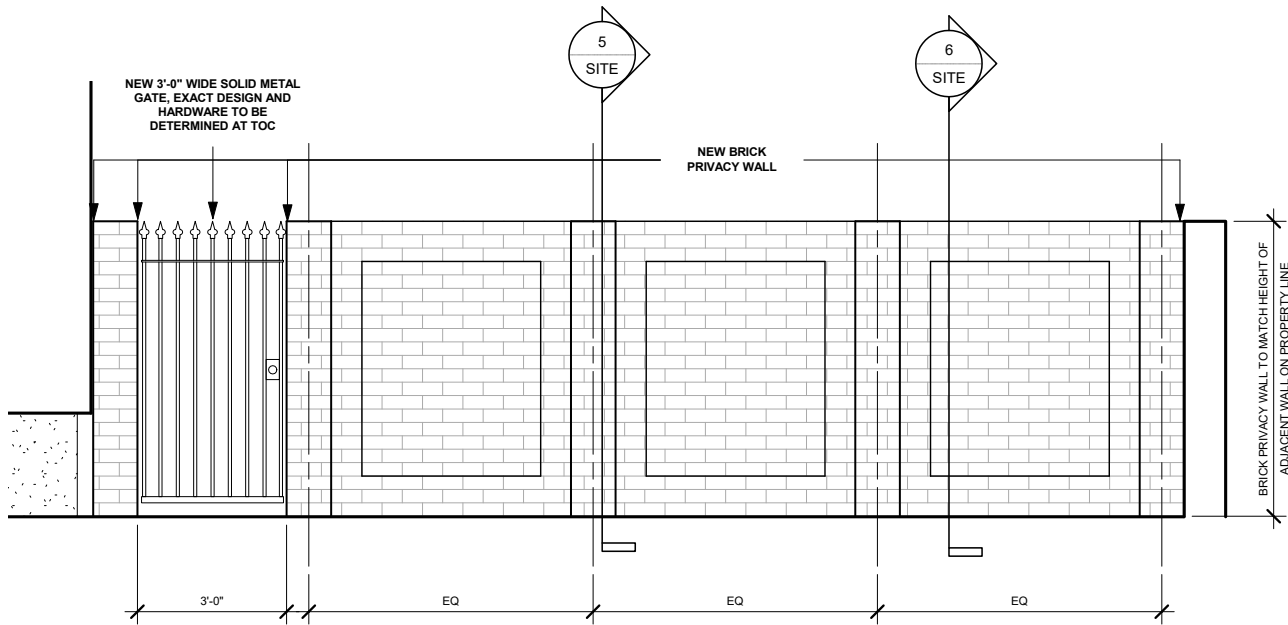


Brick Privacy Wall

The Brick Privacy Wall Will Be Designed Per HDLC Guidelines & Will Incorporate Existing Site Details and Features for the Gate



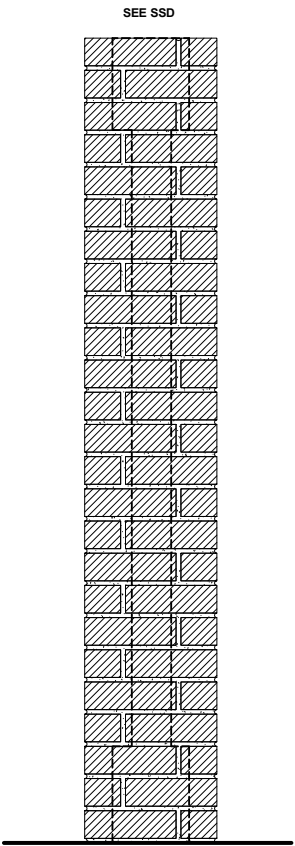
Brick Privacy Wall - Plan



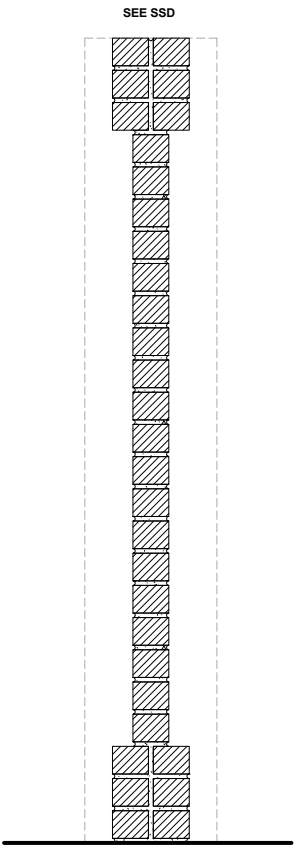
Brick Privacy Wall - Elevation

The Brick Privacy Wall Also Alludes to a Historic Structure on the Site from a Plan Book in 1877

