



# HURRICANE DAMAGE - ROOFING REPAIRS & REPLACEMENT

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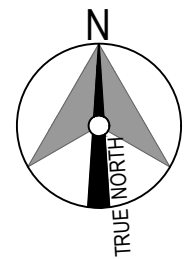
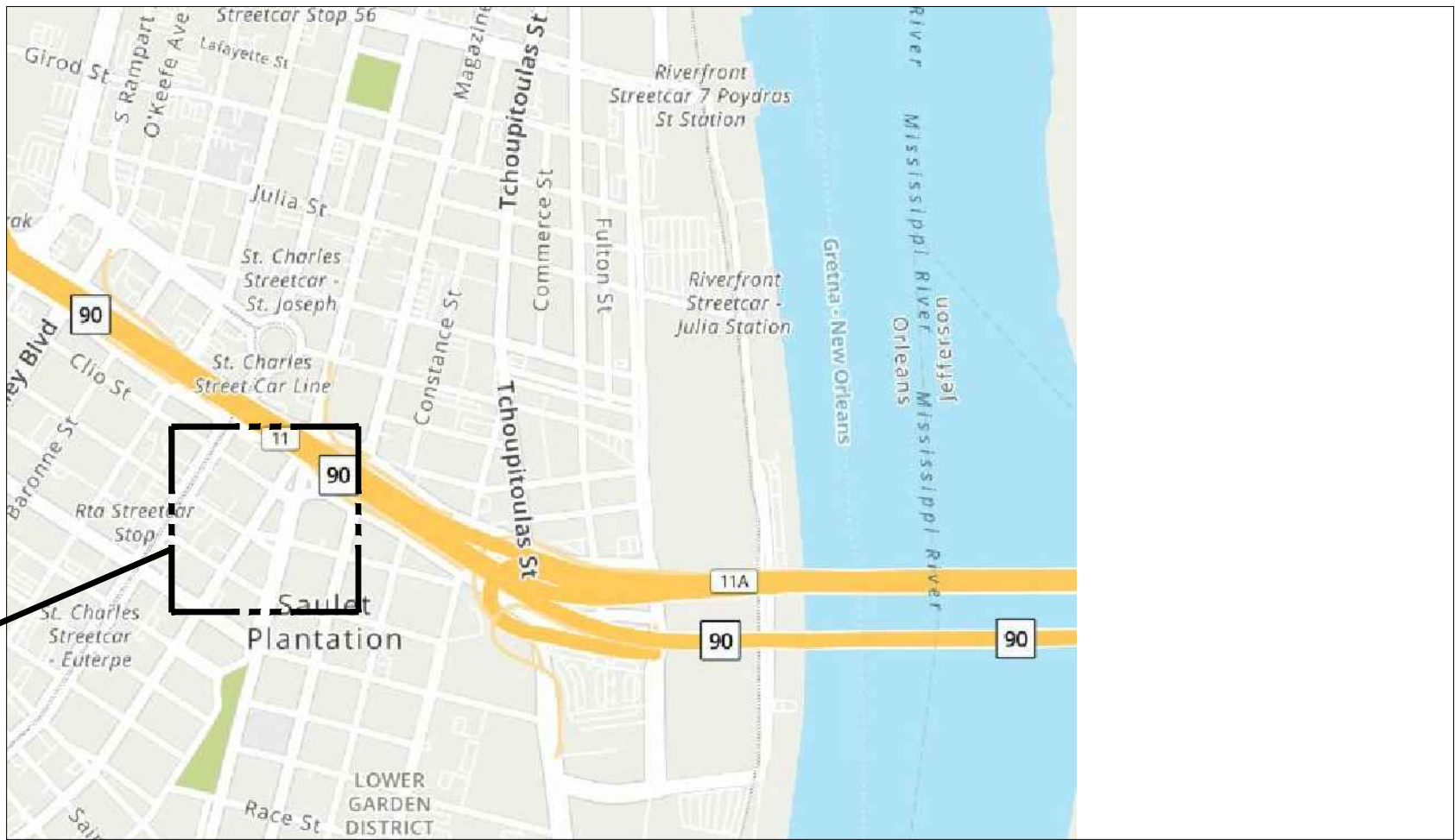
## ST. THERESA OF AVILA CHURCH & RECTORY 1404 ERATO STREET NEW ORLEANS, LA

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#### ARCHITECTURAL

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PROJECT SITE



1 LOCATION MAP  
A0.00 SCALE: N.T.S.

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ST. THERESA OF AVILA CHURCH & RECTORY  
HURRICANE IDA ROOF - REPAIRS  
ARCHDIOCESE OF NEW ORLEANS  
JOB NO. 22029  
NEW ORLEANS, LOUISIANA 70130  
1404 ERATO STREET

DATE ISSUED: 5 OCT 2022  
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REVISED:  
DRAWN BY: TAL  
CHECKED BY: CV, AJT  
PHASE:

CONSTRUCTION  
DOCUMENTS

22029

TITLE:  
COVER SHEET

SHEET:  
A0.00



## PROJECT INFORMATION

APPLICABLE CODES:  
LIFE SAFETY CODE NFPA 101, 2015 EDITION  
INTERNATIONAL BUILDING CODE, 2015 EDITION

ZONING:  
ORLEANS PARISH ZONING ORDINANCE

OCCUPANCY CLASSIFICATION:  
EDUCATION (IBC)  
EDUCATION and Assembly - Assembly Group A (NFPA)

CONSTRUCTION TYPE: (VARIES)

II-A (IBC)  
II (111) (NFPA)  
UNPROTECTED NON-COMBUSTIBLE - NON-BEARING WALLS,  
ROOF ASSEMBLY - CLASS A

## WIND UPLIFT CALCULATIONS

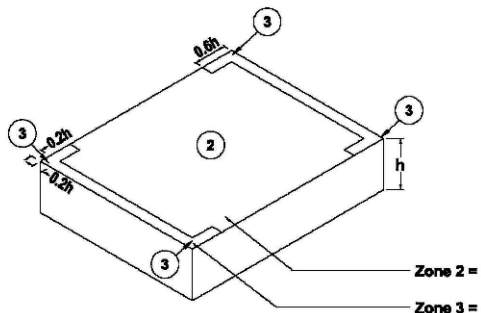
WIND LOAD (ASCE 7-16):  
BASIC WIND SPEED = 144 MPH  
RISK CATEGORY = II  
EXPOSURE CATEGORY = B

