

ARCHDIOCESE OF NEW ORLEANS

HURRICANE IDA DAMAGE REPAIRS TO CAMPUS FACILITIES CLASSROOM BUILDING AND GYMNASIUM ROOF REPLACEMENT AND REPAIRS ST. STEPHENS GOOD SHEPHERD SCHOOL 1025 NAPOLEON AVENUE NEW ORLEANS, LOUISIANA 70115

INDEX OF DRAWINGS

ARCHITECTURAL

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A3.0	TYPICAL ROOF DETAILS - GYMNASIUM AND ADDITION
A3.1	DUCT PENETRATION DETAILS AND TYPICAL ROOF DETAILS

GENERAL REQUIREMENTS

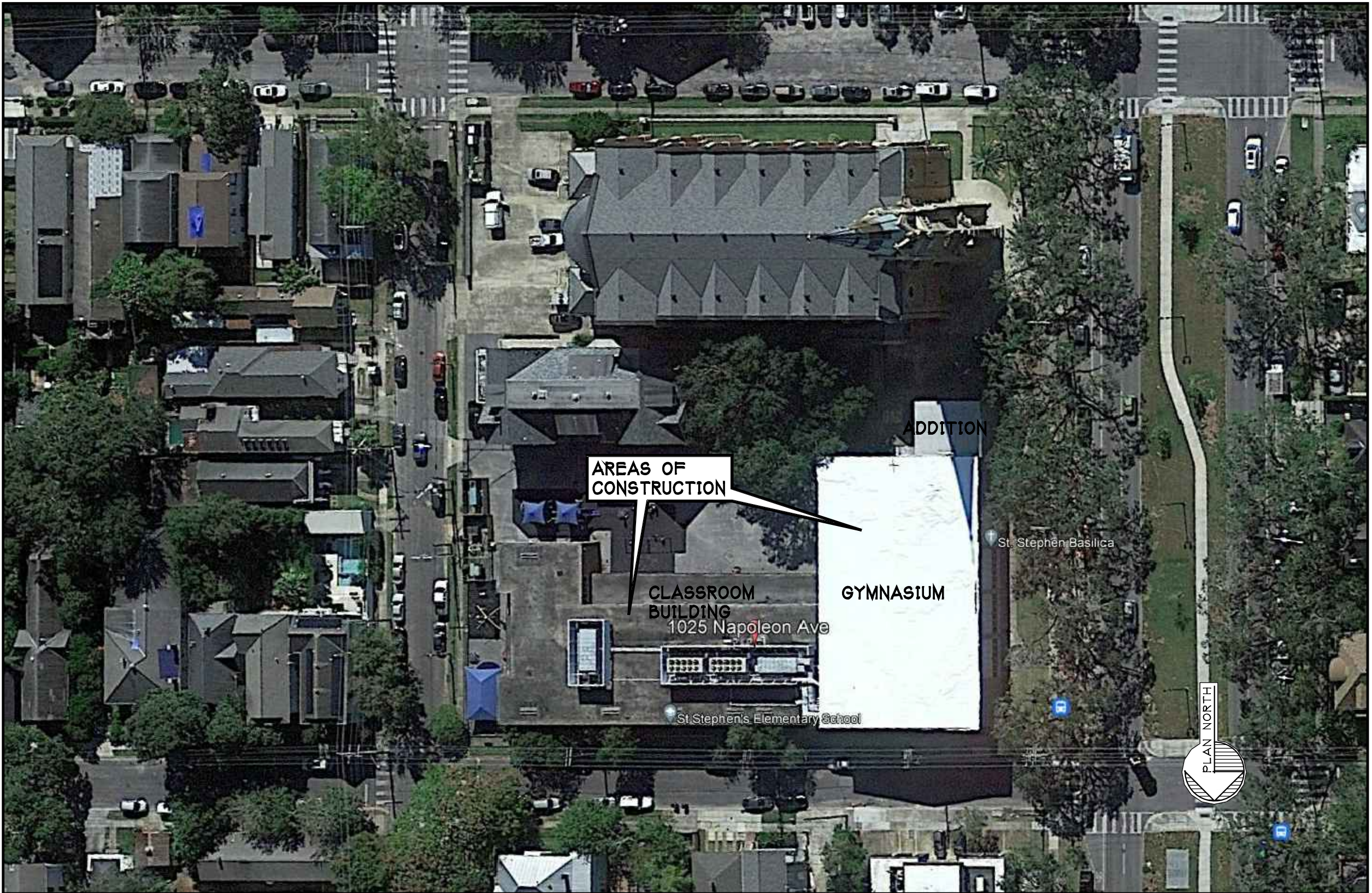
THE WORK TO BE PERFORMED UNDER THIS CONTRACT, SHALL CONSIST OF FURNISHING FACILITIES, EQUIPMENT, MATERIALS, SUPPLIES, AND MANUFACTURED ARTICLES, AND FURNISHING ALL LABOR, TRANSPORTATION, AND SERVICES, INCLUDING FUEL, AND ESSENTIAL COMMUNICATIONS, AND PERFORMING ALL WORK OR OTHER OPERATIONS REQUIRED FOR THE FULFILLMENT OF THE CONTRACT IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE WORK SHALL BE COMPLETE, AND ALL WORK, MATERIALS, AND SERVICES NOT EXPRESSLY INDICATED OR CALLED FOR IN THE CONTRACT DOCUMENTS WHICH MAY BE NECESSARY FOR THE COMPLETE AND PROPER CONSTRUCTION OF THE WORK IN GOOD FAITH SHALL BE PROVIDED BY THE CONTRACTOR AS THOUGH ORIGINALLY SO INDICATED, AT NO INCREASE IN COST TO THE OWNER.

LIST OF ABBREVIATIONS

ADA	AMERICANS W/ DISABILITIES	ELEC	ELECTRICAL	OC	ON CENTER(S)
ADAAG	AMERICANS W/ DISABILITIES ACT ACCESSIBILITY GUIDELINES	EL, ELEV	ELEVATION	OH	OPPOSITE HAND
APP	ABOVE FINISHED FLOOR	EXT	EXISTING	PREP	PREPARATION
ALUM	ALUMINUM	HT	HEIGHT	REINP	REFERENCE REINFORCING(JOINT)
ALT	ALTERNATE	HW	HARDWARE	REIN	REINFORCEMENT
BD	BOARD	ID, INT	IDENTIFICATION INTERIOR	SIM	SIMILAR
CL	CENTER LINE	LOC	LOCATION	ST	STEEL
CONC	CONCRETE	MAX	MAXIMUM	TH	THICK
CONT	CONTINUOUS	MIN	MINIMUM	TYP	TYPICAL
DIM	DIMENSION	W/	WITH	WD	WOOD
		N/C	NOT IN CONTRACT	WT	WEIGHT
		NO	NUMBER		

GRAPHIC SYMBOLS

	INDICATES DIMENSION TO FACE OF MASONRY, FACE OF STUD, OR FACE OF MATERIAL		BASE BID DEMOLITION WORK NOTE IDENTIFICATION
	REFERS TO SECTION OR DETAIL		BASE BID RESTORATION WORK NOTE IDENTIFICATION
	REFERS TO ELEVATION		INDICATES PHOTOGRAPH NUMBER AND DIRECTION
	INDICATES EXISTING CONDITIONS IN SECTION OR ELEVATION (LARGE SCALE)		INDICATES OVERHEAD OR HIDDEN BUILDING STRUCTURE OR COMPONENTS
	INDICATES EXISTING CONDITIONS TO REMAIN		EXISTING COLUMN LINE IDENTIFICATION
	INDICATES AREAS OF WORK IN PLAN		



VICINITY PLAN (AERIAL PHOTOGRAPH OF EXISTING CAMPUS) NOT TO SCALE

CONTRACTOR'S STAGING AREA AND CONSTRUCTION SITE ACCESS REQUIREMENTS

THE PROPOSED STAGING AREA FOR THE GENERAL CONTRACTOR IS INDICATED IN THE SPECIFICATIONS. HOWEVER, THE FINAL LOCATION FOR THE STAGING AREA AND TRUCK TRAFFIC ACCESS TO THE CONSTRUCTION SITE SHALL BE DETERMINED BY THE OWNER. AS THIS IS A FUNCTIONING AND OCCUPIED CAMPUS, THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MINIMIZE DISRUPTIONS TO NORMAL CAMPUS' DAILY ACTIVITIES. CONSTRUCTION SITE AND STAGING AREA SHALL BE PROTECTED WITH TEMPORARY CHAIN LINK FENCING WITH ACCESS GATES.



ARCHDIOCESE OF
NEW ORLEANS

GENERAL NOTES REGARDING ROOF REPLACEMENT AND REPAIR WORK

1. THE EXISTING ROOF CONDITIONS HAVE BEEN DRAWN FROM ORIGINAL CONSTRUCTION DRAWINGS, FIELD MEASUREMENTS, PHOTOGRAPHS AND FIELD OBSERVATIONS AND ARE PROVIDED FOR CONTRACTOR'S INFORMATION ONLY. ALL DIMENSIONS SHALL BE CONSIDERED PLUS OR MINUS AS RELATED TO EXISTING CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, MATERIALS AND DIMENSIONS RELATIVE TO THE WORK.
2. THE SCOPE OF THE ROOF REPLACEMENT AND REPAIR WORK GENERALLY CONSIST OF THE TOTAL REMOVAL OF THE DAMAGED EXISTING MODIFIED BITUMEN ROOFING SYSTEMS, INCLUDING MEMBRANE AND INSULATION AT THE ST. STEPHENS GYMNASIUM BUILDING AND THE FURNISHING AND INSTALLATION OF A COMPLETE NEW MODIFIED BITUMEN ROOF SYSTEM, INCLUDING MEMBRANE, RIGID INSULATION, AND RELATED COMPONENTS AS SPECIFIED AND DETAILED. ADDITIONALLY, THE SCOPE OF WORK INCLUDES THE REMOVAL AND INSTALLATION OF PREFINISHED ALUMINUM SHEET METAL ROOF EDGE/ FASCIA FLASHING AND GUTTER SYSTEM AS REQUIRED FOR THE PROPER INSTALLATION OF THE MODIFIED BITUMEN ROOF SYSTEM.
3. THE SCOPE OF WORK INCLUDES THE TOTAL REMOVAL OF THE DAMAGED EXISTING STANDING SEAM METAL ROOF SYSTEM AT THE ST. STEPHENS ADDITION (SPECIAL NEEDS CLASSROOM) LOCATED ON THE SOUTH SIDE OF THE GYMNASIUM, INCLUDING THE UNDERLAYMENT, SHEET METAL ROOF EDGE EAVE AND RAKE FLASHINGS, GUTTER AND DOWNSPOUTS AND MISCELLANEOUS ASSOCIATED COMPONENTS AND THE FURNISHING AND INSTALLATION OF A COMPLETE NEW STANDING SEAM ROOF SYSTEM INCLUDING UNDERLAYMENT, ICE AND WATER BARRIER, STANDING SEAM METAL ROOF PANELS, ASSOCIATED ROOF EDGE EAVE AND RAKE FLASHINGS, PREFINISHED ALUMINUM GUTTER AND DOWNSPOUTS AND ASSOCIATED COMPONENTS.
4. THE SCOPE OF THE WORK INCLUDES THE REMOVAL AND REINSULATING OF THE EXISTING ROOFTOP HVAC DUCTWORK AND THE REMOVAL OF EXISTING FLASHING AROUND EXISTING DUCTWORK AND PIPING PENETRATIONS LOCATED AT THE EAST WALL OF THE GYMNASIUM/ CLASSROOM BUILDING ROOF INTERSECTION, AND THE INSTALLATION OF NEW WALL FLASHING AND RAIN SHIELD AT THE EXISTING MECHANICAL PENETRATIONS AS DETAILED AND SPECIFIED.
5. THE SCOPE OF THE WORK INCLUDES THE REMOVAL OF EXISTING DAMAGED PLASTER FINISH INSIDE OF MECHANICAL ROOM NO. 1 ON LEVEL TWO OF THE GYMNASIUM, PATCHING THE EXISTING VOIDS OF THE B.U.T. WITH GROUT AND PROVIDING AND INSTALLING A SPECIFIED AIR BARRIER COATING SYSTEM TO THE INSIDE FACE OF THE EAST EXTERIOR WALL.
6. ALL EXISTING ITEMS RELATED TO ROOF REPLACEMENT AND REPAIR WORK INDICATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
7. AT NO TIME DURING THE PROCESS OF THE WORK SHALL THE CONTRACTOR INTERRUPT THE CONTINUITY OF ANY OF THE REQUIRED SERVICES TO THE EXISTING BUILDINGS DURING REGULARLY SCHEDULED USAGE. ANY DAMAGE TO THESE SERVICES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
8. LEGALLY DISPOSE OF ALL CONSTRUCTION DEBRIS, EXTRA MATERIALS AND DEMOLISHED ITEMS.
9. IN REGARD TO EXISTING ROOFTOP MECHANICAL, ELECTRICAL, PLUMBING EQUIPMENT OR SYSTEMS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A LICENSED ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTOR CAREFULLY REMOVE, RAISE OR MODIFY, REPAIR OR REPLACE DAMAGED COMPONENTS AND CAREFULLY REINSTALL EXISTING OPERATING ELECTRICAL, PLUMBING, MECHANICAL SYSTEMS AND RELATED EQUIPMENT AS REQUIRED TO COMPLETE THE WORK.
10. THE SCOPE OF THE WORK INCLUDES THE TOTAL REMOVAL OF THE EXISTING DAMAGED BUILT-UP ROOF SYSTEM, INCLUDING UNDERLAYMENTS, ALL RELATED SHEET METAL ROOF EDGE FLASHINGS, WOOD CANTS/ BLOCKING AT EAVES, ETC. AT THE CLASSROOM BUILDING MAIN ROOF LEVEL AND THE FURNISHING AND INSTALLATION OF A COMPLETE NEW MODIFIED BITUMEN ROOFING SYSTEM SLOPED TO EXISTING ROOF DRAINS, INCLUDING LIGHTWEIGHT INSULATING CELLULAR CONCRETE FILL AS SPECIFIED AND DETAILED. ADDITIONALLY, THE SCOPE OF WORK INCLUDES THE REMOVAL AND INSTALLATION OF PREFINISHED ALUMINUM SHEET METAL ROOF EDGE/ FASCIA FLASHING AND GUTTER SYSTEM AS REQUIRED FOR THE PROPER INSTALLATION OF THE MODIFIED BITUMEN ROOF SYSTEM.
11. THE SCOPE OF THE WORK INCLUDES THE RAISING OF THE EXISTING CONDENSER UNITS ONTO A GALVANIZED STEEL PLATFORM AS DESCRIBED IN WORK NOTE NO. 16.
12. THE SCOPE OF THE WORK INCLUDES THE ROOF REPLACEMENT AND REPAIR WORK ALSO INCLUDES THE TOTAL REMOVAL OF THE EXISTING DAMAGED BUILT-UP ROOF SYSTEM OVER THE CLASSROOM BUILDING FIRST FLOOR CANOPY AND THE INSTALLATION OF A NEW FLUID-APPLIED ROOF COATING SYSTEM AS SPECIFIED. THE EXISTING ROOF EDGE FLASHING, GUTTERS AND DOWNSPOUTS SHALL REMAIN FOR USE WITH THE PROPER INSTALLATION OF THE ROOF COATING SYSTEM.