Daniel Weaver kept the Jackson Street house for three years. The 1875 City Directory lists his residence at 231 Jackson Avenue. In 1876 he sold the "lot with buildings" to Stanley O. Thomas for \$7400. Thomas, a cotton factor with offices on Perdido Street, lived at 231 Jackson Avenue until 1887, in which year he is listed at St. Charles Avenue. A plan book from 1877 shows a two-story brick dwelling still standing on lot number 15. In that survey, a house now flanks the lot, standing where the kitchen and gardens, on the Prytania Street side, stood in the 1850s.



Section 5



Section 6

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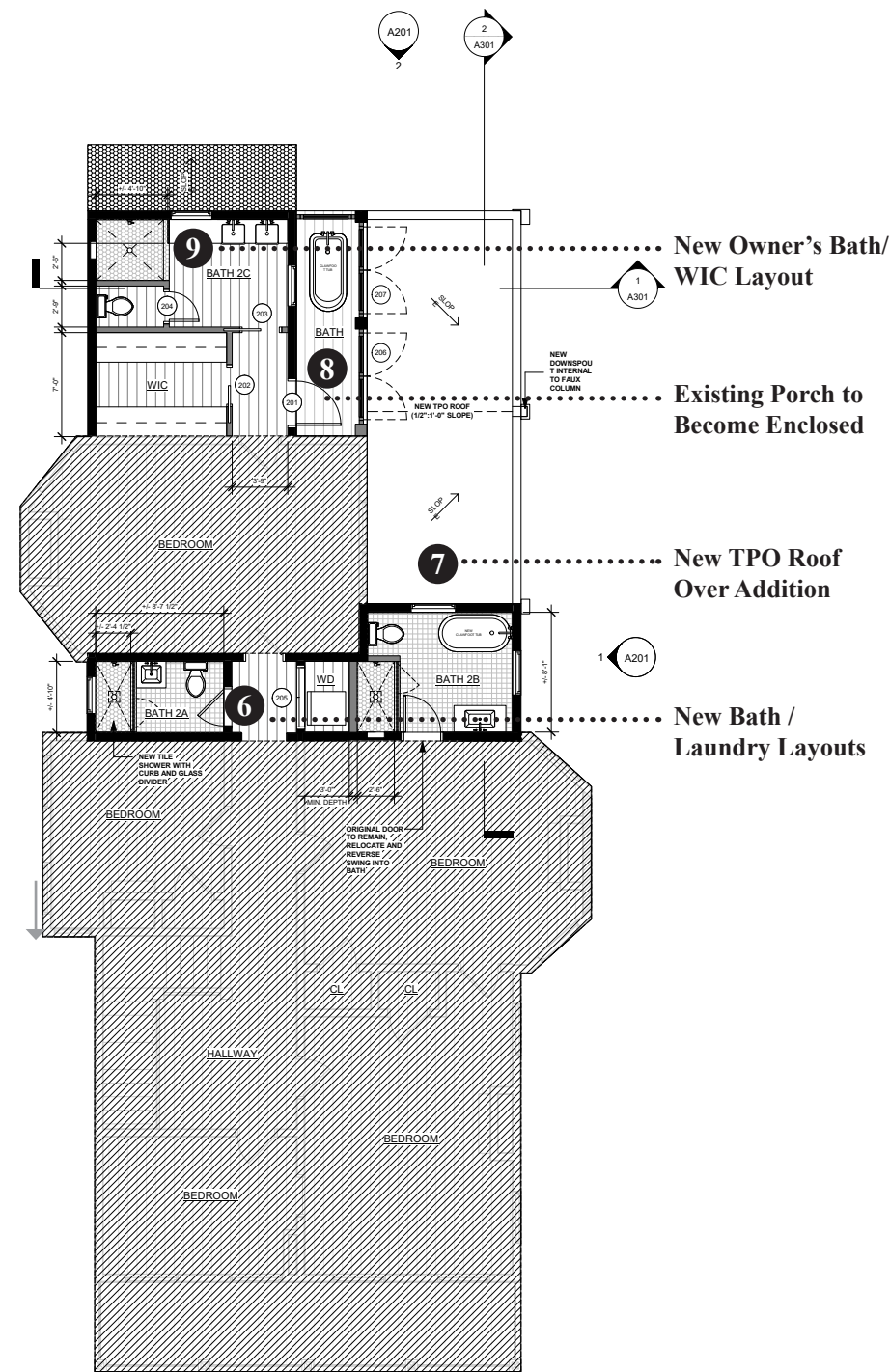
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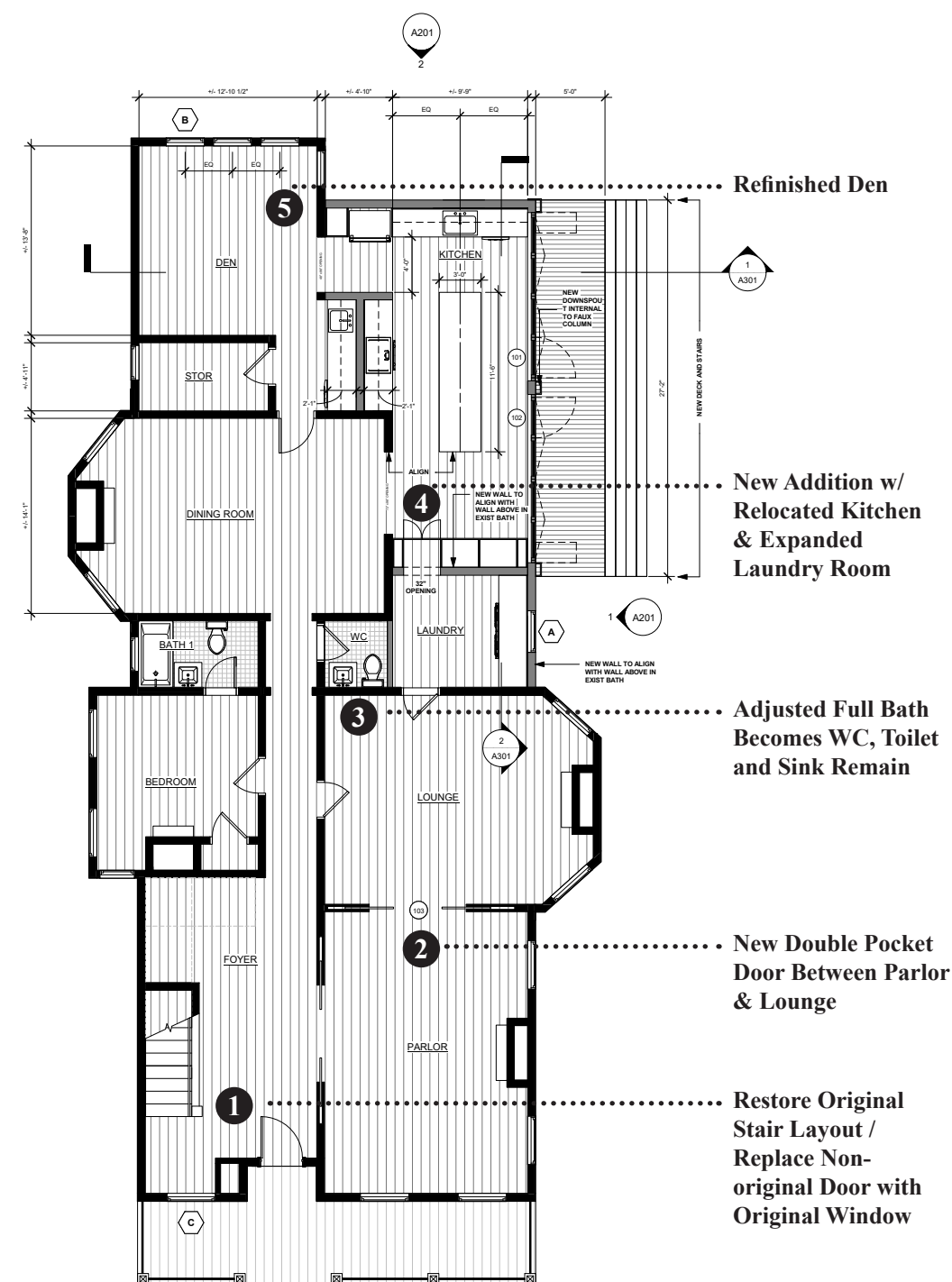
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Proposed Floor Plans

