2827-2831 Chippewa Street Renovation New Orleans, Louisiana 70115

OWNER: JONATHON & MADELINE CRISCO 2218 BIENVILLE STREET NEW ORLEANS, LOUISIANA 70119

ARCHITECT:

ARCHETYPE, LLC ATTN: LACEY WOTRING LACEY.WOTRING@GMAIL.COM 337.280.1089

SHEET INDEX:

G0.0	TITLE PAGE & SHEET INDEX
S1.0	FOUNDATION PLAN
S1.1	FRAMING PLANS
S1.2	FRAMING PLANS
A0.1	EXISTING ROOF PLAN
A0.2	PROPOSED ROOF PLAN
A1.0	PROPOSED SITE PLAN
A1.1	EXISTING FLOOR PLAN
A1.2	PROPOSED FLOOR PLAN
A1.3	ENLARGED FLOOR PLANS
A2.0	OPENING SCHEDULES & TYPES
A3.0	EXISTING EXTERIOR ELEVATIONS
A3.1	PROPOSED EXTERIOR ELEVATIONS
A3.2	CHIPPEWA STREET CONTEXT ELEVATION
A4.0	BUILDING SECTION
A4.1	WALL SECTION & INTERIOR DETAILS
A5.0	INTERIOR ELEVATIONS
A5.1	INTERIOR ELEVATIONS
M1.0	MECHANICAL FLOOR PLANS

E1.0 ELECTRICAL FLOOR PLANS

P1.0 PLUMBING FLOOR PLANS

BUILDING INFORMATION:

BUILDLING ADDRESS: 2827-2831 CHIPPEWA STREET NEW ORLEANS, LA 70115

PROJECT DESCRIPTION: RENOVATION OF AN EXISTING TWO-FAMILY RESIDENCE. NEW CAMELBACK AND REAR ADDITION. INTERIOR WORK INCLUDES MINOR INTERIOR DEMOLITION, NEW INTERIOR FINISHES, INCLUDING NEW BATHROOMS, AND NEW KITCHEN. NEW MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.

PARCEL: SQ. 81 LOT A 48'X182'= 8,736 SF

BUILDING AREA EXISTING CONDITIONED SPACE: 2,636 SF ADDED CONDITIONED SPACE: 733 SF TOTAL CONDITIONED SPACE: 3,396 SF

EXISTING COVERED PORCH AREA: 222 SF ADDED COVERED PORCH AREA: 576 SF

FLOOD ZONE/FIRE DISTRICT FLOOD ZONE: X FIRE DISTRICT: NO

FOUNDATION: EXISTING PIER FOUNDATION TO REMAIN - NEW TO MATCH EXISTING

ZONING - CITY OF NEW ORLEANS ZONING DISTRICT: HU-RD2 **ZONING DESCRIPTION: HISTORIC URBAN TWO- FAMILY RESIDENTIAL DISTRICT**

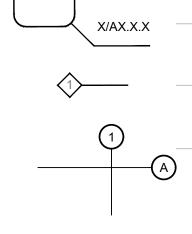
APPLICABLE CODES AND REGULATIONS: (NOT LIMITED TO THE FOLLOWING) INTERNATIONAL RESIDENTIAL CODE, 2015 EDITION W/ NEW ORLEANS AMENDMENTS

NO AUTOMATIC SPRINKLER SYSTEM

CONSTRUCTION TYPE IBC TYPE VA NFPA TYPE V (111)

SYMBOLS $\langle A \rangle$ X/AX.X.X MEN 101

LEGEND:



🕀 0'-0" AFF

BD.

ACT A.F.F. ALUM. /TEMP. GL ANO. ALUM.

B.F.F CPT CONC DIA. F.O.B GYP. H.M. O.C. PTD. PTD. GYP. PTD. MR. GYP. SIM. S.C. WOOD T & G

TH. TYP. VCT V.O.F. GENERAL NOTES:

- SEE OTHER SHEETS FOR ADDITIONAL NOTES & SPECIFIC CONSTRUCTION NOTES.
- MEET THIS REQUIREMENT.
- PRIOR TO SUBMITTING THE PROPOSAL.
- PROVIDE POSITIVE SEPARATION OF DIS-SIMILAR MATERIALS.
- BEFORE THE START OF WORK OR IMMEDIATELY UPON DISCOVERY.
- THE WORK OF THIS CONTRACT.

- PLACEMENT. ETC. ARE TO BE RESOLVED PRIOR TO INSTALLATION OF THE WORK.
 - CONFLICTS WITH CASEWORK, DOORS AND OTHER TRADES.
 - PROCEEDING WITH THE WORK.
- 11. ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
- 12
- 13 WITH THE APPROVAL OF THE ARCHITECT AND OWNER.
- 14.
- 15 WORK. SHALL BE INCLUDED AS IF IT WERE DRAWN OR SPECIFIED.
- 16
- 17
- FURNITURE INDICATED ON PLANS IS FOR REFERENCE AND COORDINATION PURPOSES. 18.
- 19 CLIENT/USER.
- LIMIT NOISE TO NORMAL CONSTRUCTION OPERATIONS AND REGULATIONS. 20.
- 21.
- 22. ON THE SITE.
- 23. COORDINATED IN ADVANCE OF NEED.
- VERIFY PROPERTY LINES, CONDITIONS, SERVICES AND DIMENSIONS BEFORE COMMENCING THE WORK. 24.
- 25. SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE TO CONTINUE OPERATIONS.
- 26.
- 27.
- PROVIDE TEMPORARY LIGHTING AS REQUIRED; CONNECT TO TEMPORARY ELECTRIC SERVICE. 28.
- PROVIDE TEMPORARY VENTILATION TO PROTECT WORKERS AS REQUIRED. 29.
- 30.
- PROVIDE TEMPORARY SANITARY FACILITIES. 31.
- MAINTAIN FIRE SAFETY/CONTROL AT ALL TIMES. 32.

HATCH PATTERNS

WINDOW TYPES		 BRICK
PARTITION TYPES		 EARTH
(RE: A2.02) DOOR NUMBER		 CONCRETE
INTERIOR		 STUCCO
ELEVATION		 WOOD BLOCKING
		 GYP. BOARD
BUILDING SECTION / WALL SECTION /		 CONCRETE MASONRY UNITS (CMU)
SECTION DETAIL		 FINISHED WOOD
ROOM NAME / NUMBER	ELEVATIONS:	
		 WOOD GRAIN
DETAIL REFERENCE / ENLARGED PLAN		 WOOD GRAIN STUCCO
ENLARGED PLAN		
		STUCCO
ENLARGED PLAN KEYNOTES / GENERAL		STUCCO GYP. BOARD CONCRETE MASONRY
ENLARGED PLAN KEYNOTES / GENERAL NOTES		STUCCO GYP. BOARD CONCRETE MASONRY UNITS (CMU) BRICK (RUNNING
ENLARGED PLAN KEYNOTES / GENERAL NOTES COLUMN GRID LINES		STUCCO GYP. BOARD CONCRETE MASONRY UNITS (CMU) BRICK (RUNNING BOND) BATTING
ENLARGED PLAN KEYNOTES / GENERAL NOTES		STUCCO GYP. BOARD CONCRETE MASONRY UNITS (CMU) BRICK (RUNNING BOND) BATTING INSULATION

	ACOUSTIC TILE CEILING
	ABOVE FINISHED FLOOR
ASS	ALUMINUM TEMPERED GLASS
	ANODIZED ALUMINUM

BOARD **BELOW FINISHED FLOOR** CARPET CONCRETE DIAMETER FACE OF BOARD GYPSUM HOLLOW METAL ON CENTER PAINTED PAINTED GYPSUM BOARD PAINTED MOISTURE RESISTANT **GYPSUM BOARD** SIMILAR SOLID CORE WOOD TONGUE AND GROOVE THICK TYPICAL VINYL COMPOSITE TILE **VERIFY ON JOB**

THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT SITE AND BECOME GENERALLY FAMILIAR WITH THE PROJECT AND WITH THE IMPACT OF THE NEW WORK ON EXISTING CONDITIONS. ANY AREAS OF CONCERN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL. NO ADDITIONAL CHARGE TO THE OWNER WILL BE APPROVED WHICH IS ATTRIBUTABLE TO THE CONTRACTOR'S FAILURE TO

SURVEY EXISTING ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND STRUCTURAL SYSTEM LOCATIONS AND COORDINATE WITH THE DOCUMENTS PRIOR TO SUBMITTING A PROPOSAL FOR THE WORK. VERIFY THAT ALL NEW CONSTRUCTION AND EQUIPMENT INSTALLATIONS ARE COMPATIBLE WITH BOTH THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. ALL COST OF RELOCATING OR MODIFYING EQUIPMENT SHALL BE REFLECTED IN THE CONTRACTOR'S PROPOSAL. CHANGE ORDERS OR JOB EXTRAS FOR WORK SHALL NOT BE CONSIDERED IF VERIFICATION OF JOB CONDITIONS COULD HAVE BEEN MADE

WORK ONLY FROM THE WRITTEN DIMENSIONS SHOWN. DO NOT SCALE DRAWINGS. DETAIL DIMENSIONS TAKE PRECEDENCE OVER PLAN DIMENSIONS. LOCATION AND DIMENSIONS SHALL BE PER ARCHITECTURAL DRAWINGS. EXISTING CONDITIONS INDICATED ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH ANY WORK. DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT

THE GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM

REMOVE AND LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM CONSTRUCTION OPERATIONS

THE GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE PROJECT DESCRIBED IN THESE DRAWINGS AND NOTES, AND IS TO COMPLY WITH THE INTENT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.

THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR HIS WORK UNTIL TURNED OVER TO THE OWNER.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH HIS SUBCONTRACTORS. ANY CONFLICTS WITH THEIR WORK, EQUIPMENT

A) THE CONTRACTOR SHALL COORDINATE AND LOCATE ELECTRICAL DEVICES, DATA AND PHONE RECEPTACLES, SWITCHES, ETC. TO AVOID

B) THE CONTRACTOR SHALL VERIFY & COORDINATE, WITH ALL TRADES, THE SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL PLUMBING AND ELECTRICAL EQUIPMENT, EQUIPMENT PADS, OR BASES AS WELL AS POWER. WATER AND DRAIN INSTALLATIONS BEFORE

C) THE CONTRACTOR SHALL PROVIDE COORDINATION DRAWINGS FOR PROPER PLACEMENT OF ALL TRADES WORK. ALL CONCERNS, SPACE LIMITATIONS OR STRUCTURAL CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND FINISH SAMPLES FOR ALL CASEWORK, MILLWORK, HARDWARE, FINISHES, AND SPECIALTY ITEMS TO

INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED SPECIFICATIONS.

VARIATIONS FROM WORK SPECIFIED DUE TO AVAILABILITY OF MATERIALS, FIELD CONDITIONS, VARIATIONS IN EQUIPMENT SPECS, ETC. SHALL BE MADE

ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL NATIONAL, STATE AND LOCAL CODES AND ORDINANCES AND IN ACCORDANCE WITH THE AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS FOR THE WORK.

IT IS THE INTENT OF THE DOCUMENTS TO PROVIDE FOR COMPLETE FINISHED WORK. ALL MISCELLANEOUS COMPONENTS, PARTS, ANCHORS, AND OTHER INCIDENTAL ITEMS REQUIRED FOR COMPLETE ASSEMBLY, FUNCTIONING AND OPERATION OF AN ITEM OR SYSTEM SHALL BE PROVIDED. THE CONTRACTOR SHALL INCLUDE ALL COMPONENTS THAT ARE NORMALLY INCIDENTAL TO THE WORK. THOSE COMPONENTS WHICH ARE NOT SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATION. BUT WHICH ARE REQUIRED AS ESSENTIAL AESTHETICS OR FUNCTIONAL COMPONENT OF THE

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE IN A TIMELY MANNER, AT NO ADDITIONAL COST TO THE OWNER, ACCURATE AND COMPLETE DRAWINGS, SKETCHES, AND PHOTOGRAPHS SUFFICIENT TO CLEARLY DESCRIBE DISCREPANCIES, CONFLICTS AND CONCEALED OR OTHERWISE UNANTICIPATED EXISTING CONDITIONS ENCOUNTERED THAT AFFECTS THE NEW CONSTRUCTION.

SECURE ALL PERMITS AND COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR SAFETY AND PROTECTION OF ADJACENT BUILDINGS AND OCCUPIED AREAS, DUST CONTROL, UTILITY DISCOVERED HAZARDS AND DISPOSAL. CONTACT APPROPRIATE AGENCIES PRIOR TO ANY BELOW GRADE EXCAVATIONS, NOTIFY OWNER AND PROTECT FROM DISTURBANCE ANY DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS.

PROTECT ADJACENT PROPERTY AND PERSONS FROM THE WORK. WORKING OUTSIDE THE DESIGNATED LIMITS IS PROHIBITED UNLESS APPROVED BY THE

TO ESTABLISH THE COMPLETE SCOPE OF ITS WORK AND TO AFFECT CLOSE COORDINATION WITH THE OTHER TRADES, EACH TRADE SHALL VISIT THE SITE AND COMPLETELY REVIEW THE DRAWINGS NOT ONLY FOR ITS RESPECTIVE TRADE, BUT THE WORK OF OTHER RELATED TRADES AS WELL.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE SITE AND BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS AND COMPONENTS INTO THE BUILDING AND

THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND SERVICES AGAINST INTERRUPTION DUE TO THIS WORK. NECESSARY DISRUPTIONS MUST BE

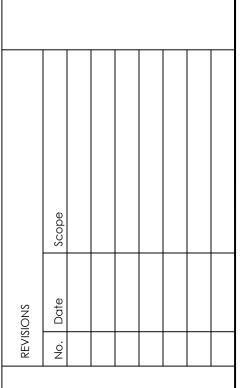
CONTRACTOR SHALL PROVIDE ALL SHORING AND STABILIZING BRACING AS REQUIRED TO PROTECT FROM STRUCTURAL FAILURE OR COLLAPSE. PROVIDE INTERIOR AND EXTERIOR BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF AREA BEING WORKED IN AND ADJACENT AREAS. CEASE OPERATIONS AND NOTIFY ARCHITECT IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO

PROVIDE SECURITY AND FACILITIES TO PROTECT SITE AREA, EXISTING FACILITY AND EQUIPMENT FROM UNAUTHORIZED ENTRY, VANDALISM OR THEFT DURING THE WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SECURITY OF HIS/HER OWN EQUIPMENT AND TOOLS.

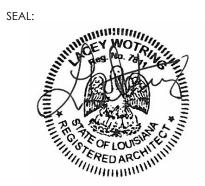
THE COST FOR CONNECTION TO AND POWER LINES FROM AVAILABLE POWER SOURCE SHALL BE AT CONTRACTOR'S SOLE EXPENSE.

CONNECT TO EXISTING WATER SOURCE FOR TEMPORARY WATER SERVICE. IF UTILITY IS CAPPED, COORDINATE WITH OWNER.

