



City of New Orleans City Planning Commission

BZA Waiver Final Approval Synopsis + Sign-Off

Docket Number: BZA057-22
Property Location: 5814 Louisville Street

Project Synopsis:

Request: This request is for variances from the provisions of Article 13, Section 13.3.A.1 (Table 13-2) and Article 13, Section 13.3.B.1.b of the Comprehensive Zoning Ordinance to permit the construction of a single-family residence with insufficient rear yard setback and a front facing garage not located at least five (5) feet behind the front façade of the principal building.

Requested Waivers:

Article 13, Section 13.3.A.1 (Table 13-2) – Rear Yard Setback

Required: 20 ft Proposed: 4 ft Waiver: 16 ft

Article 13, Section 13.3.B.1.b – Parking Area Location

Required: Front facing garage located at least five (5) feet behind the front façade

Proposed: Front facing garage not located at least five (5) feet behind the front façade

Waiver: Front facing garage not located at least five (5) feet behind the front façade

Provisos:

1. **Prior** to the issuance of a building permit by the Department of Safety and Permits, the applicant shall submit revised site, floor, and architectural elevation plans of the subject site to the Board of Zoning Adjustments staff for review and approval. These plans shall be the plans for which the building permit is issued. – **Compliant, per attached plans**
 2. The applicant shall provide a site plan approved by the Department of Public Works indicating the following:
 - All necessary or otherwise proposed sidewalk repairs or modifications
 - Note: Curb cuts shall be restored with curbing matching predominant curb along the block face, subject to the approval of the Department of Public Works
 - Removal of all abandoned or nonconforming driveways and/or curb cuts in the adjacent public right-of-way, per City Ordinance Sec. 146-153.
 - Note: Sidewalk material, dimensions, and style, including landscaping strips (where present) should generally conform to the style along the same block face, subject to the approval of the Department of Public Works
- **Compliant, per attached DPW approved plan.**



City of New Orleans City Planning Commission

3. The applicant shall plant one (1) street tree in the public right-of-way adjacent to the site for every thirty (30) feet or fraction thereof, of street frontage, subject to the review and approval of the Department of Parks and Parkways. – **Complaint, per attached P&P approved plan.**

Valerie McMillan

10/19/2022

Reviewed by Planner (signature)

Date

N/A

Reviewed by Planning Administrator (signature)

Date

10/20/2022

Reviewed by Executive Director (signature)

Date

Any deviation from these plans shall require re-review by the Board of Zoning Adjustments staff, an authorized signature, and shall be subject to a review fee. All changes must be reviewed and approved prior to the change being made or construction having commenced. Changes in conflict with the Comprehensive Zoning Ordinance, or the original terms of approval, may require the review and approval of the Board of Zoning Adjustments.