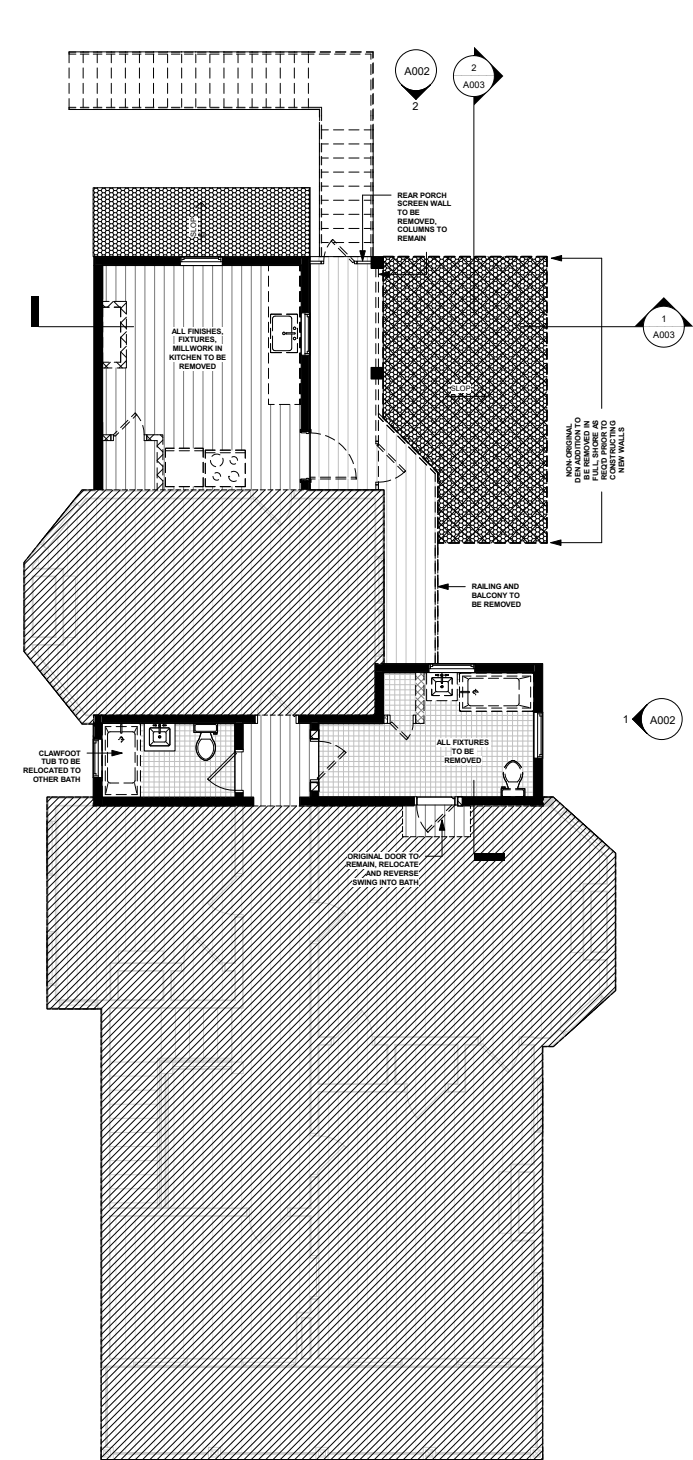


Proposed Changes to Level 2 Floor Plan

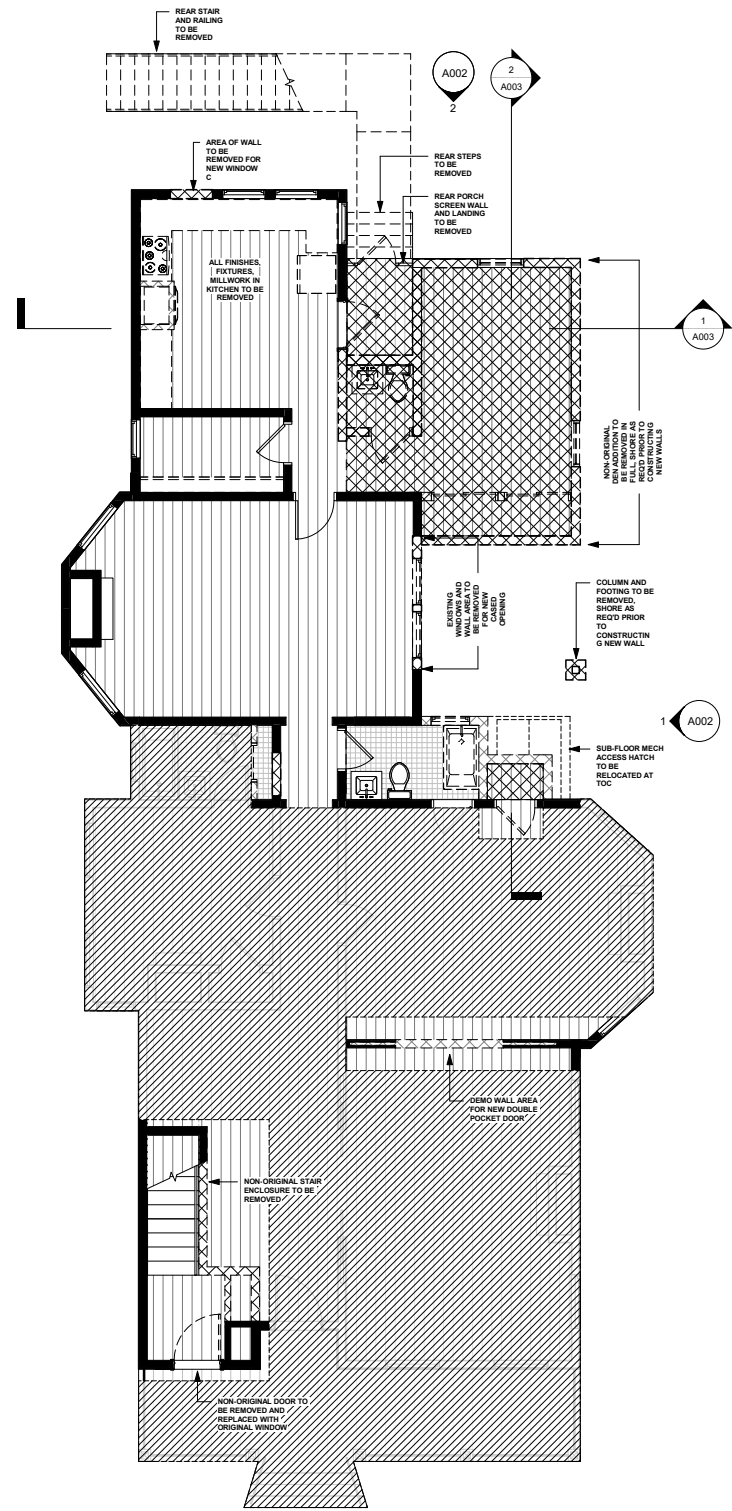


Proposed Changes to Level 1 Floor Plan





Existing Level 2 Floor Plan



Existing Level 1 Floor Plan