RCHET



SШ с C ш S ΟZ ~ ◄) က ^Ш ل^ے ھ \mathbb{O} чO $\leq N$ ωШ **U** N Z

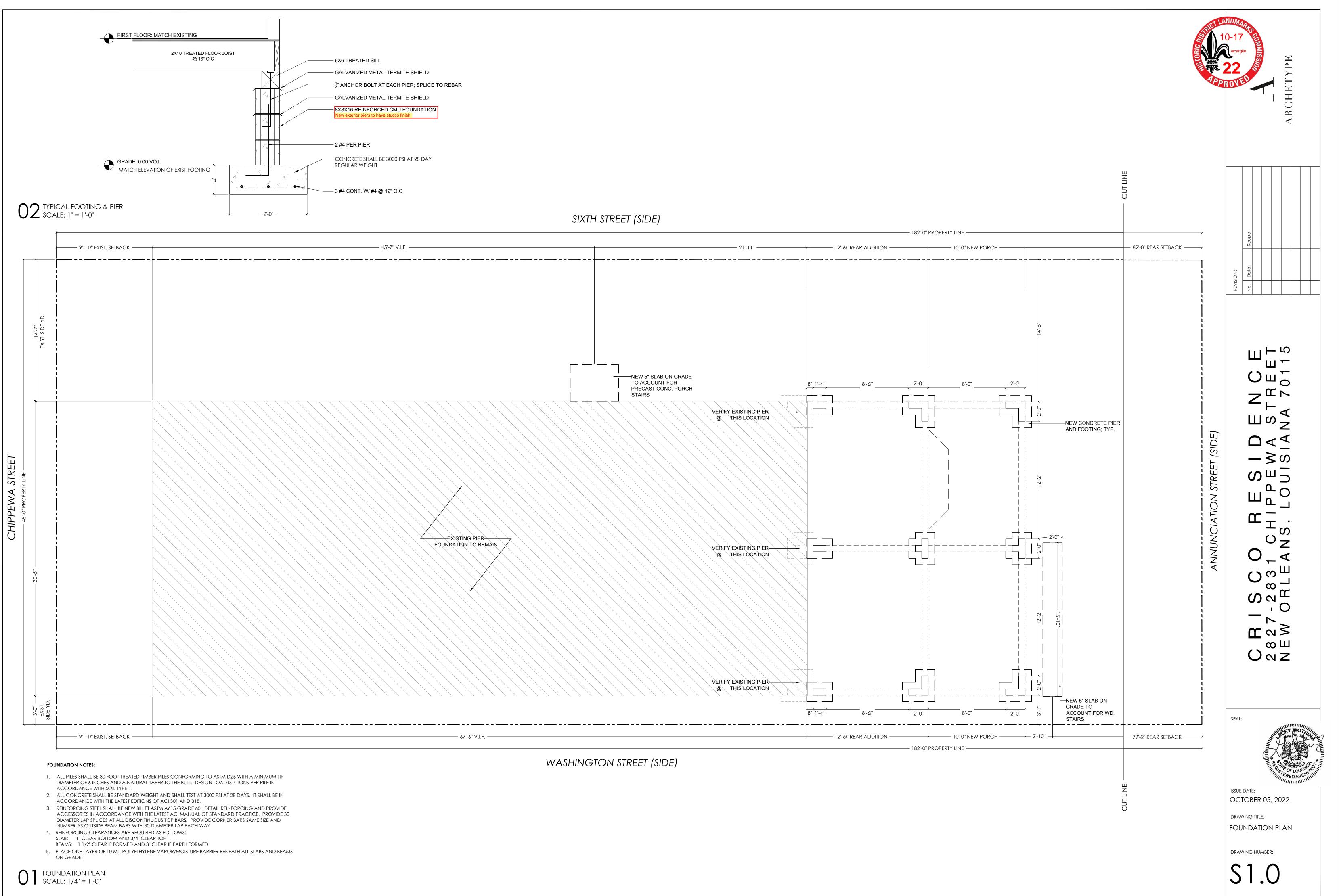


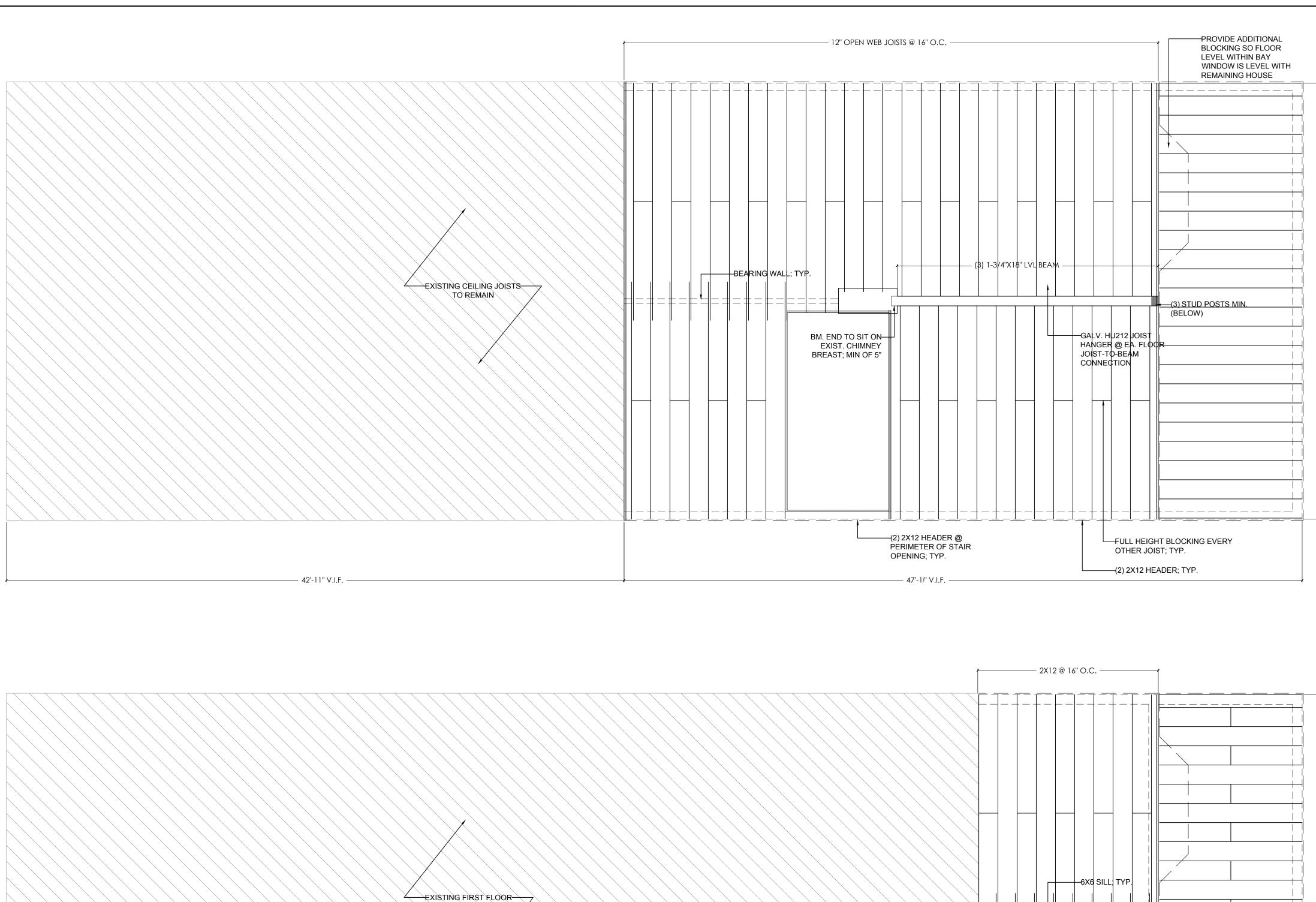
ISSUE DATE: OCTOBER 05, 2022

DRAWING TITLE: TITLE PAGE & SHEET INDEX

DRAWING NUMBER:









02 second floor framing plan scale: 1/4" = 1'-0"

FRAMING NOTES:

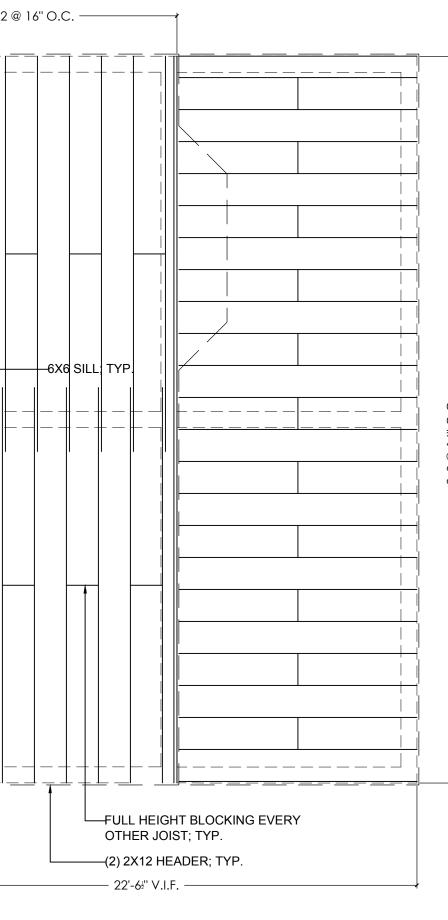
5.

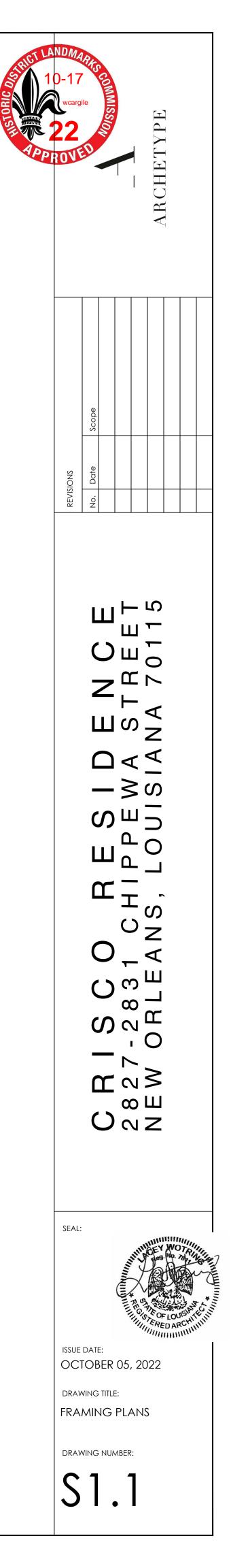
- 1. ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE INTERNATIONAL RESIDENTIAL BUILDING CODE
- 2. LUMBER IN CONTACT CONCRETE OR MASONRY SHALL BE TREATED
- 3. FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE S4S NO. 2 MAX MOISTURE CONTENT OF 15%, UNLESS OTHERWISE SPECIFIED
- 4. STUD WALLLS AND PARTITIONS SHALL BE SIZED AS FOLLOWS, UNLESS OTHERWISE SPECIFIED:
 - EXTERIOR WALLS 2X4 @ 16" O.C. FLOOR PARTITIONS 2X4 @ 16" O.C.
 - WET WALLS 2X6 @ 16'' O.C.
- BLOCK ALL STUDS AT THE MIDPOINT
- FULL HEIGHT BLOCKING AT FLOOR JOIST MIDPOINT WHERE 6. INDICATED 7. PROVIDE WOOD COLLAR BRACES AT EACH RAFTER 12"
- BELOW CROWN OR ROOF 8. PLYWOOD SHEATHING TO BE APA RATED $24/0, \frac{5}{8}$ " THICK. NAIL WITH 8D NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE PLY
- CLIPS AT UNSUPPORTED EDGES BETWEEN ROOF JOISTS 9. WIND BRACING TO BE APA RATED 4"X8" $X_2^{1"}$ PLYWOOD ON ALL EXTERIOR WALL CORNERS. NAIL PLYWOOD EDGES WITH 8D NAILS AT 4" O.C. AT PANE EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE SOLID BLOCKING AT PANEL EDGES
- 10. COORDINATE FRAMING WITH HVAC DUCTS, ELECTRICAL, AND PLUMBING EQUIPMENT REQUIREMENTS

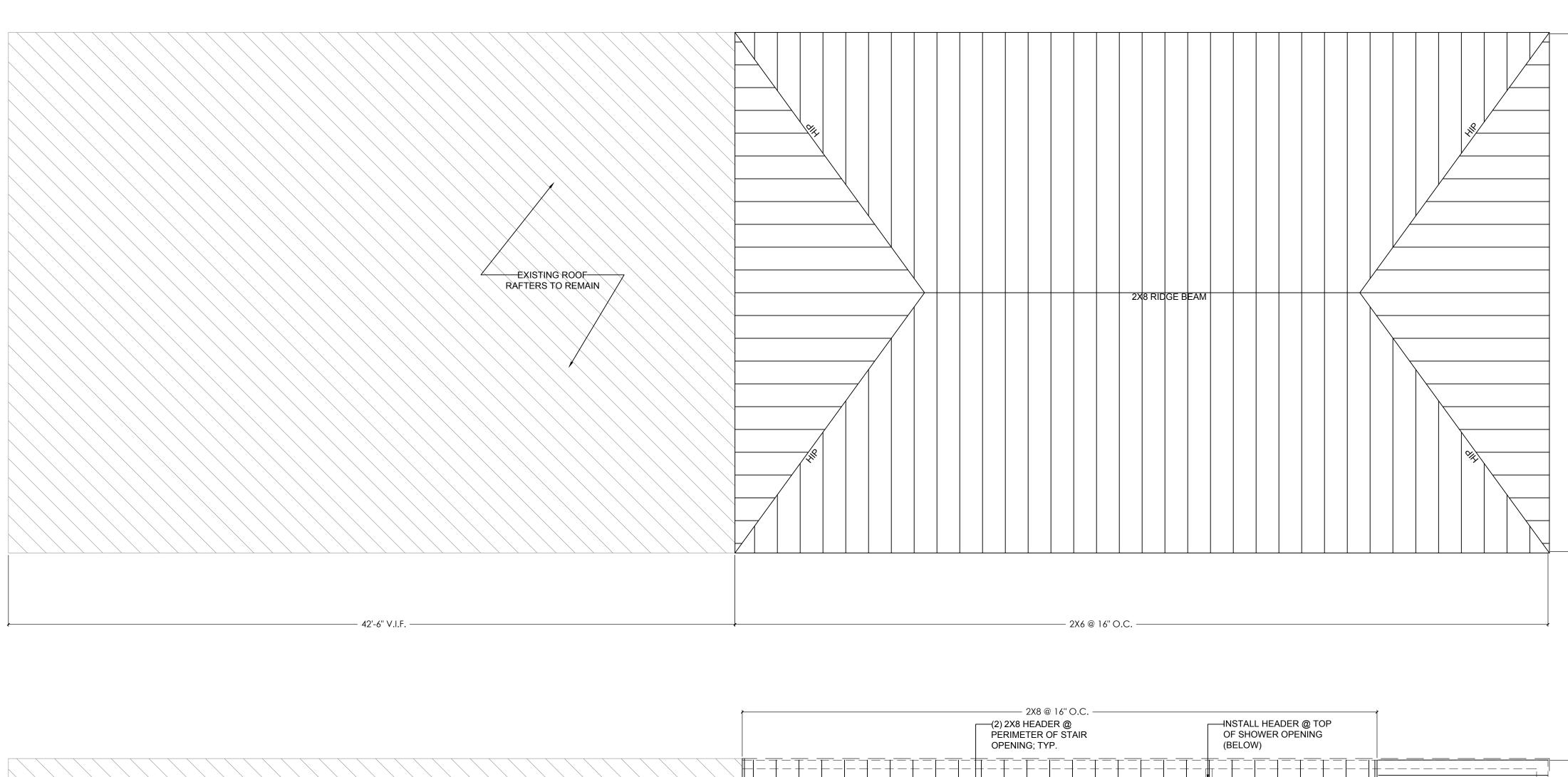
D FIRST FLOOR FRAMING PLAN SCALE: 1/4'' = 1'-0''

FRAMING TO REMAIN

- 67'-6" V.I.F. –









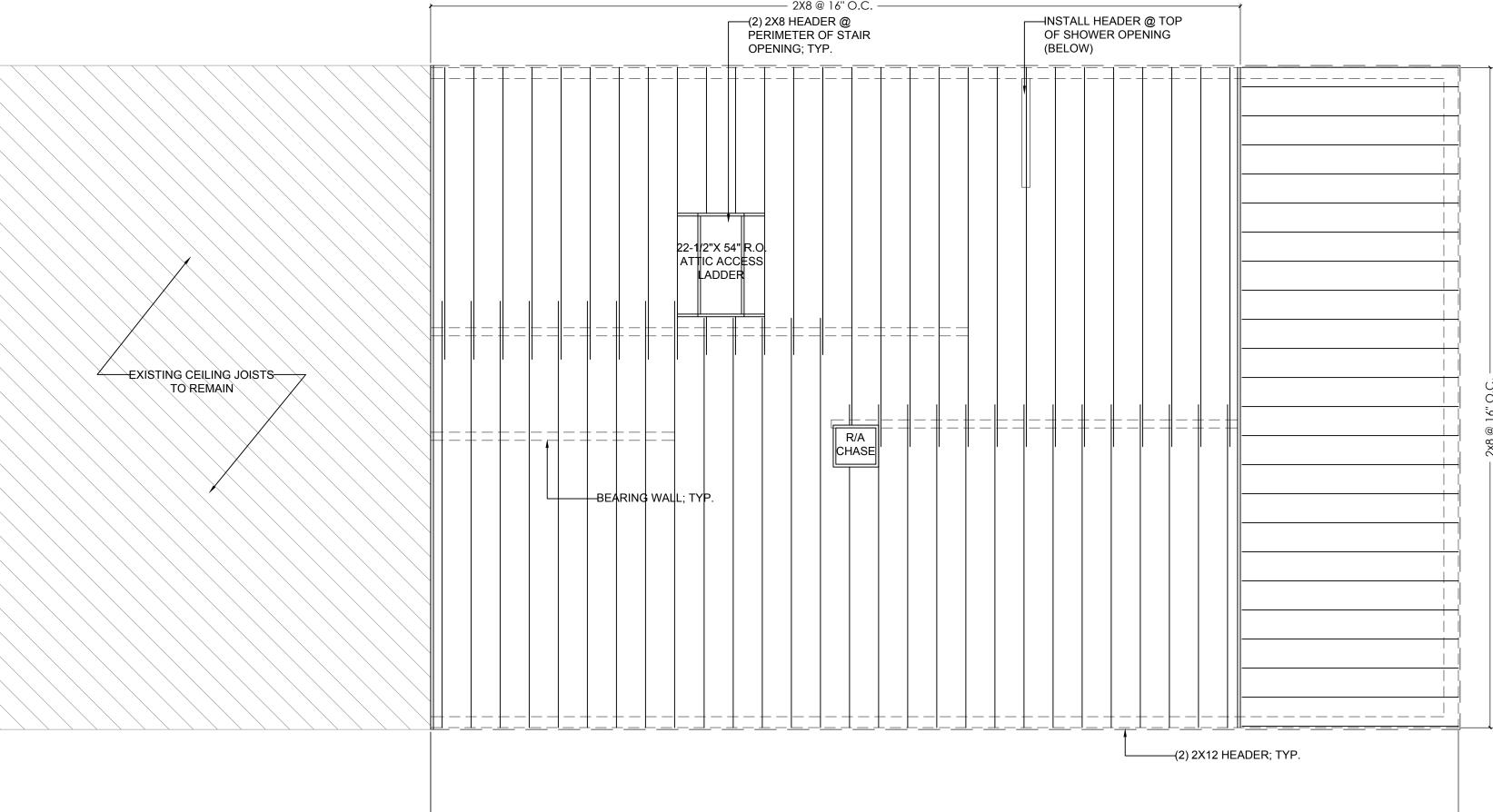
FRAMING NOTES:

5.

