

## An architectural rendering of a single-story brick house. The house features a dark gabled roof and a large front porch supported by white columns. A man in a blue shirt stands on the porch steps, and a woman sits on a bench inside the porch area. To the left is a detached garage with a white door and brick walls. A swimming pool is visible in the foreground. The background shows a light blue sky and green grass.

6911 MEMPHIS ST.  
NEW ORLEANS, LA 70124.

Professional Engineer Seal for Ralph Henry Long, Jr., State of Louisiana, Registration No. 3245, expires 07/29/21.

FIRST FLOOR RENOVATION  
**MOUTON RESIDENCE**  
6911 MEMPHIS ST.  
NEW ORLEANS, LA 70124

Project Name

Issued

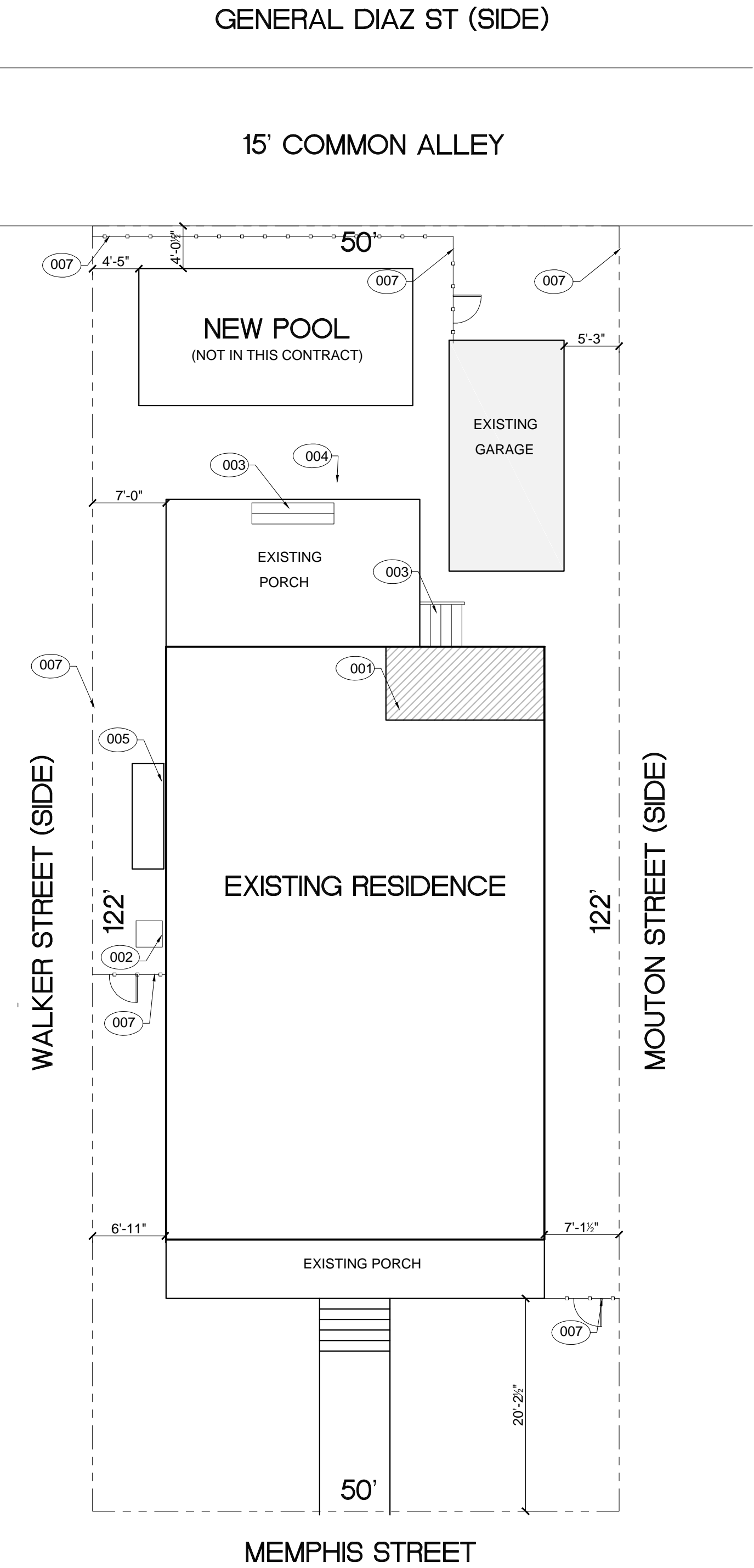
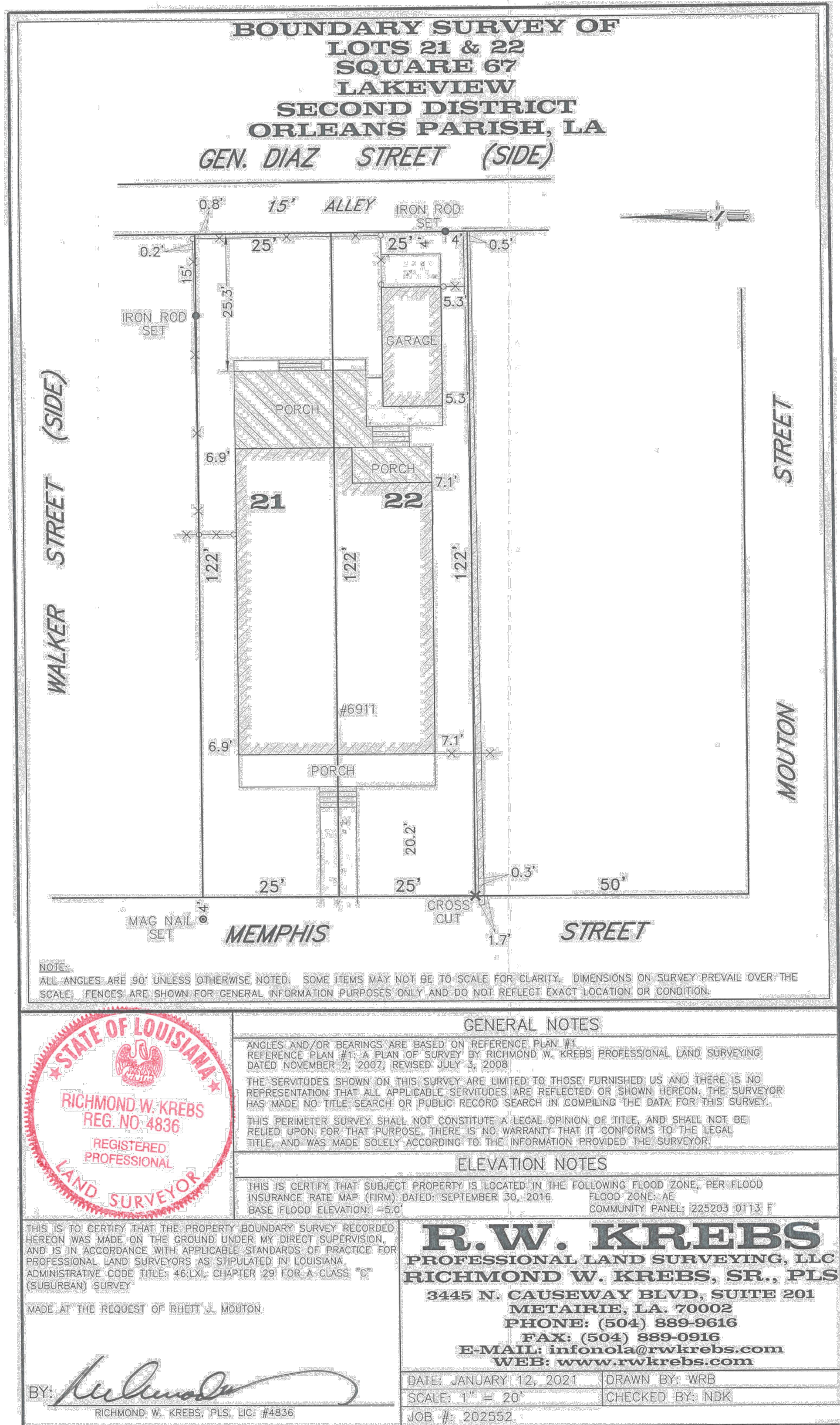
Date	To	Remarks

## Revisions

7/14/2021	20-200
Date:	Project No.

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## GENERAL NOTES:

**CLEARING AND GRUBBING**  
REMOVE THE ENTIRE DEPTH OF ANY ORGANIC TOPSOIL FROM AREAS TO BE OCCUPIED BY PARKING, STRUCTURES, WALKS, DRIVES, AND LANDSCAPING AND DISPOSE OF LEGALLY.

PROTECT AGAINST DAMAGE ANY ADJACENT LAWNS, SHRUBS, TREES, ROADS, WALKS, AND OTHER WORK THAT IS TO REMAIN IN PLACE.

**EARTHWORK**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT IMMEDIATELY OF ANY SPECIAL SOIL OR WATER CONDITIONS THAT ARE PRESENT ON THE SITE. DO NOT PROCEED WITH WORK UNTIL SO AUTHORIZED.

A BASE LEVELING COURSE OF AT LEAST 6" OF GOOD QUALITY "SUGAR" SAND OR PUMPED SAND SHALL BE PLACED BENEATH ALL CONC. PAVING. IT SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT ACCORDING TO ASTM D-698.

DEPOSIT FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING 4" IN DEPTH AND COMPACT EACH LAYER WITH MECHANICAL TAMPER.

SUBGRADE SHALL BE FREE OF EXTRANEEOUS MATERIALS. PROOFROLL SOIL SUBGRADE WITH HEAVY PNEUMATIC-TIRED EQUIPMENT IMMEDIATELY PRIOR TO PLACING BASE. ANY SOFT OR UNSTABLE ZONES DETECTED THEREBY SHALL BE UNDERCUT TO FIRM SOIL AND BACK FILLED WITH ENGINEERED EARTH FILL COMPACTED AS SPECIFIED. THE SUBGRADE FOR ALL PAVEMENTS SHALL BE UNIFORMLY STABLE BEFORE ANY BASE IS INSTALLED. NO BASE MATERIAL SHALL BE PLACED IF THE SUBGRADE INDICATES PUMPING.

## FILL AND GRADING NOTES:

GRADE/SLOPE YARD SO THAT WATER RUN-OFF IS AWAY FROM HOUSE AT A SLOPE OF 1:20 (5%) MIN. AND WILL NOT BE TOWARD NEIGHBORS' PROPERTY AT ANY POINT OR PROMOTE PONDING ON THE SITE. COORDINATE WITH POOL CONTRACTOR.