Existing Addition Photograph

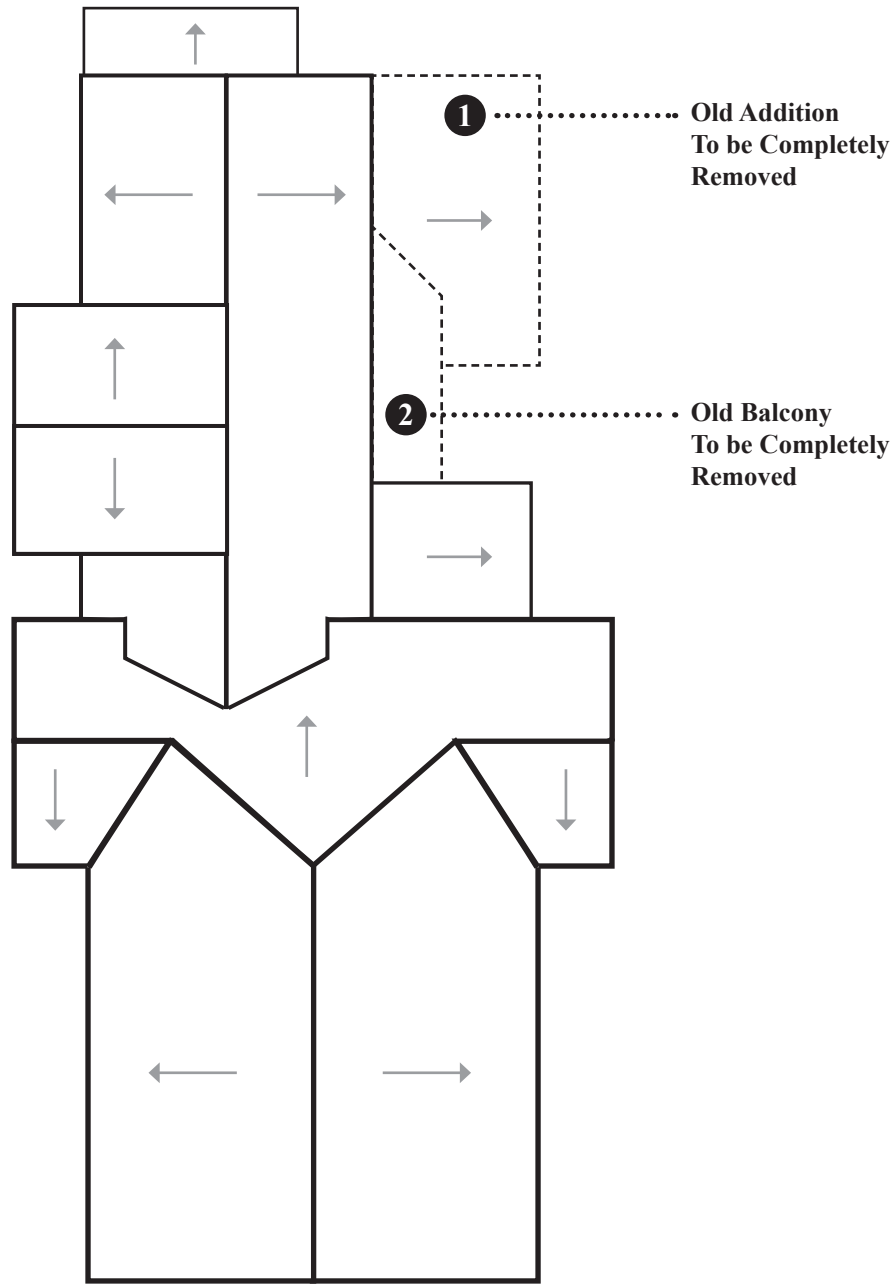


Existing Non-Original Balcony to be Completely Removed

Existing Non-Original Addition to be Completely Removed