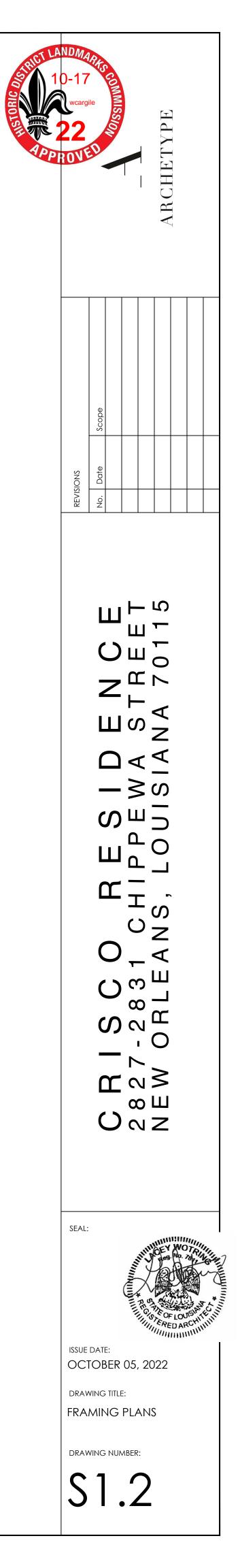
- 1. ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE INTERNATIONAL
- RESIDENTIAL BUILDING CODE
- LUMBER IN CONTACT CONCRETE OR MASONRY SHALL BE TREATED
 FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE \$4\$
- NO. 2 MAX MOISTURE CONTENT OF 15%, UNLESS OTHERWISE SPECIFIED
- STUD WALLLS AND PARTITIONS SHALL BE SIZED AS FOLLOWS, UNLESS OTHERWISE SPECIFIED: EXTERIOR WALLS 2X4 @ 16" O.C.
 - FLOOR PARTITIONS 2X4 @ 16" O.C.
 - WET WALLS 2X6 @ 16" O.C.
- BLOCK ALL STUDS AT THE MIDPOINT
- 6. FULL HEIGHT BLOCKING AT FLOOR JOIST MIDPOINT WHERE INDICATED7. PROVIDE WOOD COLLAR BRACES AT EACH RAFTER 12"
- BELOW CROWN OR ROOF
 PLYWOOD SHEATHING TO BE APA RATED 24/0, ⁵/₈" THICK.
 NAIL WITH 8D NAILS SPACED AT 6" O.C. AT PANEL EDGES
 AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE PLY
- CLIPS AT UNSUPPORTED EDGES BETWEEN ROOF JOISTS
 9. WIND BRACING TO BE APA RATED 4"X8"X¹₂" PLYWOOD ON ALL EXTERIOR WALL CORNERS. NAIL PLYWOOD EDGES WITH 8D NAILS AT 4" O.C. AT PANE EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE SOLID BLOCKING AT PANEL EDGES
- 10. COORDINATE FRAMING WITH HVAC DUCTS, ELECTRICAL, AND PLUMBING EQUIPMENT REQUIREMENTS