## GENERAL NOTES:

- BEGINNING ON THE START DATE ESTABLISHED IN THE NOTICE-TO-PROCEED, THE CONTRACTOR BECOMES RESPONSIBLE FOR GETTING AND MAINTAINING ROOFS, IDENTIFIED AS REQUIRING REPAIRS OR REPLACEMENT, IN A WATERTIGHT CONDITION UNTIL COMPLETION OF PROJECT. MAINTENANCE INCLUDES MAINTAINING EXISTING TEMPORARY ROOF SYSTEMS. SOME ROOFS MAY NOT BE WATERTIGHT ON THE START DATE.
- BEFORE SUBMITTING THE BID PROPOSAL, THE BIDDER SHALL PERSONALLY EXAMINE THE SITE AND ACQUAINT HIMSELF WITH ALL ATTENDING EXISTING CONDITIONS SO THAT NO MISUNDERSTANDING MAY AFTERWARDS ARISE AS TO THE CHARACTER OR EXTENT OF THE WORK TO BE DONE.
- TO ESTABLISH THE COMPLETE SCOPE OF ITS WORK AND TO AFFECT CLOSE COORDINATION WITH THE OTHER TRADES, EACH TRADE SHALL COMPLETELY REVIEW THE CONSTRUCTION DOCUMENTS, NOT ONLY FOR ITS RESPECTIVE TRADE BUT FOR THE WORK OF OTHER RELATED TRADES AS WELL.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS TO SUIT JOB REQUIREMENTS AND TO AVOID CONFLICT PRIOR TO ORDERING MATERIAL OR PERFORMING WORK. REPORT DEVIATIONS FROM THE DRAWINGS TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
- ALL DIMENSIONS AND TIE-INS GOVERNED BY EXISTING CONDITIONS ARE APPROXIMATE AND ARE NOT GUARANTEED TO BE CORRECT. ALL SUCH DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE PREPARATION OF SHOP DRAWINGS AND BEFORE PROCEEDING WITH ANY WORK. THE FIRST SUBMITTAL OF SHOP DRAWINGS MUST CONTAIN CORRECT CONDITIONS AND DIMENSIONS OBTAINED FROM THE FIELD. IF CONDITIONS AND DIMENSIONS VARY GREATLY FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PREPARATION OF SHOP DRAWINGS OR BEFORE PROCEEDING WITH WORK. WHERE DIMENSIONS ARE SHOWN, USE EXACT DIMENSIONS.
- CONTRACTOR SHALL COORDINATE AND OBTAIN ALL NECESSARY INSPECTIONS AND APPROVALS OR GUIDELINES FROM GOVERNING REGULATORY AGENCIES BEFORE PROCEEDING WITH ANY ITEMS OF WORK UNDER OR WITHIN SUCH JURISDICTION(S).
- IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS TO PROVIDE FOR COMPLETE AND FINISHED WORK. ALL MISCELLANEOUS COMPONENTS, PARTS, ANCHORS AND OTHER INCIDENTAL ITEMS REQUIRED FOR COMPLETE ASSEMBLY, FUNCTIONING AND OPERATION OF AN ITEM OR SYSTEM SHALL BE PROVIDED. THE CONTRACTOR SHALL INCLUDE ALL COMPONENTS WHICH ARE NOT SHOWN ON THE DRAWING, BUT WHICH ARE REQUIRED AS AN ESSENTIAL AESTHETIC OR FUNCTIONAL COMPONENT OF THE WORK.
- THE CONTRACTOR SHALL SUBCONTRACT WITH SUPPLIERS AND FABRICATORS AND INSTALLATION COMPANIES WHICH CAN DEMONSTRATE THAT THEY POSSESS THE KNOWLEDGE, EXPERIENCE AND PROVEN CAPABILITIES TO FULLY PERFORM ALL ASPECTS OF THE WORK REQUIRED WITHOUT OMISSION.
- UNLESS NOTED OTHERWISE ON THE DRAWINGS OR BY INDUSTRY STANDARDS, AN APPROVED MANUFACTURER'S PRODUCT IS TO BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THAT MANUFACTURER'S LATEST PUBLISHED SPECIFICATIONS AND INSTALLATION REQUIREMENTS.
- THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES & SERVICES AGAINST DISRUPTION DUE TO THEIR WORK. UTILITY SERVICE IS TO BE OPERATIONAL THROUGHOUT THE ENTIRE PROJECT. NECESSARY DISRUPTIONS MUST BE APPROVED BY THE OWNER, AND OWNER'S REP., 72 HRS IN ADVANCE OF NEED, PER THE SPECIFICATIONS. ANY DAMAGE TO EXISTING UTILITIES AND SYSTEMS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR TO PERFORM ALL CUTTING AND PATCHING AS REQUIRED IN THE COURSE OF THIS WORK, USING CRAFTSMEN WITH EXPERTISE IN THE CONSTRUCTION TO BE PATCHED, INCLUDING WORK THAT IS REQUIRED BY MECHANICAL AND ELECTRICAL SUB-CONTRACTORS. ALL EXISTING CONSTRUCTION AND SITE TO BE PATCHED WITH MATCHING MATERIALS AND TO MEET ORIGINAL FIRE RATING REQUIREMENTS.
- ALL WORK AT THE BUILDING AND SITE SHALL BE IN COMPLIANCE WITH ALL CALCASIEU PARISH AND OTHER LOCAL CODES, STATE AND NATIONAL CODES, ADAAG, AND THE INTERNATIONAL BUILDING CODE, THAT APPLY.
- ALL NEW EXTERIOR ELEMENTS OF THE BUILDING AND THE ASSOCIATED ADJACENT EXTERIOR PROJECT ELEMENTS, SHALL MEET THE DESIGN WIND LOADS SPECIFIED.
- ANY CONFLICTS WITH THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- CONTRACTOR SHALL PROTECT EXISTING CONSTRUCTION TO REMAIN. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE TO MATCH EXISTING, ANY EXISTING CONSTRUCTION DAMAGED DURING THE COURSE OF THIS WORK.
- ALL NOTES AND DETAILS LABELED "TYPICAL" OR "TYP." ON THESE DRAWINGS SHALL APPLY TO ALL SITUATIONS OR WORK ITEMS REQUIRED ON THE PROJECT THAT ARE THE SAME OR SIMILAR. INSTRUCTIONS / REQUIREMENTS SHALL APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION.
- DEVIATION FROM THE CONTRACT DOCUMENTS NOT APPROVED IN WRITING BY THE ARCHITECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE ALL TEMPORARY UTILITIES REQUIRED FOR CONSTRUCTION EITHER FROM EXISTING OWNER SOURCES OR FROM HIS OWN SOURCES. MODIFICATIONS OF EXISTING OWNER SOURCES SHALL BE RETURNED TO PRECONSTRUCTION CONDITIONS PRIOR TO COMPLETION OF PROJECT.
- CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR WORKERS; USE OF OWNER FACILITIES, OUTSIDE OF THE "DESIGNATED CONSTRUCTION AREAS", ARE PROHIBITED. CONTRACTOR SHALL NOT USE INTERIOR AREAS OF OTHER OWNER FACILITIES FOR ANY REASON OTHER THAN THOSE DIRECTLY RELATED TO PERFORMING THE SCHEDULED WORK. INTERIOR AREAS OF THE OTHER OWNER FACILITIES MAY NOT BE USED FOR CONTRACTOR OR SUBCONTRACTOR BREAK OR MEETING AREAS OR FOR STORAGE OF MATERIALS OR DEBRIS.
- CONTRACTOR SHALL KEEP AT THE SITE DURING ITS PROGRESS, A COMPETENT, FULL TIME SUPERINTENDENT. SUPERINTENDENT SHALL REPRESENT CONTRACTOR IN HIS ABSENCE AND ALL DIRECTIONS GIVEN TO HIM SHALL BE AS BINDING AS IF GIVEN DIRECTLY TO THE CONTRACTOR.
- CONTRACTOR SHALL MAINTAIN STRICT DUST AND TRASH CONTROL AT ALL TIMES. PROVIDE CLEANING AND REMOVAL OF ALL TRASH AND DEBRIS ON A DAILY BASIS. CONTRACTOR SHALL PROVIDE FOR HIS OWN TRASH STORAGE AND HAULING.
- ALL DELIVERIES OF LARGE MATERIALS, LARGE QUANTITIES OF MATERIALS ON SEMI-TRAILERS, ETC. ARE TO BE COORDINATED WITH THE OWNER AS TO NOT DISRUPT THE DAILY WORK ACTIVITIES OF THE SCHOOL FACILITY.
- CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION FENCING AROUND THE PROJECT SITE OR THE MATERIALS STORED THEREON DURING THE ENTIRE CONSTRUCTION PERIOD. TEMPORARY FENCING (MINIMUM 6' HIGH CHAIN-LINKED FENCING) AS NOTED ON THE ARCHITECTURAL SHEETS. ANY ADDITIONAL AREA REQUIRED TO BE FENCED OFF BY THE CONTRACTOR SHALL REQUIRE APPROVAL BY THE OWNER'S REP., IN WRITING, WITH THEIR SIGNATURES. APPROVAL OF THE OWNER WILL BE OBTAINED BY THE ARCHITECT.
- CONTRACTOR TO RETURN SITE TO EXISTING CONDITION AFTER WORK IS COMPLETE, INCLUDING ADDITIONAL FILL, COMPACTION, GRASS, ETC. RESTORE EXISTING GRASSY AREAS TO THEIR PRE-CONSTRUCTION CONDITION.
- CONTRACTOR SHALL PROTECT EXISTING ROADWAYS, FENCING, AND UTILITIES WITH SIGNAGE, TEMPORARY FENCING, AND TEMPORARY SURFACING DURING THE ENTIRE CONSTRUCTION PERIOD. ANY DAMAGE TO EXISTING MATERIALS AND SYSTEMS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR TO KEEP EXISTING DRIVES, PARKING AREAS, SIDEWALKS, AND STREETS, FREE OF SILT, DIRT, SAND, ETC., AT ALL TIMES. COORDINATE PLAN WITH THE SCHOOL FACILITY.
- UNLESS OTHERWISE LABELED AS "EXISTING", CONSIDER ALL ELEMENTS AS "NEW", WHETHER LABELED "NEW" OR NOT.
- CONTRACTOR SHALL MAINTAIN A SECURE FACILITY AT ALL TIMES. AT NO TIME SHALL THE FACILITY BE UNSECURED WHILE THE SITE IS UNMANNED, DURING THE USE OF EXTERIOR DOORS UNDER ANY CIRCUMSTANCE. CONTRACTOR SHALL SEQUENCE REMOVAL AND REPLACEMENT WORK IN ORDER TO MAINTAIN A SECURE FACILITY.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR OPERATION / SHUT DOWN OF THE EXISTING SITE UTILITIES, AS REQUIRED DURING THE PERFORMANCE OF SCHEDULED WORK.
- CONTRACTOR SHALL MAINTAIN THE EXISTING LAWN / GRASSY AREAS, WITHIN THE "DESIGNATED CONSTRUCTION AREA", ON A WEEKLY BASIS. MOWING SHALL MAINTAIN GRASSY AREAS TO A MAXIMUM HEIGHT OF 6".