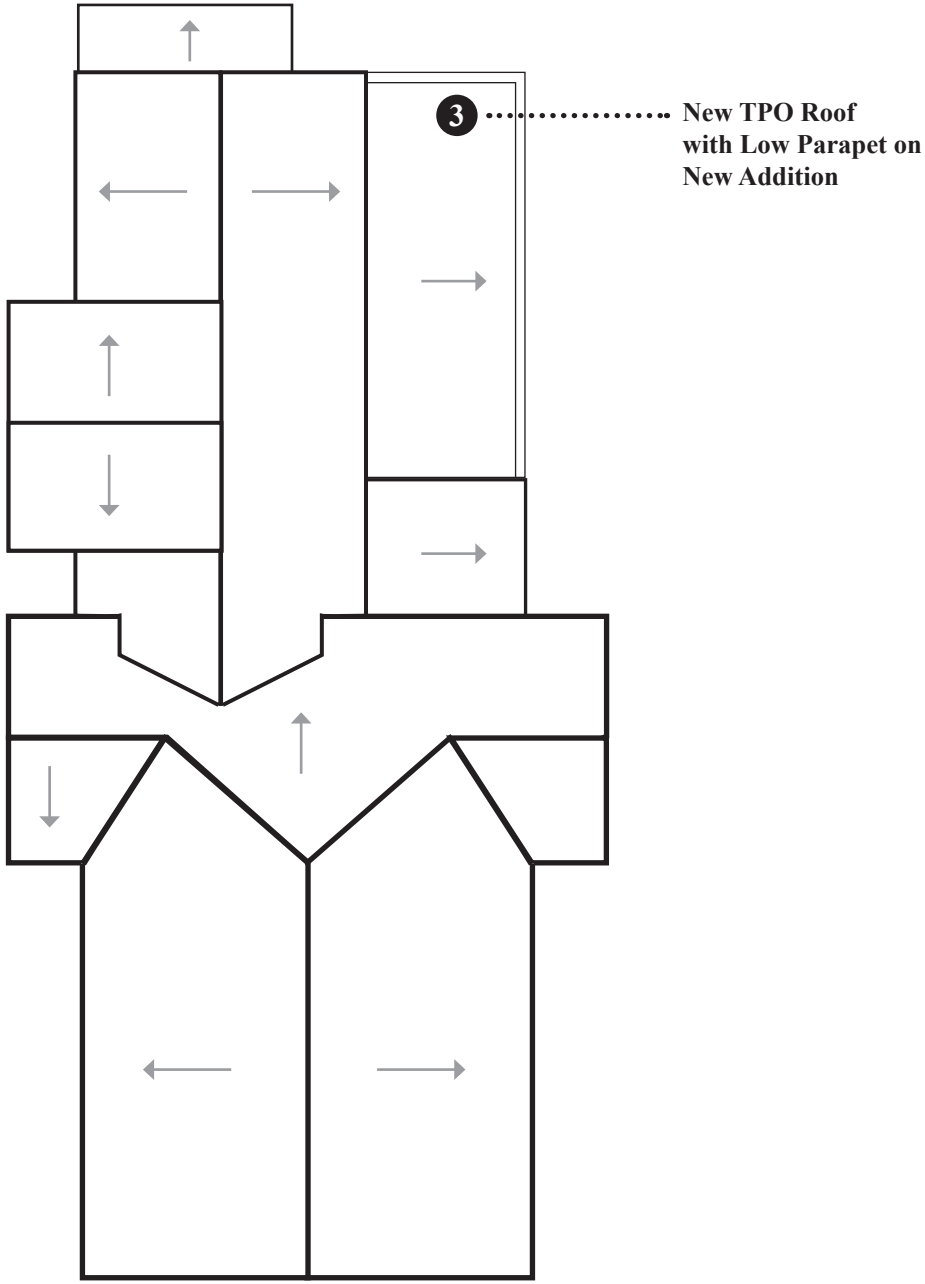
- Notes:**
- 1. All Removed Original Windows to be Re-purposed at New Locations Per Plan
  - 2. All New Siding to Match Original
  - 3. Mechanical Equipment/ Access Will be Discreetly Relocated