COMMISSION NUMBER 2203-K.1

BIDDING DOCUMENTS

AUGUST 12, 2022

DUPLANTIER & MERIC, ARCHITECTS, L.L.C.

4764 PARIS AVENUE

NEW ORLEANS, LA 70122

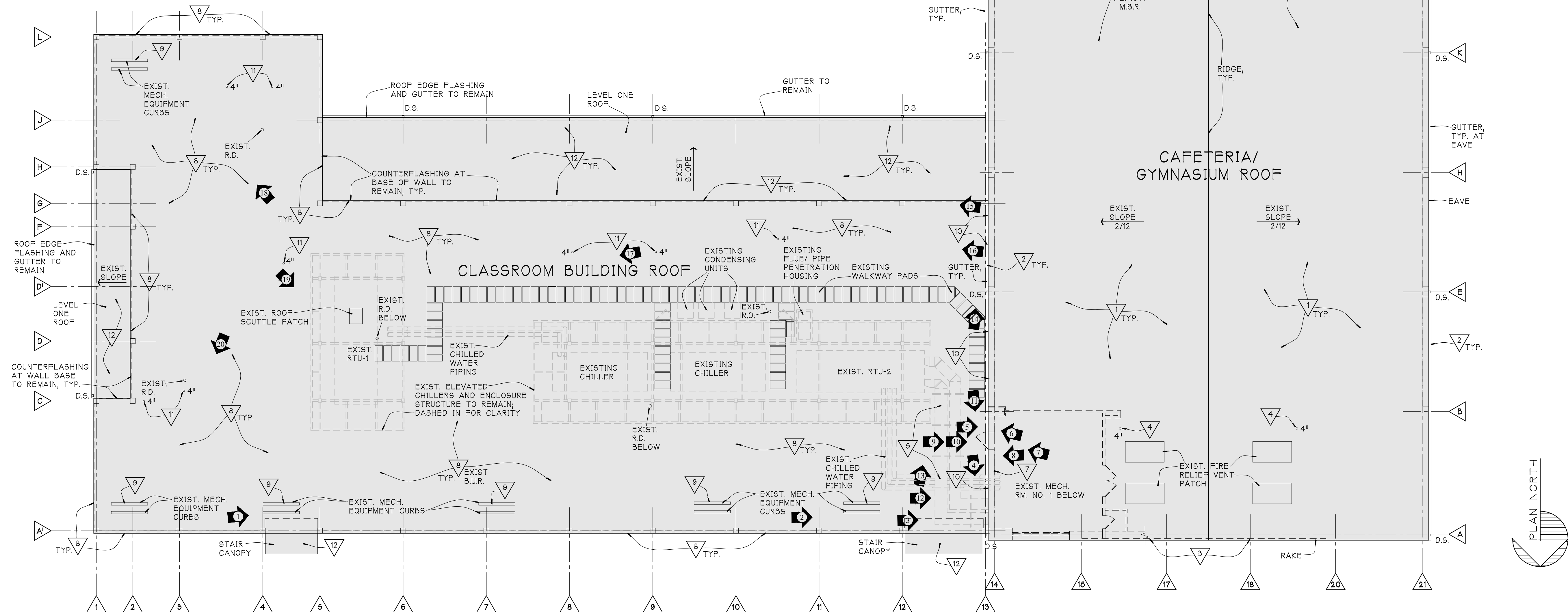
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- 1 REMOVE TEMPORARY PROTECTION ROOF. REMOVE THE EXISTING DAMAGED MODIFIED BITUMEN ROOF SYSTEM IN ITS ENTIRETY, EXPOSING THE EXISTING PRECAST CONCRETE ROOF PLANKS SUBSTRATE. THE REMOVAL INCLUDES THE ROOF MEMBRANE, RIGID INSULATION, WOOD NAILERS/ BLOCKING AT ROOF EDGES, AND ALL SHEET METAL ROOF EDGE FLASHING AT ROOF EAVES AND GABLE RAKES. THE EXISTING CAST-IN-PLACE ANCHOR BOLTS USED FOR FASTENING THE BLOCKING/ NAILERS AT THE ROOF EDGE SHALL REMAIN FOR POSSIBLE REUSE.
- 2 REMOVE EXISTING SHEET METAL GUTTERS AND DOWNSPOUTS TYPICALLY.
- 3 REMOVE THE EXISTING SHEET METAL ROOF EDGE FASCIA/ SOFFIT RETURN AND WOOD BLOCKING AT THE UNDERSIDE OF THE EXISTING PRECAST PLANK ROOF DECK.
- 4 REMOVE LEAD FLASHING AT PLUMBING VENT PIPING.
- 5 REMOVE THE DAMAGED INSULATION ON THE ELEVATED HVAC SHEET METAL DUCTWORK SYSTEM. REMOVE ANY DAMAGED DUCTWORK. REFER TO RESTORATION WORK NOTE FOR REINSULATING REQUIREMENTS.
- 6 REMOVE THE EXISTING STANDING SEAM METAL ROOF SYSTEM IN ITS ENTIRETY, INCLUDING UNDERLAYMENT, METAL ROOF EDGE FLASHING, AND SIDEWALL RAKE FLASHING AND COUNTERFLASHING.
- 7 REMOVE DAMAGED PLASTER LATH AND WOOD FURRING STRIPS FROM INSIDE FACE OF EAST EXTERIOR WALL. REMOVE ALL DEBRIS AND DIRT FROM ROOM.
- 8 REMOVE THE EXISTING DAMAGED BUILT-UP ROOF SYSTEM IN ITS ENTIRETY, EXPOSING THE EXISTING CONCRETE ROOF SLAB SUBSTRATE. THE REMOVAL INCLUDES THE GRAVEL SURFACE, THE WALKWAY PADS, THE ROOF MEMBRANE, RIGID INSULATION, WOOD NAILERS/ BLOCKING AND ALL SHEET METAL ROOF EDGE FLASHING AND COUNTERFLASHING AT ROOF PERIMETER AND EXTERIOR WALL INTERSECTIONS AND AT ROOFTOP MECHANICAL EQUIPMENT SUPPORT CURBS AND ELEMENTS.
- 9 REMOVE EXISTING ABANDONED MECHANICAL EQUIPMENT SUPPORT CURBS, TYPICALLY.
- 10 REMOVE EXISTING EXTERIOR WALL FACING BRICK LOCATED AT BASE OF WALL AS NECESSARY TO REPOSITION EXISTING THRU-WALL FLASHING AND CONSTRUCT RELATED NEW COUNTERFLASHING AT INTERSECTION OF NEW ROOF AND EXTERIOR WALL LOCATIONS. REFER TO CONSTRUCTION DETAILS.
- 11 REMOVE LEAD FLASHING AT PLUMBING VENT PIPING.
- 12 REMOVE THE EXISTING DAMAGED BUILT-UP ROOF SYSTEM IN ITS ENTIRETY, EXPOSING THE EXISTING CONCRETE ROOF SLAB SUBSTRATE. THE REMOVAL INCLUDES THE GRAVEL SURFACE, MULTIPLE ROOF PLYS, AND COAL TAR PITCH. ROOF EDGE SHEET METAL FLASHING AND COUNTERFLASHING SHALL REMAIN. PROTECT EXISTING SHEET METAL FLASHING FROM DAMAGE DURING ROOF REMOVAL. PREPARE EXISTING CONCRETE DECK TO RECEIVE NEW FLUID-APPLIED ROOF COATING SYSTEM.

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EXISTING CONDITIONS AND DEMOLITION ROOF PLAN

SCALE: 3/32"=1'-0"