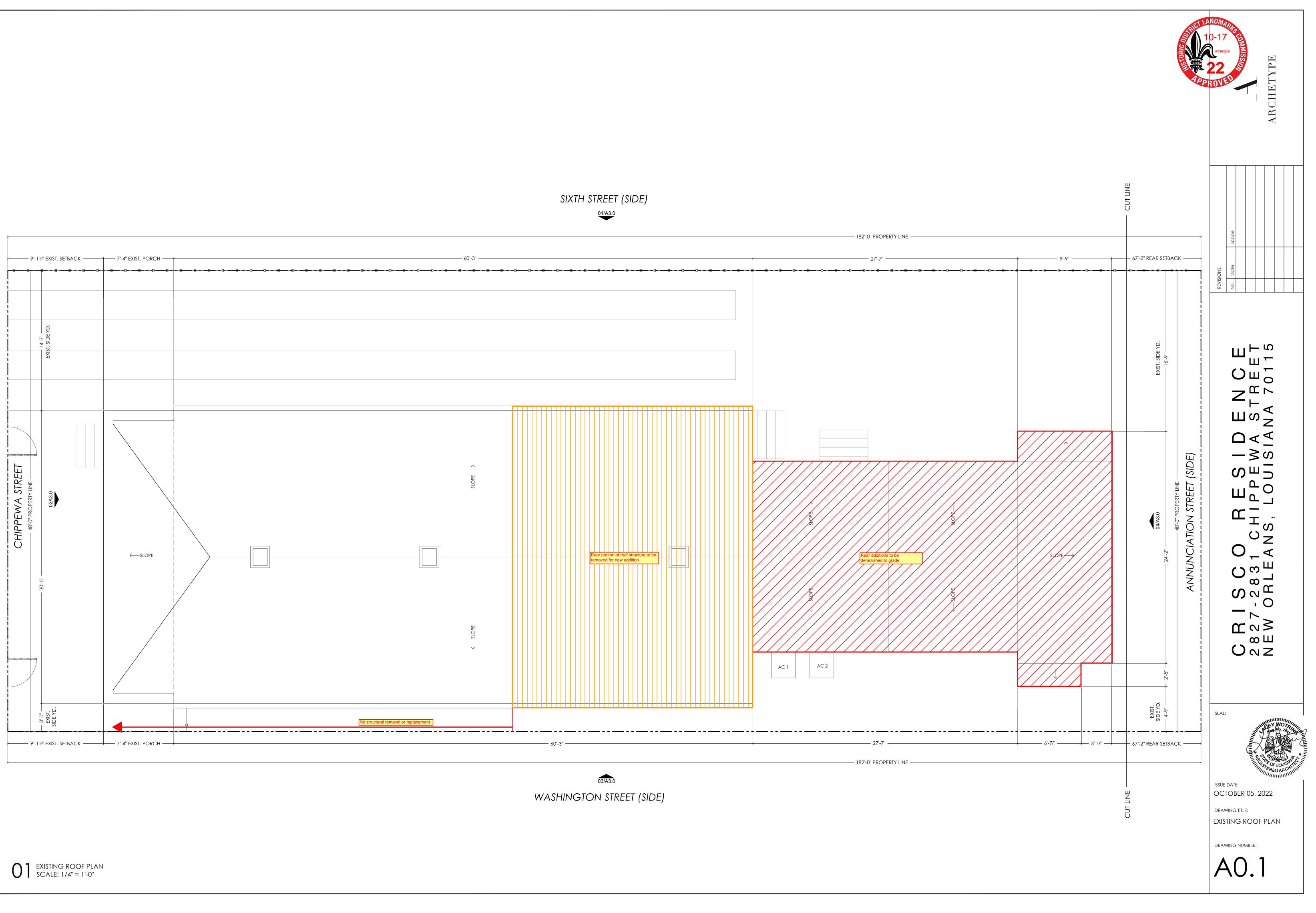


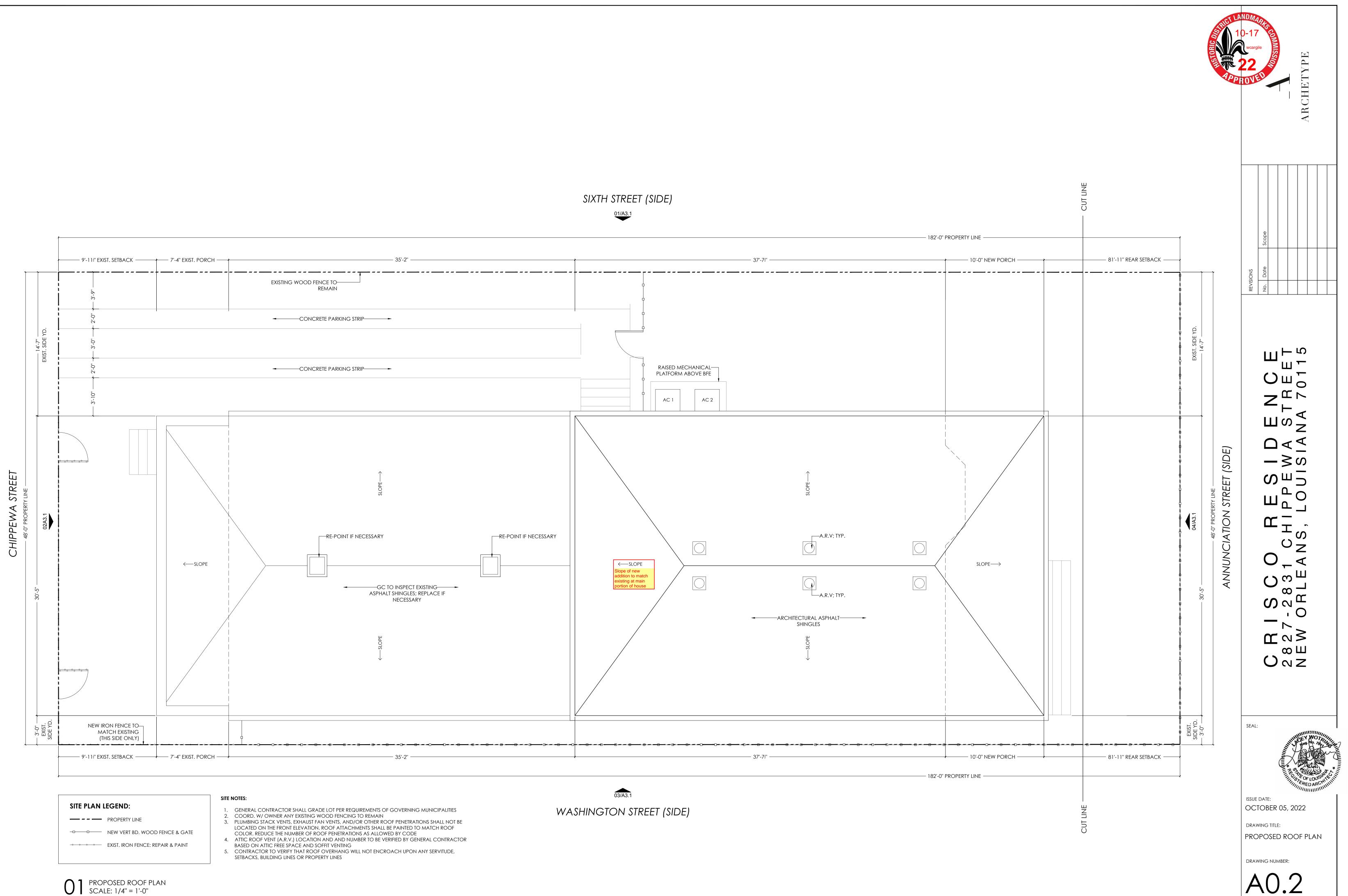
– 42'-11" V.I.F. —



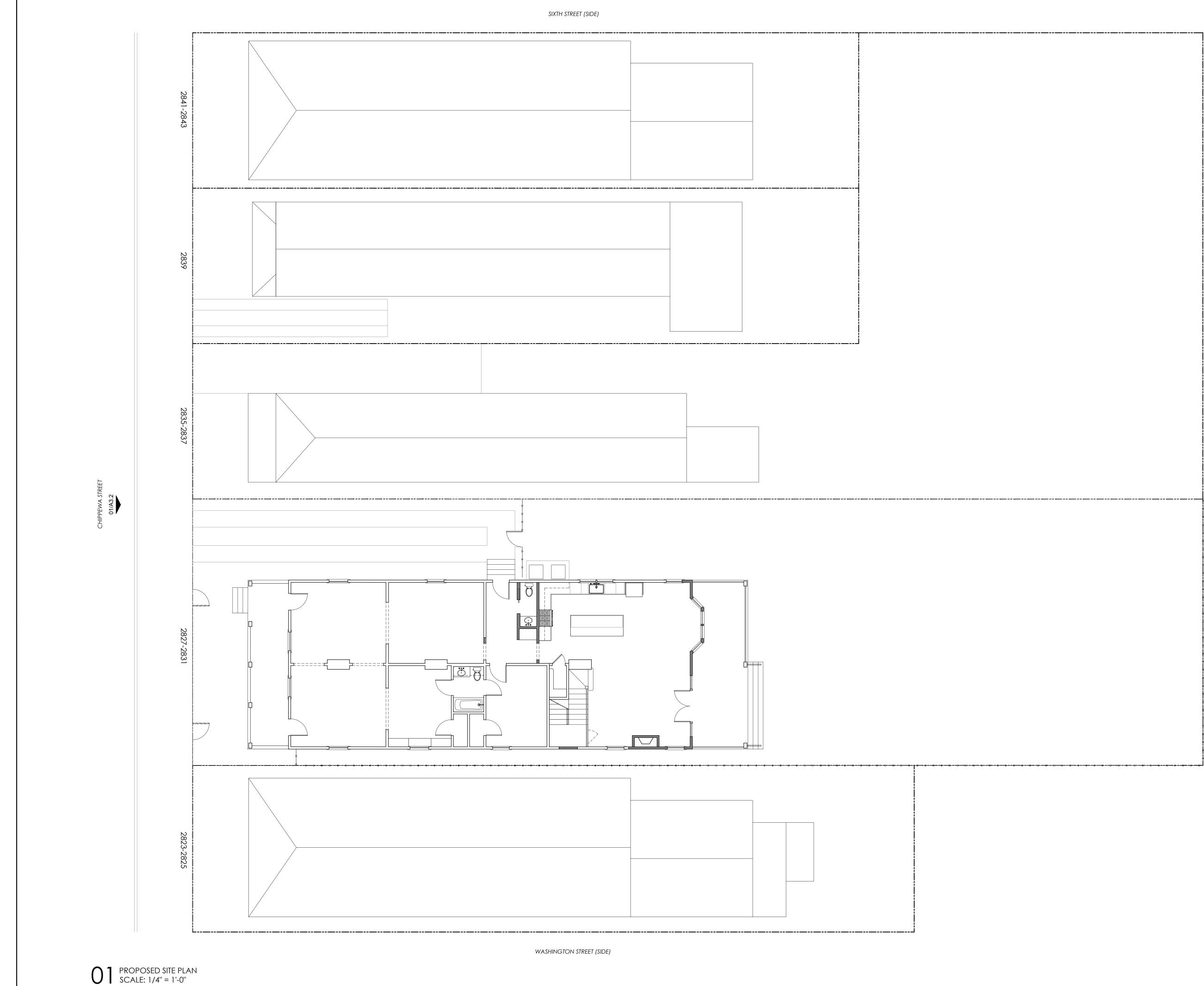
- 47'-1½'' V.I.F. —



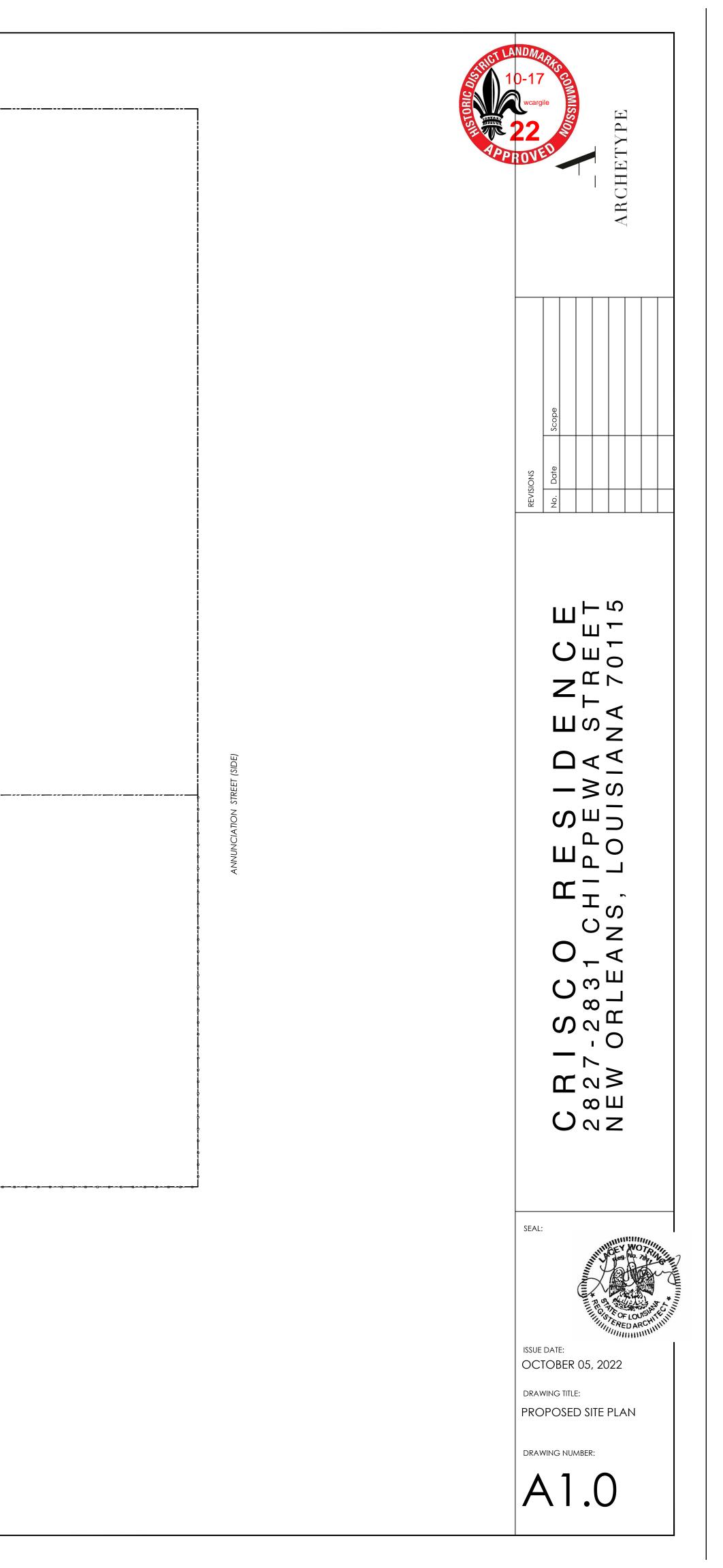


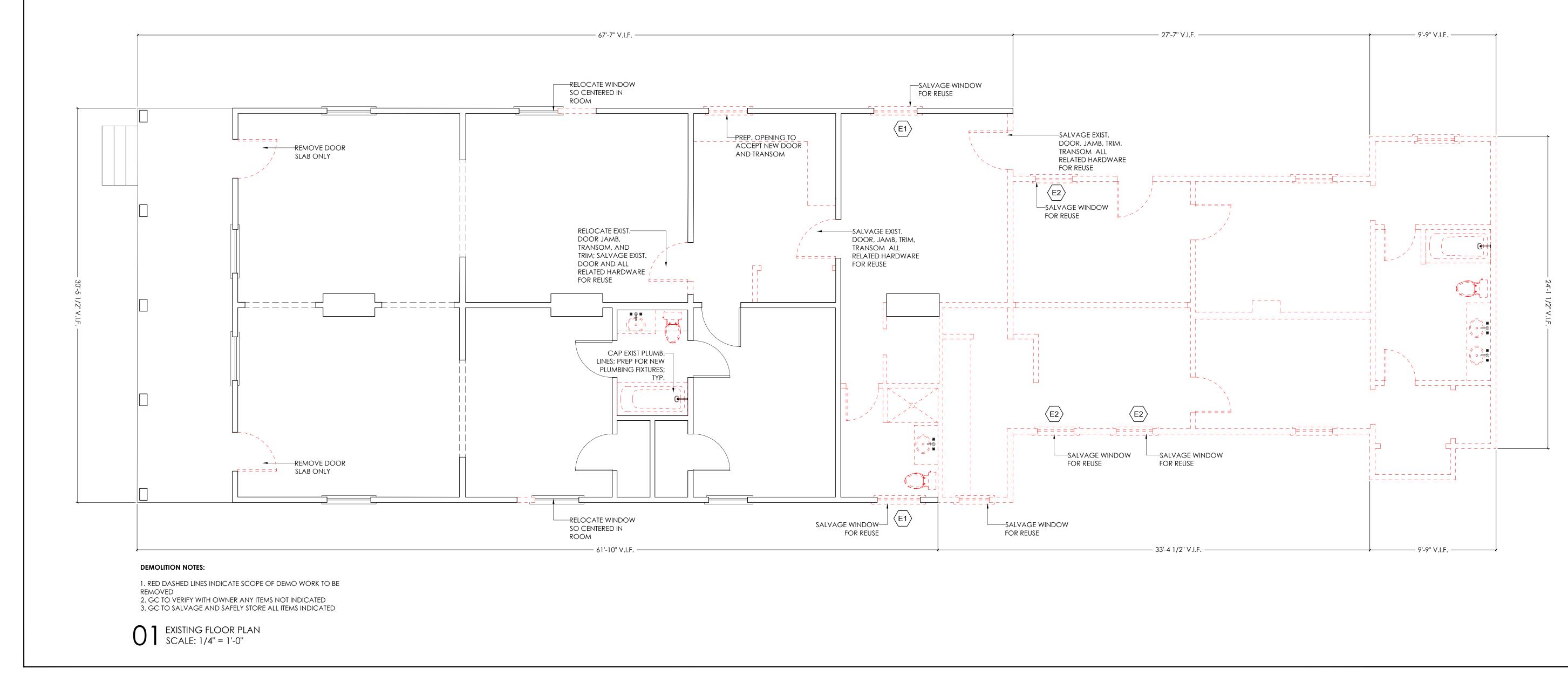


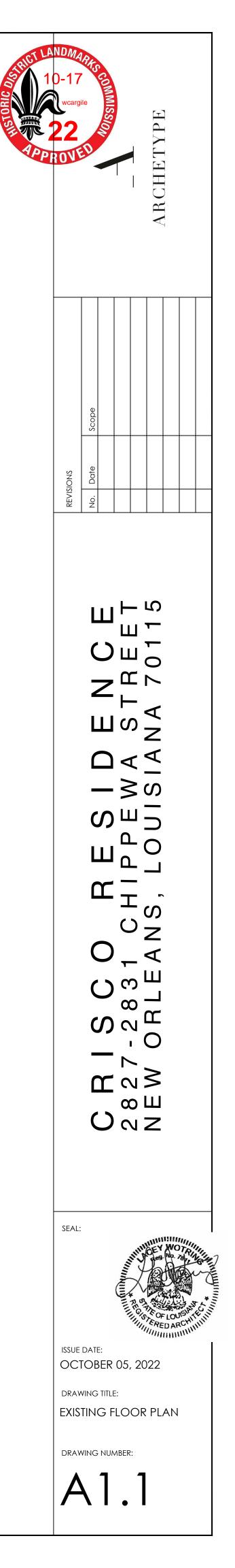
D1 PROPOSED ROOF PLAN SCALE: 1/4'' = 1'-0''



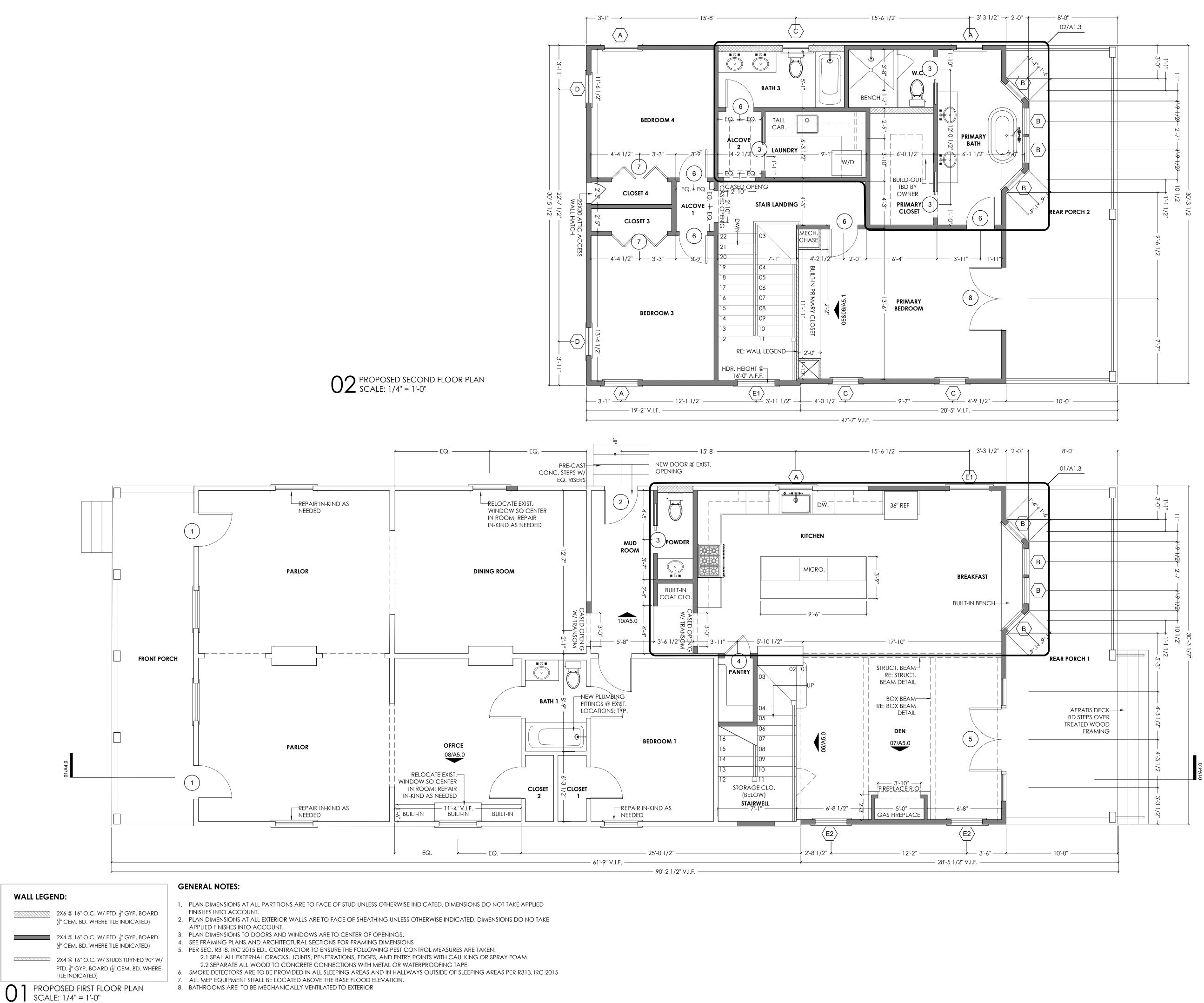
			_
		i	
		I	
		i	
		i i	
		i	
		I	
		i	
		i	
		i	
		1	
		I	
		i	
		i	
		i i	
	-		