LEGEND

PERMEABLE AREA

CONCRETE

PERMEABILITY CALC

LOT AREA

8354 SQFT

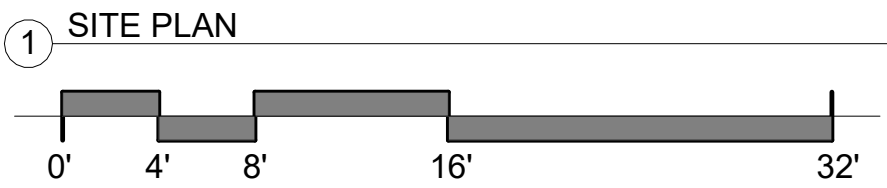
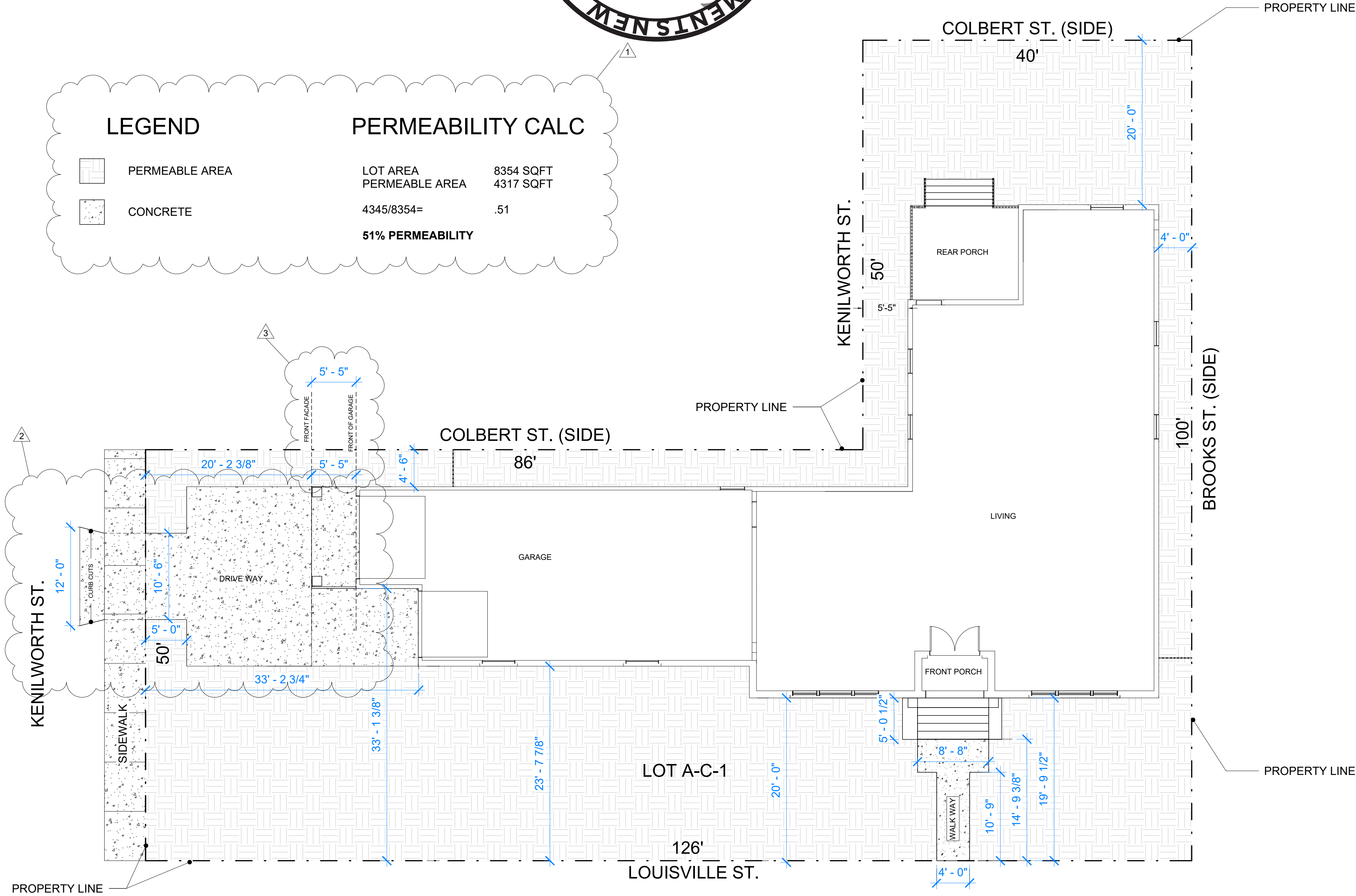
PERMEABLE AREA

4317 SQFT

$4317/8354 =$

.51

51% PERMEABILITY



ZACH SMITH

CONSULTING & DESIGN

530 S Norman C Francis Parkway Suite 102

New Orleans, LA 70119

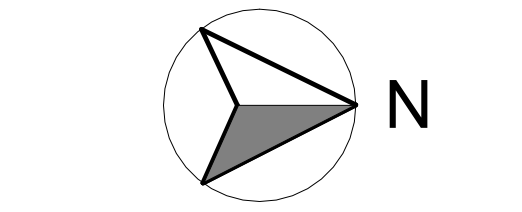
zach@zachsmithconsulting.com

+1 (504) 383-3748

435 Kenilworth

New Orleans, LA 20124

No.	Description	Date
1	Permeability Legend	08_11_22
2	Curb Cuts/Driveway	08_11_22
3	Garage Setback Callout	08_11_22



