



October 25, 2022

Mr. Louis Capo, Executive Director
Lakefront Management Authority
6001 Stars & Stripes Blvd., Suite 219
New Orleans, Louisiana 70126

RE: Subdivision Restriction Review – Building Addition
851 Jewel Street, Lakeshore East

Dear Mr. Capo:

VergesRome Architects, a Professional Architectural Corporation (VRA), conducted a second Subdivision Restriction Resubmission Review for the referenced project, a new addition proposed for a single-family residence located in the Lakeshore East Subdivision. As with both prior reviews of 7/18/2022 and 8/25/2022, no existing/ demolition site plans and floor plans were submitted for review, making it difficult to distinguish existing conditions from the new work review scope. Updated review comments are below.

Height – Plans indicate a height of 27'-1/2" to the midpoint of front dormer room which appears to comply with the 35' maximum per Section IV. No change from the prior review is noted.

Front Yard –

- Plans indicate 26' from front building line, exceeding the minimum setback of 25' per Section V (A); the setback appears to comply. No change from the prior review is noted.
- Cautionary Note: The paved area noted at the front entrance may be considered a porch or landing, which shall not project beyond the front building line per Section V (D) for porch and Section V (B) for landing. Detail 1/A3.00 indicates structure below this paved area which may be a porch/ landing. No change from the prior review is noted.
- Per Section V (C), pilasters may project from the front building line, however not exceeding 2'-0"; the revised plans show the pilasters and overhang project 2'-0" from the front building line which appears to comply with Restriction Section V (C). No change from the prior review is noted.

Rear Yard – Per Section V (E), the rear yard measured from the furthestmost back projection of the principal building to the rear property line shall be a minimum of 20% of the depth of the lot. The calculation of 118'-5" x 20% = 23'-8" rear yard required depth. The rear yard depth dimension is indicated as 23'-8" and the Outdoor Cabana is in the required rear yard. The plan appears to comply with Rear Yard restrictions. No change from the prior review is noted.

Side Yard – Per Section V (A), a minimum 6'-wide side yard is required each side, with a combined width of not less than 24% of the lot width. The minimum combined required side yard width calculation is 73' x 24% = 17.52', with a minimum 6' width on each side. The Outdoor Cabana abuts the side property line. The Utility Room/Laundry/Mud Room is twelve feet three inches (12'-3") from side property line. The second-floor addition is twelve feet three inches (12'-3") from side property line. The drawings indicate a right side yard width of 6',

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and a left side yard width of 12'-3". The combined side yard widths total 18'-3", which meets and exceeds the minimum 17.52' required. The plan now appears to comply with Side Yard restrictions.

Fences – Not part of this review.

Carport –The cantilevered carport roof extends out to 4'-0" from property line and appears to comply with the required minimum, per Section V (A). The carport is completely open on three sides and appears to comply with Lakeshore carport restrictions. No change from the prior review is noted.

Accessory Building – The Outdoor Cabana appears to be a renovation of an existing garage. It abuts the side and rear property lines, is in the required rear yard, and appears to comply. No change from the prior review is noted.

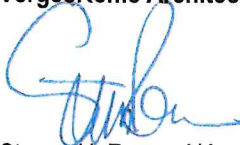
This review does not constitute any review or approval for compliance with the Comprehensive Zoning Ordinance.

Due to compliance with Lakeshore East Subdivision Restrictions, we issue this Letter of No Objection. All documentation is returned, including Lakeshore East Plan Review Form and plans marked up by review architect, sealed to indicate approval.

Thank you for the opportunity to be of service to the Lakefront Management Authority.

Yours truly,

VergesRome Architects, APAC



Steven H. Rome, AIA
Principal

SHR/mwt
Attachments
cc: File 21002-U2