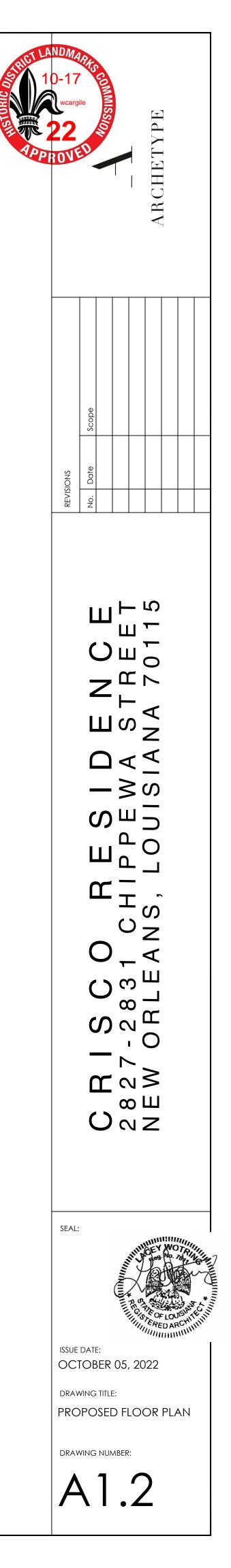


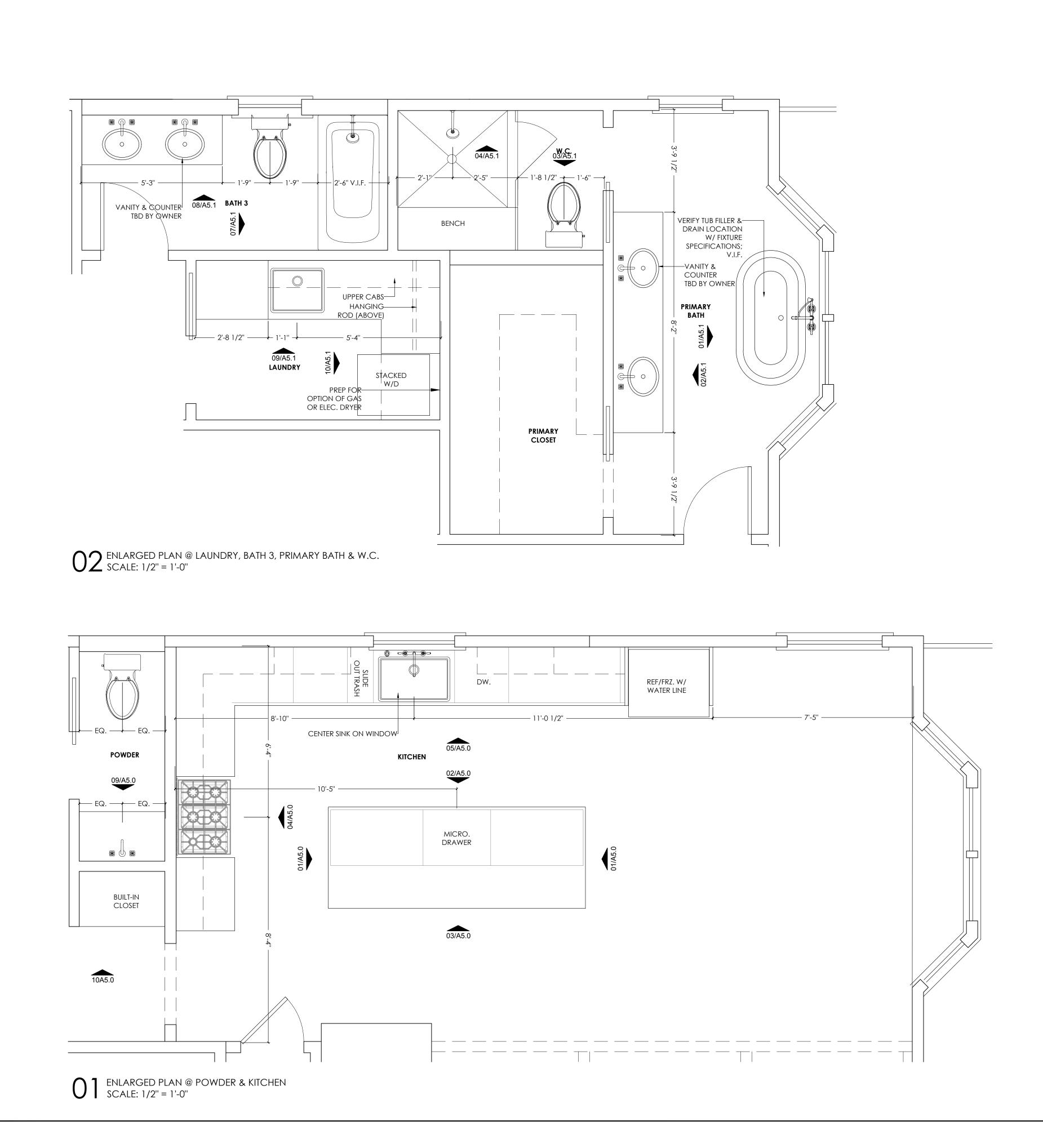


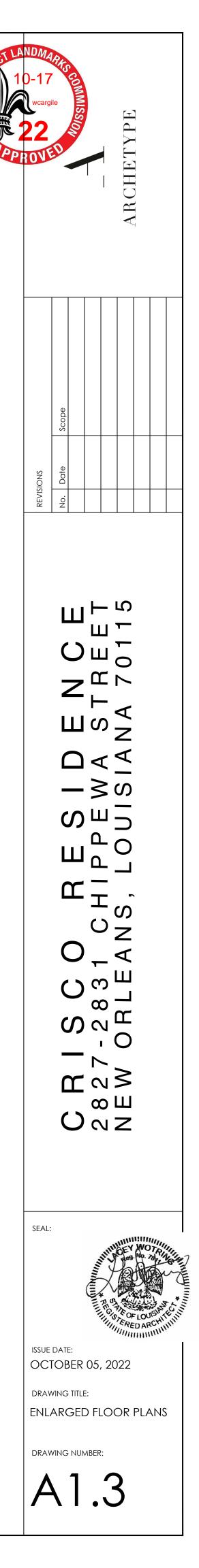


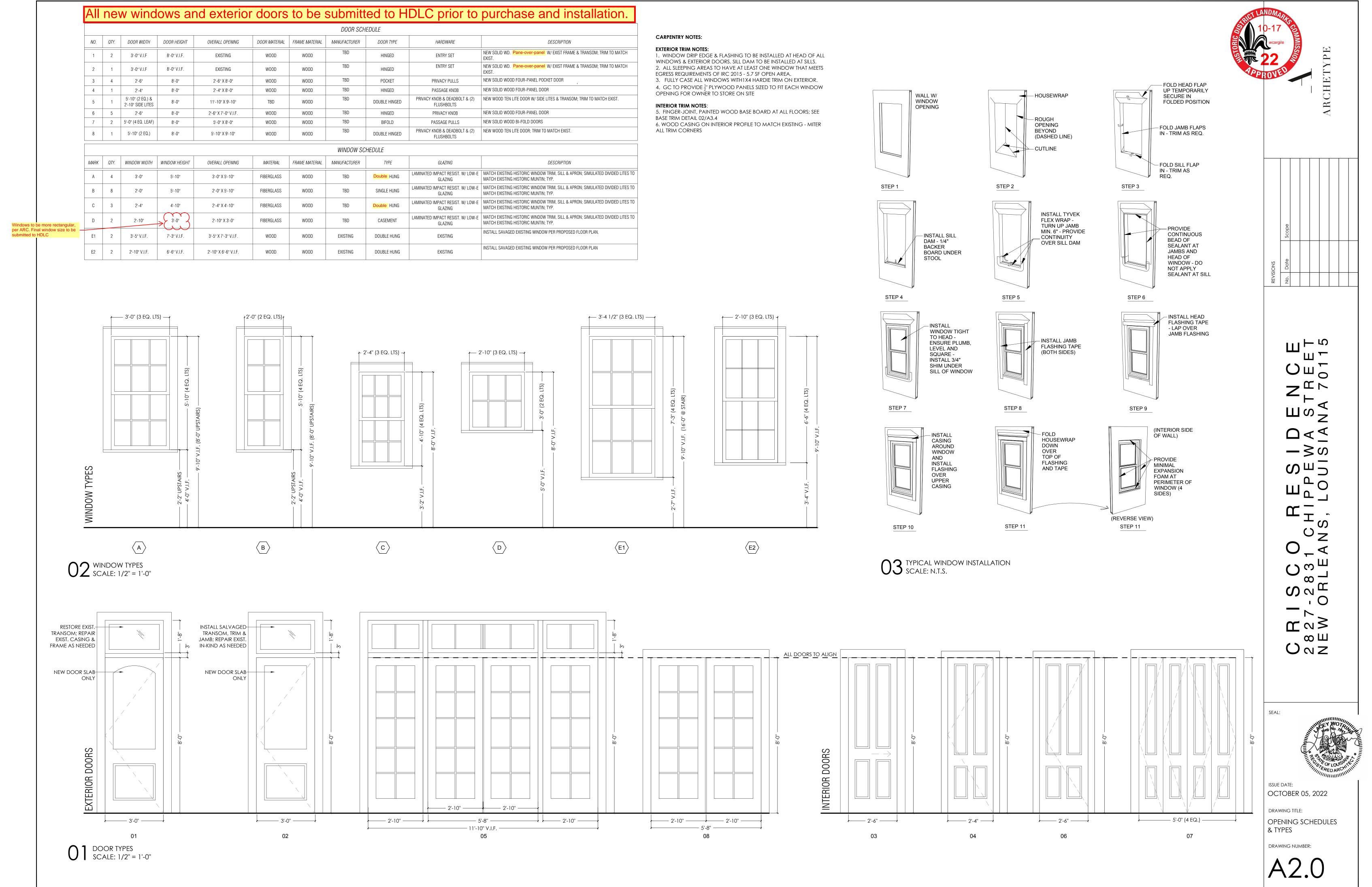








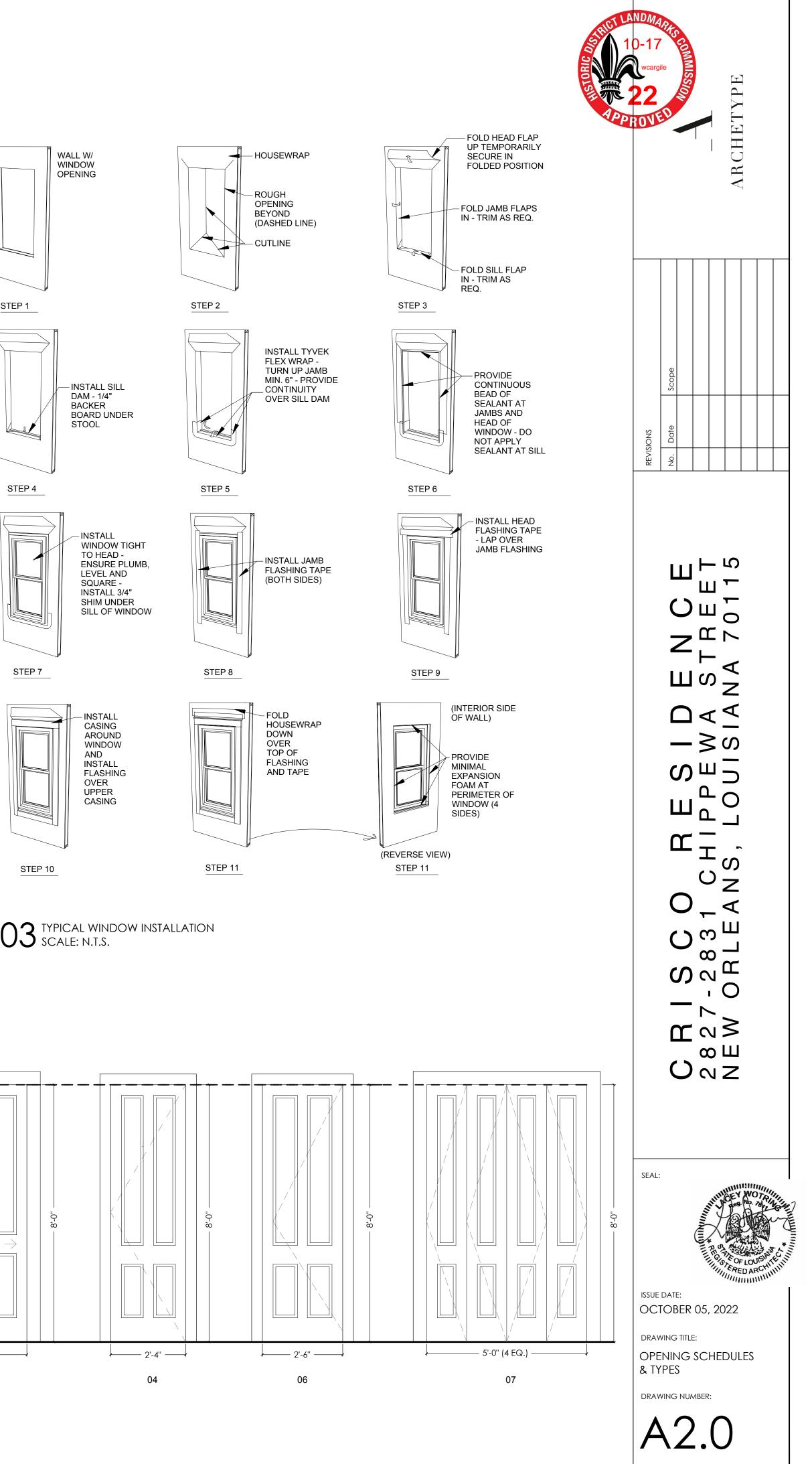


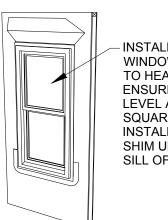


	DESCRIPTION
	NEW SOLID WD. Pane-over-panel W/ EXIST FRAME & TRANSOM; TRIM TO MATCH EXIST.
	NEW SOLID WD. Pane-over-panel W/ EXIST FRAME & TRANSOM; TRIM TO MATCH EXIST.
	NEW SOLID WOOD FOUR-PANEL POCKET DOOR
	NEW SOLID WOOD FOUR-PANEL DOOR
)	NEW WOOD TEN LITE DOOR W/ SIDE LITES & TRANSOM; TRIM TO MATCH EXIST.
	NEW SOLID WOOD FOUR-PANEL DOOR
	NEW SOLID WOOD BI-FOLD DOORS
)	NEW WOOD TEN LITE DOOR; TRIM TO MATCH EXIST.

	DESCRIPTION
V-E	MATCH EXISTING HISTORIC WINDOW TRIM, SILL & APRON; SIMULATED DIVIDED LITES TO MATCH EXISTING HISTORIC MUNTIN; TYP.
V-E	MATCH EXISTING HISTORIC WINDOW TRIM, SILL & APRON; SIMULATED DIVIDED LITES TO MATCH EXISTING HISTORIC MUNTIN; TYP.
V-E	MATCH EXISTING HISTORIC WINDOW TRIM, SILL & APRON; SIMULATED DIVIDED LITES TO MATCH EXISTING HISTORIC MUNTIN; TYP.
V-E	MATCH EXISTING HISTORIC WINDOW TRIM, SILL & APRON; SIMULATED DIVIDED LITES TO MATCH EXISTING HISTORIC MUNTIN; TYP.
	INSTALL SAVAGED EXISTING WINDOW PER PROPOSED FLOOR PLAN.