## KEYED CONSTRUCTION NOTES:

- 001 ENCLOSE THIS PORCH.
- 002 EXISTING A/C
- 003 NEW STEPS TO MATCH PORCH PAVERS. HANDRAIL WHERE NEEDED.
- 004 FILL AND GRADE YARD ADJACENT TO EXISTING BACK PORCH SO THAT TOP OF PORCH IS NO HIGHER THAN 21" ABOVE GRADE. SLOPE GRADE AWAY FROM POOL AND AWAY FROM HOUSE.
- 005 POOL EQUIPMENT (BY OTHERS).
- 006 NOT USED
- 007 EXISTING 6" WOOD FENCE AND GATES.

**POOL NOTE:**  
NEW SWIMMING POOL AND EQUIPMENT SHALL BE DESIGNED AND CONSTRUCTED BY OTHERS. POOL CONTRACTOR SHALL APPLY FOR ALL REQUIRED PERMITS AND MEET MINIMUM SETBACKS.

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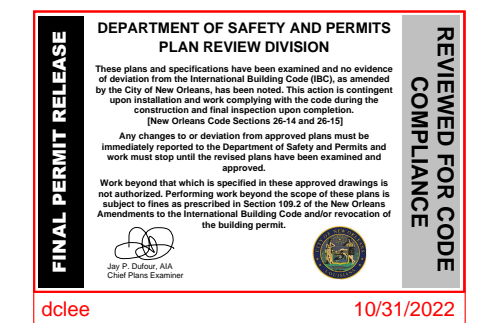
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**NOTE:**  
GENERAL CONTRACTOR SHALL COORDINATE LANDSCAPE LIGHTING REQUIREMENTS W/ OWNER

SURVEY (BY OTHERS)  
N.T.S.

**SITE PLAN**  
SCALE: 1"=10'-0"



GENERAL DEMOLITION NOTES:

1. CONTRACTOR SHALL CONSULT ALL UTILITY COMPANIES AND OWNER AND VERIFY LOCATION OF ALL UTILITIES PRIOR TO DEMOLITION. REMOVAL AND RELOCATION OF ALL UTILITY LINES, METERS VALVES ETC. SHALL BE PERFORMED PER THE REQUIREMENTS OF THE UTILITY COMPANIES. ANY DAMAGE TO PUBLIC UTILITIES SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CORRECT.

2. ALL DEMOLITION AND CONSTRUCTION TO BE KEPT WITHIN THE BOUNDARIES OF THE SITE OR AS DESIGNATED. ANY DAMAGE BY THE CONTRACTOR TO ADJOINING PROPERTIES OR ITEMS NOT IN THE DESIGNATED DEMOLITION AREA SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CORRECT.

3. DEMOLISH AND REMOVE ALL WALLS, CEILING, EQUIPMENT, AND OTHER ITEMS NECESSARY FOR THE COMPLETION OF THE WORK AS INDICATED AND AS PER KEYED DEMOLITION NOTES.

4. REMOVE ALL WASTE MATERIALS AND DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF IT.

5. PROTECT ADJACENT STRUCTURES, UTILITIES, AND OTHER FACILITIES TO REMAIN. FROM DAMAGE CAUSED BY DEMOLITION AND NEW CONSTRUCTION.

6. BARRICADE OPEN EXCAVATIONS OCCURRING AS PART OF THIS WORK.

7. SECURE AND PAY FOR ALL DEMOLITION PERMITS REQUIRED.

8. ANY ASBESTOS REMOVAL SHALL NOT BE A PART OF THIS CONTRACT. IF THE CONTRACTOR NOTES ANY ASBESTOS DURING HIS EXECUTION OF THE DEMOLITION IMMEDIATELY NOTIFY THE OWNER.

9. ANY DISTURBANCES OR DAMAGE TO THE WORK, THE EXISTING BUILDING AND IMPROVEMENTS, OR ANY IMPAIRMENT OF FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM THE CONTRACTORS OPERATIONS SHALL BE PROMPTLY RESTORED REPLACED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.

10. IN ALL AREAS WHERE DEMOLITION CAUSES AN UNEVENNESS IN THE SLAB, THE CONTRACTOR SHALL PATCH WITH A SUITABLE MATERIAL, RE-LEVELING THE SLAB TO RECEIVE THE NEW FINISHED FLOORING.

LEGEND

DENOTES ITEMS TO BE REMOVED

EXISTING WALL TO REMAIN

DEMO NOTES

D1

REMOVE WALL FOR NEW DOOR OR WINDOW (PROVIDE HEADER AS NECESSARY).

D2

REMOVE EXISTING WINDOW PROTECT AND STORE FOR REUSE (REFER TO NEW WORK SHEET A1.0 DETERMINE EXTENT).

D3

REMOVE EXISTING CABINETS AND FIXTURES.

D4

CUT WALL TO MAKE FLUSH WITH ADJACENT SURFACE. PROVIDE HEADER AS REQUIRED. RE: STRUCTURAL.

D5

REMOVE EXISTING WALL IN ITS ENTIRETY TO EXTENT ILLUSTRATED THIS SHEET. TYP.

D6

REMOVE EXISTING GAS OR PLUMBING AT FIXTURES AND CAP OFF IF NOT TO BE REPLACED. TYP.

D7

REMOVE WASHER AND DRYER CONNECTIONS, CAP OFF, AND MOVE TO NEW LOCATION.

D8

REMOVE EXISTING WINDOW OR DOOR. SHOWN DASHED TYP.

D9

REMOVE PROTECT AND STORE ELECTRICAL PANEL FOR RELOCATION.

D10

REMOVE STRUCTURAL COLUMN. REFER TO STRUCTURAL PLANS FOR NEW FRAMING.

D11

REMOVE WALL AND WINDOWS AS INDICATED. PROVIDE HEADER AS REQUIRED. RE: STRUCTURAL.

D12

REMOVE SEATS AND STEPS AT REAR OF DECK.

D13

REMOVE PORTION OF DECK FOR NEW TWO STAIR TREADS.

D14

OWNER TO COORDINATE EXTENT OF COSMETIC WORK TO DECK.

D15

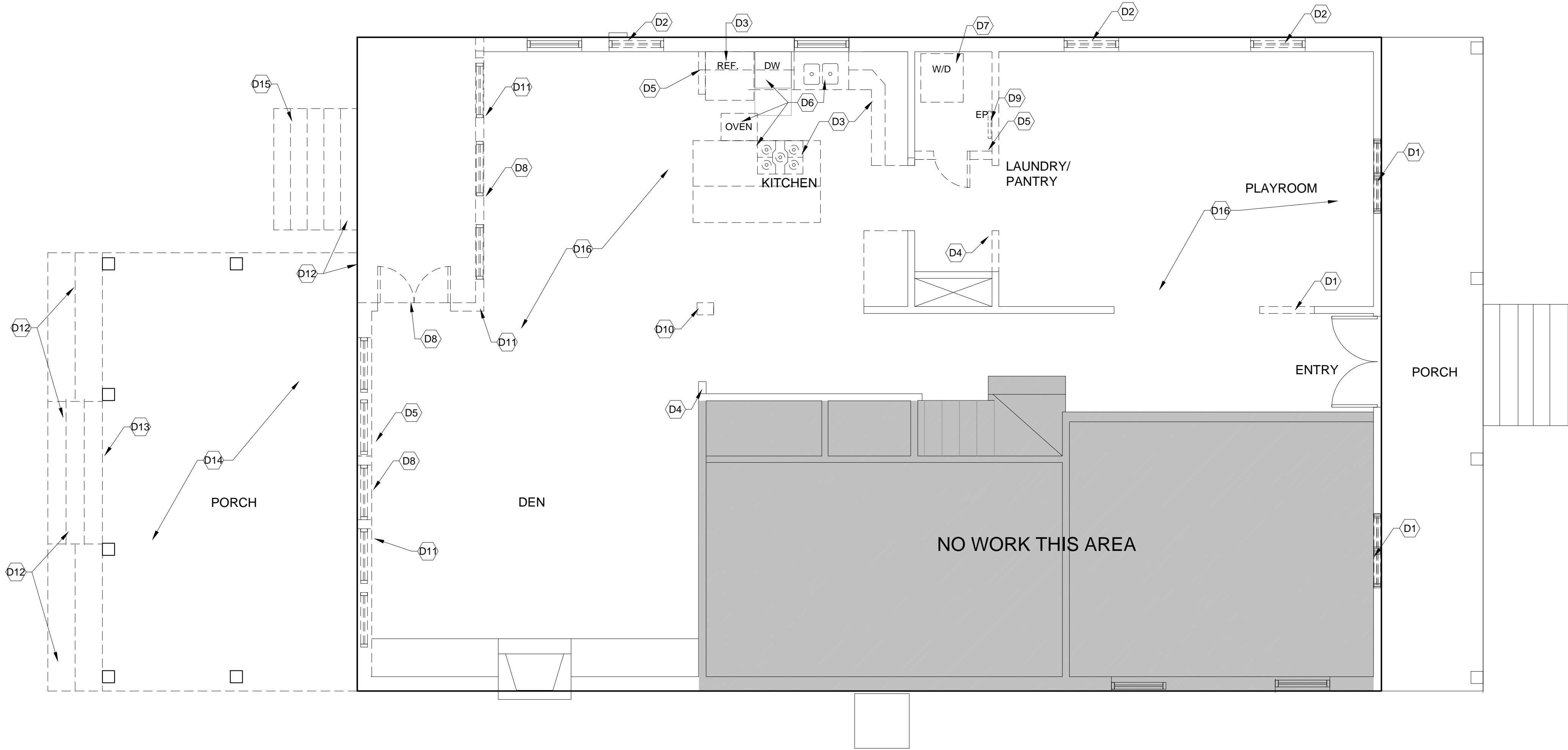
REMOVE BRICK STEPS.

D16

REMOVE ALL LIGHT FIXTURES. NOT TO BE REUSED. (CAP ELECTRICAL)

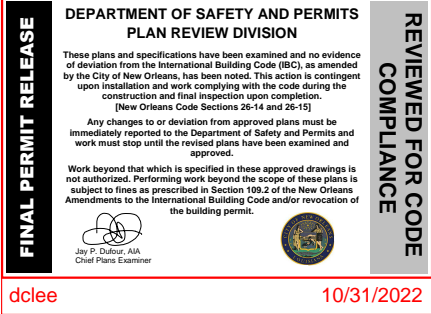
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REMOVE FRAMED OPENING MOLDING. ETC.