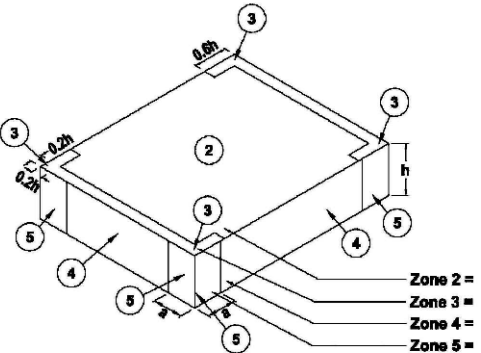
## DESIGN UPLIFT-RESISTANCE CAPACITY: MINIMUM DESIGN UPLIFT-RESISTANCE CAPACITIES:

### ST. THERESA OF AVILA CHURCH RECTORY - ROOF 2 - FLAT ROOF



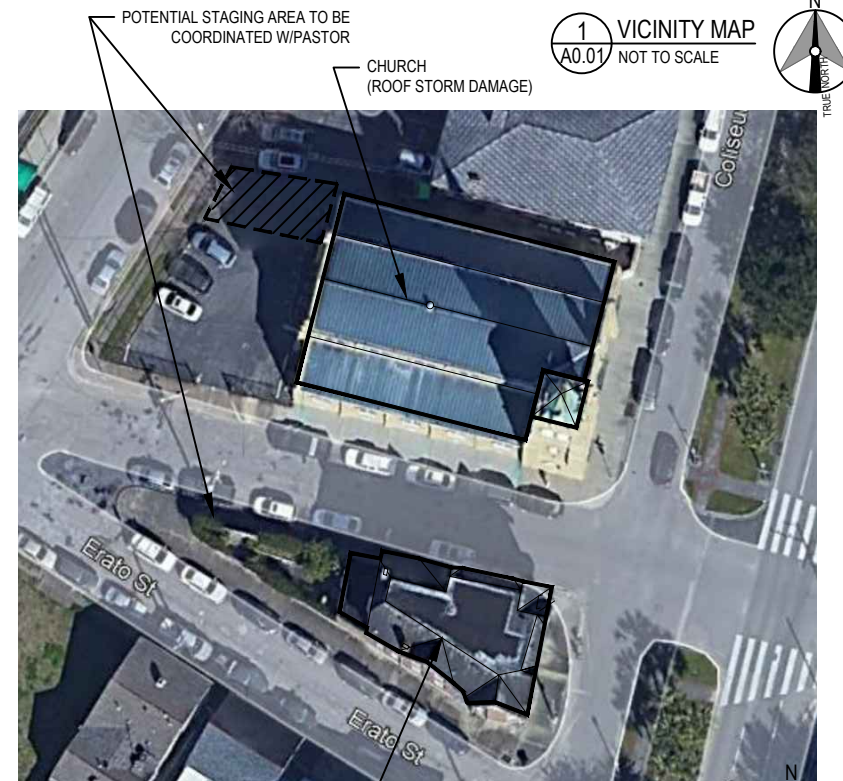
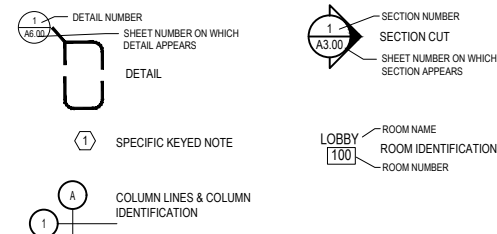
Zone 1'	43.4 pounds per square foot
Zone 1	75.5 pounds per square foot
Zone 2	99.6 pounds per square foot
Zone 3	135.7 pounds per square foot

### ST. THERESA OF AVILA CHURCH RECTORY - ROOF 2 - EDGE METAL



Zone 2	83.0 pounds per square foot
Zone 3	113.1 pounds per square foot
Zone 4	42.8 pounds per square foot
Zone 5	52.9 pounds per square foot

## GRAPHIC SYMBOL LEGEND



THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME, OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEFS, COMPLY WITH ALL STATE AND LOCAL CODE REQUIREMENTS.

I AM ADMINISTERING THE WORK. PROJECT NO. 22029, ERNEST E. VERGES II, 3906, LICENSE NUMBER 10-06-22

VergesRome

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JOB NO. 22029  
NEW ORLEANS, LOUISIANA 70130  
14 ERATO STREET



DATE ISSUED: 10-06-22  
REVISED:  
REVISED:  
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DRAWN BY: WSA  
CHECKED BY: CV, AJT  
PHASE:

CONSTRUCTION  
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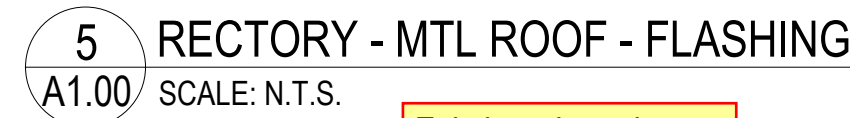
22029

TITLE:  
PROJECT INFO., GENERAL  
NOTES, & LOCATION MAPS

SHEET:

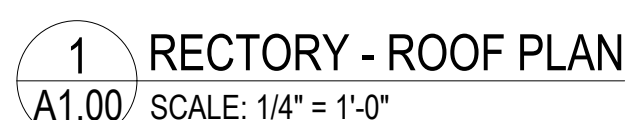
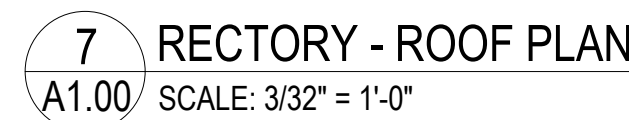
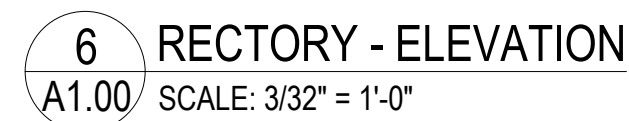
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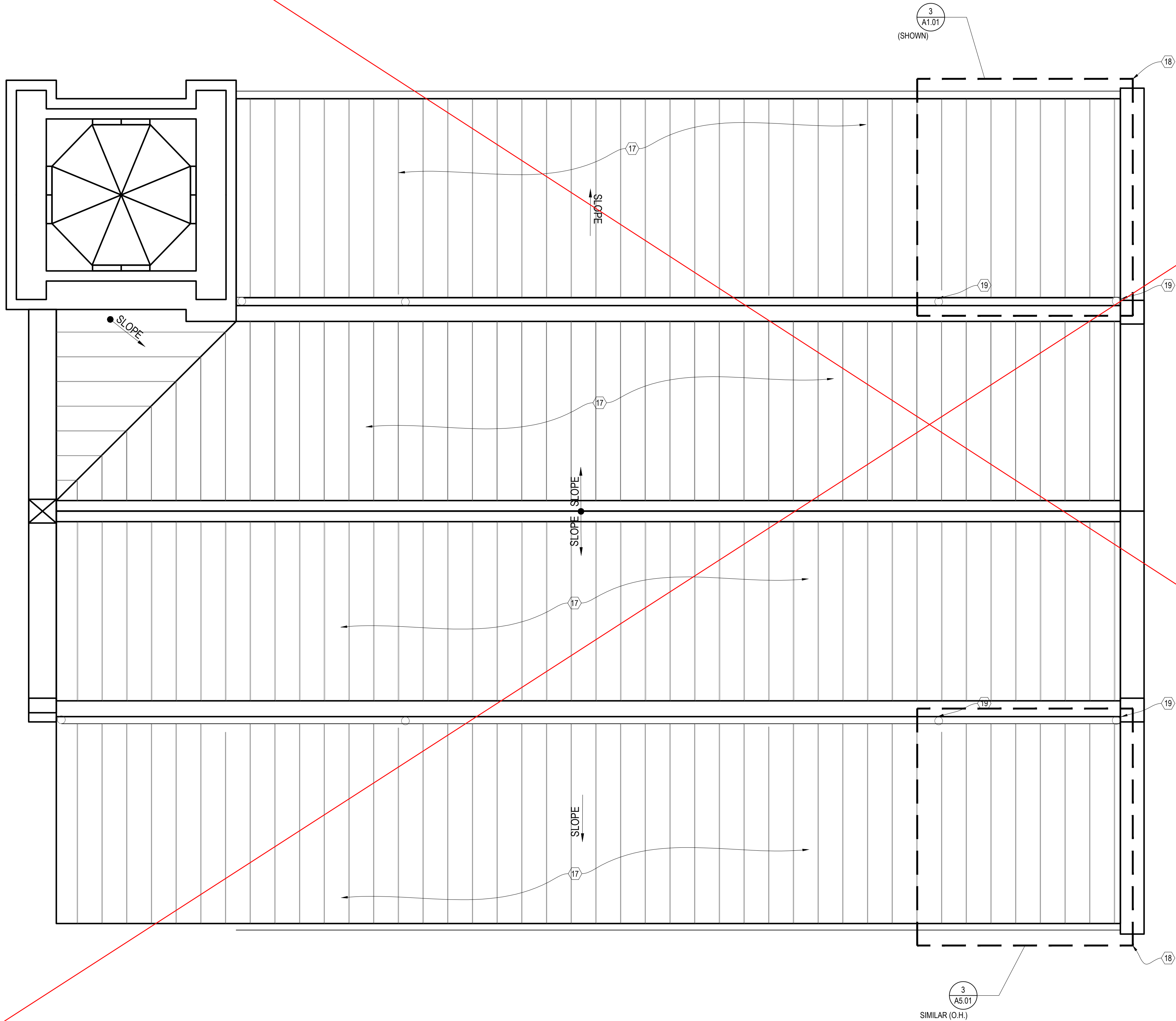
Existing triangular vents to remain and repaired to match existing condition.

- New mortar used in tuckpointing to match existing mortar in strength, composition, and color per testing or attached HDLC mortar mix. Joints to be neatly tooled and struck to match existing joints; mortar may not be feathered or smeared over edges of brick. Brick faces to be cleaned following tuckpointing as needed. All brick cleaning and repairs to be done in accordance with NPS Preservation Briefs 1 and 2 for historic masonry.





Complete St. Theresa of Avila Church roof work under separate permit for that associated address.



1 CHURCH - ROOF PLAN  
A1.00 1/4" = 1'-0"



SPECIFIC ROOF NOTES:

- 1 REMOVE EXISTING ASBESTOS TILE ROOFING SYSTEM, INCLUDING HIP AND RIDGE TILES, EDGE FLASHING, AND UNDERLAYMENT TO EXISTING WOOD DECK OR PURLINS. INSTALL NEW ASPHALT, DIAMOND CUT PATTERN ROOFING SYSTEM AND UNDERLAYMENT ON WOOD DECK OR PURLINS. SALVAGE EXISTING RIDGE TILES FOR RE-INSTALLATION. REPLACE ALL MISSING OR DAMAGED TILES.
- 2 REMOVE EXISTING TERRA COTTA, RIDGE AND HIP TILES EXISTING HIP AND RIDGE NAILER BOARDS TO BE REMOVED AND REPLACED WITH NEW. INSTALL NEW TERRA COTTA RIDGE AND HIP TILES.
- 3 EXISTING BUILT UP ROOFING SYSTEM, INCLUDING BLOCKING, DRIP EDGE, FLASHING, ETC., TO BE REMOVED TO DECK AND REPLACED WITH NEW MODIFIED BITUMEN ROOFING SYSTEM.
- 4 REMOVE AND REINSTALL EXIST. GUTTER WITH NEW S.S. EAVE FLASHING AFTER WOOD BLOCKING AND TRIM REPLACED.
- 5 REMOVE AND REPLACE COPPER VALLEY "V-CHANNEL" FLASHING WITH NEW S.S. FLASHING
- 6 REMOVE AND REPLACE COPPER CHIMNEY FLASHING WITH NEW S.S. FLASHING TO MATCH EXISTING. SEE: 5/A5.00 & 6/A5.00
- 7 REMOVE EXISTING DOWNSPOUTS AS REQUIRED TO REPLACE WOOD BLOCKING. REINSTALL TO MATCH EXISTING.
- 8 INSTALL NEW ASPHALT BASE FLASHING AND SEALANT TO EXIST. MTL. ROOF. EXIST MTL. ROOF TO REMAIN.
- 9 REMOVE AND REPLACE BASE FLASHING OF EXISTING MODIFIED BITUMEN ROOF AS SHOWN, APPROX. 23 L.F. (V.I.F.), REF 2/A1.00 AND 2/A5.00
- 10 INSTALL NEW S.S. EAVE FLASHING. SEE DETAIL 8/A4.00
- 11 REMOVE EXISTING FLASHING AT VENT. INSTALL NEW S.S. FLASHING, RETAIN EXISTING VENT.
- 12 INSTALL NEW S.S. FLASHING AT EXISTING PIPE PENETRATIONS. SEE DETAIL 8/A5.00.
- 13 INSTALL NEW FLASHING AT EXISTING ROOF HATCH. EXISTING HATCH TO REMAIN. REPLACE EXISTING HATCH COVER ON ROOF TO MATCH EXISTING MATERIAL, PROFILE AND DIMENSIONS. REF: 9/A4.00. REF: 13/A4.00 FOR ALTERNATE NO. 1 TO PROVIDE AND INSTALL A NEW ROOF ACCESS HATCH AND LADDER.
- 14 REPAIR CHIMNEY MASONRY, TO MATCH EXISTING AND FABRICATE AND INSTALL REPLACEMENT S.S. METAL CAP TO MATCH EXISTING REMAINING CAP ON OPPOSITE CHIMNEY. SEE DETAILS: 5/A4.00 AND 6/A4.00, PHOTO: 7/A5.00
- 15 EXISTING CHIMNEY STRAP TO REMAIN, REMOVE AND RE-ATTACH, TO MATCH EXISTING, AS REQUIRED FOR INSTALLATION OF NEW ROOFING SYSTEM.
- 16 EXISTING TRIANGULAR LOUVERED VENTS TO BE REMOVED AND REPLACED WITH S.S. VENTS, FLASH INTO NEW ROOFING SYSTEM PER THE ROOFING MFG..
- 17 REMOVE ALL DEBRIS FROM STANDING SEAM METAL ROOF PANELS AND GUTTERS.
- 18 CLEAN AND SEAL ALL EXISTING STANDING SEAM JOINTS AT METAL PANELS IN THE ENTIRE AREA INDICATED.
- 19 EXISTING GUTTER AND DOWNSPOUT TO REMAIN.
- 20 REMOVE OLD SEALANT AND CAULKING FROM COPPER THRESHOLD. CLEAN AND PREP AREA, APPLY NEW SEALANT.