Site	
Project name	435 Kenilworth
Project number	22001LS
Date	05_16_22
Drawn by	LS
Checked by	Checker

A000

GENERAL NOTES:

- 1.) CONTRACTOR IS RESPONSIBLE FOR LOCATING FLOOR HEIGHT ACCORDING TO THE FLOOD ZONE REQUIREMENTS.
- 2.) ALL OBTAINED INFORMATION SHALL BE CORRESPONDED TO THE OWNER & ENGINEER BEFORE ANY WORK IS STARTED.
- 3.) MATERIAL BELOW BFE SHALL COMPLY WITH SEC R-222.2.2 IRC 2015 FOR WATER RESISTANCE & USE OF SPACE.
- 4.) UNDER FLOOR SPACE SHALL COMPLY W/ SECTION R408 OF THE IRC 2015 FOR VENTILATION, OPENINGS & ACCESS.



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing.

STRITZ ENTERPRISE, LLC, is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter. THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF STRITZ ENTERPRISE, LLC., DEVELOPED FOR THE EXCLUSIVE USE OF STRITZ ENTERPRISE, LLC. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF STRITZ ENTERPRISE, LLC., IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.

Any deviation from these plans shall require re-review by the Board of Zoning Adjustments staff, an authorized signature, and shall be subject to a review fee. All changes must be reviewed and approved prior to the change being made or construction having commenced. Changes in conflict with the Comprehensive Zoning Ordinance, or the original terms of approval, may require the review and approval of the Board of Zoning Adjustments.