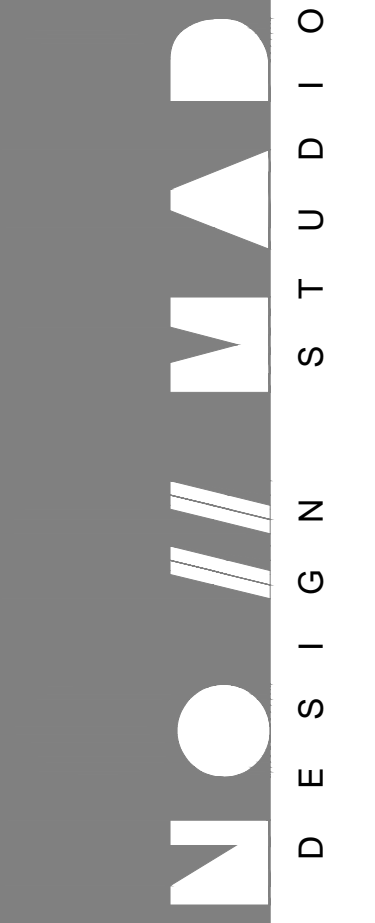


DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



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FLOOR PLAN GENERAL NOTES:

1. ALL EXTERIOR WALL STUDS -2X6 @ 16" O.C. (UNLESS NOTED)
2. ALL INTERIOR WALL STUDS 2X4 @ 16" O.C. (UNLESS NOTED)
3. USE PRESSURE TREATED LUMBER FOR BOTTOM PLATES OF ALL WALLS ON LOWER FLOOR
4. FRAMING LUMBER SHALL BE NO. 2 SYPKD, SIZES AS INDICATED ON DRAWINGS. USE (2) 2X10 FOR HEADERS. INSTALL SOLID BLOCKING AT ALL FLOOR AND CEILING JOISTS AND ROOF RAFTERS AT MAX. 8'-0" O.C.
5. INSTALL FRAMING CONNECTORS (AS MFD. BY SIMPSON STRONG TIE CO.) TO CONNECT FLOOR JOISTS TO SILLS, STUDS TO FLOOR JOISTS, TIE SECOND FLOOR TO FIRST FLOOR, RAFTERS TO TOP PLATE, AND PLYWOOD CLIPS AT ROOF SHEATHING.
6. WRAP NEW ADDITION WITH "TYVEK" HOUSE WRAP (OR SIM.) FOLLOWING MANUFACTURERS' DIRECTIONS ON HOW TO SEAL AROUND OPENING.
7. PROVIDE BLOCKING IN WALLS (BEHIND DRYWALL) FOR INSTALLATION OF RODS FOR WINDOW COVERINGS, TOWEL BARS, SHOWER RODS, ETC.
8. PROVIDE 1/2" CDX EXT. PLYWD SHEATHING ON ALL EXT. WALLS
9. FRAMING CONTRACTOR SHALL INSTALL ALL KNEE WALLS, COLLAR BRACES, STRONG BACKS, RAFTERS, ETC.
10. BRACING, ETC. AS REQUIRED TO COMPLY WITH BUILDING CODE & EXECUTE THE DESIGN INTENDED.
11. HOUSE SHALL REMAIN SECURE AND WEATHERPROOF DURING ALL PHASES OF CONSTRUCTION.
12. SEAL AROUND ALL PENETRATIONS AND ROUGH OPENINGS WITH EXPANDING FOAM CAULKING.
13. USE MOISTURE RESISTANT DRYWALL IN WET AREAS.
14. OUTSIDE DIMENSIONS ARE TO OUTSIDE FACE OF FINISH. INTERIOR DIMENSIONS ARE TO INTERIOR FACE OF DRYWALL. (UNLESS NOTED)
15. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY BUILDING CODE.
16. GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM 1996 AND OF ASTM 1886 REFERENCE THEREIN FOR CLARITY AND REQUIRED COMPLIANCE. CODE SECTION R301.2.1.2, IRC 2012.  
EXCEPTION: WOOD STRUCTURAL PANELS A MINIMUM THICKNESS OF 7/16" AND A MAXIMUM SPAN OF 8' SHALL BE PERMITTED FOR OPENING PROTECTION IN ONE AND TWO STORY BUILDINGS.  
PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED.
17. ALL STAIR TREADS AND RISERS SHALL COMPLY WITH IRC. STAIRS TO HAVE MIN. RISER HEIGHT OF 4" AND MAX RISER HEIGHT OF 7-3/4" TREAD DEPTH SHALL BE MIN. 10" AND MAX 12".
18. RAILINGS SHALL BE NOT LESS THAN 36" HIGH. ORNAMENTAL PATTERN SHALL BE SUCH THAT A 4" DIAMETER SPHERE SHALL NOT PASS THRU ANY OPENING UP TO A HEIGHT OF 34". VERTICAL MEMBERS SHALL BE SPACED EVENLY. PROVIDE BALCONY RAILINGS AT PORCHES WHEN FINISH FLOOR EXCEEDS 30" IN HEIGHT ABOVE GRADE.
19. TERMITE TREATMENT: CONTRACTOR SHALL ABIDE BY SEC. R318 OF THE IRC FOR SUBTERRANEAN TERMITE CONTROL METHODS.

INSULATION NOTES

**INSULATION NOTES:**  
INSULATION AT EXTERIOR WALLS AND ROOF: (CONTRACTOR TO PRICE SPRAY FOAM INSULATION OR FIBERGLASS TO MEET THE FOLLOWING REQUIREMENTS)  
PROVIDE R19 INSULATION TYP. AT ALL EXTERIOR WALLS.  
PROVIDE R30 INSULATION TYP. AT ROOF.  
PROVIDE R-13 INSULATION TYP AT RAISED FLOOR SYSTEM.  
**VAPOR BARRIER SPECIFICATIONS/NOTES**  
NOTE: PROVIDE VAPOR BARRIER ON ALL NEW EXTERIOR WALLS (TYP.)  
VAPOR BARRIER SHALL BE TYVEK BUILDING WRAP AS MANUFACTURED BY DUPONT OR APPROVED EQUAL AND SHALL BE INSTALLED ON WALLS AND AROUND WINDOWS AND DOORS AS PER MANUFACTURER'S RECOMMENDATIONS.  
WATER RESISTIVE BARRIER NOTES:  
DUPONT TYVEK HOME WRAP  
DUPONT FLEXWRAP  
DUPONT STRAIGHTFLASH  
DUPONT STRAIGHTFLASH VF  
INSTALL PER MFR. RECOMMENDATIONS - CONSULT A LOCAL TYVEK REPRESENTATIVE FOR INFO  
THE USE OF DUPONT FLEXWRAP, DUPONT STRAIGHTFLASH AND DUPONT STRAIGHTFLASH VF SHOULD BE INSTALLED ON CLEAN, DRY SURFACES THAT ARE FREE OF FROST, WIPE SURFACES TO REMOVE MOISTURE, DIRT, GREASE AND OTHER DEBRIS THAT COULD INTERFERE WITH ADHESION.APPLY PRESSURE ALONG ENTIRE SURFACE FOR A GOOD BOND USING A J-ROLLER.REMOVE ALL WRINKLES AND BUBBLES BY SMOOTHING SURFACE AND REPOSITIONING AS NECESSARY.DOOR AND WINDOW ROUGH SILL FRAMING MUST BE LEVEL OR SLIGHTLY SLOPED TO THE EXTERIOR TO ENSURE DRAINAGE TO THE EXTERIOR WHEN FLASHING THE SILL AREA FOR WINDOWS AND DOORS. DUPONT RECOMMENDS THE USE OF 7" WIDE DUPONT FLEXWRAP FOR 2X4 FRAMING AND 9" WIDE DUPONT FLEXWRAP FOR 2X6 FRAMING. **DO NOT STRETCH** DUPONT FLEXWRAP WHEN INSTALLING ALONG SILLS OR JAMBS. DUPONT™ FLEXWRAP IS ONLY INTENDED TO BE STRETCHED WHEN COVERING CORNERS OR CURVED SECTIONS.DUPONT FLEXWRAP, DUPONT STRAIGHTFLASH™ AND DUPONT™ STRAIGHTFLASH VF PERFORM BEST WHEN INSTALLED AT TEMPERATURES ABOVE 40°F (4°C).PRIMING IS GENERALLY NOT REQUIRED FOR ADHERING DUPONT FLASHING PRODUCTS TO MOST COMMON BUILDING MATERIALS. HOWEVER, ADVERSE WEATHER CONDITIONS OR COLD TEMPERATURES MAY REQUIRE USE OF A PRIMER TO PROMOTE ADHESION. ADDITIONALLY, CONCRETE, MASONRY, AND FIBER FACED EXTERIOR GYPSUM BOARD REQUIRE THE USE OF APPROVED PRIMERS. CONSULT YOUR LOCAL DUPONT™ TYVEK® SPECIALIST FOR PRIMER RECOMMENDATIONS AND APPROVED PRIMERS.FOR ADDITIONAL GUIDELINES AND SUGGESTED CAULKS, PLEASE CALL 1-800-44-TYVEK (800-448-9835), VISIT OUR WEBSITE AT: WWW.CONSTRUCTION.TYVEK.COM, OR CONSULT YOUR LOCAL DUPONT™ TYVEK® SPECIALIST.  
**UNDISTURBED SOIL IN CRAWL SPACE**  
10 ML THICK VAPOR BARRIER BY STEGO INDUSTRIES OR EQUAL. PROVIDE MIN. OF 12" LAP BETWEEN JOINTS. TAPE ALL JOINTS WITH WATERPROOF TAPE. SYSTEM TO CONFORM TO ACI 302 AND INSTALLATION TO CONFORM TO ASTM E 1643. PROVIDE EXTERIOR WRAPPED R13 VINYL BATT INSULATION BETWEEN FLOOR JOISTS. PROTECT ENTIRE UNDERNEATH OF HOUSE WITH INSECT SCREEN STAPLED TO FLOOR JOISTS. (SPRAY FOAM INSULATION ALSO ACCEPTABLE, CONTRACTOR TO ABIDE BY ALL LOCAL CODES AND MFR. GUIDELINES FOR INDUSTRY STANDARD APPLICATION AND INSTALLATION).