1 CLASSROOM BUILDING (LOOKING WEST)



2 DUCTWORK PENETRATION AT EAST GYMNASIUM PARTITION



3 DUCTWORK PENETRATION AT EAST GYMNASIUM PARTITION



4 DUCTWORK AND CHILLED WATER PIPE PENETRATION AT EAST GYMNASIUM PARTITION



5 CONDUIT PENETRATION AT EAST GYMNASIUM PARTITION



6 CONDUIT PENETRATION AT EAST GYMNASIUM PARTITION



7 PLASTER SPALLING INSIDE MECH. EQMT. ROOM



8 PLASTER SPALLING INSIDE MECH. EQMT. ROOM



9 MECHANICAL EQUIPMENT ROOM DOOR SILL



10 MECHANICAL EQUIPMENT ROOM DOOR HEAD



11 PARTIAL EAST GYMNASIUM ELEVATION



12 DAMAGED DUCTWORK AT GYMNASIUM



13 DAMAGED DUCTWORK AT GYMNASIUM



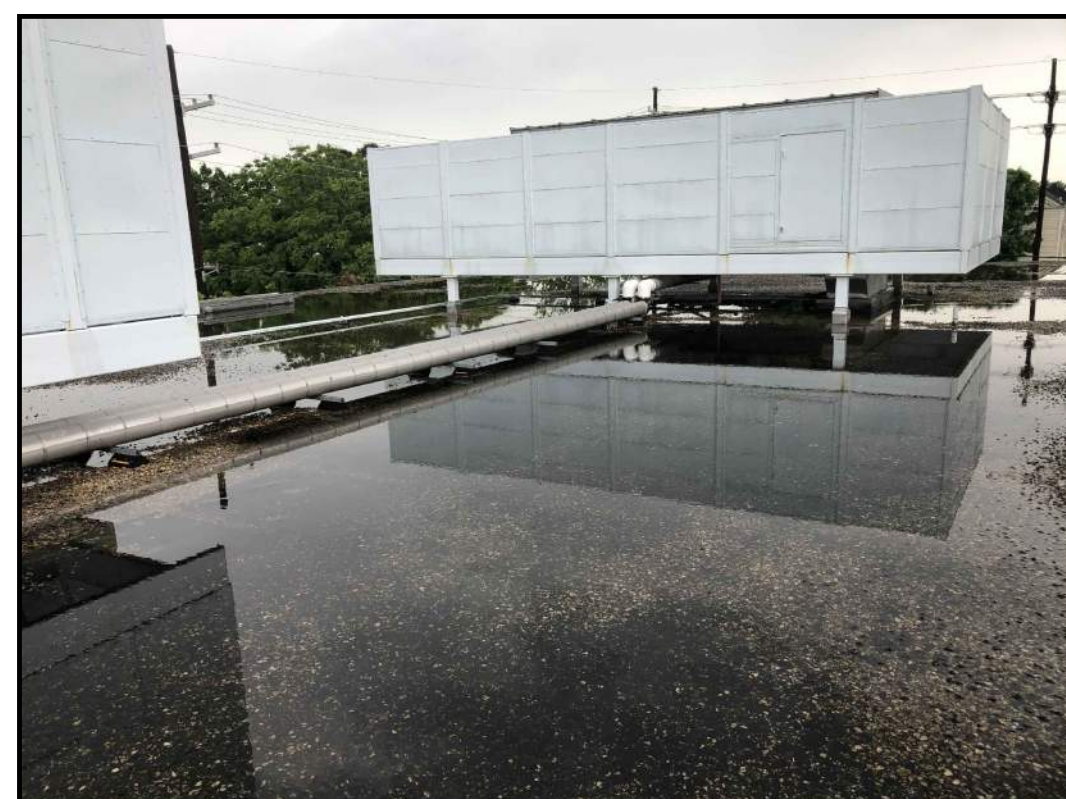
14 PARTIAL EAST GYMNASIUM ELEVATION



15 LOWER SOUTH ROOF AT CLASSROOM BUILDING



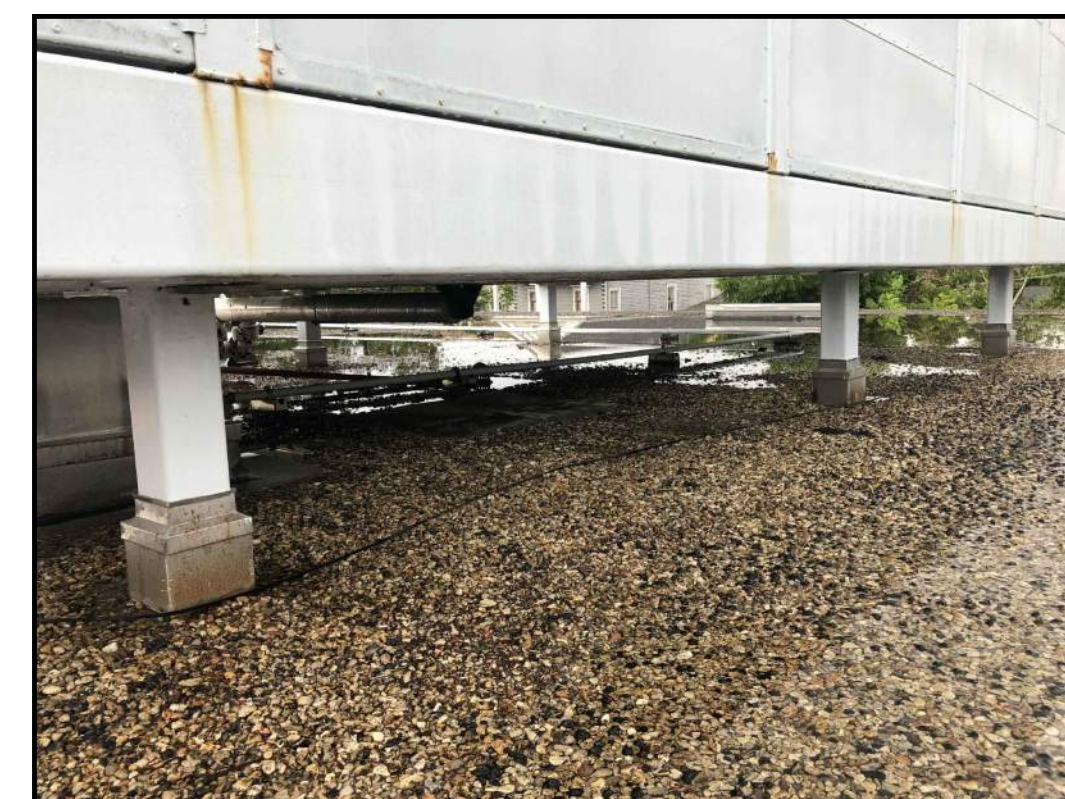
16 MAIN SOUTH ROOF AT CLASSROOM BUILDING



17 MAIN ROOF CLASSROOM BUILDING (LOOKING EAST)



18 MAIN ROOF CLASSROOM BUILDING (SOUTHEAST CORNER)



19 MAIN ROOF CLASSROOM BUILDING (AT MECHANICAL EQUIPMENT PLATFORM)



20 MAIN ROOF CLASSROOM BUILDING (EAST END LOOKING NORTH)

EXISTING CONDITIONS PHOTOGRAPHS

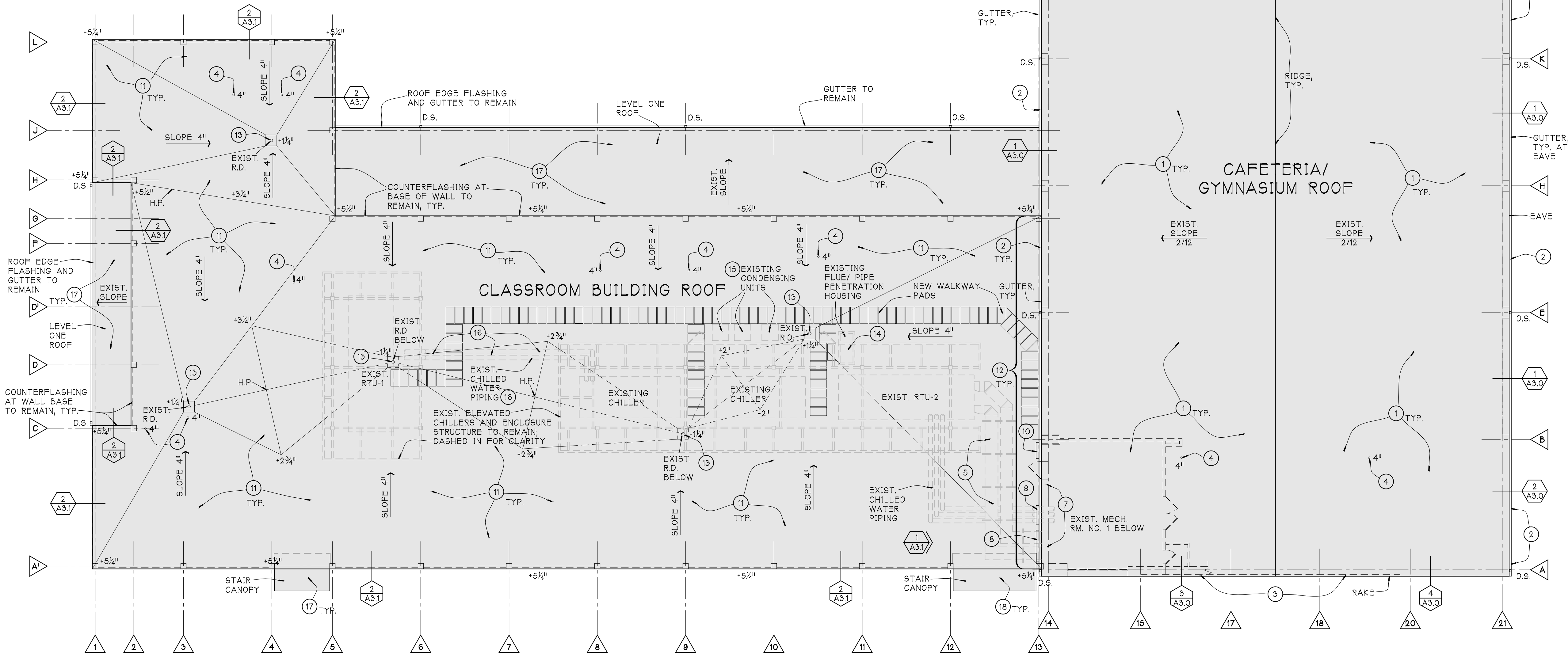
RESTORATION WORK NOTES:

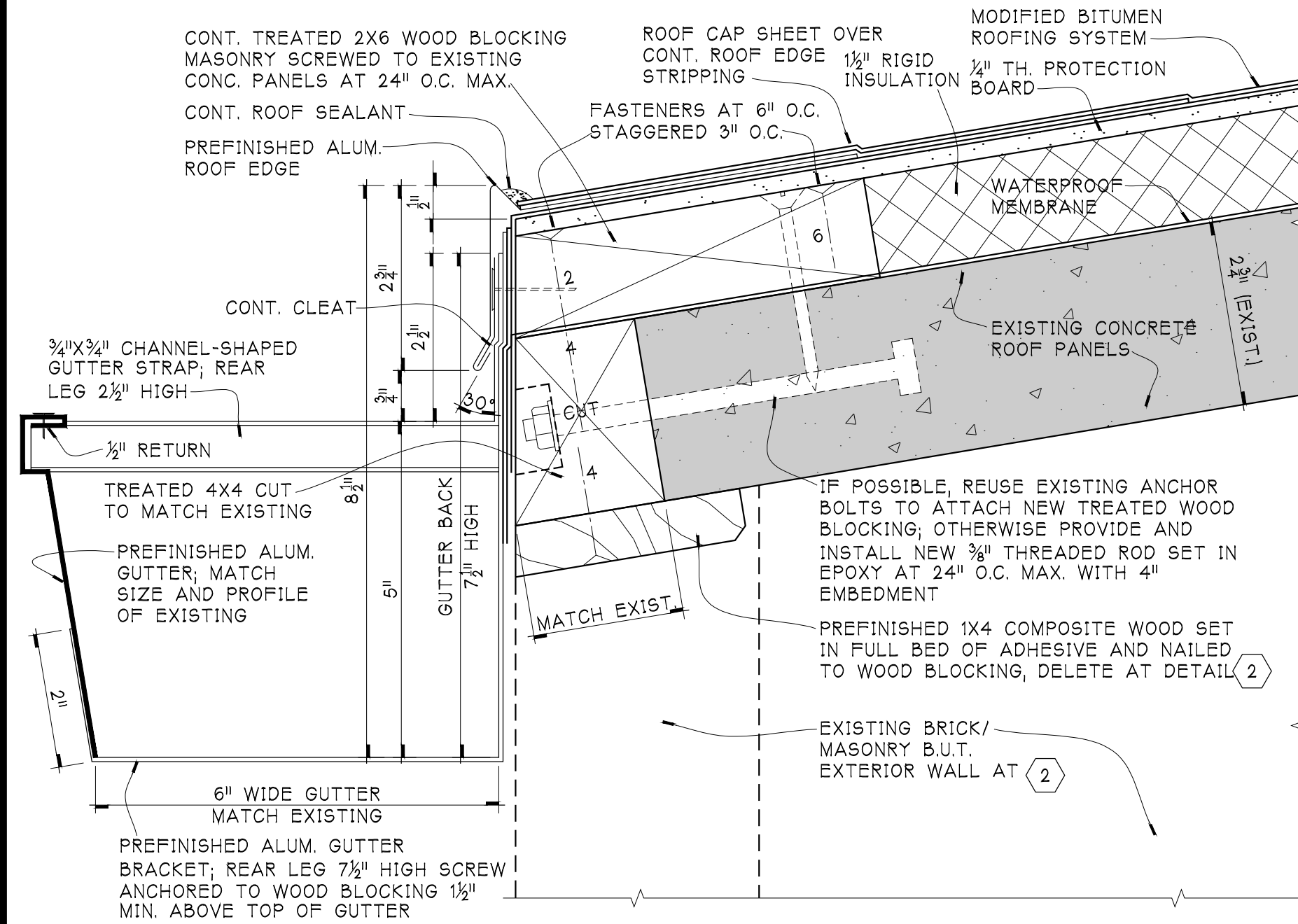
- 1 FURNISH AND INSTALL NEW MODIFIED BITUMEN ROOF SYSTEM ASSEMBLY INCLUDING TWO-PLY WATERPROOF MEMBRANE ADHERED TO THE EXISTING SLOPING PRECAST CONCRETE PLANK DECK, 1/2" THICK RIGID INSULATION, TWO-PLY SBS MODIFIED BITUMEN ROOF MEMBRANE, WOOD NAILERS/BLOCKING LOCATED AT THE ROOF EDGES, AND ALL SHEET METAL ROOF EDGE FLASHING AT THE ROOF EAVES AND GABLE RAKES. REFER TO THE CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
- 2 FURNISH AND INSTALL NEW PREFINISHED ALUMINUM SHEET METAL GUTTERS AND DOWNSPOUTS TO MATCH EXISTING SIZE AND PROFILE OF THE REMOVED GUTTERS AND DOWNSPOUTS.
- 3 FURNISH AND INSTALL NEW PREFINISHED ALUMINUM SHEET METAL ROOF EDGE FASCIA/SOFFIT RETURN AND ASSOCIATED WOOD BLOCKING AT THE UNDERSIDE OF THE EXISTING PRECAST CONCRETE PLANK ROOF DECK. REFER TO THE CONSTRUCTION DETAIL FOR ADDITIONAL INFORMATION.
- 4 FURNISH AND INSTALL NEW LEAD FLASHING AT THE EXISTING PLUMBING VENT PIPING. EXTEND THE LENGTH OF THE EXISTING VENT PIPE AS MAY BE NECESSARY TO ACHIEVE A MINIMUM HEIGHT OF EIGHT INCHES ABOVE THE NEW ROOF SURFACE.
- 5 REPAIR ANY DAMAGED SECTIONS OF THE EXISTING EXTERIOR HVAC SHEET METAL DUCTWORK WITH NEW SHEET METAL OF SAME GAUGE AND MATERIAL OF EXISTING. RESEAL ALL SEAMS/JOINTS IN THE EXISTING DUCTWORK. FURNISH AND INSTALL NEW SLOPING SHEET METAL TOP/COVER ON THE EXISTING DUCTWORK TO PREVENT PONDING RAINWATER. REPLACE DAMAGED INSULATION WITH NEW RIGID INSULATION WITH WEATHER BARRIER SURFACING. REFER TO CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
- 6 FURNISH AND INSTALL NEW STANDING SEAM METAL ROOF SYSTEM INCLUDING UNDERLAYMENT, METAL ROOF EDGE FLASHING AT EAVE, RAKE, RIDGE AND SIDEWALL LOCATIONS.
- 7 IN EXISTING MECHANICAL ROOM NO. 1, REMOVE PLASTER FINISH PER DEMOLITION NOTE NO. 7 AND PATCH VOIDS IN MASONRY BACKUP TILE WALL WITH GROUT AND APPLY AIR BARRIER SYSTEM TO INSIDE FACE OF EAST SIDE EXTERIOR WALL SYSTEM.
- 8 FURNISH AND INSTALL ALUMINUM SHEET METAL RAIN SHIELD ABOVE EXISTING HVAC DUCT PENETRATION AT EAST WALL OF MECHANICAL ROOM NO. 1. REFER TO CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
- 9 REMOVE THE EXISTING SHEET METAL RAIN SHIELD AT THE THREE CHILLED WATER PIPING PENETRATIONS INTO MECHANICAL ROOM NO. 1 AS NECESSARY TO ACCESS THE PIPE PENETRATIONS. REMOVE ALL EXISTING SEALANT FROM CAULKED JOINTS BETWEEN THE PIPE INSULATION AND THE STEEL PIPE SLEEVES THROUGH THE WALL. RECAULK ALL JOINTS WITH NEW WEATHER SEALANT TO WATERPROOF THE CONDITION. FILL ANY VOIDS IN THE ADJACENT BRICK MASONRY EXTERIOR WALL NEXT TO THE EXISTING STEEL PIPE SLEEVES WITH GROUT. REINSTALL THE EXISTING RAIN SHIELD AFTER THE COMPLETION OF THE CAULKING OPERATIONS.
- 10 FURNISH AND INSTALL ALUMINUM SHEET METAL RAIN SHIELD OVER THE EXISTING MULTIPLE CONDUIT PENETRATIONS AT THE EAST WALL OF THE GYM. THE CONSTRUCTION SHALL BE SIMILAR TO THE EXISTING CHILLED WATER RAIN SHIELD.

- 11 FURNISH AND INSTALL NEW MODIFIED BITUMEN ROOF SYSTEM ASSEMBLY INCLUDING THE TWO-PLY WATERPROOF MEMBRANE (ADHERED TO THE EXISTING FLAT POURED-IN-PLACE CONCRETE ROOF SLAB), THE SLOPING LIGHTWEIGHT INSULATING CELLULAR CONCRETE FILL, THE VENTING BASE PLY MECHANICALLY FASTENED TO THE CELLULAR CONCRETE, THE TWO-PLY SBS MODIFIED BITUMEN ROOF MEMBRANE, THE WOOD NAILERS/BLOCKING LOCATED AT THE ROOF EDGES, AND ALL SHEET METAL ROOF EDGE FLASHING AND COUNTERFLASHING AT ROOF/BASE OF EXTERIOR WALL INTERSECTIONS; REFER TO THE CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
- 12 REMOVE AND REINSTALL EXISTING BRICKS AS NECESSARY TO MODIFY EXISTING THRU-WALL FLASHING LOCATION AT BASE OF EXTERIOR WALL AT EAST SIDE OF GYM AT INTERSECTION WITH NEW ROOF SYSTEM. REFER TO CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
- 13 REMOVE EXISTING ROOF DRAIN TRIM AND FURNISH AND INSTALL NEW RETROFIT ROOF DRAINS TO ACCOMMODATE THE MODIFIED BITUMEN ROOF SYSTEM ASSEMBLY.
- 14 REMOVE THE EXISTING COVER ON THE MULTIPLE PIPE PENETRATION OPENING AND RAISE THE EXISTING PERIMETER CURB AS NECESSARY TO ACCOMMODATE THE ADDITIONAL THICKNESS OF THE NEW MODIFIED BITUMEN ROOF SYSTEM ASSEMBLY WHICH INCLUDES SLOPING LIGHTWEIGHT INSULATING CELLULAR CONCRETE FILL. FURNISH AND INSTALL NEW SHEET METAL COVER. REFER TO THE CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
- 15 RAISE THE THREE EXISTING HVAC CONDENSER UNITS ONTO NEW ELEVATED GALV. STEEL GRATING AND ANGLE PLATFORM. THE PLATFORM SHALL BE 30" IN HEIGHT ABOVE THE ROOF SURFACE AND CONSTRUCTED OF 3/4"x3 1/2"x1/4" GALVANIZED STEEL ANGLE PERIMETER FRAME WITH ALL WELDED CONNECTIONS AND 1/2" DEEP GALV. STEEL BAR GRATING SPANNING THE WIDTH OF THE PLATFORM. THE PLATFORM DIMENSIONS SHALL BE 6" WIDER AND 6" LONGER THAN THE EXISTING PLAN CONFIGURATION OF THE THREE UNITS. THE PLATFORM SHALL BE SUPPORTED BY 2 1/2" GALV. STEEL PIPE VERTICAL SUPPORT LEGS, ONE LOCATED AT EACH CORNER OF THE PLATFORM AND TWO ADDITIONAL LEGS LOCATED AT MID-SPAN OF THE PLATFORM LENGTH. THE 2 1/2" PIPE SUPPORTS SHALL HAVE 8"x8"x1/2" WELDED GALV. STEEL BASEPLATES ANCHORED TO THE EXISTING CONCRETE SLAB WITH FOUR (4) 3/8" EXPANSION BOLTS. ALL MECHANICAL PIPING AND ELECTRICAL POWER CONNECTIONS TO THE CONDENSER UNITS SHALL BE REWORKED AS REQUIRED FOR THE NEW LOCATIONS ON THE ELEVATED PLATFORM.
- 16 FURNISH AND INSTALL NEW MECHANICAL PIPE SUPPORTS AT NEW ELEVATIONS OF THE NEW MODIFIED BITUMEN ROOF SYSTEM ASSEMBLY. THE NUMBER AND LOCATIONS OF NEW PIPE SUPPORTS SHALL MATCH EXISTING.
- 17 FURNISH AND INSTALL NEW FLUID-APPLIED ROOF COATING SYSTEM TO THE EXISTING SLOPING CONCRETE ROOF SLAB. PREPARE THE EXISTING ROOF SLAB BY REMOVING THE EXISTING COLD TAR PITCH BUILT-UP ROOF SYSTEM IN ITS ENTIRETY. CLEAR SLAB OF ANY OF ITS REMNANTS. THE EXISTING SHEET METAL ROOF EDGE FLASHING AND SHEET METAL COUNTERFLASHING AT THE BASE OF ABUTTING EXTERIOR WALLS SHALL REMAIN AND BE REUSED.

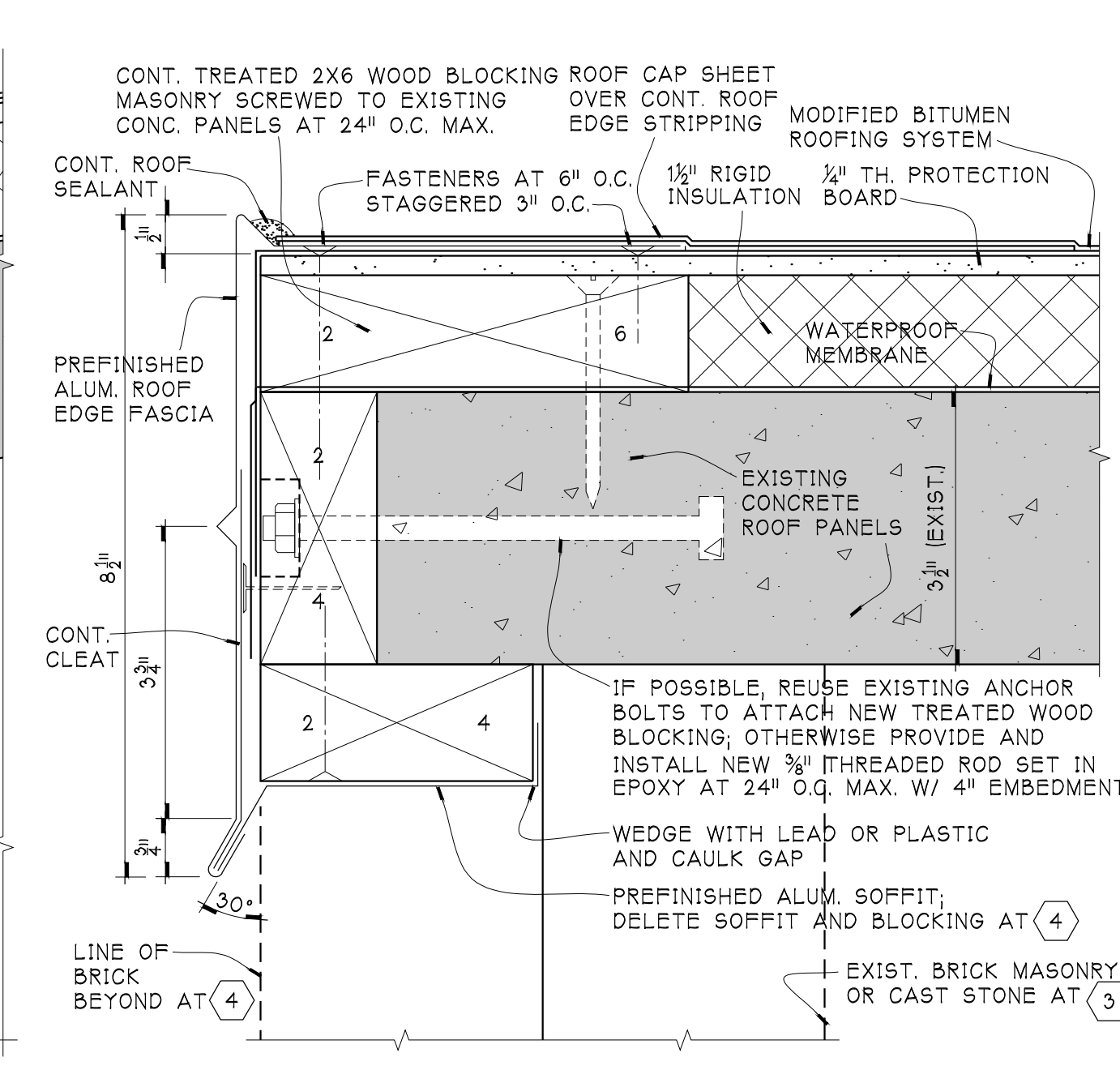
GRAPHIC SYMBOLS

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- EXISTING COLUMN LINE IDENTIFICATION