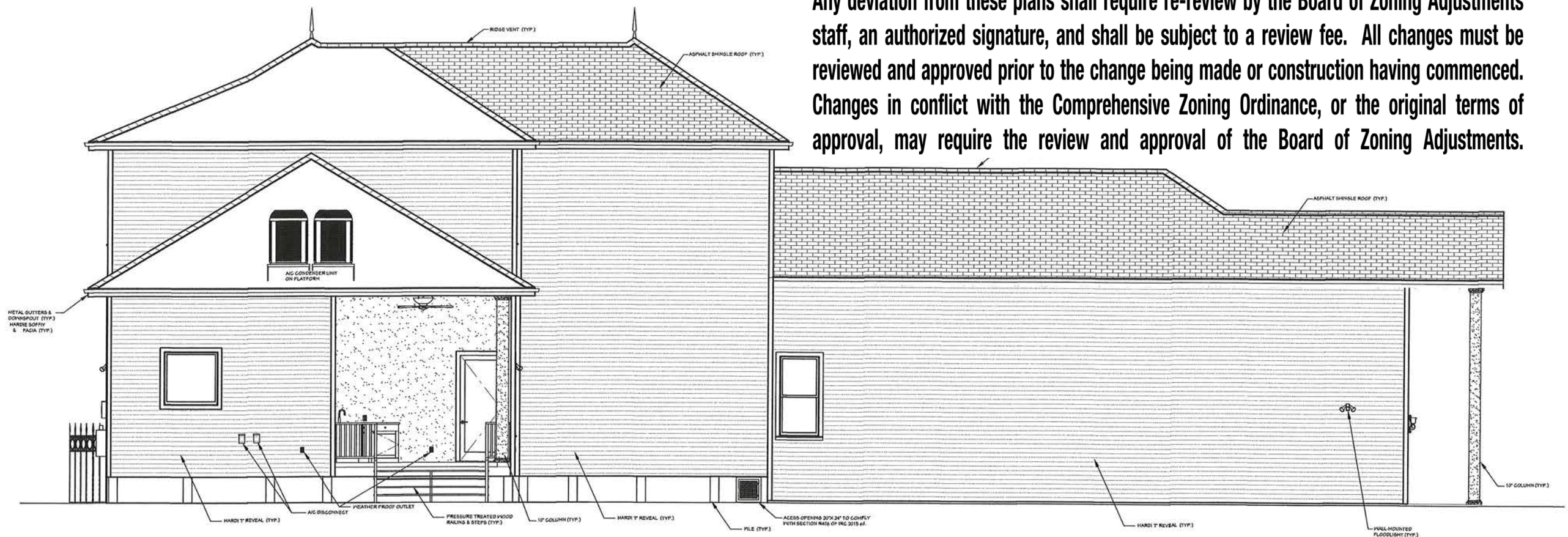
MR. ALFONSO CAMPOS
435 KENILWORTH ST.
NEW ORLEANS, LA 70122
ELEVATION PLAN #1

STRITZ ENTERPRISE, LLC
CUSTOM HOUSE PLANS & ESTIMATING
METAIRIE, LA.
(504) 214-6977



Designed: L.S.
Drawn: L.S.
Checked: T.M.S.
Approved: T.M.S.
Scale: AS SHOWN
Date: 1/18/22
Project No: NO-2022
Sheet: A-201
Sheet No: 13 OF 18

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3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



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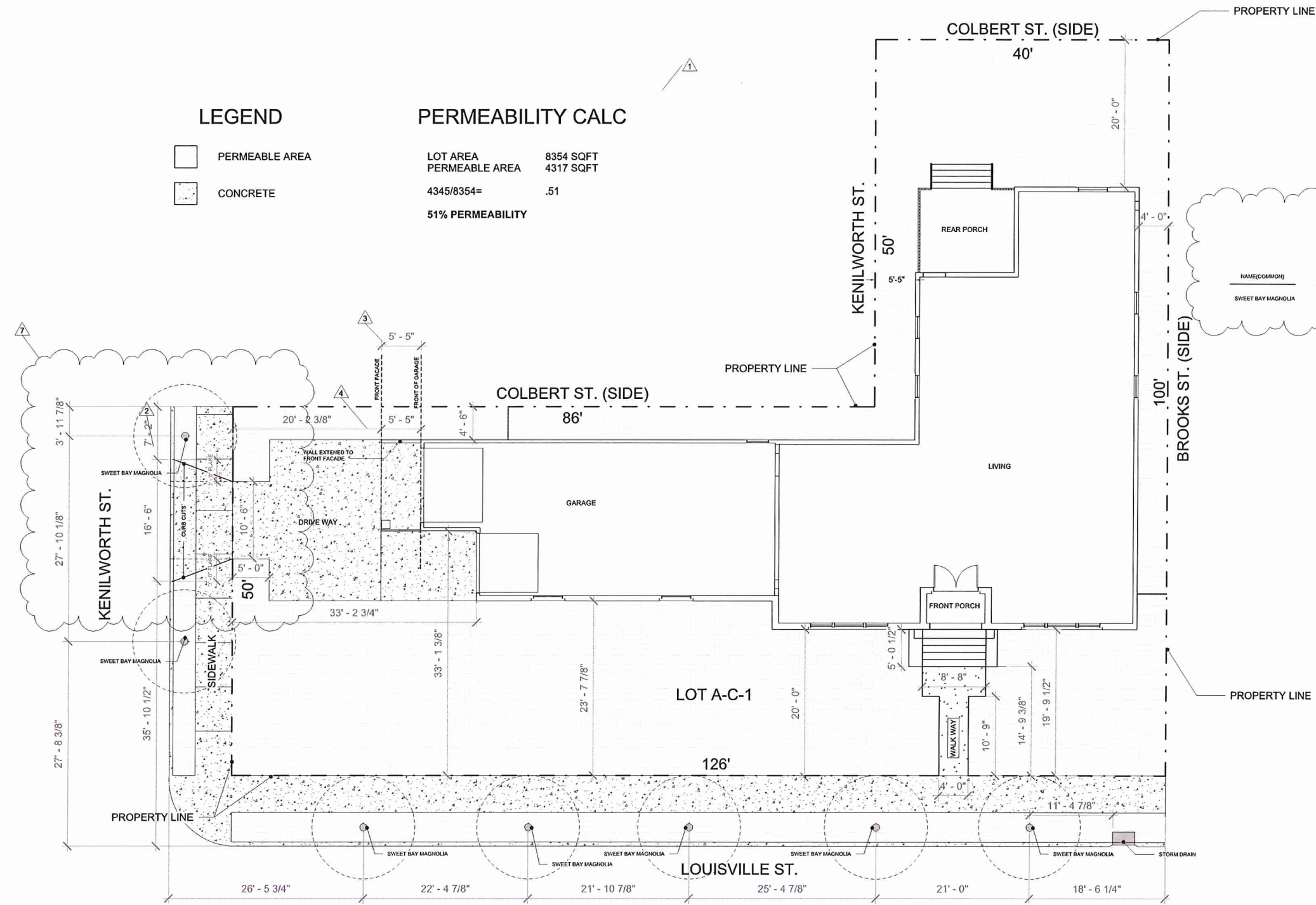
4 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