2 RIDGE & PARAPET - CHURCH ROOF  
A1.01 SCALE: N.T.S.



3 STANDING SEAM JOINTS AT REAR OF CHURCH  
A1.01 SCALE: N.T.S.

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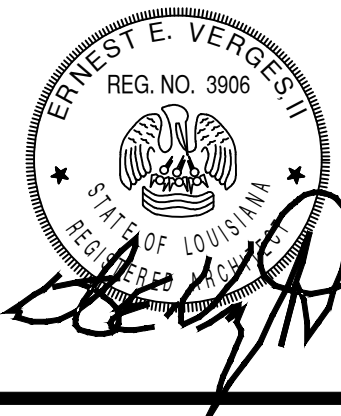
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ROOF PLAN  
CHURCH

SHEET:

A1.01





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HURRICANE IDA ROOF - REPAIRS  
ARCHDIOCESE OF NEW ORLEANS

JOB NO. 22029

NEW ORLEANS, LOUISIANA 70130

1400 PRAIRIE STREET



DATE ISSUED: 10 OCT 2022  
REVISED:  
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PHASE:

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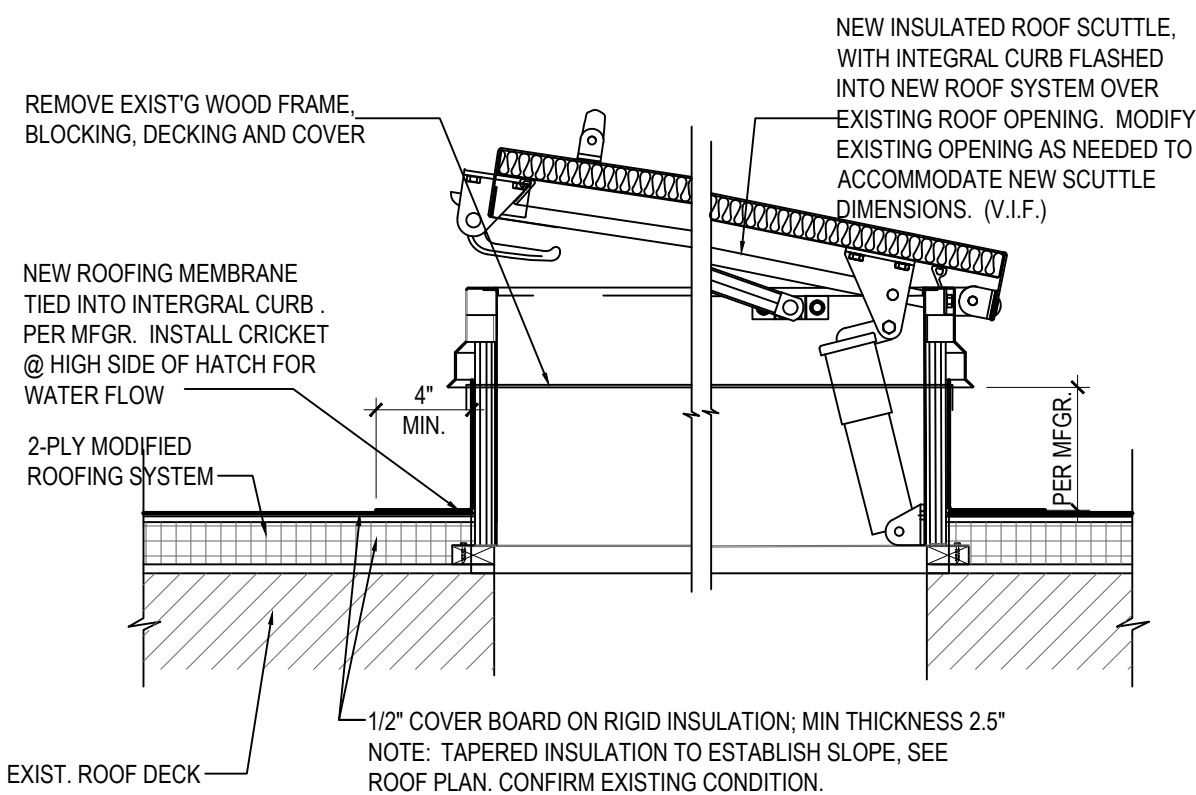
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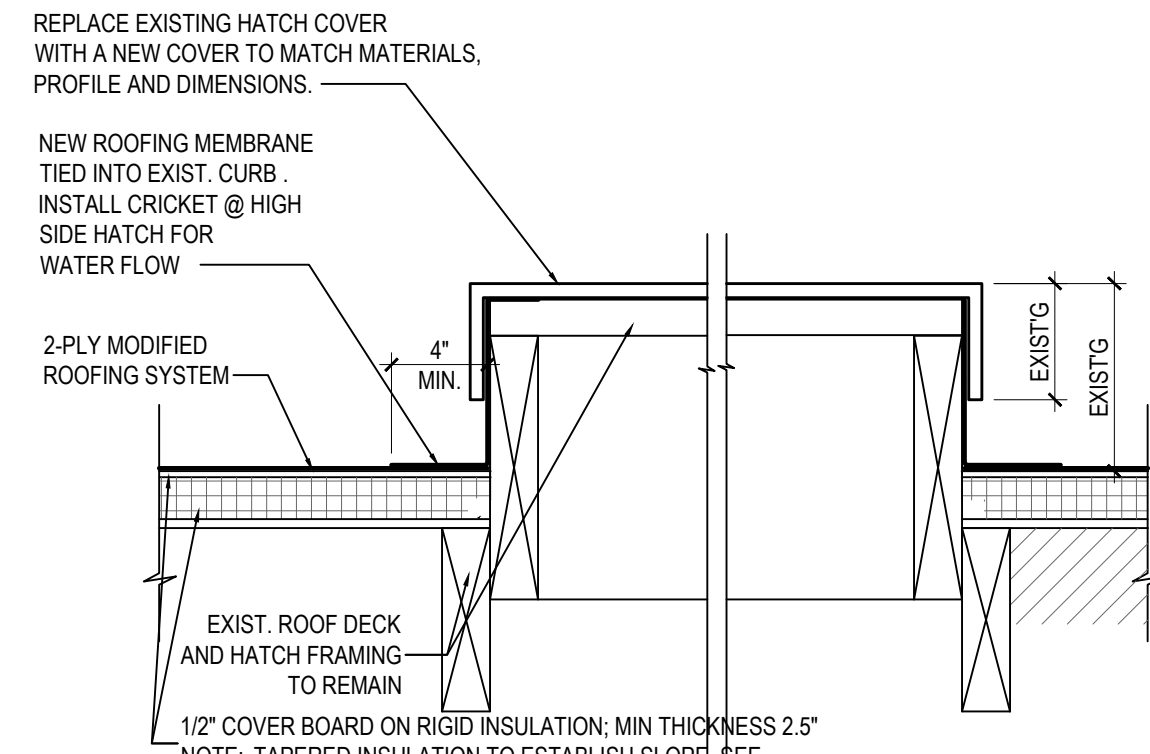
ROOF  
DETAILS

SHEET:

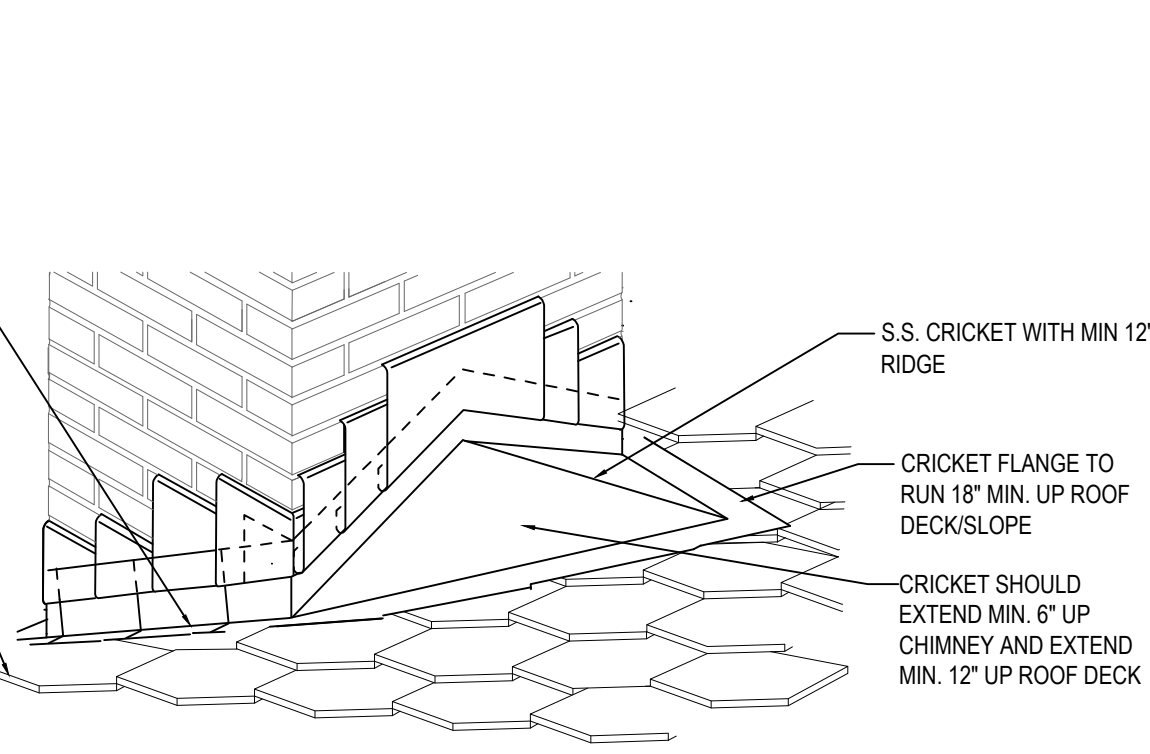
A4.00



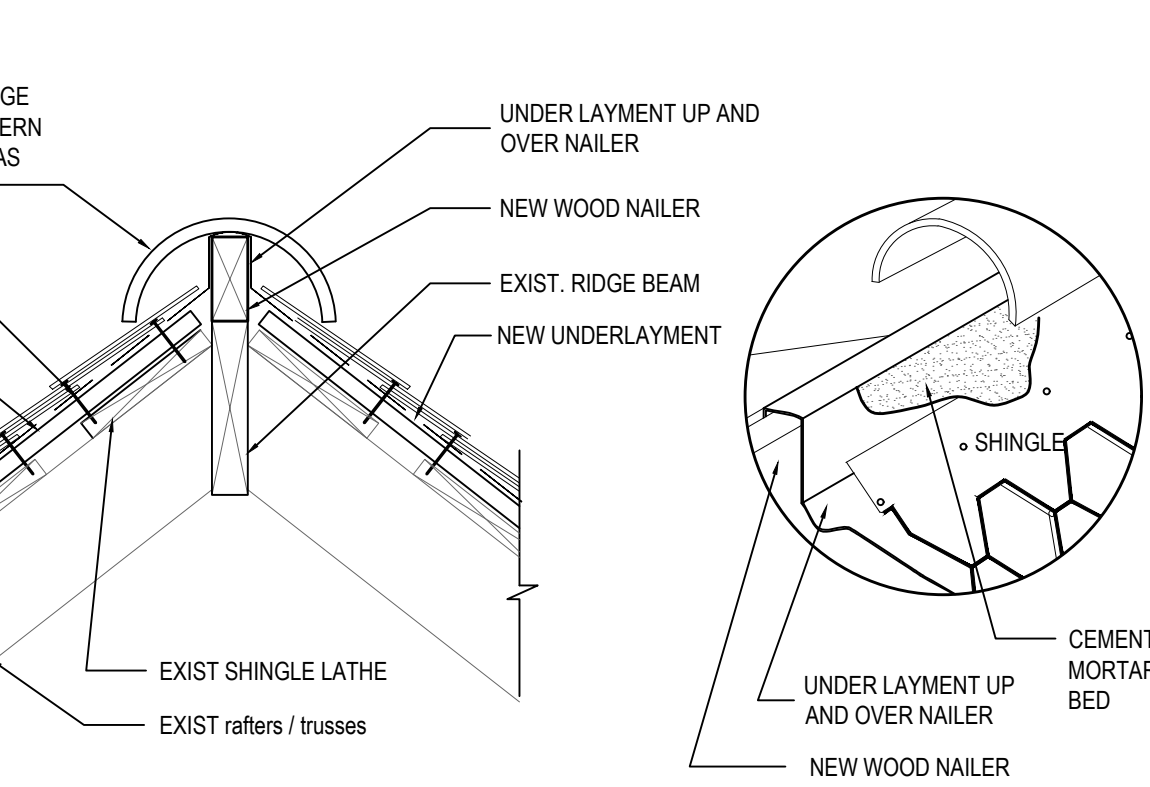
13 HATCH DETAIL - FLAT ROOF - RECTORY-ALTERNATE NO.1  
A4.00 SCALE: 1 1/2" = 1'-0"



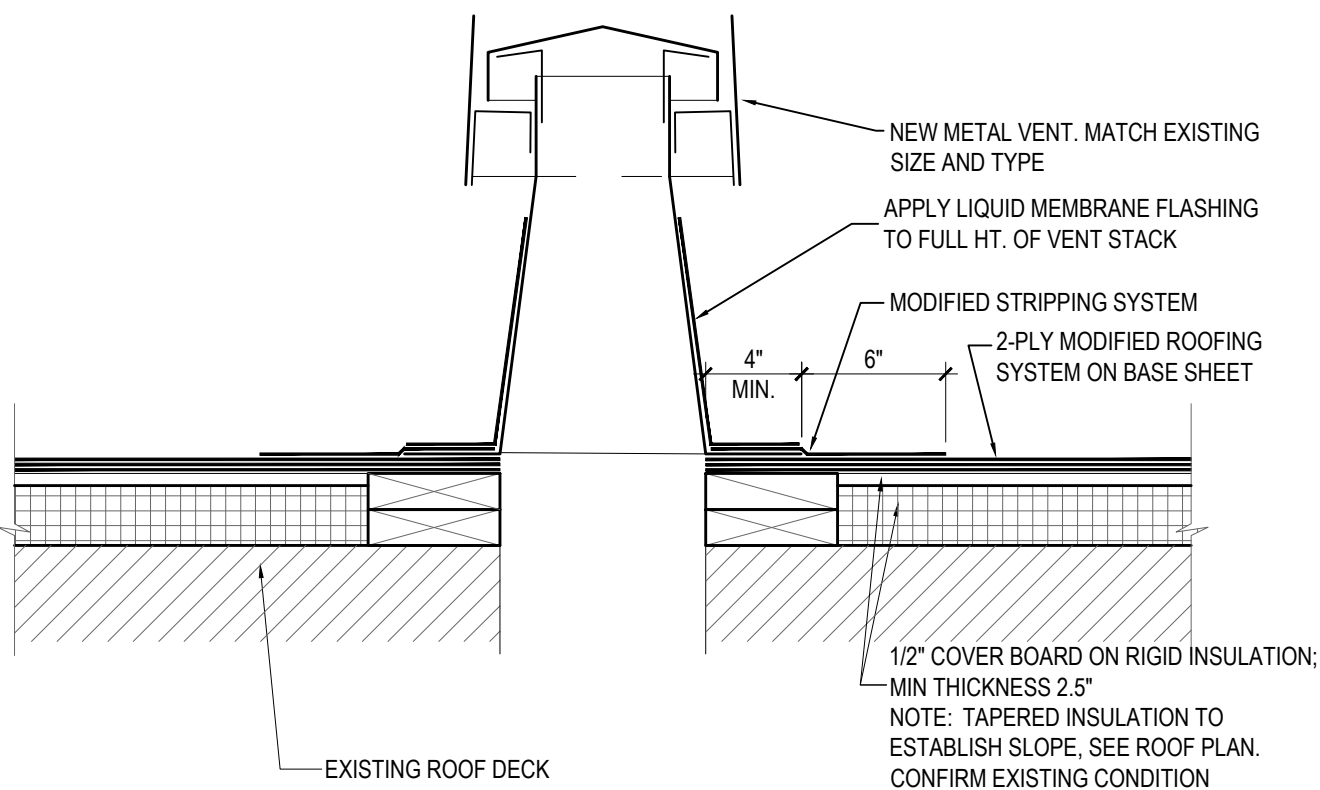
9 HATCH DETAIL - FLAT ROOF - RECTORY  
A4.00 SCALE: 1 1/2" = 1'-0"