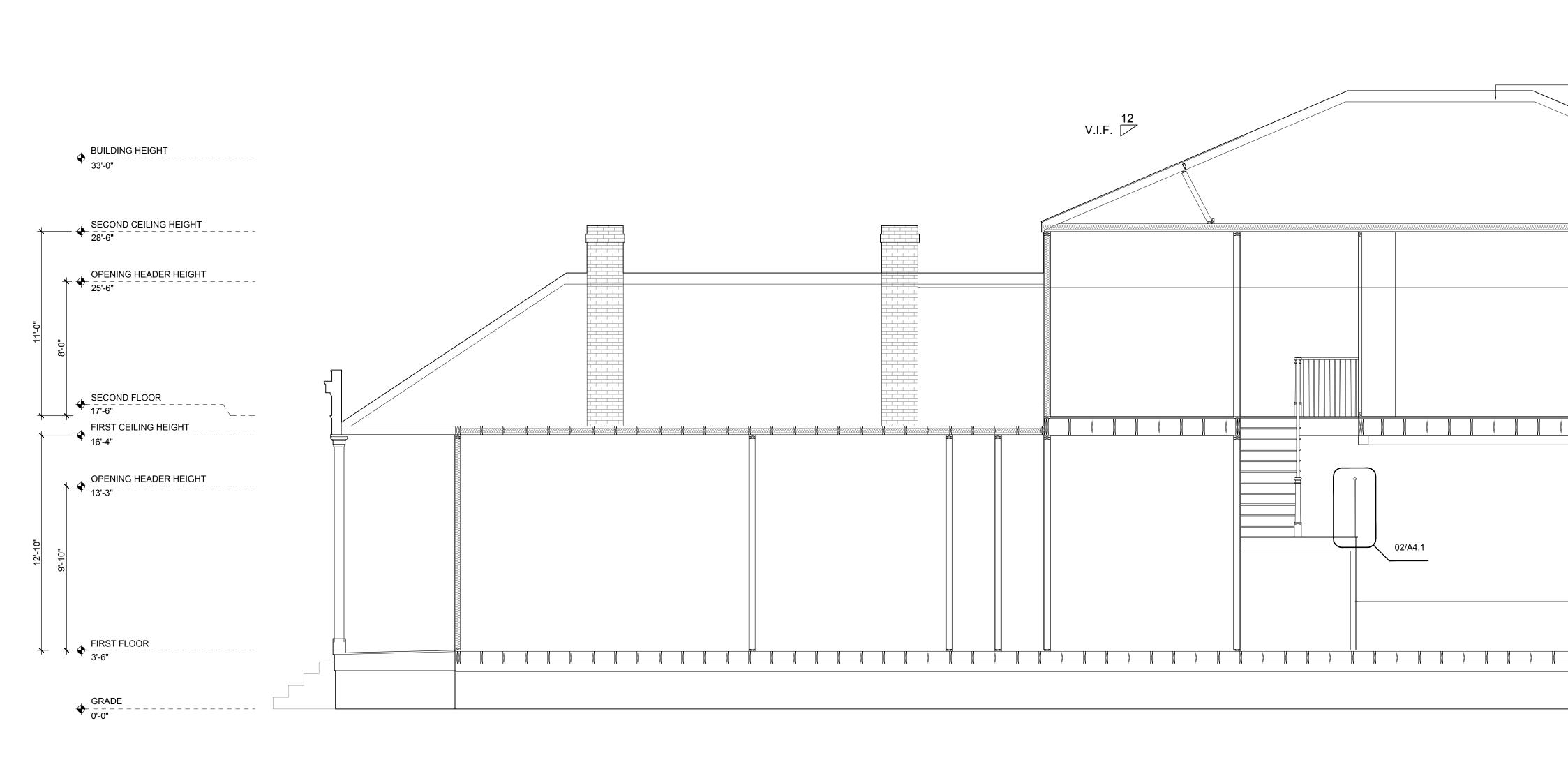


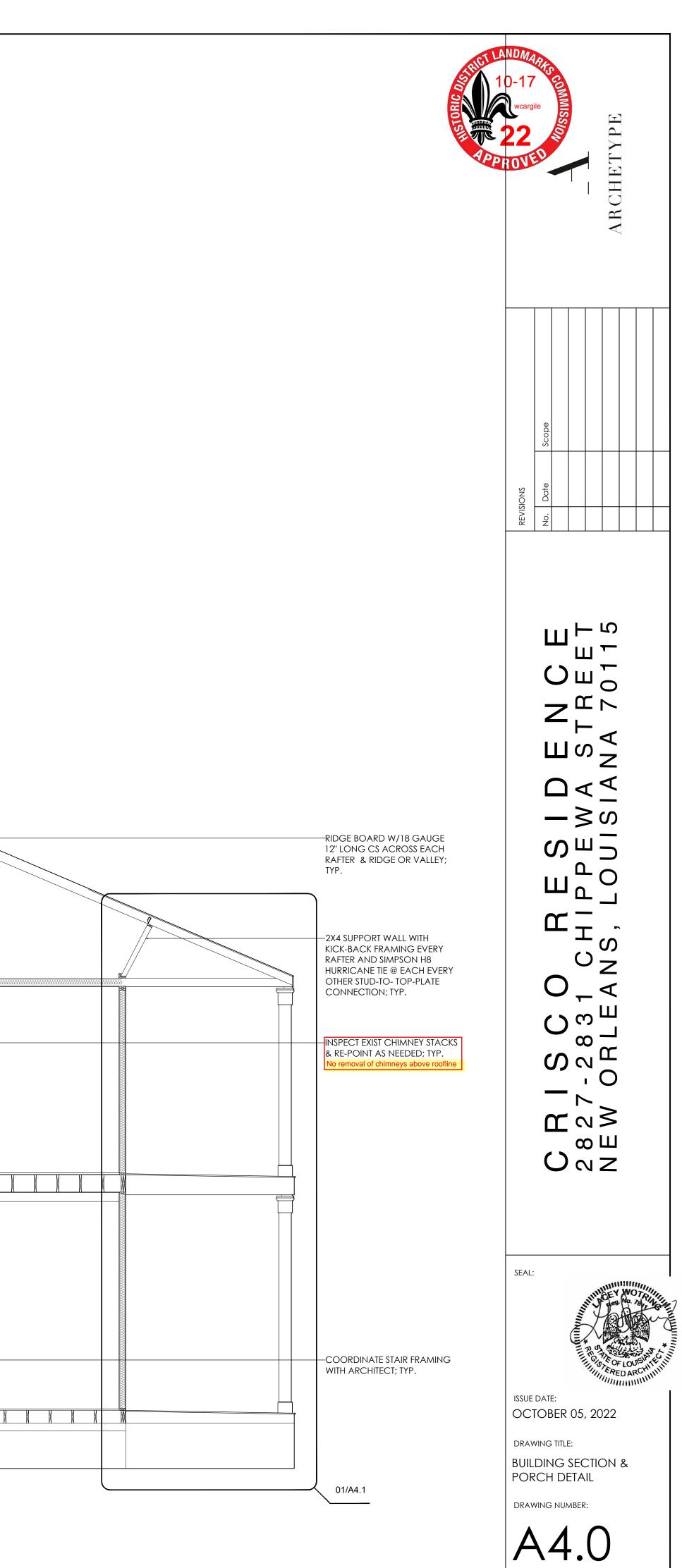






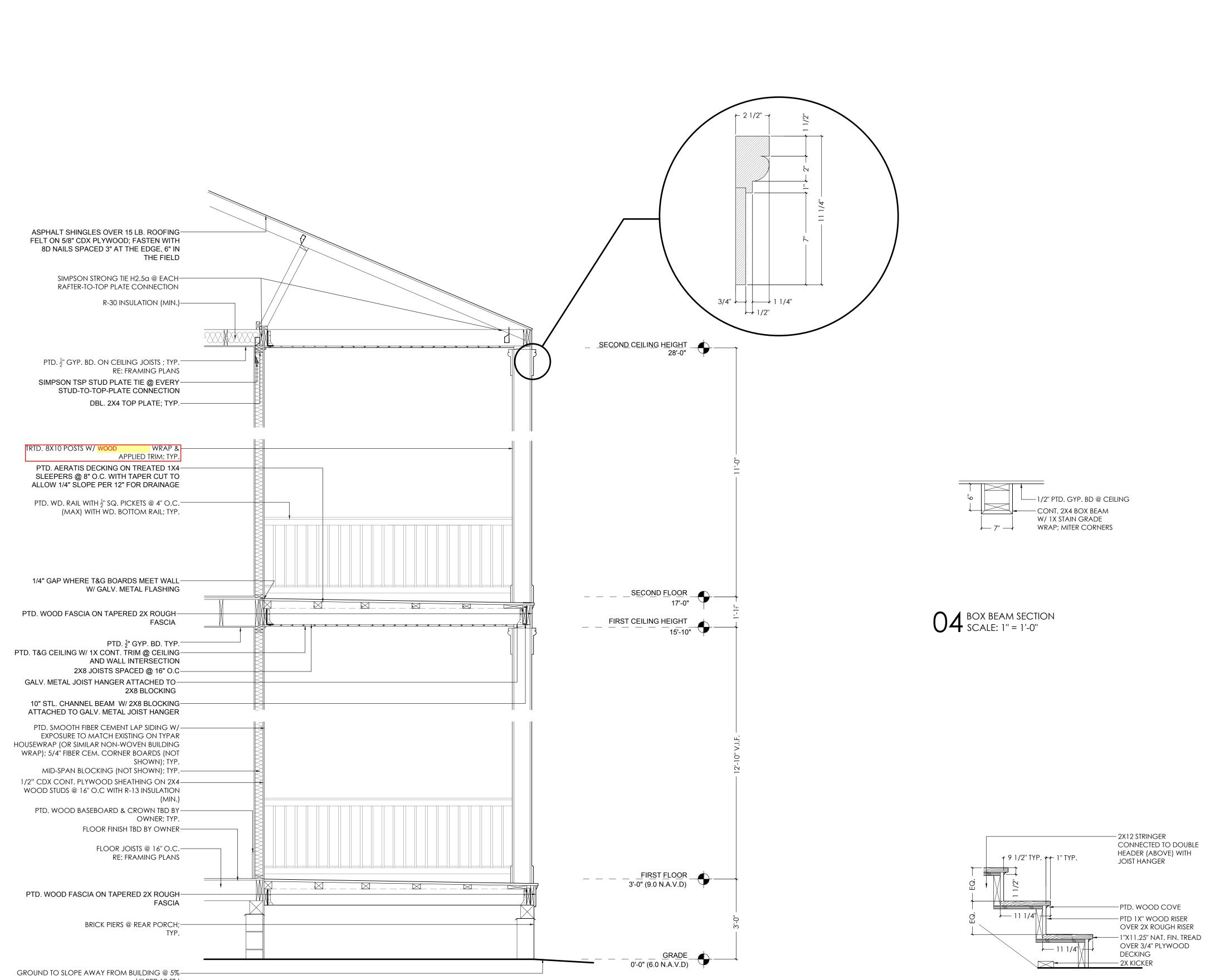
A3.1





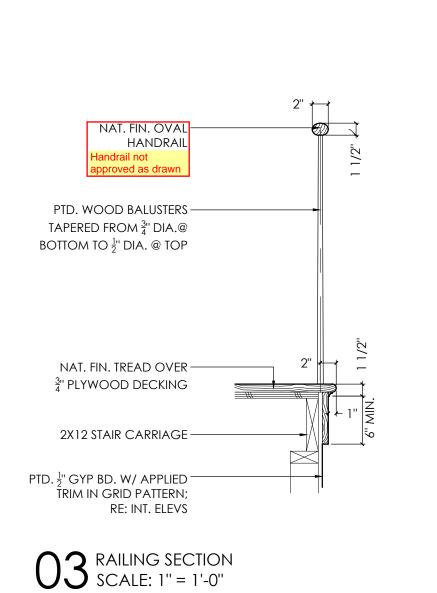


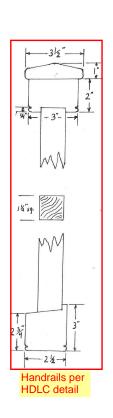


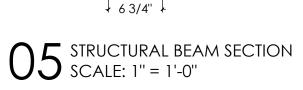


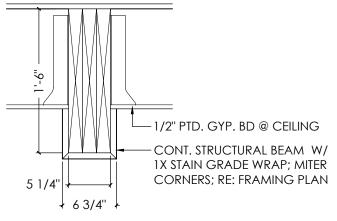
1.1

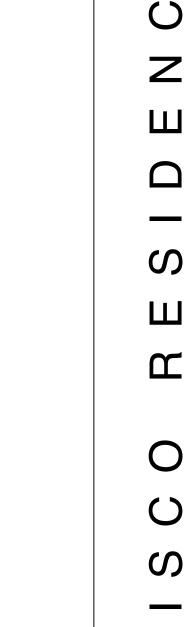
02 STAIR SECTION SCALE: 1" = 1'-0"











SEAL:

ISSUE DATE:

DRAWING TITLE:

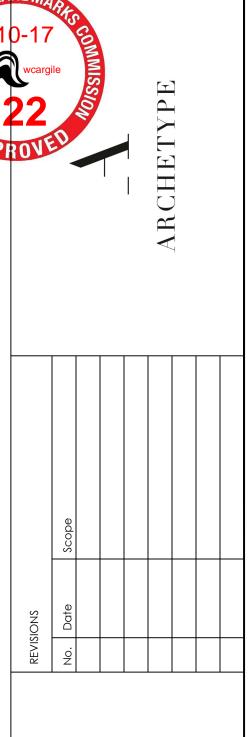
OCTOBER 05, 2022

WALL SECTION &

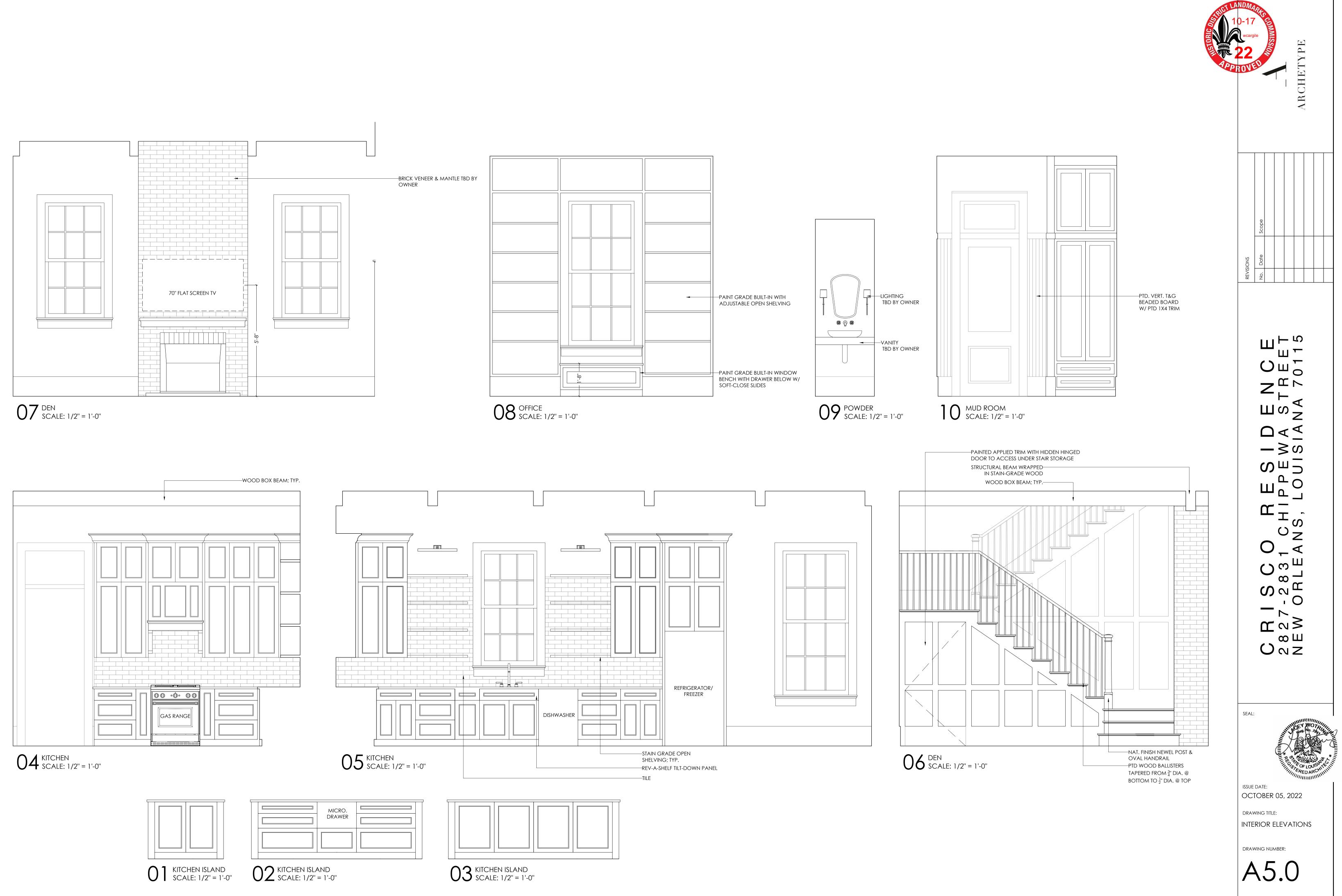
INTERIOR DETAILS

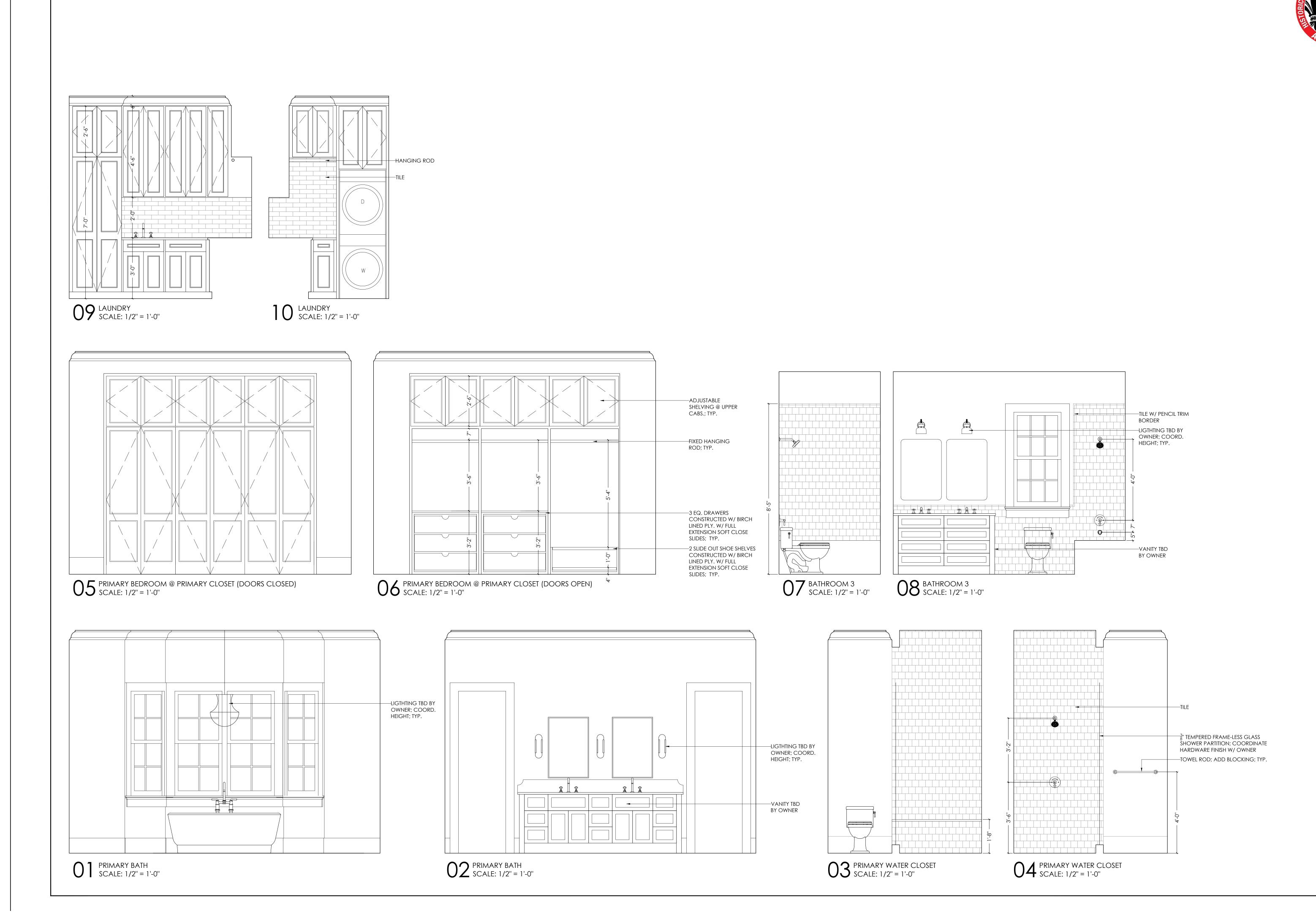
DRAWING NUMBER:

A4.



