

**DEPARTMENT OF SAFETY & PERMITS
CITY OF NEW ORLEANS**

PERMIT NO: _____ DATE: June 23, 2022
 ADDRESS: 2323 Philip Street SUBDIVISION: _____
 DISTRICT: 4TH SQUARE: 326 LOTS: 22

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM INDEX	FIRM ZONE	BASE FLOOD ELEVATION (BFE)	FREEBOARD (ADD 1FT FOR A AND V ZONES) <small>OFFICE USE ONLY</small>
225 203	0229	F	09/30/2016	X	NONE	+1ft = _____

MINIMUM FLOOR ELEVATION: _____ N.A.V.D.
 FOR V - ZONES ONLY:
 _____ N.A.V.D.
 (ELEVATION OF BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER)

IN ADDITION TO THE FEMA ELEVATIONS, THE FOLLOWING CONDITIONS MUST ALSO BE MET:

- A. TOP OF SLABS ON GRADE OR FILL MUST BE AT LEAST 36" ABOVE THE HIGHEST POINT OF CURB IN FRONT OF THE LOT OR SITE.
- B. PIER CONSTRUCTION: TOP OF PIERS (UNDERSIDE OF SILLS) MUST HAVE AT LEAST 18" CLEARANCE BENEATH THE STRUCTURE. IN ADDITION, THE LOWEST FLOOR MUST BE AT LEAST 36" ABOVE THE HIGHEST POINT OF CURB IN FRONT OF THE LOT OR SITE. (IF NO CURB, USE CENTERLINE OF STREET)
- C. ALL MECHANICAL OR PLUMBING EQUIPMENT SERVICING THE BUILDING MUST BE LOCATED AT OR ABOVE THE REQUIRED FLOOR ELEVATION.
- D. SLABS FOR ATTACHED GARAGES MUST BE AT THE REQUIRED FLOOR ELEVATION OR BE CONSTRUCTED OF WATER-RESISTANT MATERIALS WITH PROPER VENTING IN 2 WALLS.
- E. DETACHED GARAGES WITH PLUMBING MUST BE AT THE REQUIRED FLOOR ELEVATION.
- F. CONSTRUCTION BENCHMARK MUST BE SET AT REQUIRED MINIMUM FLOOR ELEVATION OR GREATER. (ADD 1 FOOT FOR A & V-ZONES)

APPROVED FOR CITY BY: _____

1. CERTIFICATE OF CONSTRUCTION BENCHMARK

EXISTING HIGHEST TOP OF CURB ELEVATION +0.07' N.A.V.D.
 EXISTING HIGHEST CENTERLINE OF STREET +0.30' N.A.V.D.
 EXISTING LOT ELEVATIONS (PROPERTY CORNERS OR EDGE)
 FRONT (RIGHT) +0.63' N.A.V.D. FRONT (LEFT) +0.63' N.A.V.D.
 REAR (RIGHT) +0.83' N.A.V.D. REAR (LEFT) +0.83' N.A.V.D.
 OTHER _____ N.A.V.D.

FOR PERMIT OFFICE USE ONLY
 ADD 3ft to curb, if no curb use the centerline of street
 _____ + 3ft = _____

DESCRIBE DESCRIPTION OF CONSTRUCTION BENCHMARK: YELLOW "X" ON POWER POLE AT FRONT RIGHT
 ELEVATION OF CONSTRUCTION BENCHMARK: +3.27' N.A.V.D. (SEE NOTE F.)
 REFERENCE BENCHMARK USED TO ESTABLISH CONSTRUCTION BENCHMARK: GPS 2022
 ELEVATION OF REFERENCE BENCHMARK: N/A N.A.V.D.

SIGNATURE: [Signature] DATE: June 23, 2022
 (LA. REGISTERED PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER) (SEAL)



2. CERTIFICATE OF TOP OF FORM OR TOP OF PIER ELEVATION
 (To be submitted before pouring concrete for slab construction or framing floor for pier construction)

AS BUILT ELEVATIONS: FORM _____ N.A.V.D. PIER _____ N.A.V.D.

PIER CONSTRUCTION:
 ALL FRAMING MATERIALS BELOW THE MINIMUM FLOOR ELEVATION (B.F.E.) MUST BE CONSTRUCTED WITH WATER-RESISTANT MATERIALS AND THE FIRST FLOOR MUST BE AT OR ABOVE THE MINIMUM FLOOR ELEVATION (B.F.E.).

V ZONES ONLY:
 BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER _____ N.A.V.D.
 (Must be submitted before framing begins)
 IN V ZONES, ALL ENCLOSURES BELOW THE B.F.E. MUST BE DESIGNED WITH BREAK-AWAY WALLS CONSTRUCTION.

SIGNATURE: _____ DATE: _____
 (LA. REGISTERED PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER) (SEAL)

3. FILLING, GRADING, DRAINAGE, SIDEWALK AND DRIVEWAY CERTIFICATION AND AFFIDAVIT
 (To be submitted before Use & Occupancy Certificate can be issued)

THIS WILL CONFIRM THAT ALL FILLING, GRADING, DRAINAGE, SIDEWALKS AND DRIVEWAYS HAVE MET THE REQUIREMENTS OF THE APPLICABLE SECTIONS OF THE CODE OF THE CITY OF NEW ORLEANS.