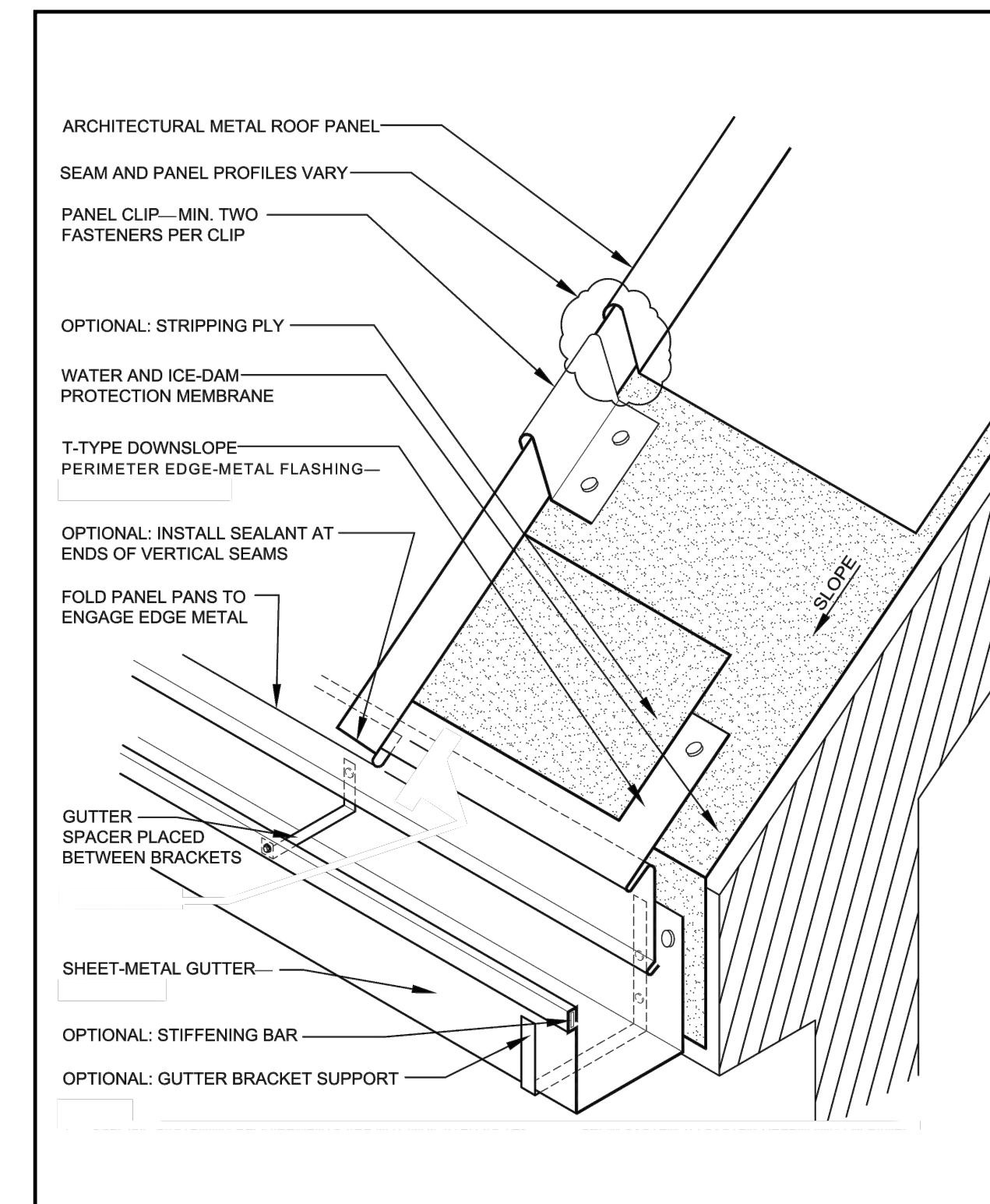




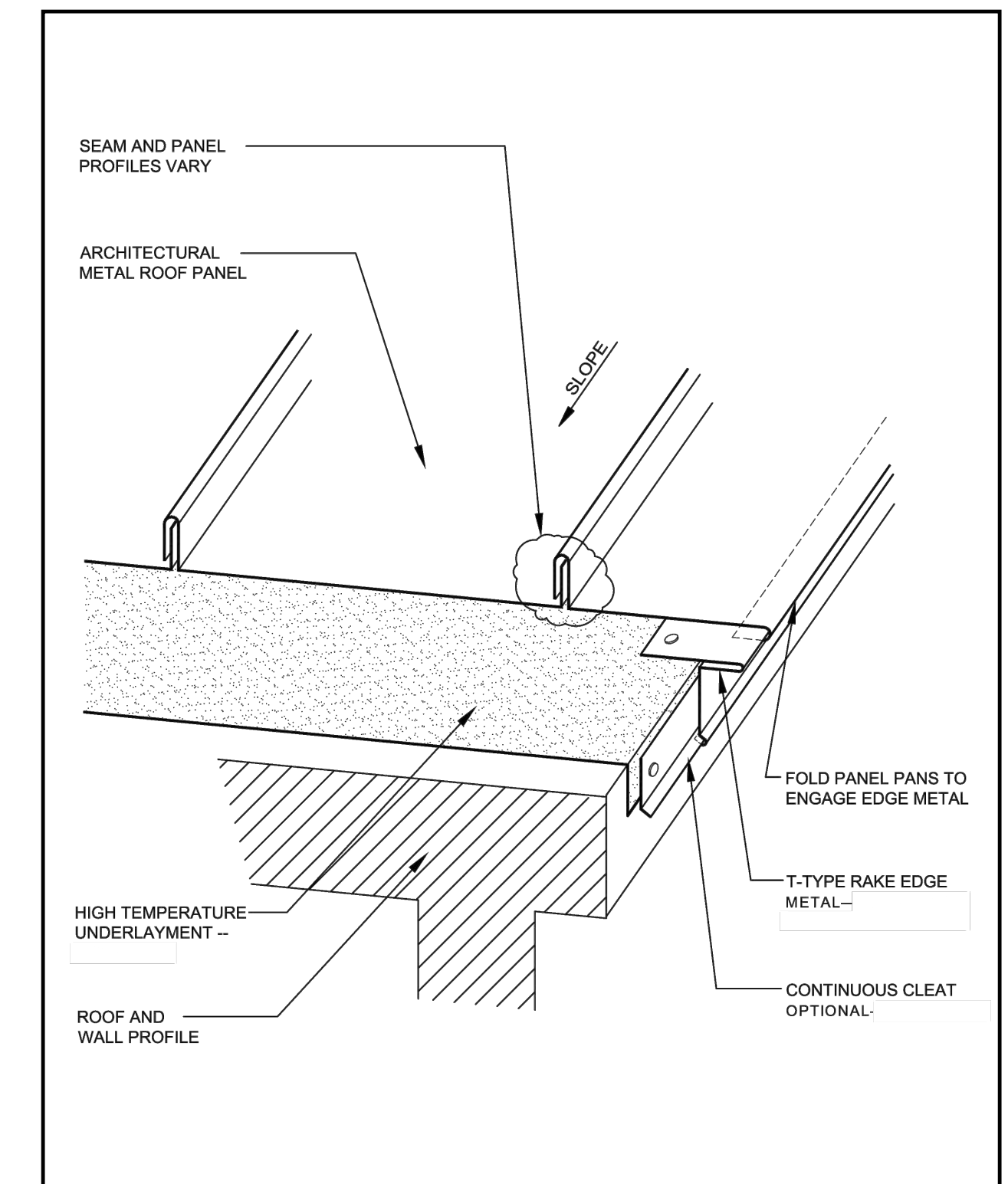
1 2
A3.0 A3.0
ROOF EAVE DETAIL AT
OVERHANG AT GYMNASIUM WINDOW
SCALE: 1/2 FULL SIZE