DOOR NOTES

1. EXTERIOR DOORS SHALL HAVE THRESHOLDS AND WEATHER STRIPPING.
2. NEW INTERIOR DOORS, TRIM, AND HARDWARE SHALL MATCH EXISTING AS CLOSE AS POSSIBLE. NEW DOOR AT REAR WALL OF HOUSE WILL MATCH THE WINDOW SYSTEM.
3. DOOR SIZES:  
A. BEDROOM: 32" MINIMUM  
B. LAUNDRY: TO FIT EQUIPMENT  
C. A/C CLOSET: TO FIT EQUIPMENT  
D. BATHROOM: 2'-6" MINIMUM
4. PRIVACY LOCKS ON BEDROOMS AND BATHROOMS; PASSAGE LOCKS ELSEWHERE.
5. COORDINATE EXTERIOR LOCKS WITH OWNER.
6. COORDINATE WITH HVAC CONTRACTOR FOR DOORS TO BE UNDERCUT FOR HVAC.
7. A/C CLOSET DOOR SIZE SHALL BE VERIFIED WITH EXACT EQUIPMENT SELECTED.
8. ALL EXTERIOR GLAZED DOORS NOT PROTECTED WITH OPERABLE SHUTTERS SHALL HAVE IMPACT RESISTANT GLAZING AS PER CURRENT INTERNATIONAL RESIDENTIAL CODE FOR THIS REGION.
9. UNDERCUT DOORS FOR A/C RETURN. VERIFY WITH A/C CONTRACTOR.

WINDOW NOTES:

1. ALL WINDOWS SHALL BE INSULATED UNITS, HURRICANE RESISTANT, W/ 1" THICK INSULATED GLASS, THERMALLY BROKEN, LOW-E. STYLE TO MATCH EXISTING. COORDINATE STYLE WITH OWNER. DIRECT SET WINDOWS WILL NOT MATCH EXISTING.
2. ALL OPERABLE WINDOWS SHALL HAVE INSECT SCREENS.
3. WINDOWS IN ALL BEDROOMS SHALL HAVE NET CLEAR OPENING OF 5.7 SQ. FT. - 22" MIN. CLEAR HT., 20" MIN. WIDTH, SILL HT. 44" MAX. AS PER INTERNATIONAL RESIDENTIAL CODE.
4. ALL WINDOWS NOT PROTECTED WITH OPERABLE SHUTTERS SHALL HAVE IMPACT RESISTANT GLAZING AS PER CURRENT INTERNATIONAL RESIDENTIAL CODE FOR THIS GEOGRAPHIC REGION.
5. HEAD AND SILL HEIGHTS IF SHOWN ARE ABOVE SLAB/SUB-FLOOR.
6. WINDOW SUPPLIER SHALL VERIFY THAT WINDOWS NOTED AS "ESCAPE" WINDOWS MEET THE MINIMUM CODE REQUIREMENTS.

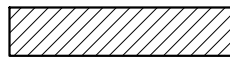

DOOR SCHEDULE

SIZE	TYPE	NOTES
1 36" x 96"	DOOR STYLE TO COORDINATE WITH KOLBE WINDOWS, OUTSING 2 1/2", COLOR TBD, DIRECT SET W/ OUTSWING, FLOOR SILL.	EXTERIOR
2 34"x84"	S.C. WOOD PANELED TO EXACTLY MATCH CABINETS. COORDINATE W/ CABINET SUPPLIER. DOOR SHALL HAVE THREE S'OSS 203 INVISIBLE HINGES.	INTERIOR
2 36" X TO MATCH	BARN DOOR WITH HARDWARE	INTERIOR

WINDOW SCHEDULE

SIZE	TYPE	NOTES
A TO FIT	SINGLE HUNG, COORDINATE STYLE WITH OWNER.	TO MATCH
B 40" X 96"	KOLBE DIRECT SET, FLUSH STYLE, VISTA LUXE, WITH STEEL STIFFENER WITH MATCHING MULL COVERS, COLOR SELECTED BY OWNER.	TO MATCH
C TO FIT	SINGLE HUNG	TO MATCH
E EXISTING		TO REMAIN
R REUSED		TO MATCH

LEGEND

-  NEW WALL
-  EXISTING WALL TO REMAIN

KEYED NOTES

- 01 INSTALL EXISTING WINDOWS STORED FOR REUSE.
- 02 INSTALL PLUMBING FIXTURES (TO BE SELECTED BY OWNER).
- 03 INSTALL NEW CABINETS AND APPLIANCES (TO BE SELECTED BY OWNER). VERIFY LOCATION WITH OWNER AND SUPPLIER.
- 04 NEW STEPS AND RAILING (SEE NOTES AND DETAIL).
- 05 VENT DRYER TO EXTERIOR.
- 06 EXISTING A/C TO REMAIN
- 07 REFRAME CEILING WHERE COLUMN WAS REMOVED. RE: STRUCTURAL.
- 08 SLOPE PORCH AND STEPS FOR PROPER DRAINAGE.
- 09 FILL IN WALL WHERE DOOR / WINDOW WAS REMOVED. PATCH DRYWALL & BRICK TO BE FLUSH WITH EXISTING.
- 10 MOVE ELECTRIC PANEL TO THIS LOCATION. ELECTRICAL CONTRACTOR SHALL COORDINATE CONNECTIONS.
- 11 NEW STEPS WILL BE TIMBER STRUCTURE WITH PAVER COVERING. COORDINATE WITH OWNER.
- 12 FILL AND SEAL DOWNDRAFT VENT FROM OUTSIDE. CAP ELECTRICAL IN SLAB. CAP AND REMOVE GAS LINE. FILL, CAP, AND SEAL GAS SLEEVE FROM THE OUTSIDE.
- 13 PATCH AND REPAIR FLOORING AND CEILING WHERE WALLS WERE REMOVED. TYP.
- 14 ALIGN NEW WALL WITH EXISTING TO BE FLUSH AND LEVEL.
- 15 PATCH WALL WHERE UTILITIES WERE REMOVED
- 16 RUN HOT/COLD WATER, DRAIN, GAS AND ELECTRIC FOR NEW APPLIANCES AS NEEDED.
- 17 INSTALL NEW WINDOWS IN EXISTING OPENING.
- 18 FILL IN FLOOR THIS AREA TO BE FLUSH AND LEVEL WITH EXISTING.
- 19 INSTALL NEW WINDOW GROUPING HEADER AS REQUIRED. RE: STRUCTURAL
- 20 NEW BRICK VENEER/ WOOD STUD EXTERIOR WALL. MATCH EXISTING CONSTRUCTION.
- 21 NEW INTERIOR 2X4 WOOD STUD WALL WITH 1/2" DRYWALL EACH SIDE.
- 22 DOOR/ WINDOW UNITS SHALL BE "MULDED" TOGETHER BY MFR AS A COMPLETE SYSTEM. COORDINATE EXACT SIZE WITH SUPPLIER OR INSTALLER.
- 23 NEW COLUMNS RE: STRUCTURAL
- 24 CONTINUOUS ALUMINUM PATIO SHUTTERS- DETAILS BY SUPPLIER/INSTALLER.
- 25 RAILING REQUIRED IF FLOOR HEIGHT IS OVER 30" ABOVE ADJACENT GRADE.
- 26 FILL IN BRICK TO MATCH THIS PORTION OF THE WALL.
- 27 NEW POOL EQUIPMENT LOCATION. NOT IN THIS CONTRACT.
- 28 3/4" STEP AT DOOR
- 29 EXISTING COLUMN TO REMAIN.
- 30 PROVIDE PROPER UNDERLAYMENT FOR NEW PAVERS. SELECTED BY OWNER.
- 31 NEW FLOORING TO BE INSTALLED THROUGHOUT THE WORK AREA. SELECTED BY OWNER.

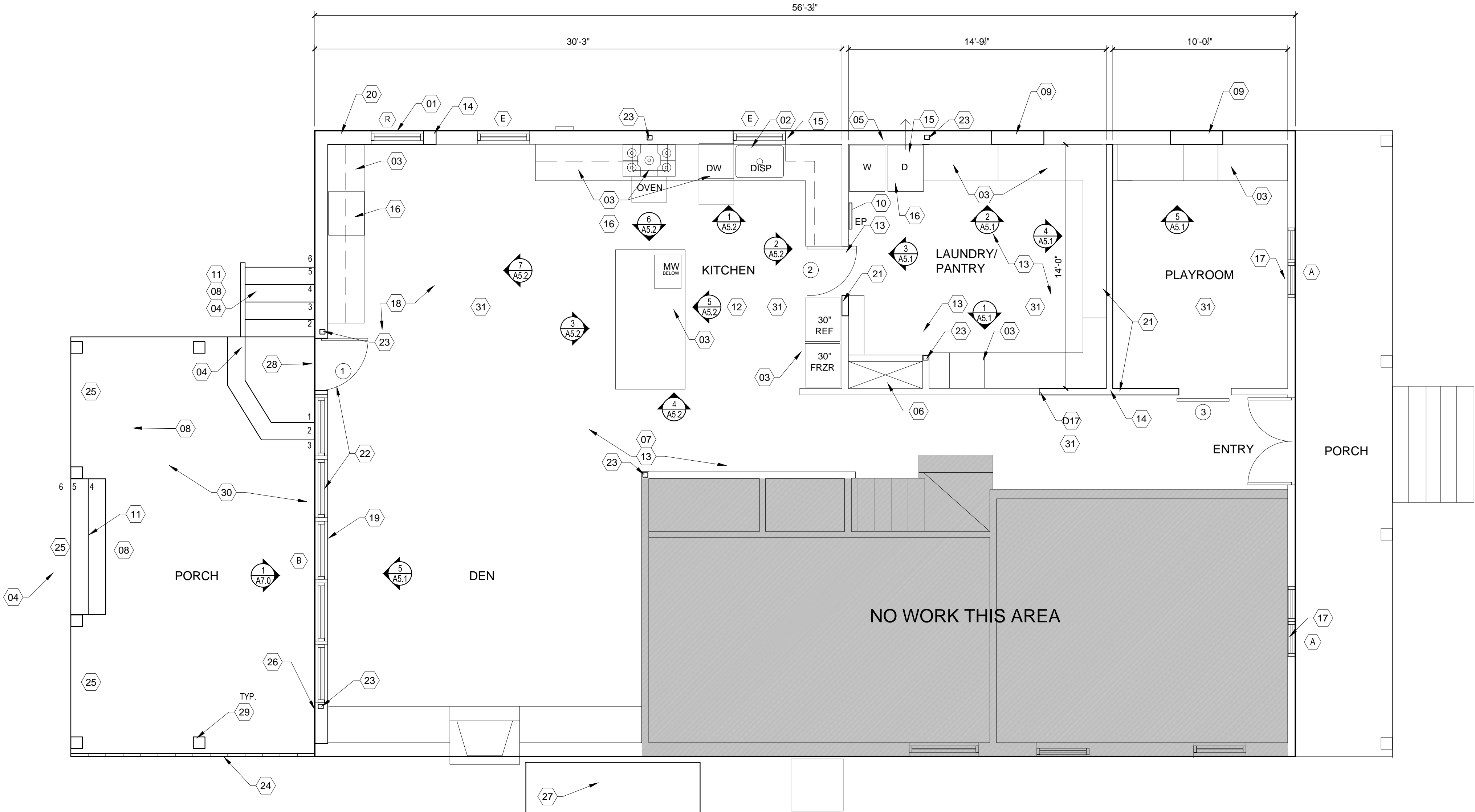
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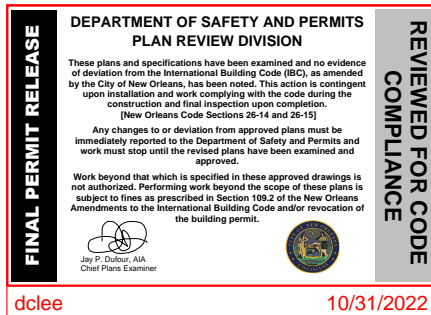