OWNER: _____ DATE: _____
 APPLICANT: _____ DATE: _____ (NOTARY)

OR
 IS LOT PROPERLY FILLED TO GRADE? YES NO

(minimum lot slope, rear to front, 1 inch every 20 feet)

ARE SIDEWALKS PROPERLY INSTALLED? YES NO
 ARE DRIVEWAYS PROPERLY INSTALLED? YES NO
 ARE RETAINING WALLS REQUIRED? YES NO
 (if yes, then on which side(s) RIGHT LEFT REAR
 ARE EQUIPMENT SLABS, SUCH AS A/C COMPRESSORS, AT MINIMUM FLOOR ELEVATION? YES NO
 DO ATTACHED GARAGES IN A-ZONES, THAT ARE BELOW MINIMUM FLOOR ELEVATION, HAVE PROPER VENTING AND WATERPROOFING? YES NO N/A

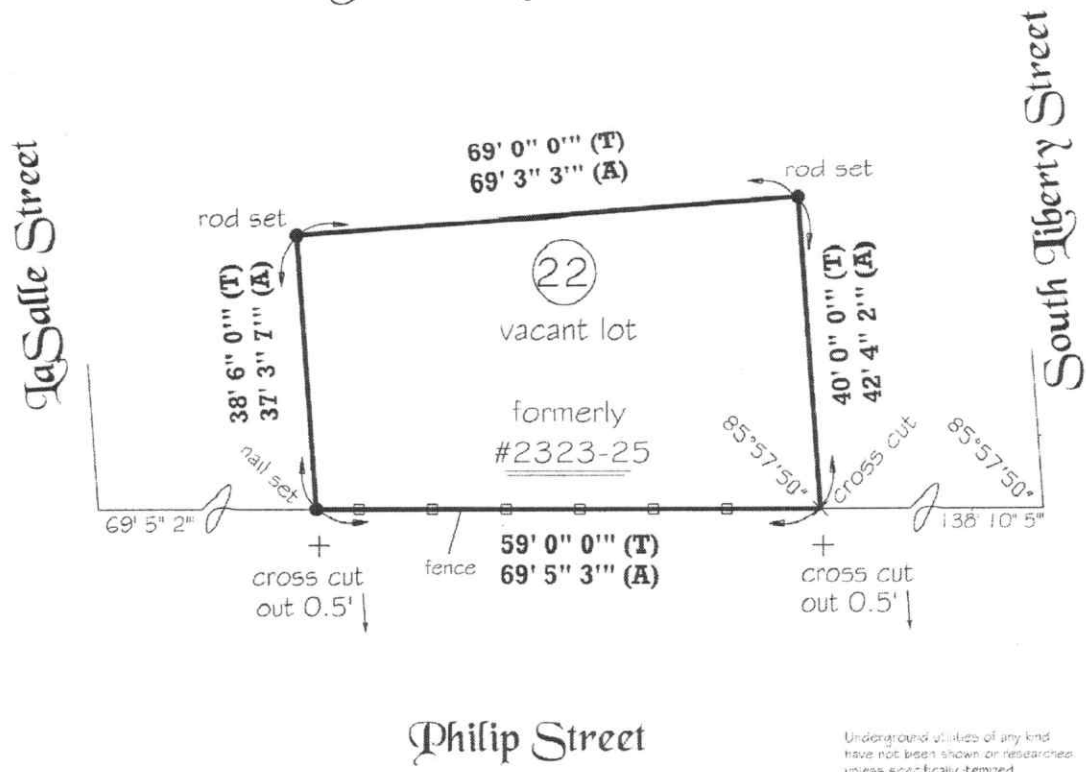
SIGNATURE: _____ DATE: _____
 (LA. REGISTERED PROFESSIONAL CIVIL ENGINEER) (SEAL)

Lot 22, Square 326,
Fourth District,
City of New Orleans,
Orleans Parish, LA.

We certify that this plat represents
an actual ground survey made by us
& conforms to the requirements for
the Minimum Standards for Property
Boundary Surveys as found in La.
Administrative Code TITLE 46:LXI
Chapter 29 for a Class "C" survey.



Jackson Avenue (side)



Philip Street

Underground utilities of any kind
have not been shown or researched
unless specifically termed.
Due to field restrictions and
measurements, corner markers may
require to be offset as shown.
Property corners, not distances,
should be used to determine location
of new structures or additions.
I = Interior E = Exterior
Fences are shown for general
information purposes only and
do not necessarily reflect
exact location and condition.
Measurements, if any, are taken
to the centerline of fence posts.
The directional arrow is shown for
general information only and does
not reflect true or magnetic North.
No abstracting or title research of any
kind was performed by the office.

Re:
Gilbert & Kelly Survey (Lots 29 & 30)
6-15-1954
D'Hemecourt Map

Copyright © 2017
All Rights Reserved
S.Z.S. Consultants, Inc.

BOUNDARY SURVEY
Made at the request of

Earl Meyers

S.Z.S. CONSULTANTS, INC.
4421 CONLIN STREET SUITE 202
METAIRIE, LA. 70006
PH. (504) 561-5724 FAX (504) 561-5726
ENGINEERS - ENVIRONMENTALISTS - SURVEYORS

DRAWN: SJB
SCALE: 1" = 20'
DATE: 2-24-2017
JOB NO.: 12640