STRITZ ENTERPRISE, LLC
CUSTOM HOUSE PLANS & ESTIMATING
METAIRIE, LA. (504) 214-6977

MR. ALFONSO CAMPOS
435 KENILWORTH ST.
NEW ORLEANS, LA 70122
ELEVATION PLAN #2

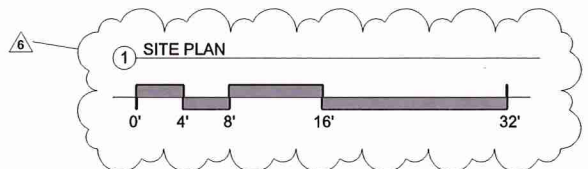


Designed:	L.S.
Drawn:	L.S.
Checked:	T.M.S.
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Scale:	AS SHOWN
Date:	1/18/22
Project No:	N0-2022
Sheet	A-202
Sheet No:	14 OF 18



LEGEND		PERMEABILITY CALC	
	PERMEABLE AREA	LOT AREA	8354 SQFT
	CONCRETE	PERMEABLE AREA	4317 SQFT
		4345/8354=	.51
		51% PERMEABILITY	

ROW AREA 635 SQFT			
PLANTING SCHEDULE			
NAME(COMMON)	NAME(SCIENTIFIC)	PLANTING SIZE	COUNT
SWEET BAY MAGNOLIA	MAGNOLIA VIRGINIANA	10'-12" H 7" Clear Trunk	7



City of New Orleans
Department of Public Works
Traffic Engineering Division
10/13/2022
Curb Cut

Location: Approved _____
Approved As Noted ☒
Disapproved _____

By: *[Signature]*
Permit Required Prior To Construction

- Parks + Parkways review and approval required.