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FIRST LEVEL PLAN

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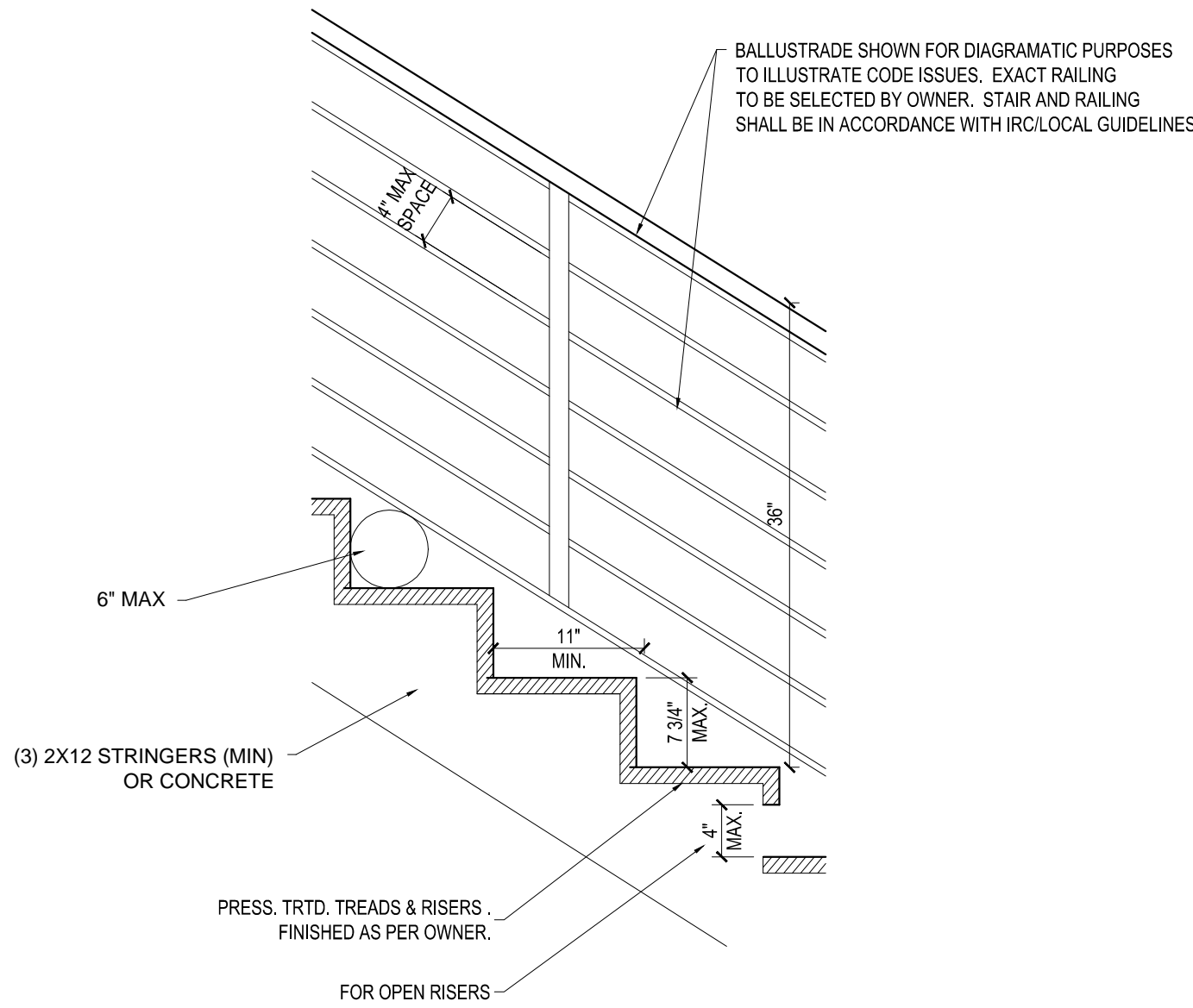
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STAIR GENERAL NOTES

1. RISERS SHALL 7 3/4" MAX HT. AND TREADS 11" MIN. DEEP IF THERE IS NO NOSING.
2. HANDRAILS ARE REQUIRED ON AT LEAST ON SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHTS WITH 4 OR MORE RISERS.
3. HANDRAIL HEIGHT SHALL BE BETWEEN 34" AND 38" MEASURED VERTICALLY.
4. HANDRAILS MUST BE CONTINUOUS FROM DIRECTLY ABOVE THE TOP RISER TO DIRECTLY ABOVE THE THE LOWEST RISER.
5. HANDRAILS SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
6. ROUND HANDRAILS SHALL BE BETWEEN 1 1/4" TO 1 3/4" DIAM
7. PROVIDE GUARDRAIL, 36" H. MIN., AT ALL OPEN ENDS OF LANDINGS LOCATED MORE THAN 30" ABOVE GRADE OR FLOOR WHERE NO ADJACENT WALL OCCURS.
8. MAINTAIN A CLEAR HEIGHT OF 6'-8" MIN. ABOVE NOSING LINE ABOVE ALL STAIRS AND LANDINGS.
9. PROVIDE BLOCKING AS NECESSARY TO SUPPORT WALL MOUNTED RAILS.
10. ALL STEEL TO BE SHOP PRIMED AND PAINTED.



1 TYP. STAIR DETAIL  
A2.0 SCALE: 1" = 1'-0"

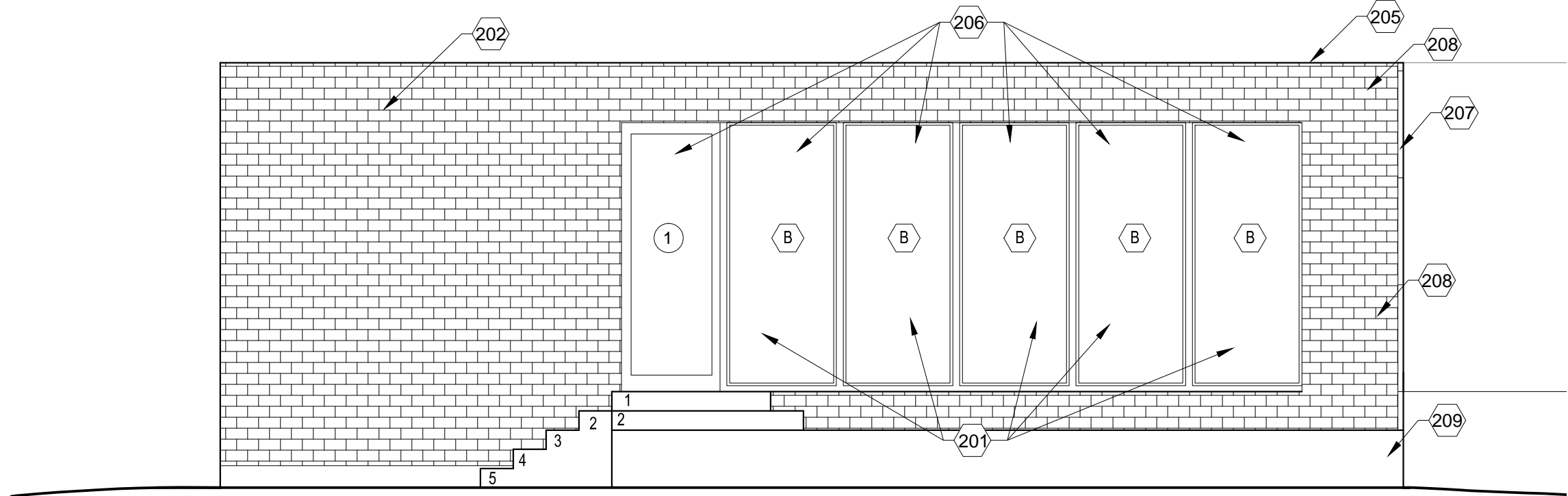
THESE DETAILS ARE GENERAL DIMENSIONAL GUIDELINES. SEE ELEVATIONS AND CONTACT ARCHITECT FOR MORE INFORMATION ON STAIR AND RAILING DETAILS AND MATERIALS.

KEYED CONSTRUCTION NOTES:

- 201 NEW WINDOW.
- 202 NEW BRICK TO MATCH EXISTING STYLE.
- 203 REPLACE BRICK WHERE WINDOW WAS REMOVED. BLEND THE BRICK COURSING TO MATCH EXISTING STYLE.
- 204 REUSE EXISTING WINDOW THAT WAS REMOVED, STORED, AND SAVED.
- 205 LINE OF FLOOR/WALL/CEILING SOFFIT (NOT SHOWN).
- 206 NEW WINDOW AND DOOR SET.
- 207 CONTINUOUS ALUMINUM SHUTTER WALL. VERIFY WITH SUPPLIER.
- 208 PATCH AND REPLACE BRICK AT AREA OF WORK.
- 209 NEW DECK UNDERLAYMENT WITH PAVERS ON TOP. PAVERS TO BE CHOSEN BY OWNER.
- 210 WRAP EXISTING COLUMNS. VERIFY BY OWNER.
- 211 NEW TIMBER STEPS WITH PAVER COVERINGS. COORDINATE WITH OWNER. SEE FLOOR PLAN.