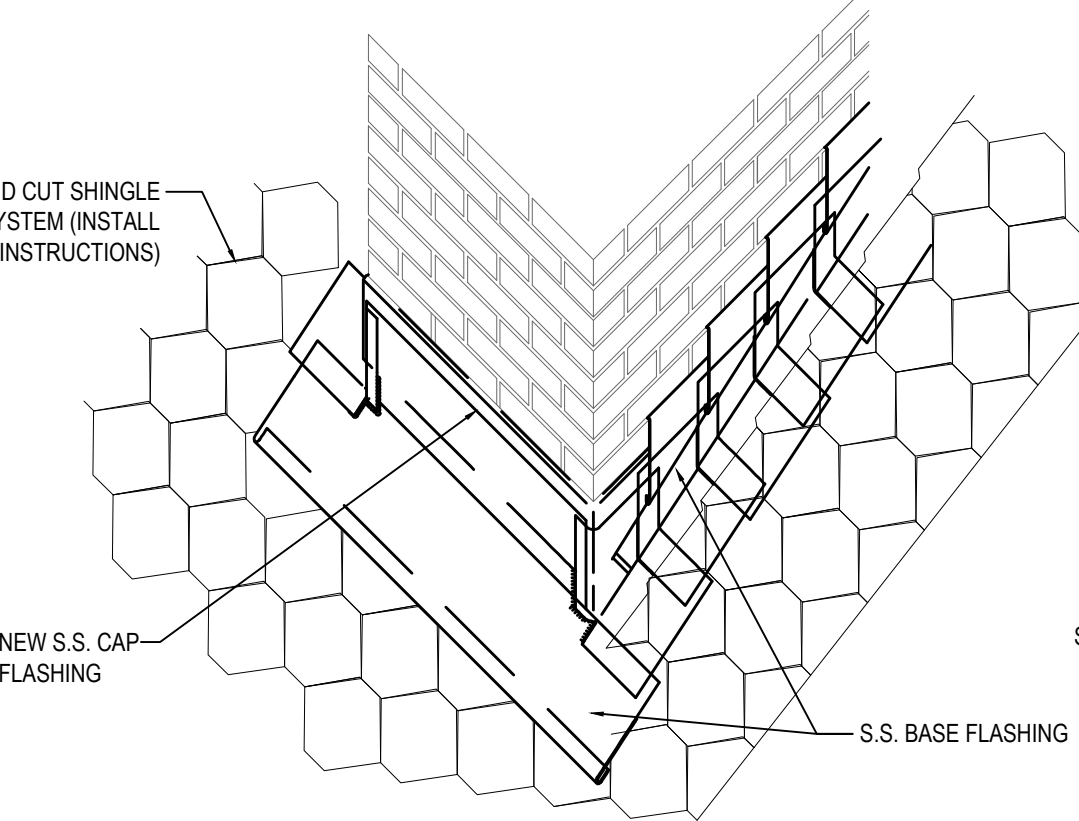
5 CHIMNEY FLASHING DETAIL - TILE ROOF - RECTORY  
A4.00 N.T.S.



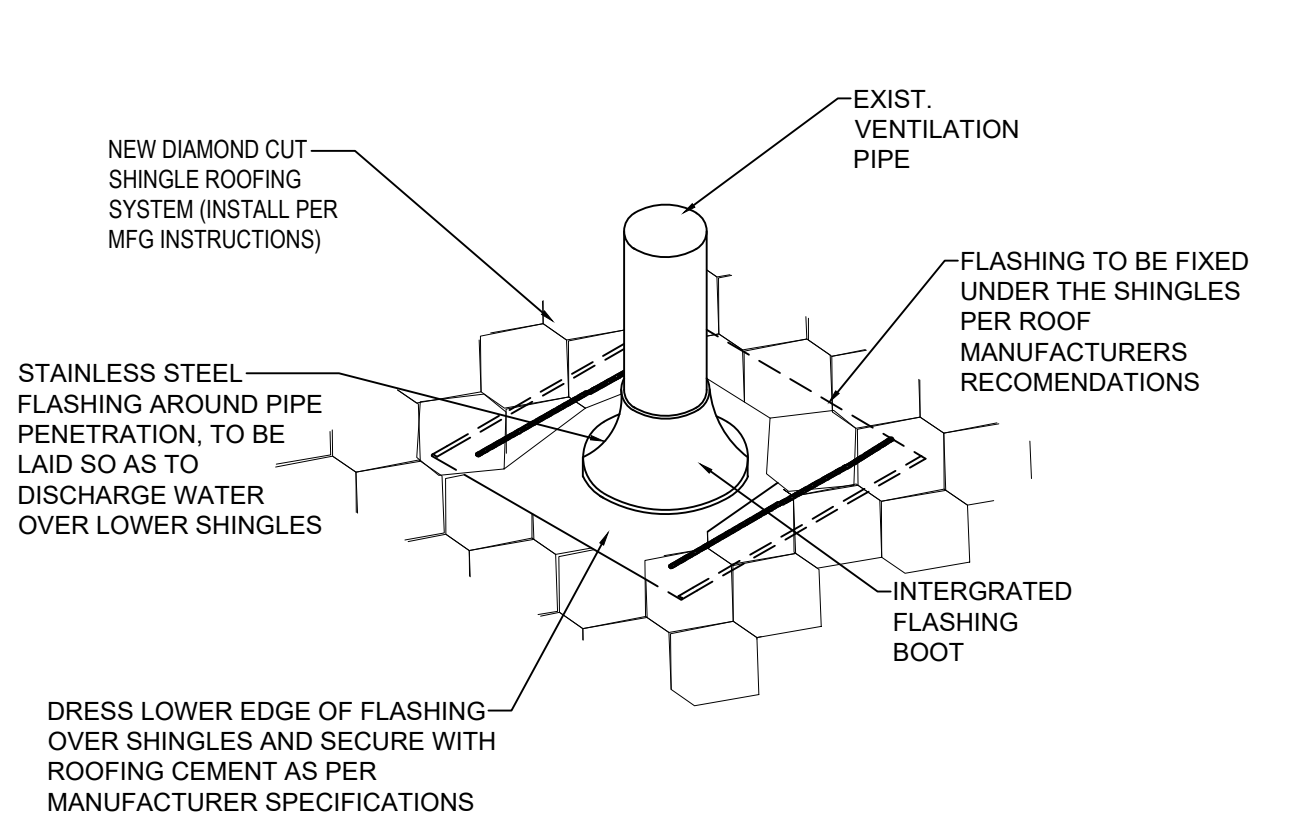
1 ROOFHIP/RIDGE DETAIL - RECTORY  
A4.00 SCALE: 1 1/2" = 1'-0"