ZACH SMITH
CONSULTING & DESIGN

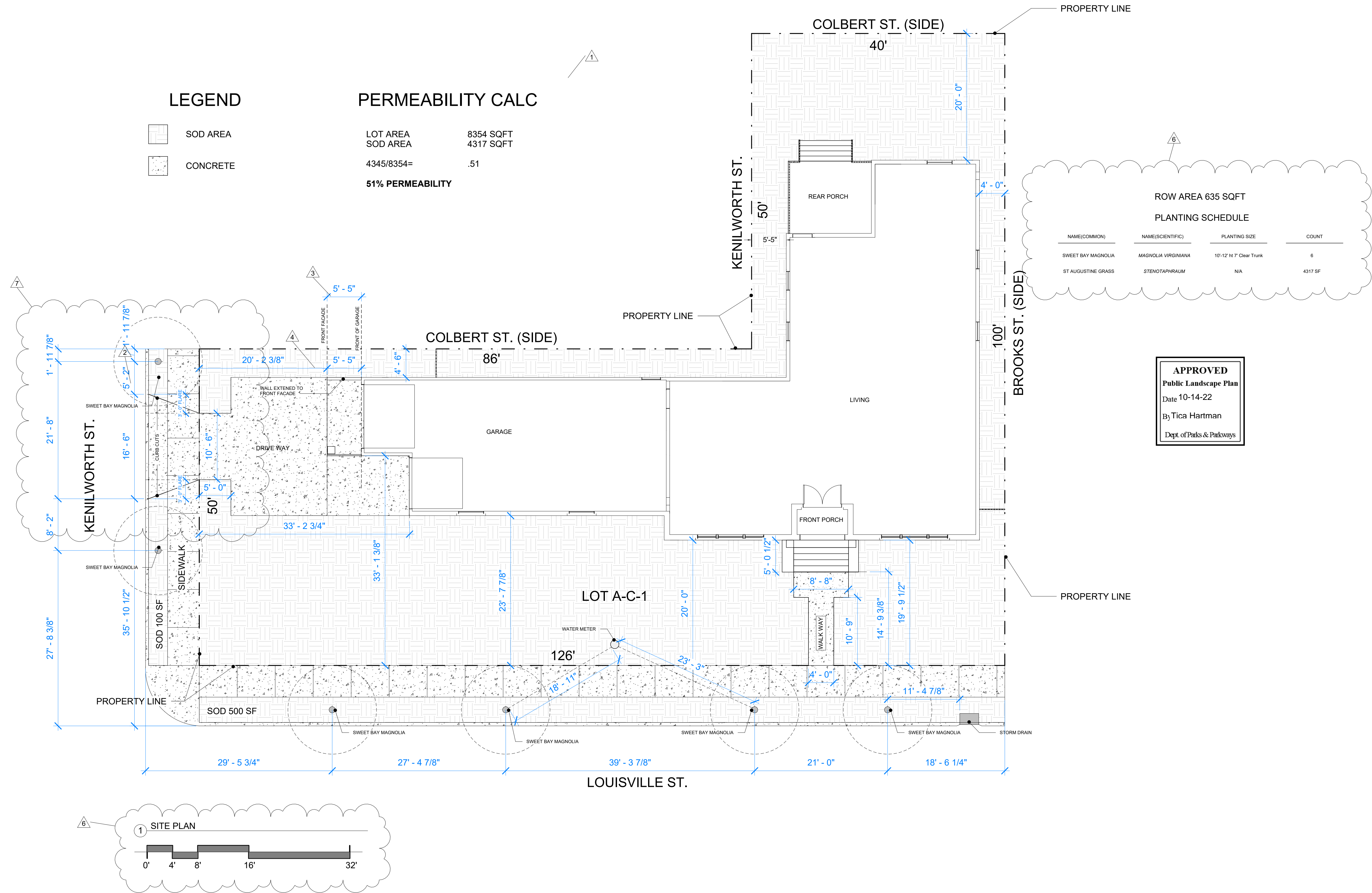
530 S Norman C Francis Parkway Suite 102
New Orleans, LA 70119
zach@zachsmithconsulting.com
+1 (504) 383-3748

5814 LOUISVILLE New Orleans, LA 20124		
No.	Description	Date
1	Permeability Legend	08_11_22
2	Curb Cuts/Driveway	08_11_22
3	Garage Setback Callout	08_11_22
4	Wall	9_13_22
6	Department of Parks&Parkways	10_03_22
7	DPW	10_10_22

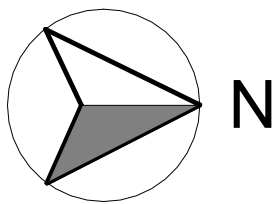
Site

Project name	5814 Louisville
Project number	22001LS
Date	09_13_22
Drawn by	MG
Checked by	ZS

A000



No.	Description	Date
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Site

Project name	5814 Louisville
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CITY OF NEW ORLEANS

BOARD OF ZONING ADJUSTMENTS

1300 PERDIDO STREET | ROOM 7W03 | NEW ORLEANS, LOUISIANA 70112

NOTICE: DISPOSITION OF ZONING CASE – BZA DOCKET 057-22

This Variance Request Has Been **APPROVED**

Property Location: 5814 Louisville Street

Bounding Streets: Kenilworth St., Colbert St., Brooks St., Louisville St.