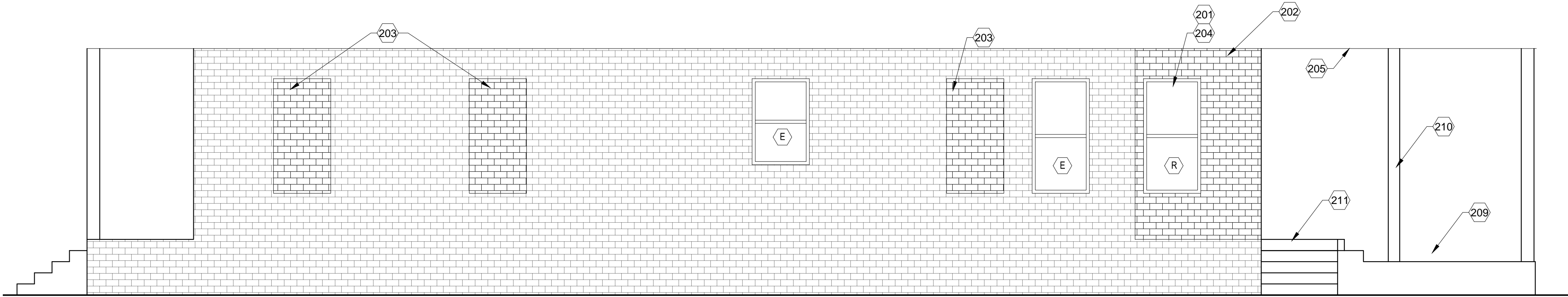
WIND BORNE DEBRIS NOTE

HOUSE SHALL COMPLY WITH CH. 16 OF THE CURRENT IRC FOR PROTECTION TO GLAZING BY WIND BORN DEBRIS. STRUCTURAL PANELS (3/8 INCH EXTERIOR GRADE PLYWOOD) SHALL BE CUT TO FIT EACH WINDOW OPENING AND STORED ON HOME SITE TO BE READILY AVAILABLE FOR INSTALLATION IN CASE OF A HURRICANE OR OTHER NATURAL PHENOMENON PRODUCING HIGH SPEED WIND CURRENTS.



PARTIAL REAR ELEVATION (PORCH, COLUMNS, AND ROOF NOT SHOWN)

SCALE: 1/4" = 1'-0"



PARTIAL RIGHT SIDE ELEVATION (SECOND FLOOR AND ROOF NOT SHOWN)

SCALE: 1/4" = 1'-0"

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FIRST FLOOR RENOVATION  
MOUTON RESIDENCE  
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Project Name

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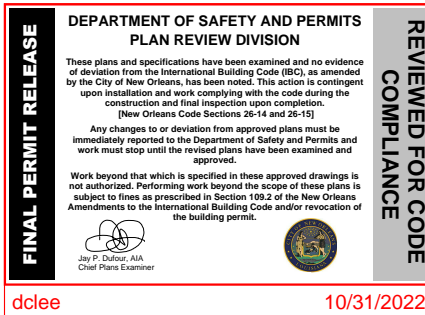
Date	To	Remarks

Revisions

1	2	3	4	5	6
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7/14/2021 20-200  
Date: Project No.  
Drawing No.

A2.0



NOTES

GENERAL NOTES

1. COORDINATE ALL ELECTRICAL MOUNTING HEIGHTS w/ APPLIANCE SPECS AND/OR OWNER.

2. ELECTRICAL CONTRACTOR TO COORDINATE ALL LOCATIONS AND MOUNTING HEIGHTS OF RECEPTACLES, LIGHT FIXTURES AND LIGHT SWITCHES w/ OWNER.

3. NEW GYP. BD. CEILING THROUGHOUT. (UON)

4. ELECTRICAL CONTRACTOR TO COORDINATE LOCATION OF DOORBELL AND CHIME BOX WITH OWNER. OWNER TO PROVIDE DOORBELL WITH CHIME BOX FOR INSTALLATION.

5. WALL RECEPTACLES AND SWITCH PLATES SHALL BE DECORS STYLE. COVER PLATES SHALL HAVE HIDDEN SCREWS. STAINLESS STEEL FINISH IN KITCHEN AND BATHS. ALL OTHERS- FINISH TO BE SELECTED BY OWNER/INTERIOR DESIGNER.

SMOKE ALARM NOTES

SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS PER R313.1, IRC 2003.

WHEN ONE OR MORE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED PER R313.1, IRC 2003.

CARBON MONOXIDE DETECTOR NOTES

CARBON MONOXIDE DETECTORS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA, FOR ANY DWELLING W/ AN ATTACHED GARAGE OR FUEL-FIRED APPLIANCES, AS PER SECTION R315 OF THE IRC 2009.

LEGEND

○

RECESSED DOWNLIGHT FIXTURE (ROUND TRIM)

⊕

CHANDELIER / PENDANT LIGHT FIXTURE

---

UNDER CABINET LED LIGHT FIXTURE

□

RECESSED STEP LIGHT

EXIST

EXISTING CEILING AND LIGHTING TO REMAIN.

⌚

SINGLE POLE SWITCH

⌚3

3 WAY LIGHT SWITCH

⌚

DUPLEX RECEPTACLE 120V SINGLE PHASE- (GFI INDICATES GROUND FAULT WP INDICATES WEATHERPROOF)

⊗

AC GRILL

KEYED CONSTRUCTION NOTES:

301

PLACE 1 OUTLET PER CABINET. SEE CABINET LAYOUT.

302

OUTLET IN THIN COMPUTER TOWER. SEE CABINET LAYOUT.

303

OUTLET IN OPEN SPACE OF CABINETS. SEE CABINET LAYOUT.

304

SPLIT EXISTING DUCT INTO TWO FEEDS. ONE IN PLAY ROOM. ONE IN LAUNDRY ROOM.

305

RELOCATE AC GRILL OUT BYOND THE FACE OF CABINETS.

306

EXISTING LIGHT OVER THE SINK TO REMAIN.

307

2 TOGGLE SWITCH LOCATION TO REMAIN. FOR OVER SINK LIGHT AND DISPOSER.

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NOTE:  
COORDINATE ALL NEW LIGHTING, SWITCHES, OUTLETS LOCATIONS,  
AND FUNCTIONS WITH OWNER

NOTE:  
LIGHTING AND ELECTRIC SHOWN IS  
DIAGRAMMATICAL AND GENERAL IN  
NATURE. ELECTRICAL CONTRACTOR  
SHALL REVIEW ALL LIGHTING,  
SWITCHES, APPLIANCES, TYPES AND  
LOCATION WITH OWNER PRIOR TO  
BEGINNING ANY WORK.

OUTLETS NOTE:  
ALTHOUGH GENERAL PURPOSE  
CONVENIENCE OUTLETS ARE NOT  
SHOWN, PROVIDE MINIMUM PER  
CODE PLUS ADDITIONAL PER  
OWNERS REQUIREMENTS.  
GFCI OUTLETS AT EXTERIOR AND ALL  
INTERIOR WET AREAS.

GROUND FLOOR LIGHTING/ ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



## KEYED CONSTRUCTION NOTES:

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401 DOWNSPOUT

402 GUTTER

403 LINE OF WALL BELOW.

## GENERAL ROOFING NOTES:

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ROOFING SHALL BE AN ARCHITECTURAL SHINGLE BY GAF OR EQUAL INSTALLED OVER MANUFACTURER APPROVED UNDERLAYMENT. PROVIDE CLASS A FIRE RATING W/ LIFETIME TRANSFERABLE WARRANTY AND 130 MPH LTD. WIND WARRANTY. INSTALL PER MFR. RECOMMENDATIONS AND CODE TO MEET WIND SPEED REQUIREMENTS. PROVIDE OWNER WITH PRODUCT SAMPLE FOR COLOR SELECTION.

PROVIDE ALL FLASHINGS, DRIP EDGE, GUTTERS, DOWNSPOUTS, ETC FOR A COMPLETE WATER TIGHT INSTALLATION.

DESSIGNS  
NOVAD

--	--

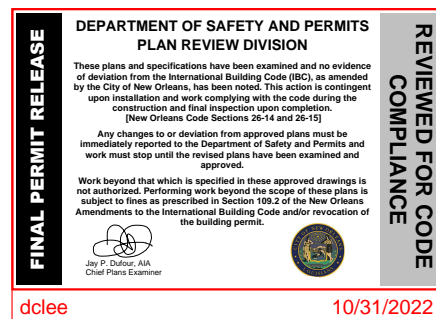
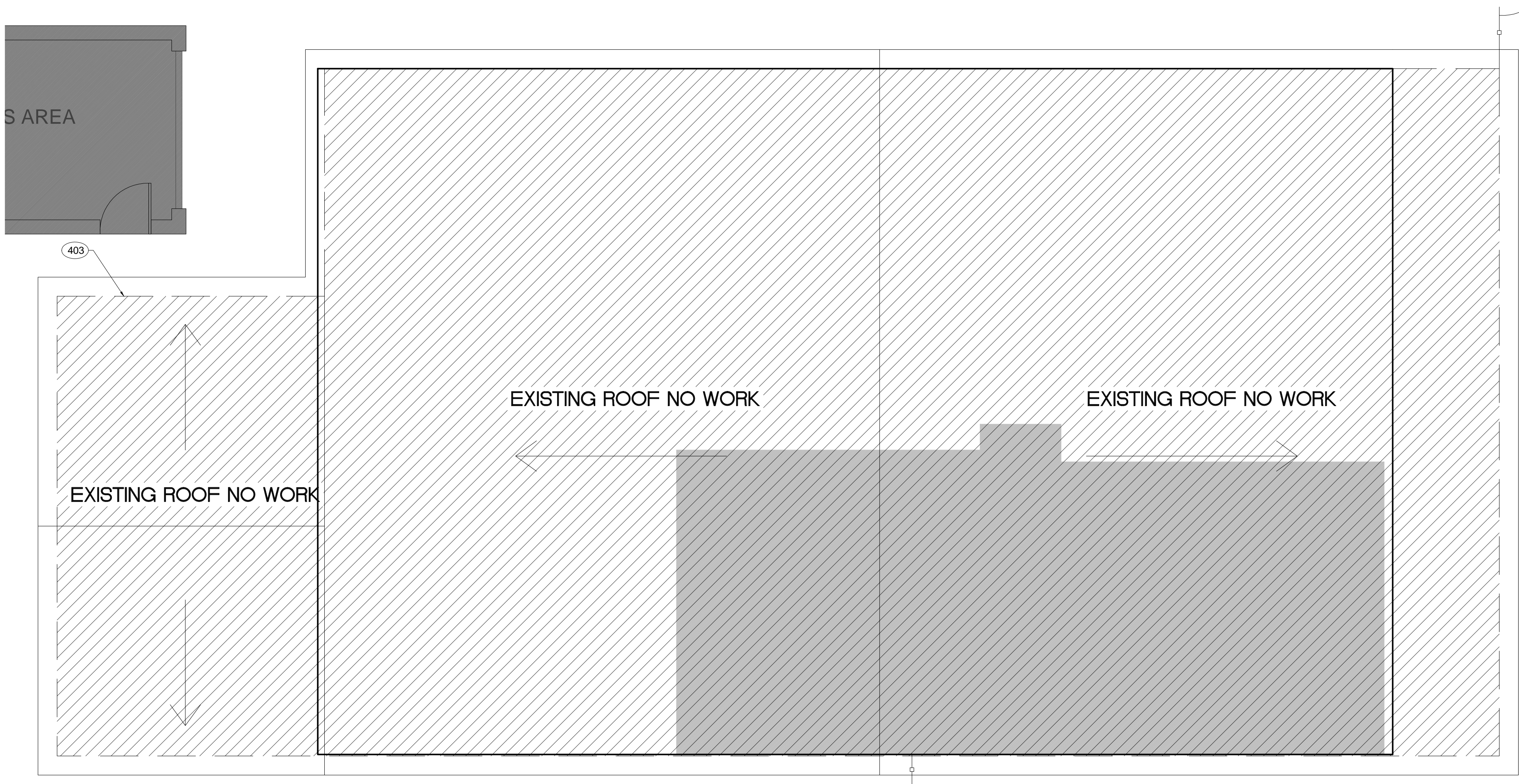