л _{н л} ШТ ШωЭ $\Box \triangleleft \triangleleft \triangleleft$ –≥თ S m D ^م O ш ဟ ΟZ ゝー⋖ O^{ω} لــ 8 Υ \mathbb{S} · O ĭ≤∾ ωШ ΟNΖ

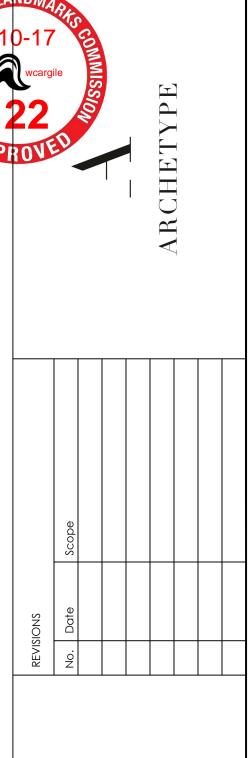




OCTOBER 05, 2022 DRAWING TITLE: INTERIOR ELEVATIONS DRAWING NUMBER: A5.1

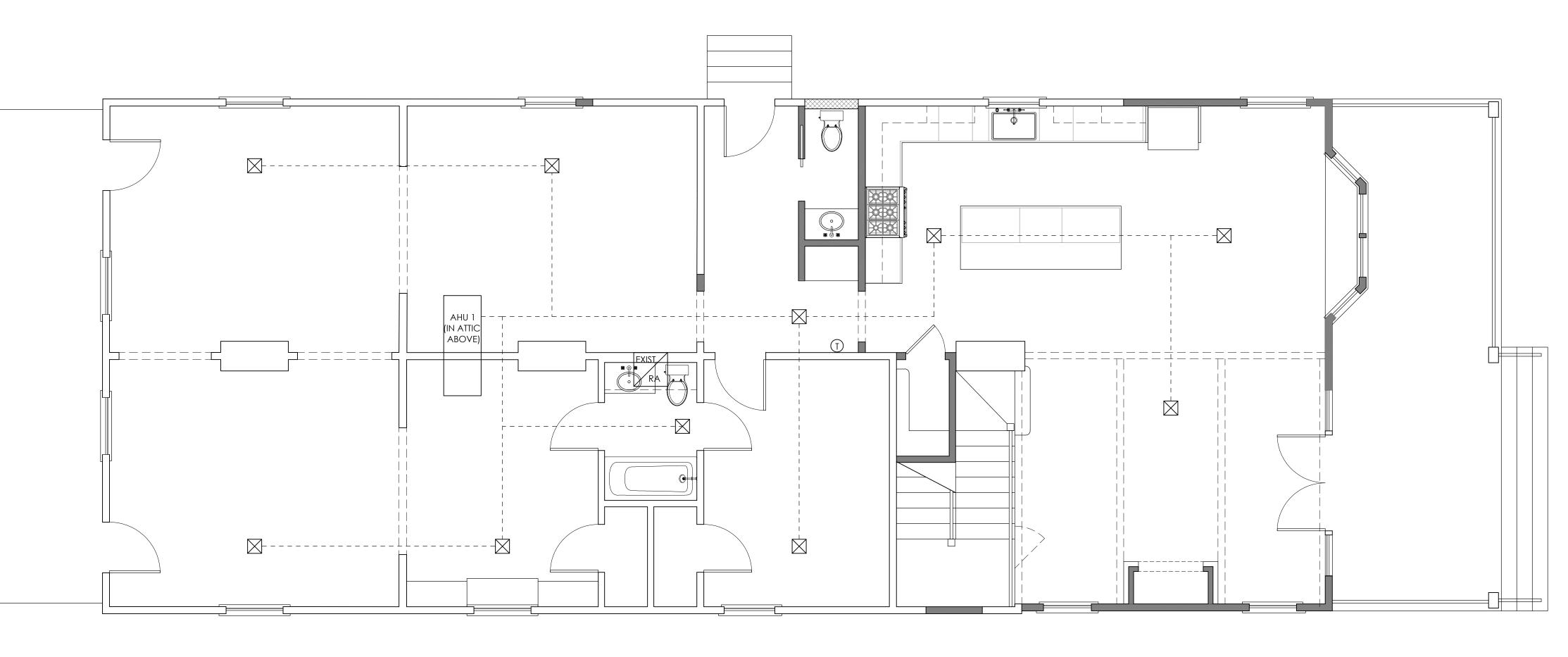
ISSUE DATE:

SEAL:



Шμω ш — Ош, ZF R Ш∽∠ $\Box \triangleleft \triangleleft \triangleleft$ μ μ μ S υZ O⁻⁴ О°^щ ′ ∞ ___



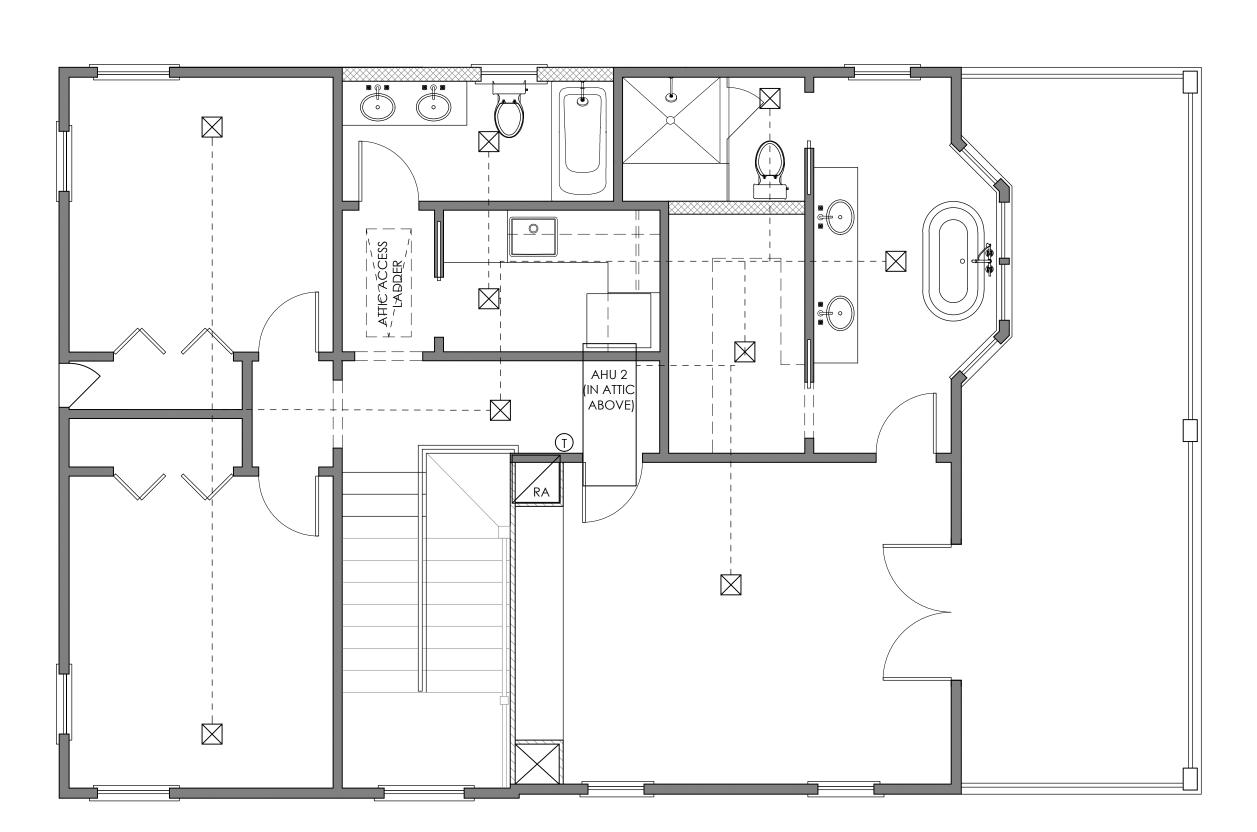


MECHANICAL NOTES:

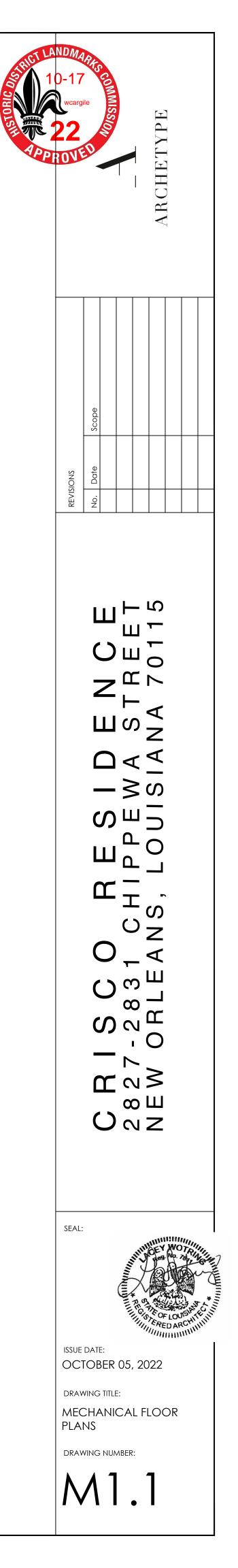
1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE STANDARD MECHANICAL CODE 2. NEW HVAC TO BE SIZED BY OTHERS 3. THERMOSTAT TO BE LOCATED IN NOTED LOCATION(S) RE:

 \square

- ELECTRICAL PLAN
- 4. AIR HANDLERS TO BE LOCATED IN ATTIC WITH RETURN AIR
- LOCATIONS AS NOTED 5. INSULATE DUCTS ON OUTSIDE AND SEAL/WRAP ALL JOINTS AND
- CONNECTIONS FOR AIR-TIGHT RESULTS
- 6. VENT ALL EXHAUST FANS TO EXTERIOR; FLASH AS REQUIRED 7. VERIFY ALL VENT LOCATIONS PRIOR TO INSTALLATION; DO NOT
- DISCHARGE FANS IN PROXIMITY OF ATTIC INTAKE AIR VENTS
- 8. CONDENSER TO BE PLACED ON MECH PLATFORM ABOVE BASE FLOOD ELEVATION
- 9. ZONE SYSTEM SO THAT EACH FLOOR MAINTAINS LEVEL OF THERMAL COMFORT



02 second floor mechanical plan scale: 1/4" = 1'-0"

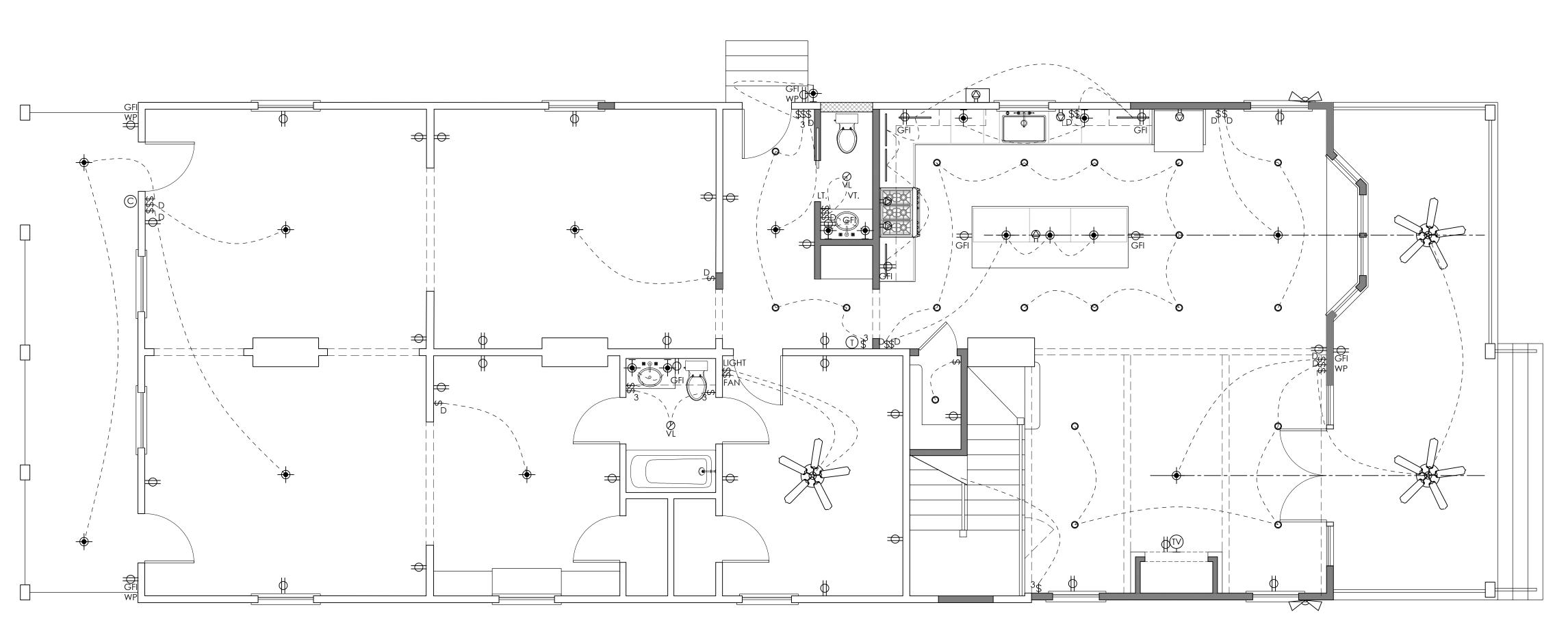


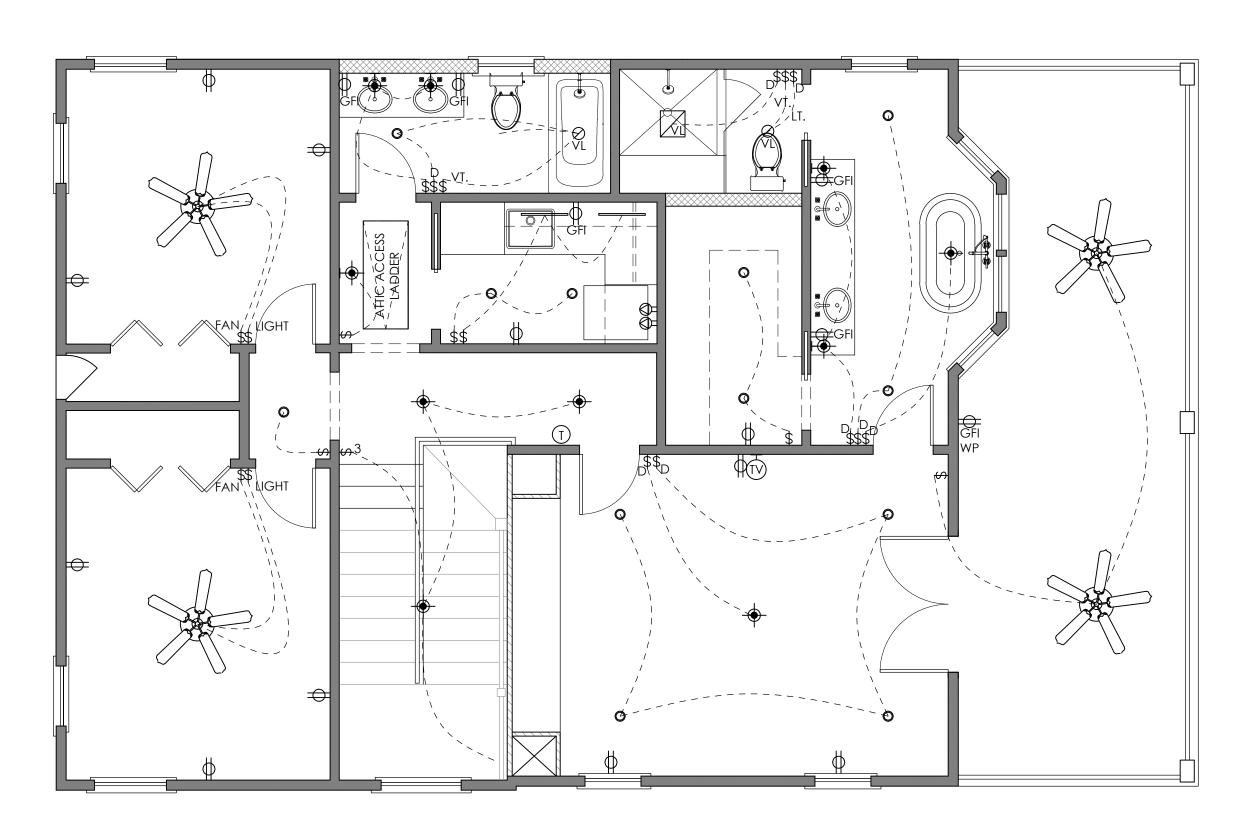
All exterior light fixtures to be submitted to HDLC prior to purchase and installation

ELECTRICAL NOTES:

- 1. ALL LIGHT FIXTURES TO BE DIRECTLY WIRED TO SWITCHES 2. ALL OUTLETS AND ELECTRICAL EQUIPMENT ARE SHOWN
- APPROXIMATELY LOCATED 3. EACH APPLIANCE TO HAVE DEDICATED CIRCUIT,
- AMPERAGE, VOLTAGE, AND GFI AS NOTED
- 4. FIXTURES ARE TO BE CENTERED IN ROOM UNLESS
- OTHERWISE NOTED 5. PROVIDE ARC FAULT PROTECTORS AT ALL BEDROOMS
- 3. APPROVED SMOKE ALARMS POWERED BY THE HOUSE
- ELECTRICAL SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 101:9.6.2.10 AND THE IBC IN EVERY SLEEPING AREA, OUTSIDE EVERY SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AT EVERY LIVING UNIT AND ON ALL LEVELS OF THE DWELLING UNIT, INCLUDING BASEMENTS. INSTALL ONE
- CARBON MONOXIDE DETECTOR ON EACH FLOOR 4. ELECTRICIAN TO COORDINATE WITH HVAC CONTRACTOR TO LOCATE AND PROVIDE APPROPRIATE
- POWER FOR HVAC EQUIPMENT AND ACCESSORIES ELECTRICIAN TO COORDINATE ELEC. METER LOCATION 5.
- COORDINATE RECEPTACLE / SWITCH HEIGHTS WITH 6.