Zoning District: S-LRS1 Suburban Lakeview Single-Family Residential District

Historic District: N/A

Existing Use: Vacant Lot

Proposed Use: Single-Family Residence

Applicant or Agent: Alfonso Campos, Leah Hill Campos, Jonnie Beth Bryan

Whereas, the above request was heard by the Board of Zoning Adjustments at its public hearing of **Monday, September 12, 2022**; and

Whereas, the applicant appeared before the Board seeking relief from the Comprehensive Zoning Ordinance, No. 4264 M.C.S., as amended, as it applies to Article 13, Section 13.3.A.1 (Table 13-2) – Rear Yard Setback and Article 13, Section 13.3.B.1.b – Parking Area Location, to permit the construction of a single-family residence with insufficient rear yard setback and a front facing garage not located at least five (5) feet behind the front façade of the principal building, as indicated below:

Requested Waivers:

Article 13, Section 13.3.A.1 (Table 13-2) – Rear Yard Setback

Required: 20 ft Proposed: 4 ft Waiver: 16 ft

Article 13, Section 13.3.B.1.b – Parking Area Location

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Proposed: Front facing garage not located at least five (5) feet behind the front façade

Waiver: Front facing garage not located at least five (5) feet behind the front façade

And Whereas, the Board carefully considered the facts and arguments for and against the application at the public hearing, and after considering the Comprehensive Zoning Ordinance, No. 4264 M.C.S., as amended, the Board is of the opinion that the weight of the evidence indicates that the approval standards for variances of **Article 4, Section 4.6.F** of the Comprehensive Zoning Ordinance have been met; therefore, a motion was made by **Alfonso Gonzalez, II** and seconded by **Ramiro Diaz** for **APPROVAL** of the requested variances, subject to the following provisos:

1. **Prior** to the issuance of a building permit by the Department of Safety and Permits, the applicant shall submit revised site, floor, and architectural elevation plans of the subject site to the Board of Zoning Adjustments staff for review and approval. These plans shall be the plans for which the building permit is issued.
2. The applicant shall provide a site plan approved by the Department of Public Works indicating the following:
 - All necessary or otherwise proposed sidewalk repairs or modifications
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 - Note: Sidewalk material, dimensions, and style, including landscaping strips (where present) should generally conform to the style along the same block face, subject to the approval of the Department of Public Works

3. The applicant shall plant one (1) street tree in the public right-of-way adjacent to the site for every thirty (30) feet or fraction thereof, of street frontage, subject to the review and approval of the Department of Parks and Parkways.

Voting for the Resolution: Todd C. James, Tamara Agins, Jose Alvarez, Jaime Ramiro Diaz,
Alfonso Gonzalez II, Matthew Rufo
Voting Against the Resolution: None
Abstaining from the Resolution: None
Absent: Candice Richards Forest

Approved by the Board of Zoning Adjustments,



ERH for Todd James

Todd C. James, Vice Chair

Note for approved variance requests: If your resolution has no provisos, you may proceed with the permitting process with the Department of Safety and Permits. If your resolution has provisos, your approval is contingent on the condition that you meet the provisos listed in the resolution, as verified by Board of Zoning Adjustments staff. In accordance with Article 4, Section 4.6.G of the CZO, a variance expires one (1) year from the date of approval unless a building permit is obtained and substantial construction is started or the use is commenced within such period. In the event an extension is necessary, a request shall be submitted prior to the expiration of the variance (i.e., within one (1) year from the date of approval).