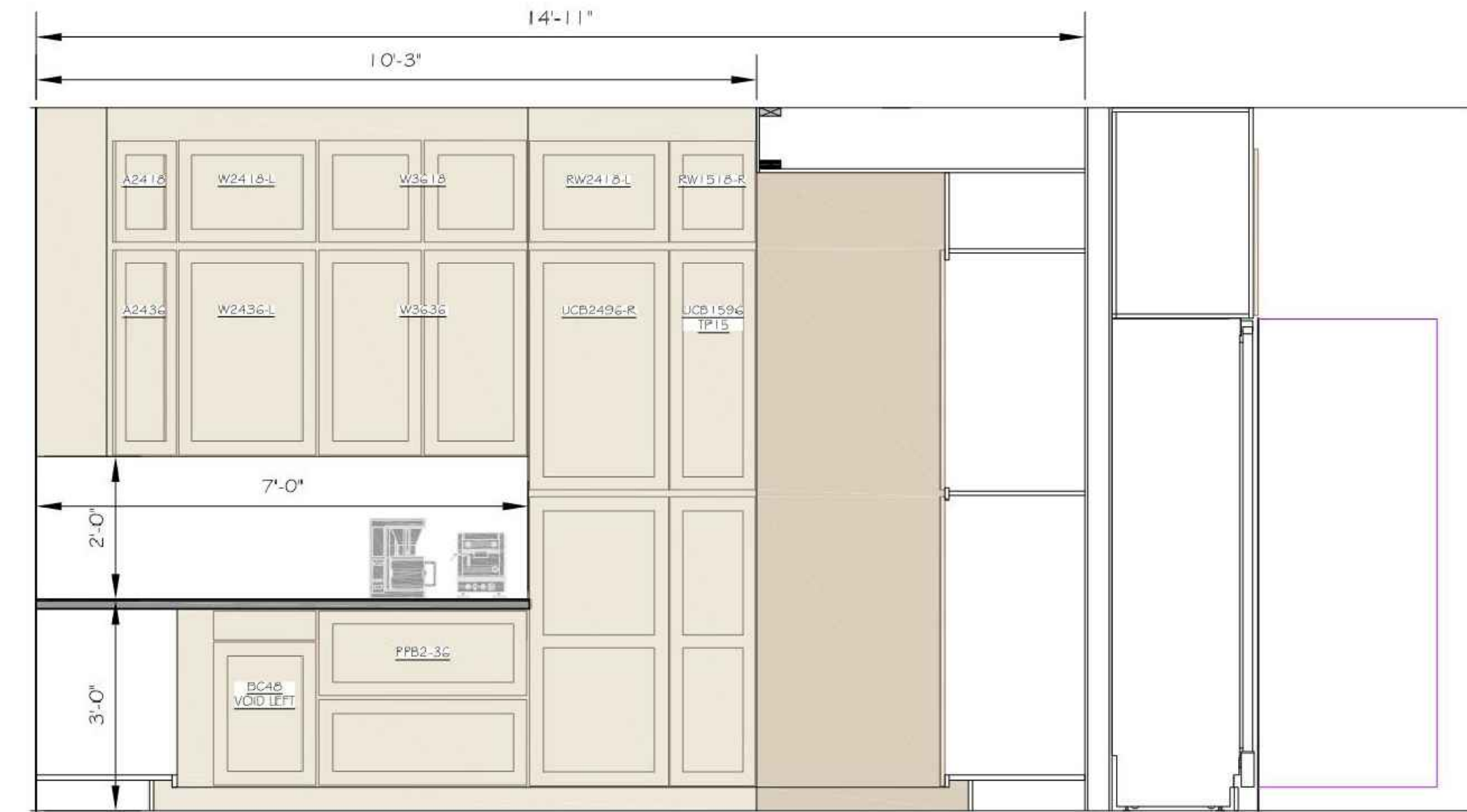
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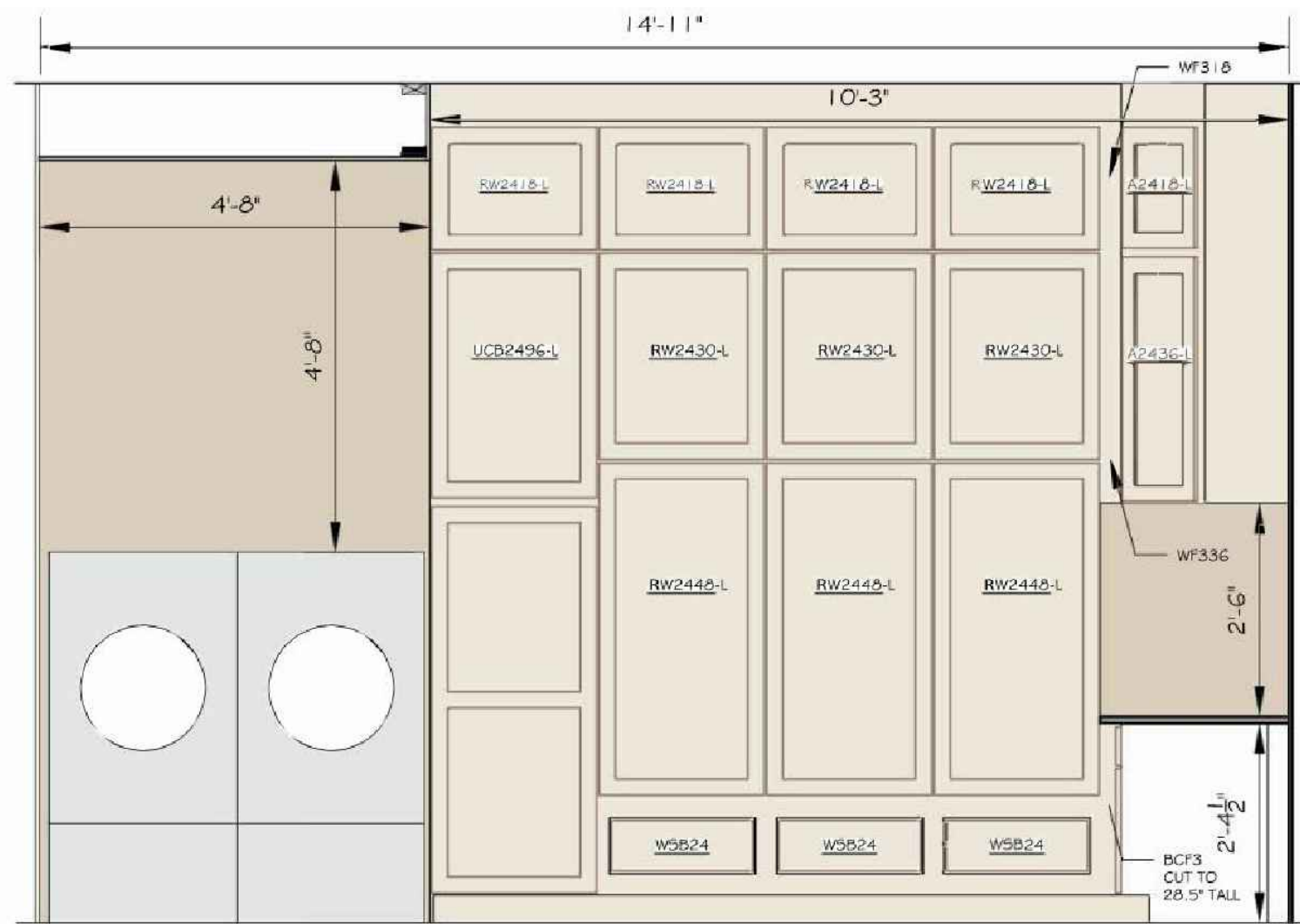
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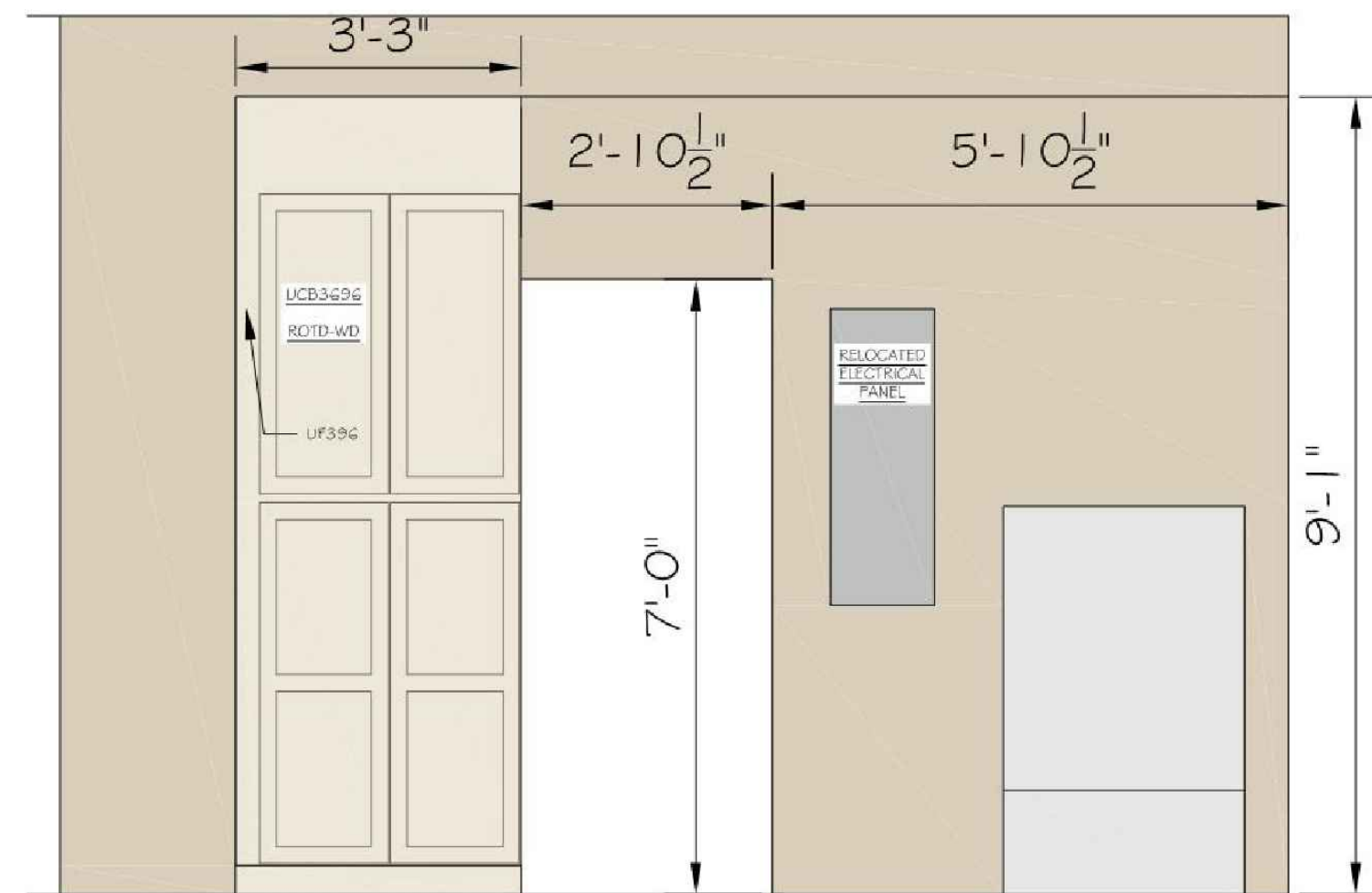