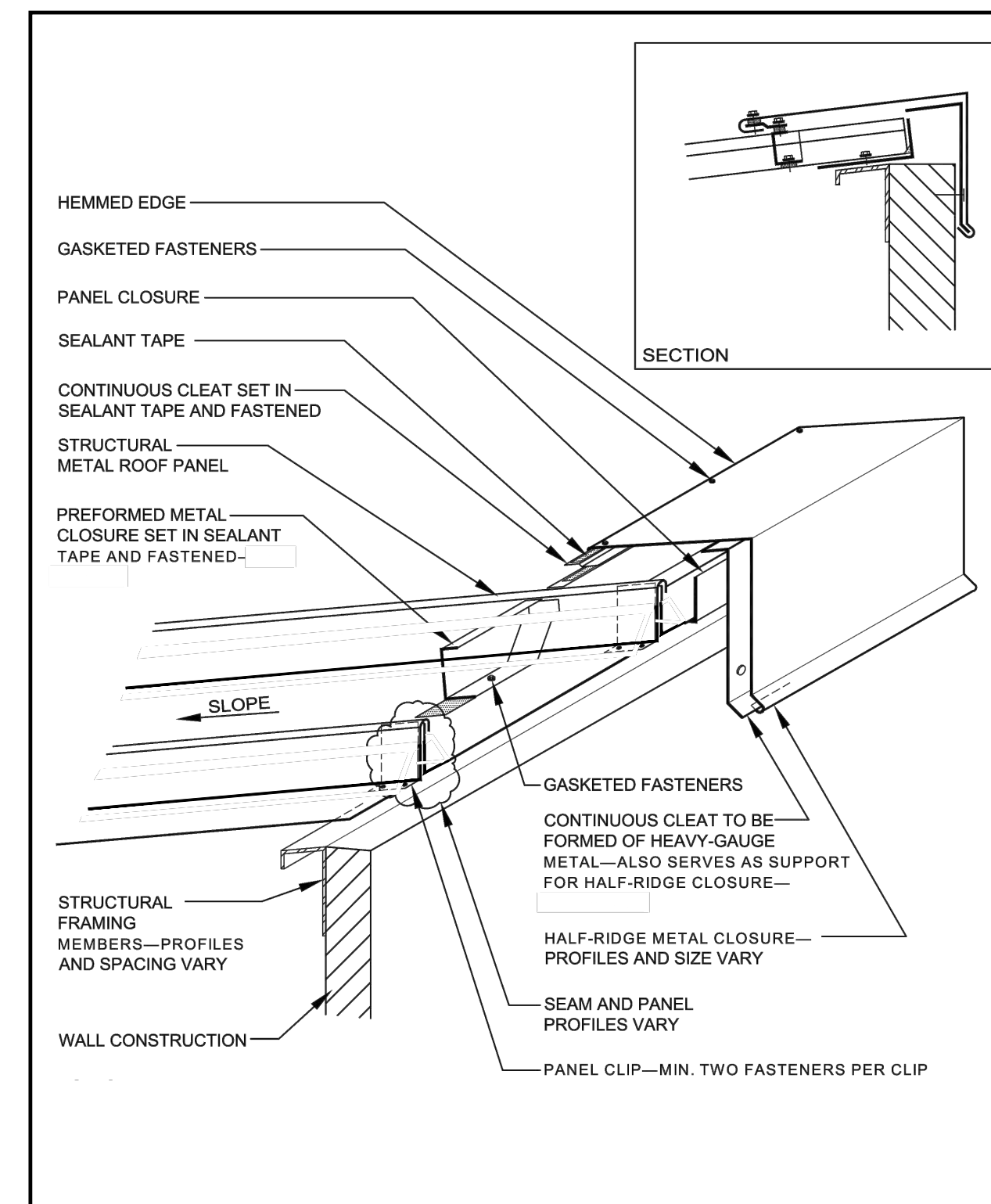
3 4
A3.0 A3.0
RAKE DETAIL AT GYMNASIUM
BRICK/ STONE RECESS
SCALE: 1/2 FULL SIZE



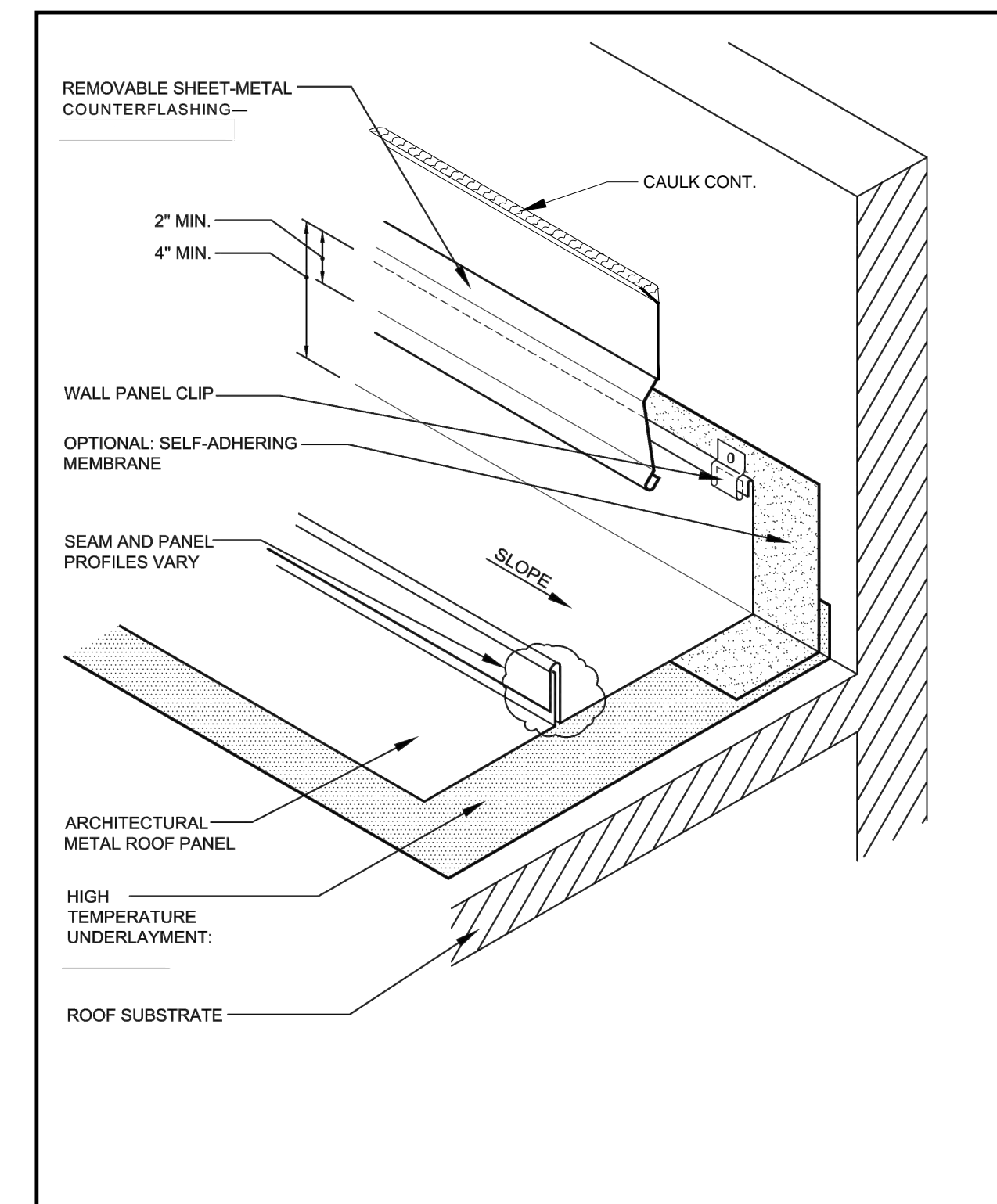
5
A3.0
EAVE DETAIL - GYMNASIUM ADDITION
N.T.S.



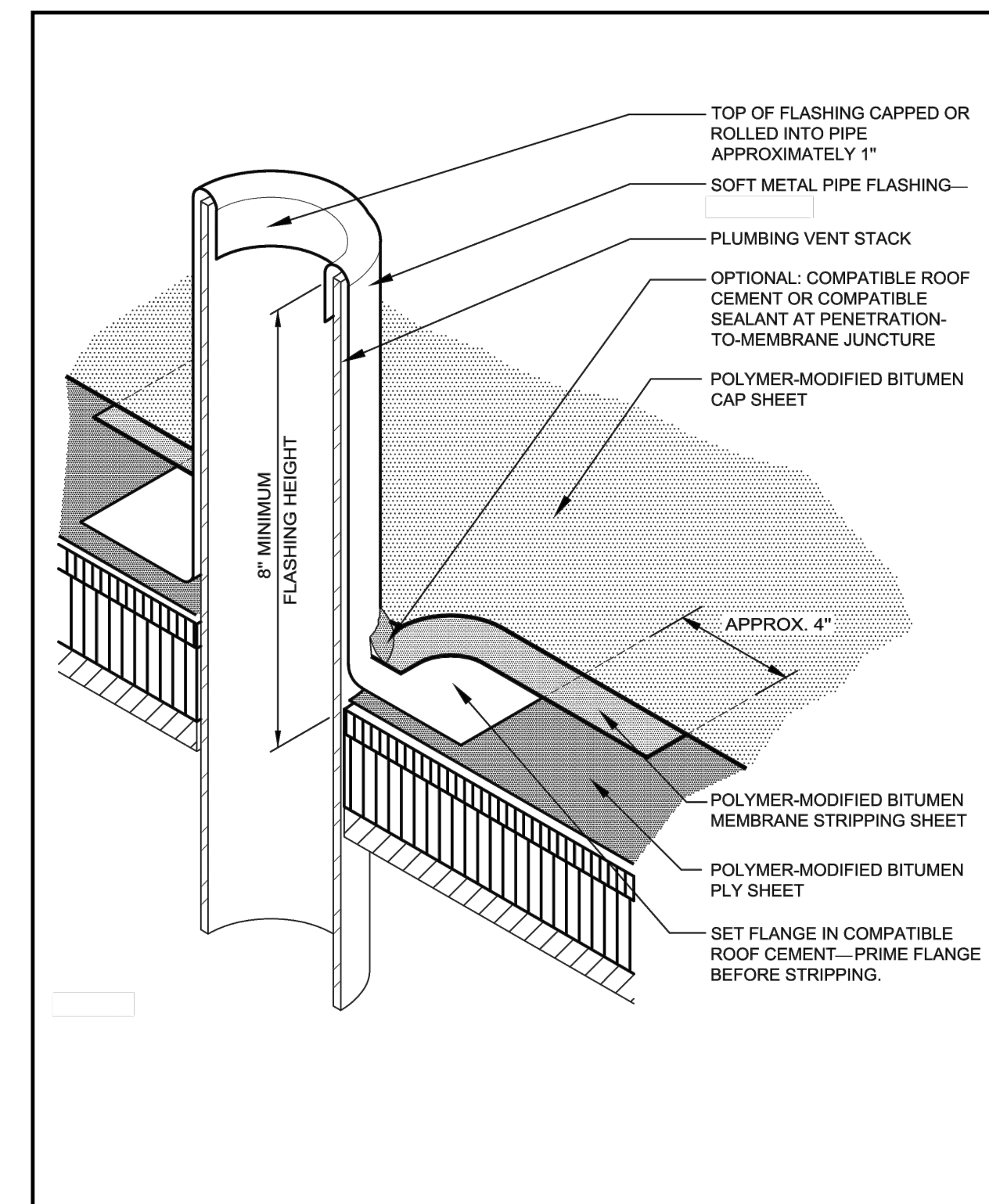
6
A3.0
RAKE DETAIL - GYMNASIUM ADDITION
N.T.S.



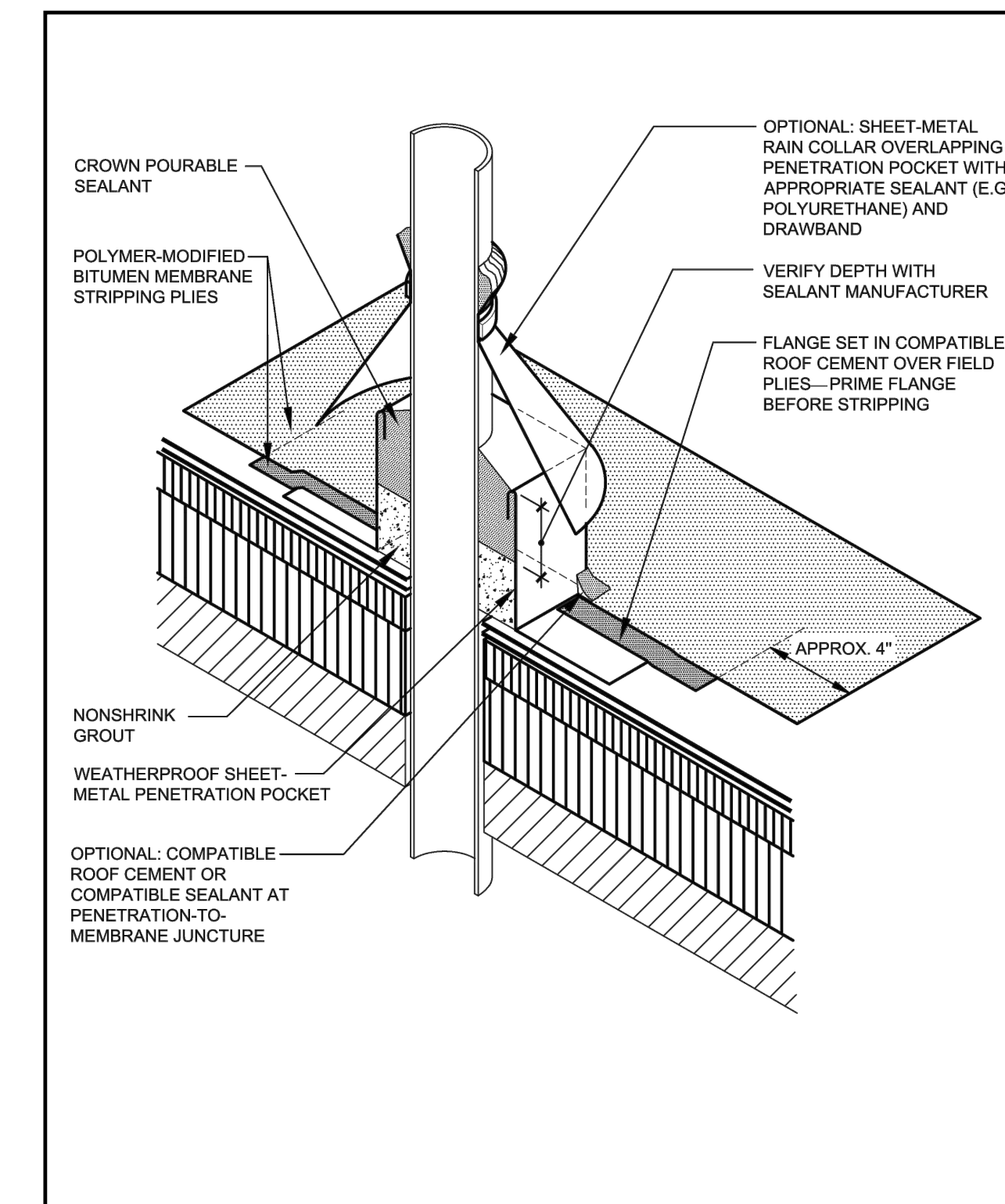
7
A3.0
HALF RIDGE DETAIL - GYM ADDITION
N.T.S.



8
A3.0
SIDEWALL DETAIL - GYM ADDITION
N.T.S.



9
A3.0
TYPICAL PLUMBING VENT DETAIL
N.T.S.



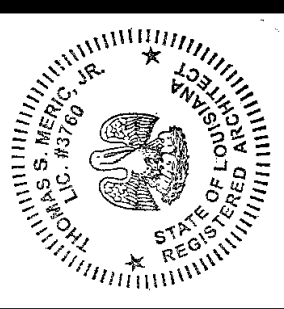
10
A3.0
TYPICAL PIPE PENETRATION DETAIL
N.T.S.