All Original Shingle Roofing and Terra Cotta  
Roof Features to Remain



*Original Roof Plan*

New TPO Roof at Addition to Have Low  
Parapet with Fascia and Trim to Match Existing  
Building Features



*Proposed Changes to Roof Plan*



Existing Interior Condition



Current Kitchens

Current Baths

Non-original Addition



Existing Interior Condition

Stairwell/ Foyer Condition to be Restore to Original



*Current Downstairs Foyer*



*Current Stair Entry to Level 2*



Existing Interior Condition

Add Double Pocket Door to Connect Lounge and Parlor  
Details to Match Existing Adjacent



Current Bedroom (to Become Lounge)



Current Living Room



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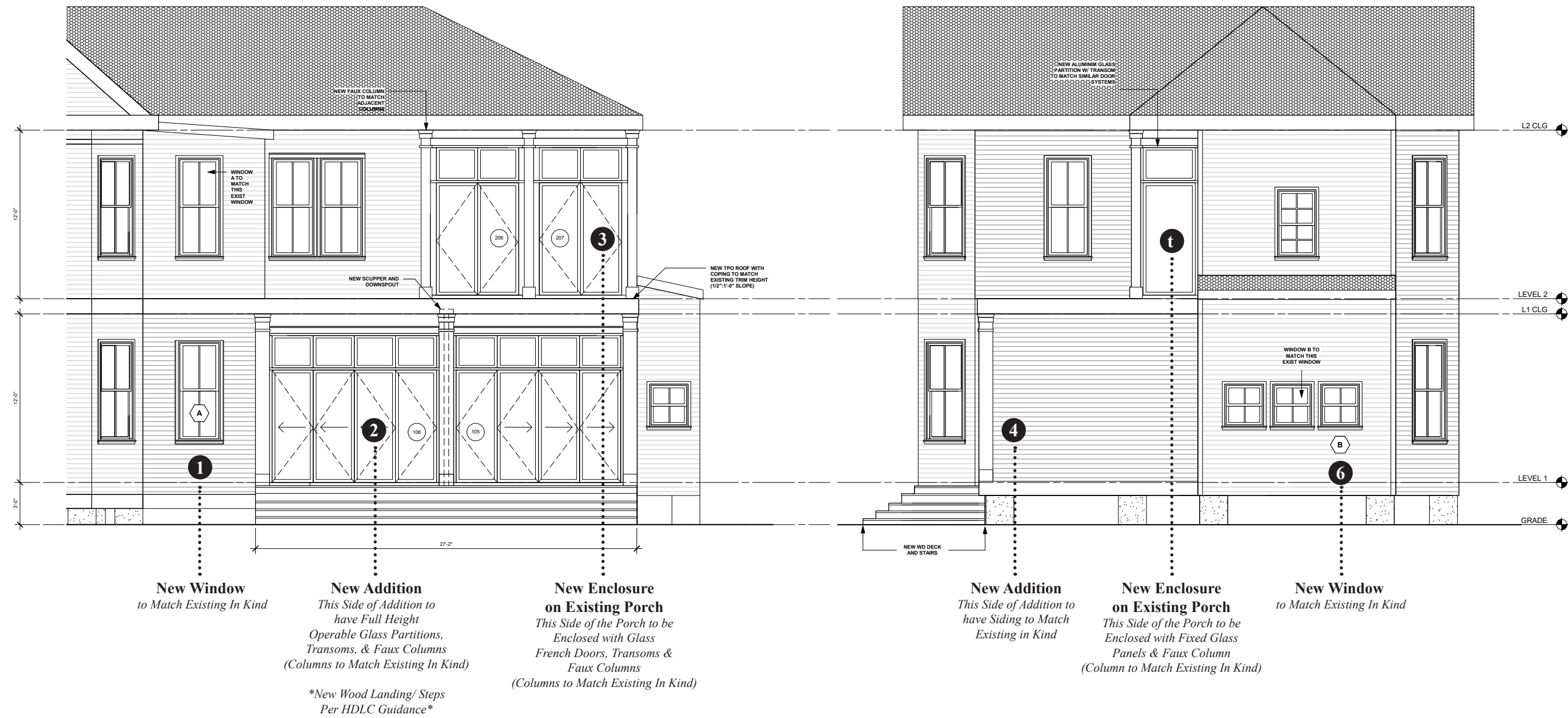
Front Facade Changes