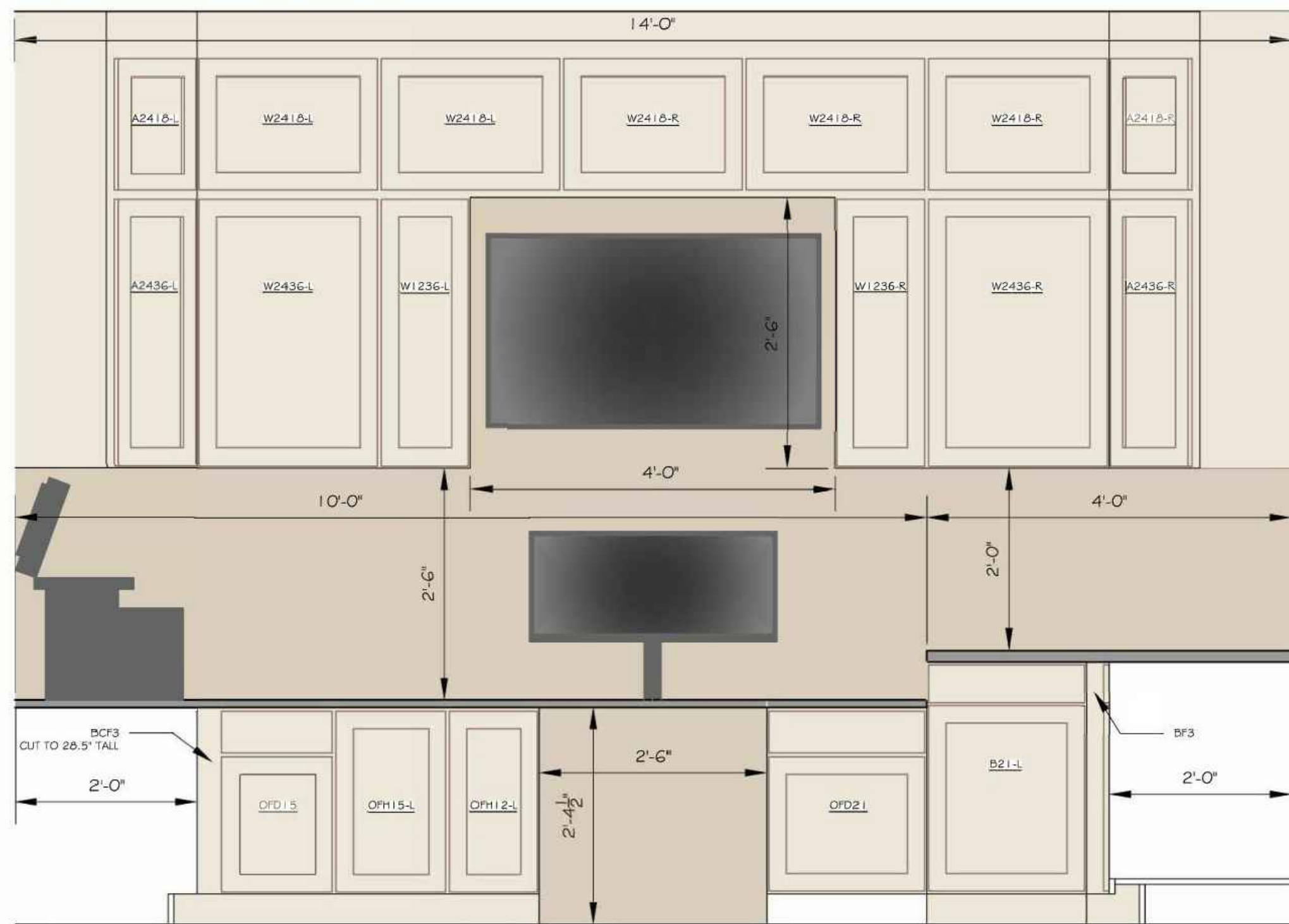
1 LAUNDRY ROOM NORTH WALL  
A5.1 SCALE: 1/2" = 1'-0"



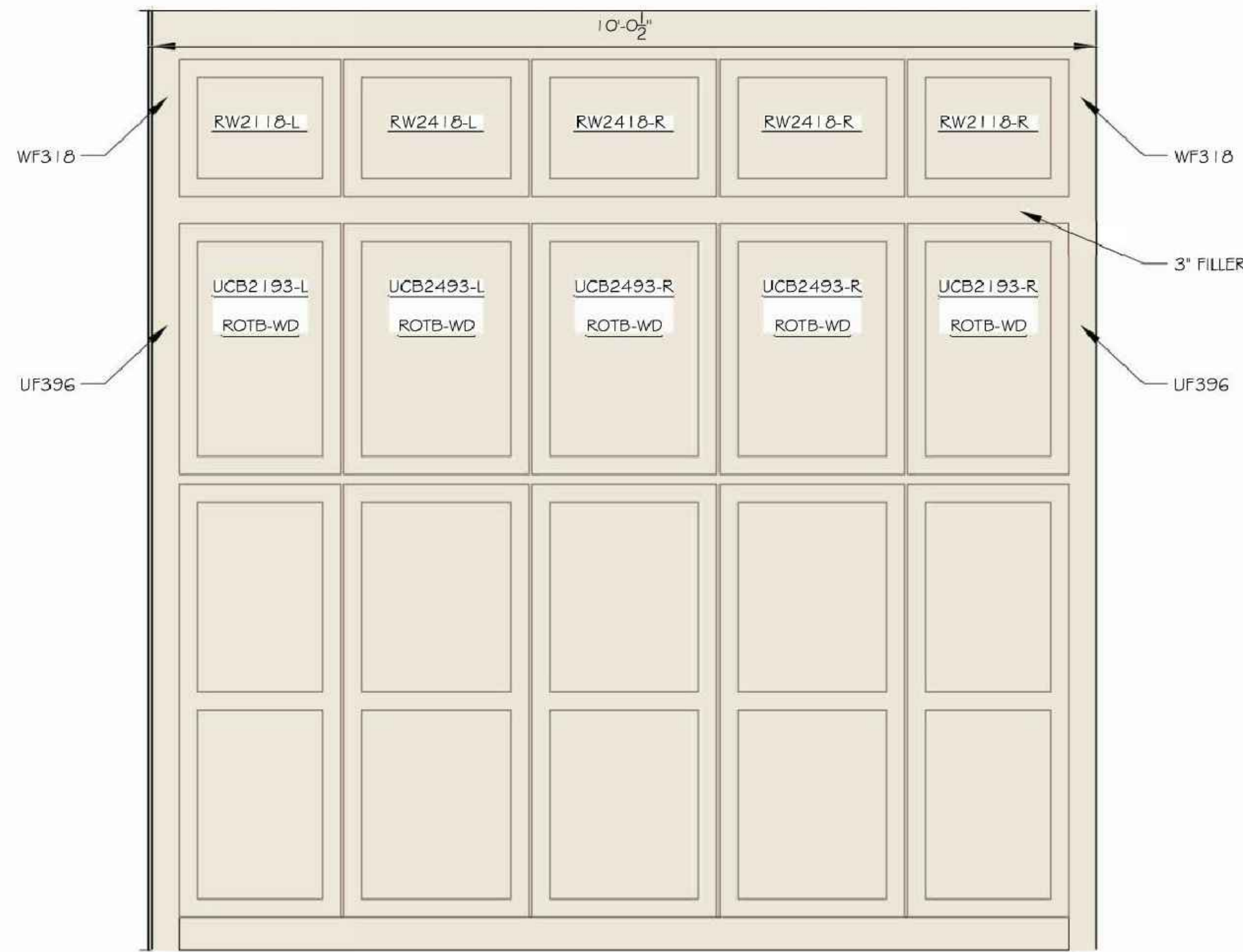
2 LAUNDRY ROOM SOUTH WALL  
A5.1 SCALE: 1/2" = 1'-0"



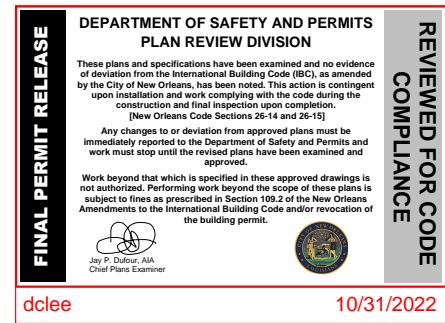
3 LAUNDRY ROOM EAST WALL  
A5.1 SCALE: 1/2" = 1'-0"



4 LAUNDRY ROOM WEST WALL  
A5.1 SCALE: 3/4" = 1'-0"



5 PLAY ROOM SOUTH WALL  
A5.1 SCALE: 3/4" = 1'-0"



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