TYPICAL ROOF DETAILS - GYMNASIUM AND ADDITION

SCALE AS NOTED

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ARCHDIOCESE OF NEW ORLEANS
ST. STEPHENS GOOD SHEPHERD SCHOOL
ROOF REPLACEMENT AND REPAIRS
1026 NAPOLEON AVENUE
NEW ORLEANS, LOUISIANA 70115



COMMISSION

2203-K.1

REVISIONS

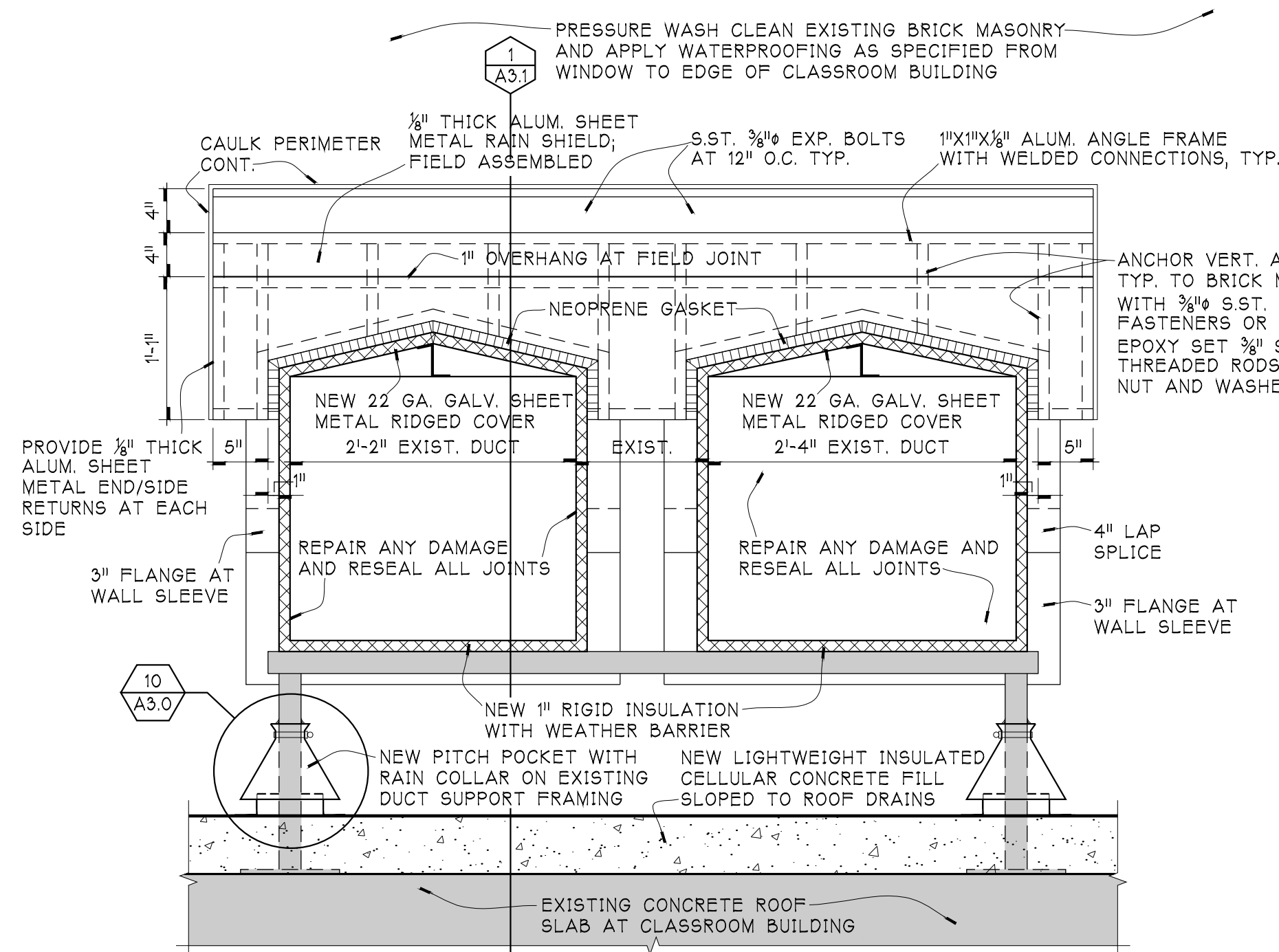
DATE
AUGUST 12, 2022
DRAWN BY
HCD, MJT
CHECKED BY
HCD

SHEET NO
A3.0
OF 6

DUCT INSULATION NOTE:

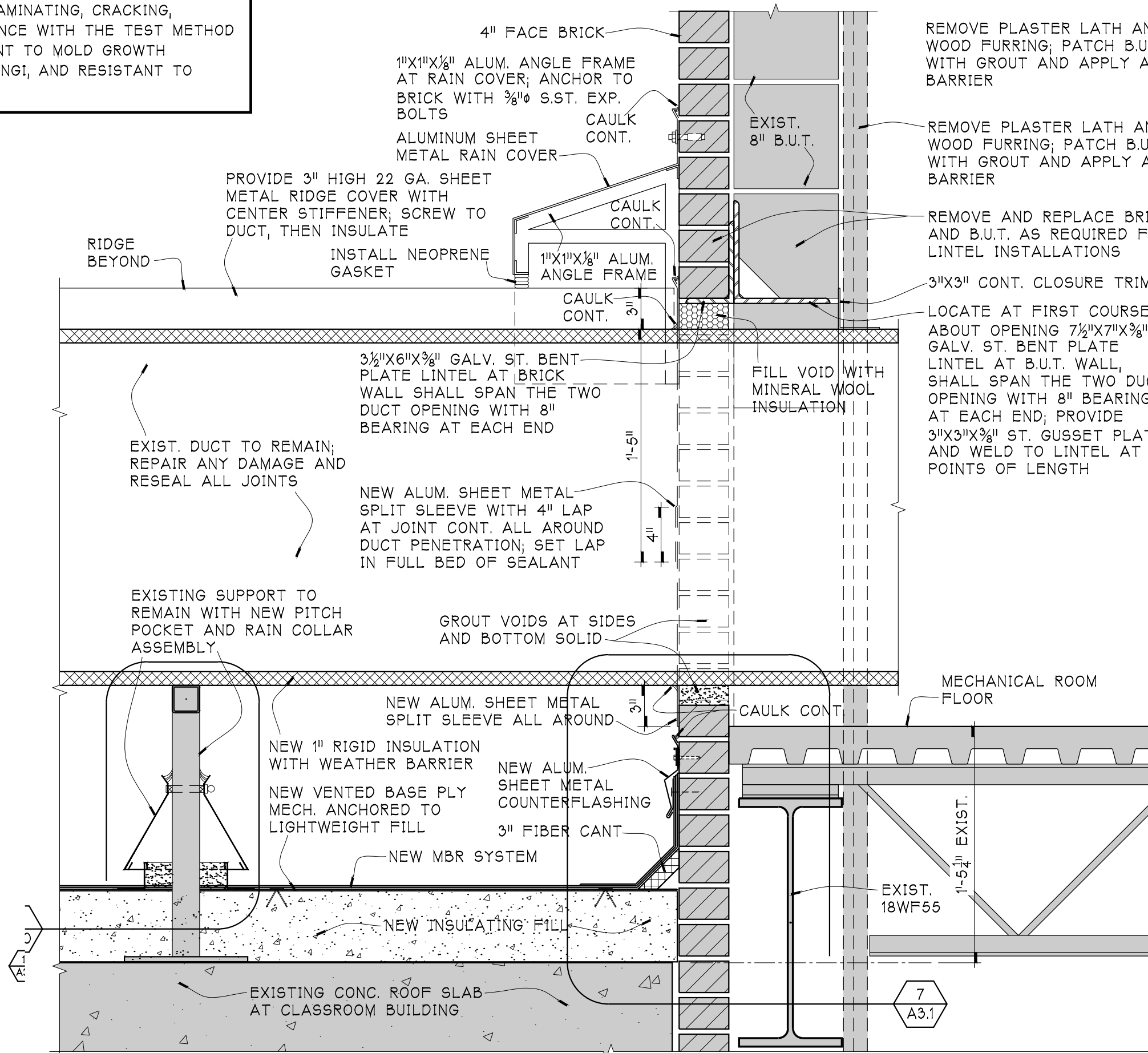
TYPE D5: OUTDOOR DUCT INSULATION (CLOSED CELL FLEXIBLE ELASTOMERIC INSULATION); 1 INCH THICK MATERIAL THAT HAS A SERVICE TEMPERATURE RANGE FROM -60 DEGREES F TO 180 DEGREES F. THIS OUTDOOR DUCT INSULATION MEETS ASTM C 177 OR C 518 AND SHALL HAVE MINIMUM "K" VALUE OF 0.27 BTU-IN. / HR-FT²-DEGREES F AT MINIMUM DENSITY MEASUREMENT OF 3 LB/CU. FT. THE INSULATION AND OUTSIDE SURFACE MUST BE PROTECTED WITH A WHITE THERMO PLASTIC RUBBER MEMBRANE FORMULATED TO:

1. BE RESISTANT TO UV, AND OZONE, ACID RAIN, AND PHYSICAL ELEMENTS PRODUCED FROM OUTDOOR WEATHER PER ASTM E 96 PROCEDURE A.
2. HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPED RATING OF 50 OR LESS WHEN TESTED IN ACCORDANCE WITH THE TEST METHOD FOR SURFACE BURNING IN ASTM E 84.
3. SHOW NO EVIDENCE OF CONTINUED EROSION, DELAMINATING, CRACKING, FLAKING, OR PEELING WHEN TESTED IN ACCORDANCE WITH THE TEST METHOD FOR EROSION RESISTANCE IN UL181. BE RESISTANT TO MOLD GROWTH RESISTANCE, ASTM G 21/C 1338 RESISTANT TO FUNGI, AND RESISTANT TO BACTERIA GROWTH PER ASTM G 22.



ELEVATION OF HVAC DUCTWORK
RAIN SHIELD AT GYM WALL PENETRATION

SCALE: 1"=1'-0"

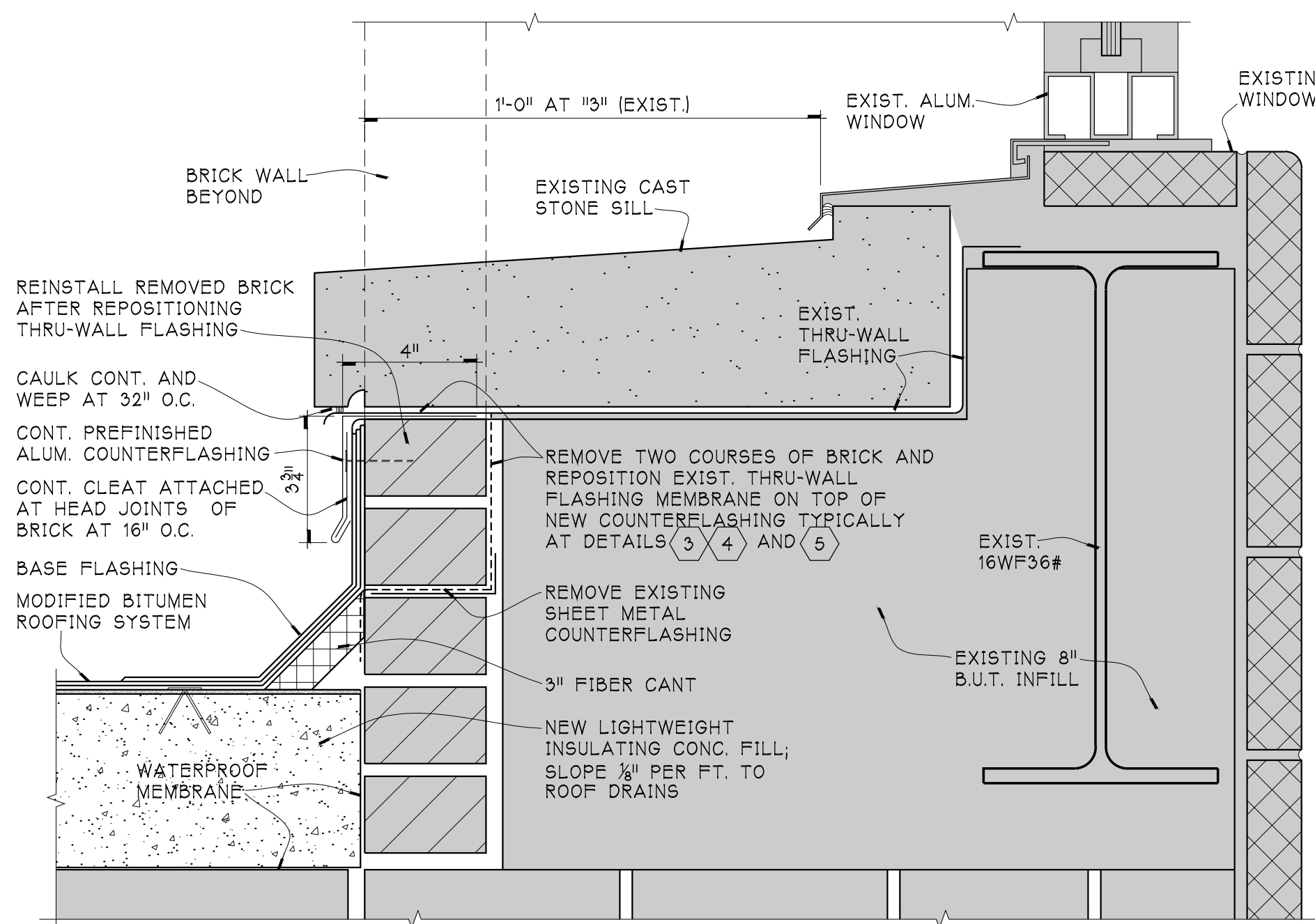


CLASSROOM BLDG. MAIN ROOF AT
EAST WALL OF GYM WINDOW SILL

SCALE: 1-1/2"=1'-0"