**Restore Original Window  
in Place of  
Non-original Door**



Proposed Elevations - Rear Scope





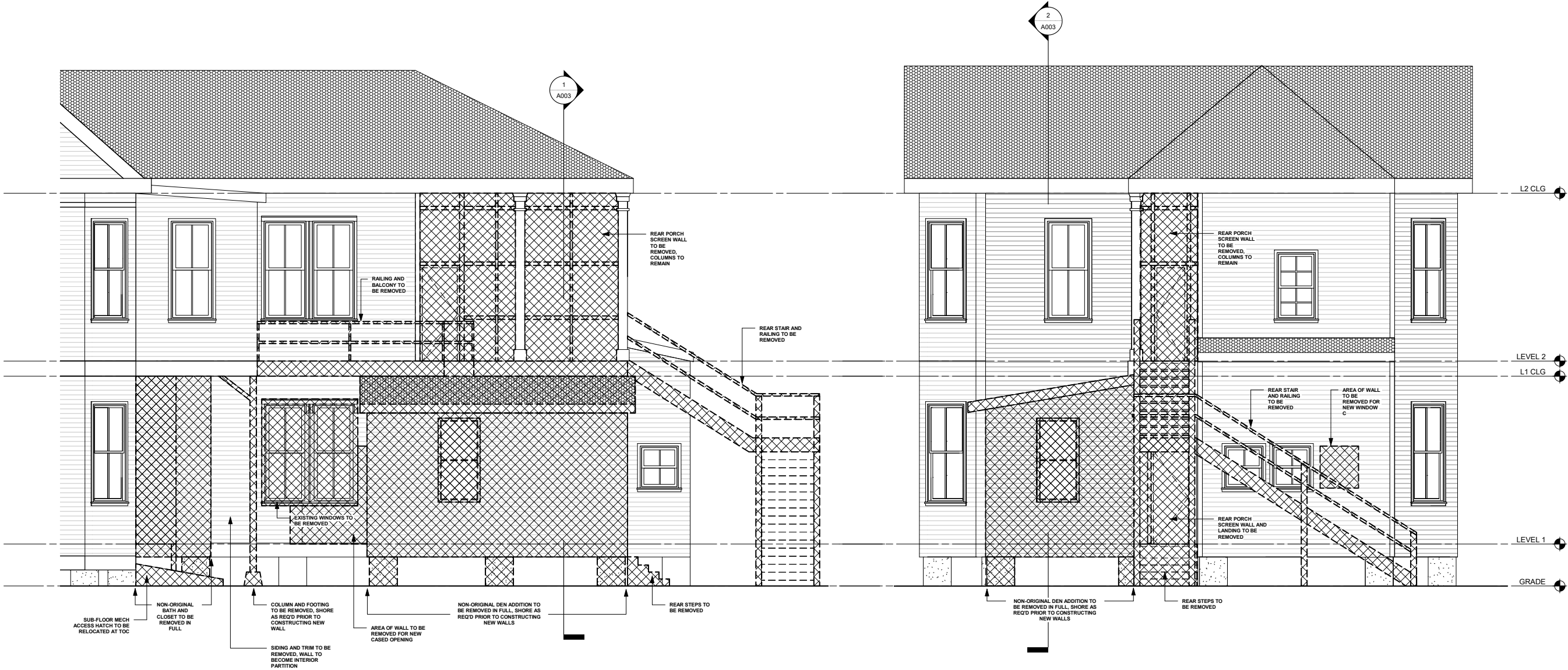
Facade for Addition



Facade Elements For  
Addition to Derive  
From Original  
Elements on this Back  
Porch

This Facade Region Will Be Replaced with the New  
Addition

Existing / Demo Elevations - Rear Scope





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**WILL PROVIDE BY NOV. 15TH**