INTERIOR ELEVATIONS AND/OR OWNER 7. PROVIDE IN ATTIC, LIGHTING & SINGLE POLE LIGHT SWITCH NEAR ATTIC ACCESS LADDER LEGEND SYMBOL DUPLEX RECEPTACLE - 15AMP, 2 POLE, 3W, 110V; Φ MOUNT @ 12" A.F.F UNLESS OTHERWISE NOTED DUPLEX RECEPTACLE - 15AMP, 2 POLE, 3W, GFI TYPE; DUPLEX RECEPTACLE - TOAIVIF, 2 FOLL, 3VY, 011 MOUNT @ 48" A.F.F UNLESS OTHERWISE NOTED WP
GFIEXTERIOR GRADE DUPLEX RECEPTACLE - 15AMP, 2
POLE, 3W, GFI TYPE, WEATHERPROOF DUPLEX FLOOR RECEPTACLE - 15AMP, 2 POLE, 3W, 110V; COORD. LOCATION WITH OWNER \odot DEDICATED CIRCUIT - 120V, 20AMP \bigcirc DEDICATED CIRCUIT - 120V, 20AMP; GROUND GFI FAULT PROTECTED SINGLE POLE LIGHT SWITCH; MOUNT @ 48" A.F.F UNLESS OTHERWISE NOTED THREE WAY LIGHT SWITCH; MOUNT @ 48" A.F.F UNLESS \$3 OTHERWISE NOTED DIMMER LIGHT SWITCH; MOUNT 48" A.F.F UNLESS \$D OTHERWISE NOTES TELEVISION DATA & DUPLEX RECEPTACLE ; MOUNTING HT. TBD BY OWNER Ť CAMERA DOORBELL \bigcirc THERMOSTAT; MOUNT 60" A.F.F (\mathbf{I}) 4" LED RECESSED CAN LIGHT - IC RATED/DAMP RATED 0 WET RATED AT ALL EXTERIOR CEILING MOUNTED DECORATIVE FIXTURE -WALL MOUNTED DECORATIVE FIXTURE • VENT LIGHT W/ RECESSED CAN LIGHT \oslash VENT LIGHT W/ HUMIDITY SENSOR UNDER CABINET LED LIGHT FIXTURE _____ DOUBLE FLOOD LIGHT ON MOTION SENSOR

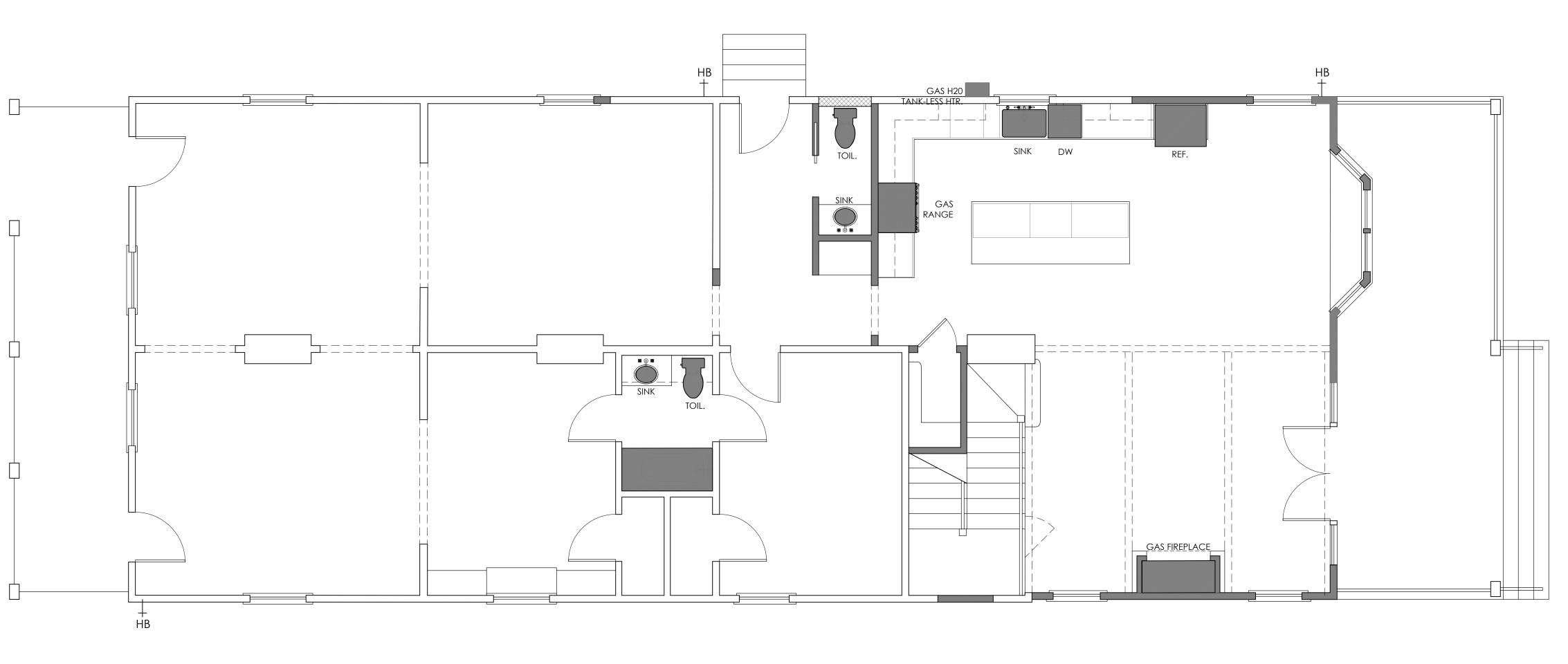




02 Second floor electrical plan scale: 1/4" = 1'-0"



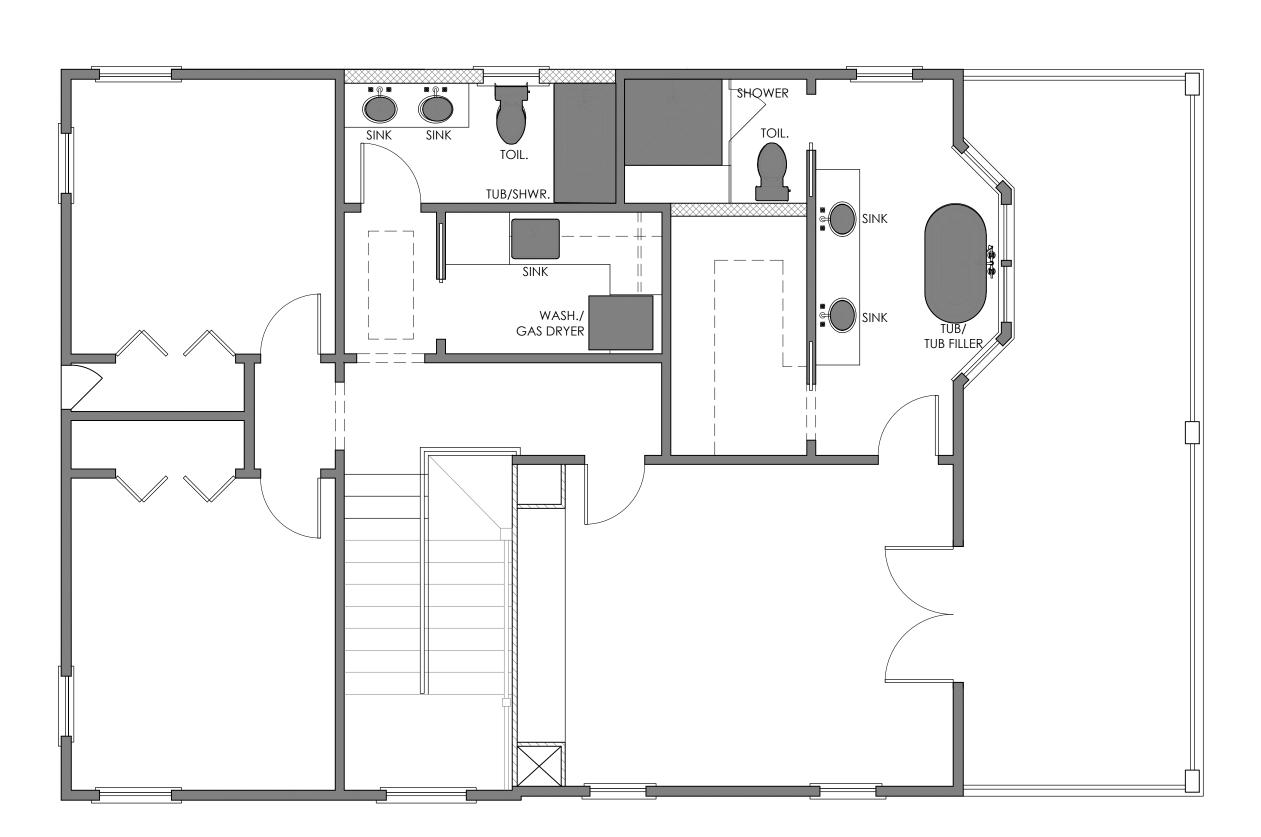




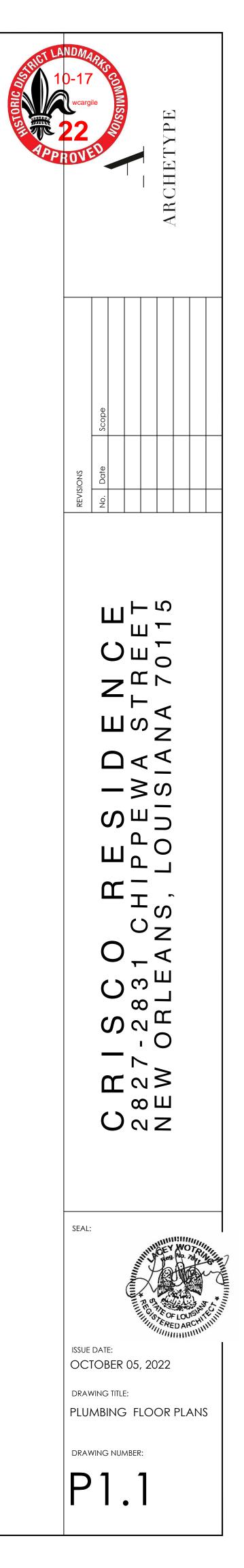
PLUMBING NOTES:

- ALL WORK TO BE DONE IN ACCORDANCE WITH THE STANDARD PLUMBING CODE
 PLUMBER TO COORDINATE WITH HVAC CONTRACTOR
- TO LOCATE AND PROVIDE APPROPRIATE GAS LINE & DRAINAGE LINE FOR HVAC EQUIPMENT AND ACCESSORIES
- 3. PLUMBER TO SIZE ALL WATER SUPPLY, WATER
- DRAINAGE, SEWAGE, AND GAS LINES 4. PLUMBING STACK VENTS , EXHAUST FAN VENTS AND/OR OTHER ROOF PENETRATIONS SHALL NOT BE LOCATED ON THE FRONT ELEVATION. REDUCE THE NUMBER OF ROOF PENETRATIONS AS ALLOWED BY CODE

D FIRST FLOOR PLUMBING PLAN SCALE: 1/4'' = 1'-0''



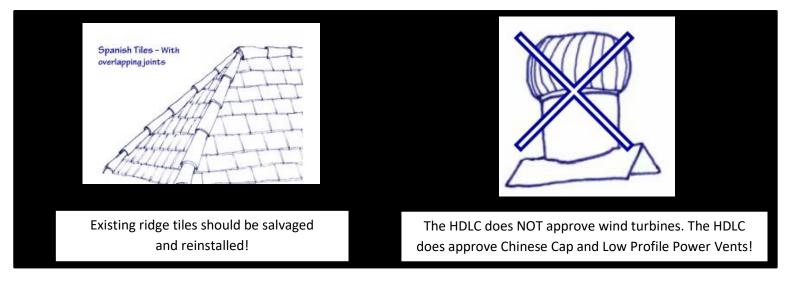
02 second floor plumbing plan scale: 1/4" = 1'-0"



HDLC PRE- APPROVED ROOFING BRANDS & COLORS updated September, 2



By the Way, Did You Know?



<u>Atlas</u>

Atlas Stormmaster Shake

Black Shadow, Heathstone Grey, Pewter, Weathered Wood

Atlas Pinnacle Pristine

Pristine Black, Pristine Hearthstone, Pristine Pewter, Pristine Weathered wood

Certainteed

Certainteed – Landmark Colonial Slate, Georgetown Grey, Max Def Georgian Grey, Max Def Maine Black, Moire Block, Weathered Wood Certainteed Landmark IR Colonial Slate, Cumberland, Moire Black, Weathered Wood Certainteed Landmark Premium Max Def Moire Black Certainteed Landmark Pro Max Def Colonial Slate, Max Def Georgetown, Max Def Moire Certainteed Landmark TL Max Def Colonial Slate, Max Def Moire Black, Max Def Old Overton Certainteed Grand Manor Black Pearl, Colonial Slate, Gatehouse Slate, Stonegate Grey Certainteed Climateflex Colonial Slate, Weathered Wood, Moire Black

<u>BP</u>

Everest 42 Silver Grey, Fossil Wood, Twilight Grey, Brownstone, Driftwood Vanguard – Class IV Twilight Grey, Shadow Black, Silver Grey

<u>GAF</u>

GAF – Timberline UHD Slate, Pewter Gray, Charcoal, Weathered Wood GAF- Timberline HDZ Pewter Grey, Charcoal, Oyster Gray, Weathered wood GAF – Timberline – NS Charcoal, Weathered Wood, Slate, Pewter Grey GAF – Timberline – AS II Charcoal, Slate, Weathered Wood, Pewter Grey GAF – CS

Antique Slate, Weathered Wood

<u>IKO</u>

Cambridge Collection Dual Black, Dual Grey, Weathered Wood, Harvard Slate, Charcoal Gre Cambridge Natural Cool Dual Gray Cambridge Cool Plus Harvard Slate, Graphite Black Dynasty Castle Grey, Glacier, Granite Black

Malarkey

Legacy/Legacy Scotchguard/Highlander NEX AR/Vista AR Midnight Black, Black Oak, Weathered Wood, Storm Grey

Owens Corning

Owens Corning – Oakridge Driftwood, Estate Gray, Flagstone, Onyx Black, Peppermill, Twilight Black Owens Corning –Duration Driftwood, Estate Grey, Onyx Black, Quarry Grey Owens Corning – Duration Flex Estate Grey, Onyx Black, Driftwood, Owens Corning – Berkshire Collection Canterbury Black, Colonial, Concord, Manchester Grey

<u>Tamko</u>

Tamko Heritage Woodgate Antique Wood, Weathered Wood, Black Sage Tamko Titan Rustic Black, Virginia Slate, Weathered Wood Tamko Stormfighter Weathered Wood, Rustic Black Tamko Heritage Antique Slate, Oxford Grey, Weathered Wood, Rustic Black, Shadow grey, Virginia Slate