TYP. ROOF EDGE DETAIL
AT CLASSROOM BUILDING MAIN ROOF

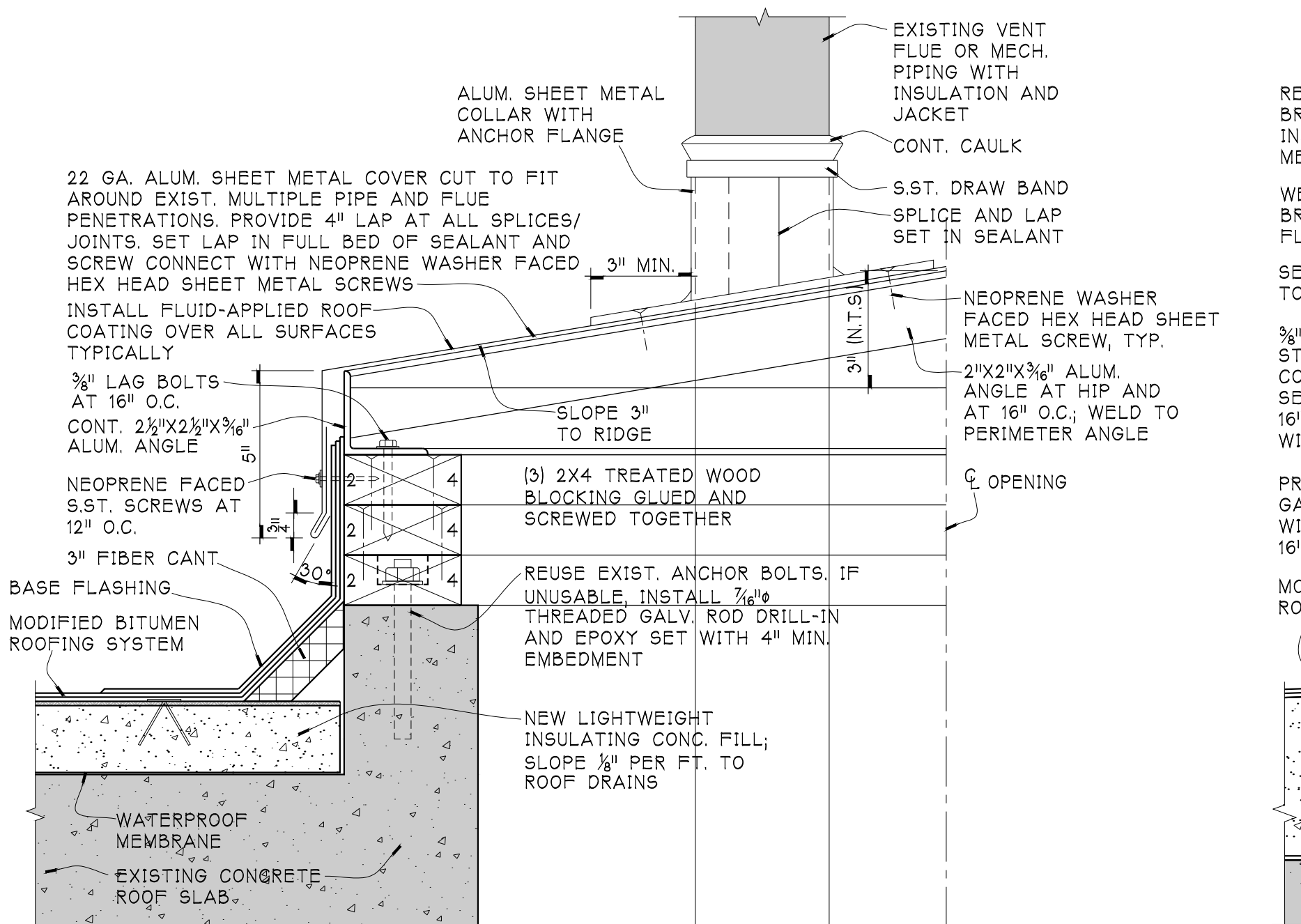
SCALE: 3"=1'-0"



CLASSROOM BLDG. MAIN ROOF AT
EAST WALL OF GYM WINDOW SILL

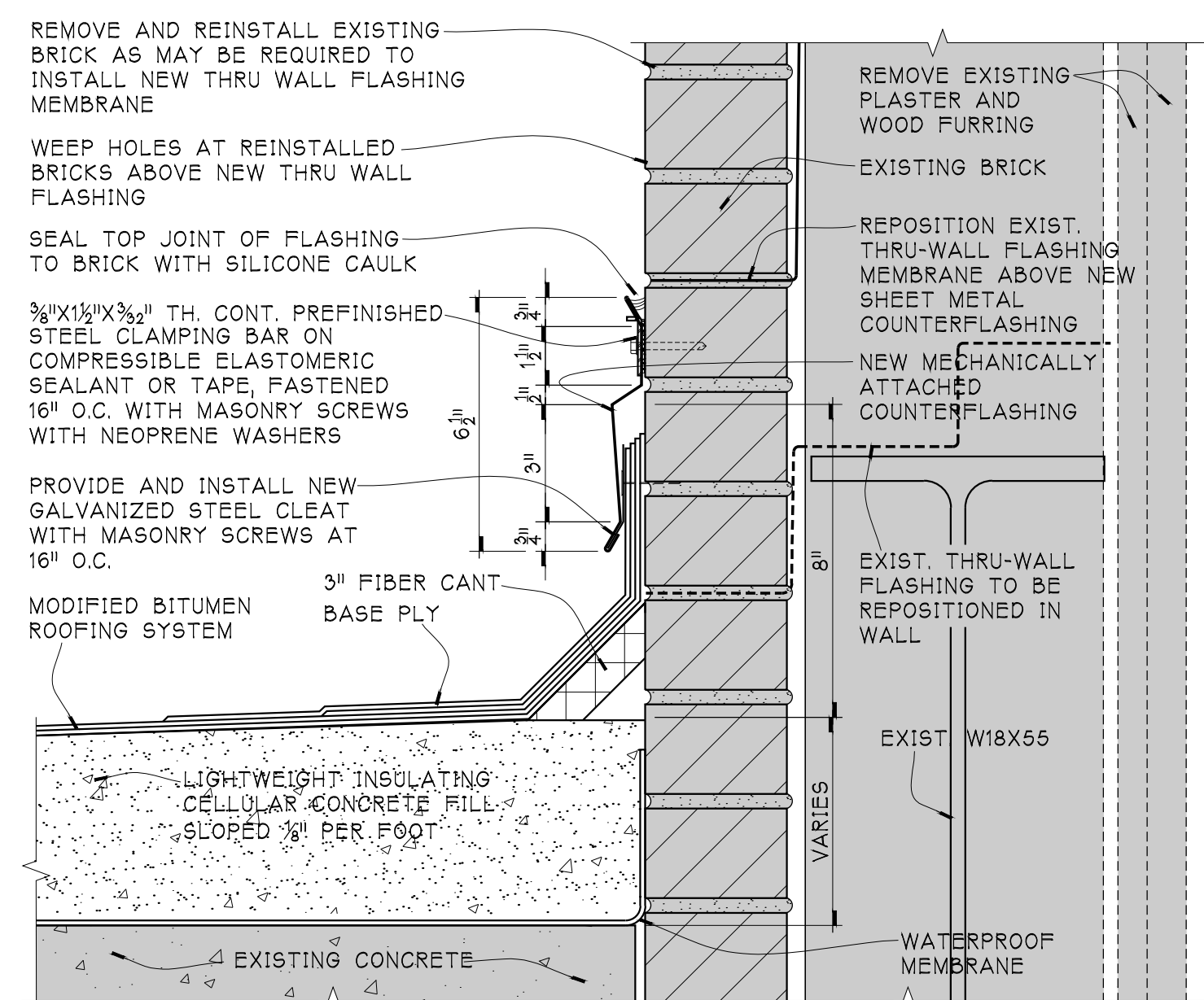
SCALE: 3"=1'-0"

DOOR SILL SAME AT ⑤
BRICK WALL SIMILAR AT ③



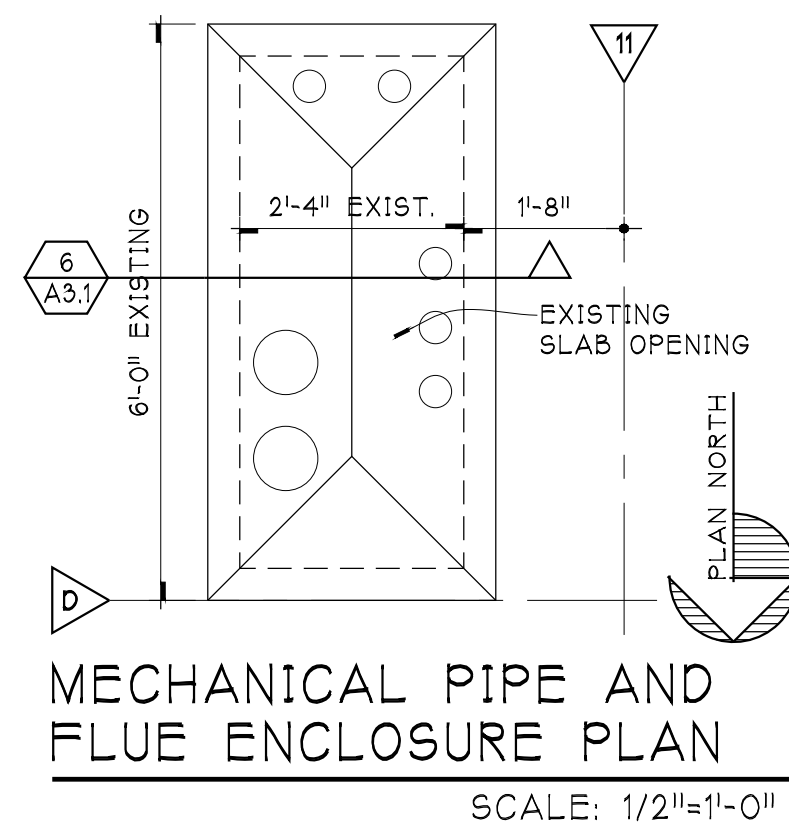
DETAIL OF ENCLOSURE AT
MULTIPLE PIPES/FLUE PENETRATIONS

SCALE: 3"=1'-0"



REPOSITIONED THRU-WALL
FLASHING DETAIL AT BRICK MASONRY

SCALE: 3"=1'-0"



MECHANICAL PIPE AND
FLUE ENCLOSURE PLAN

SCALE: 1/2"=1'-0"

DUCT PENETRATION DETAILS AND TYPICAL ROOF DETAILS

SCALE AS NOTED