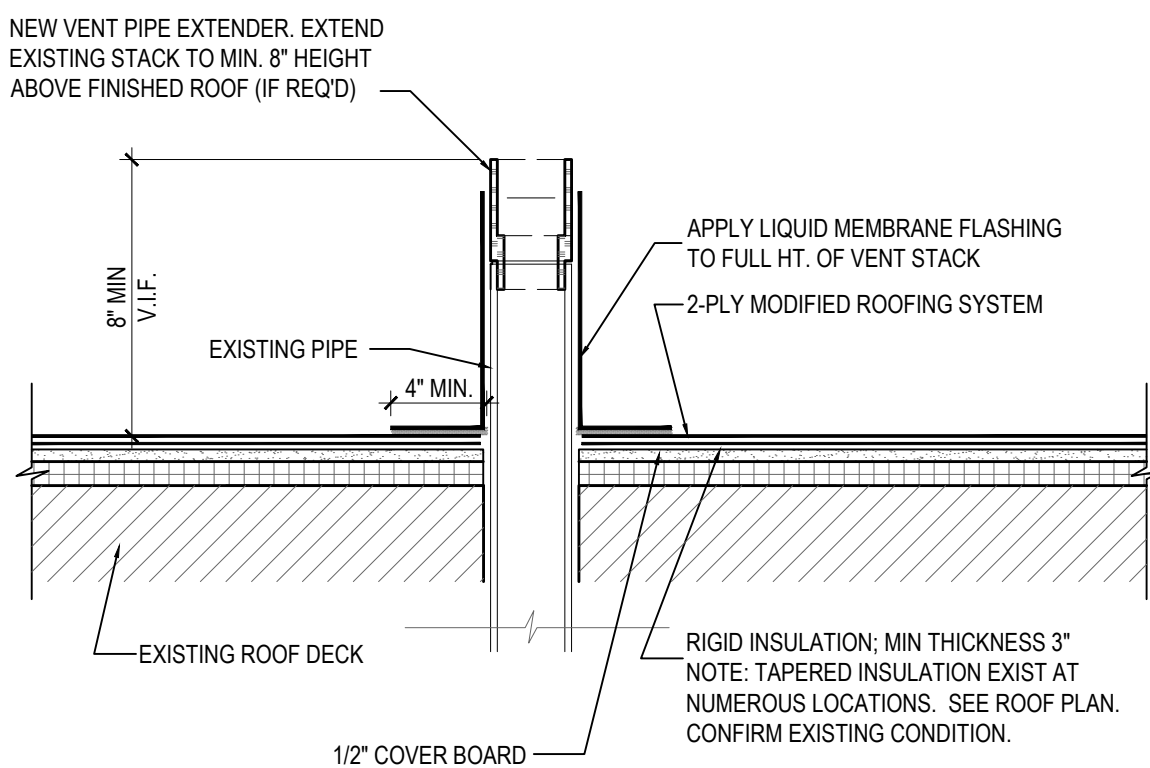
10 VENT PIPE DETAIL - FLAT ROOF - RECTORY  
A4.00 SCALE: 1 1/2" = 1'-0"



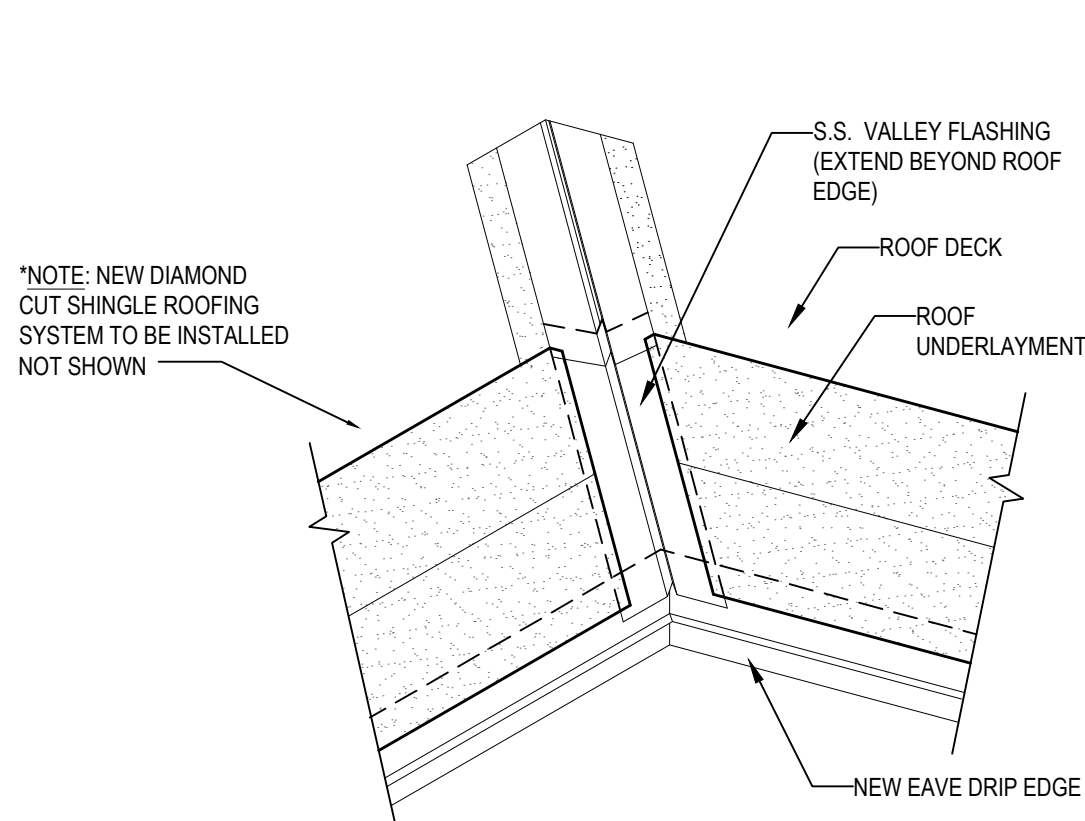
6 CHIMNEY FLASHING DETAIL - TILE ROOF  
A4.00 N.T.S.



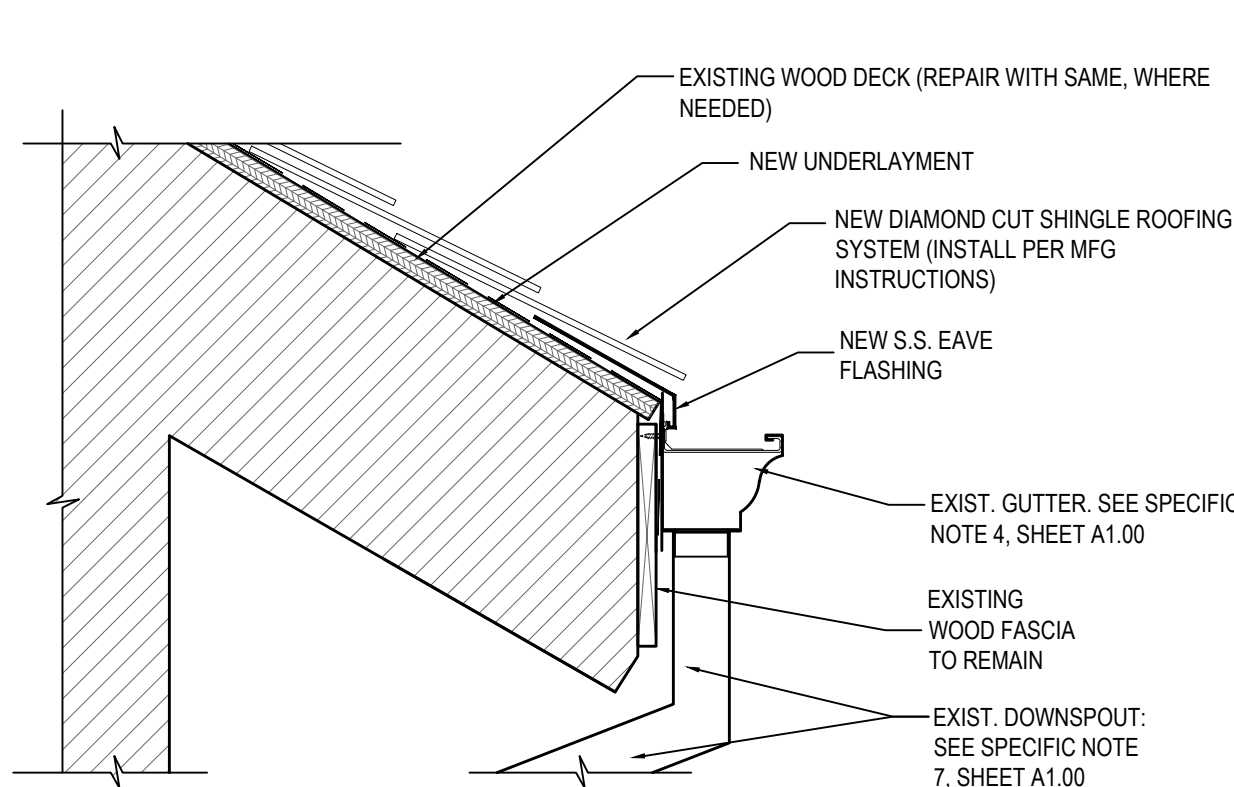
2 PIPE PENETRATION DETAIL - RECTORY  
A4.00 SCALE: 1 1/2" = 1'-0"



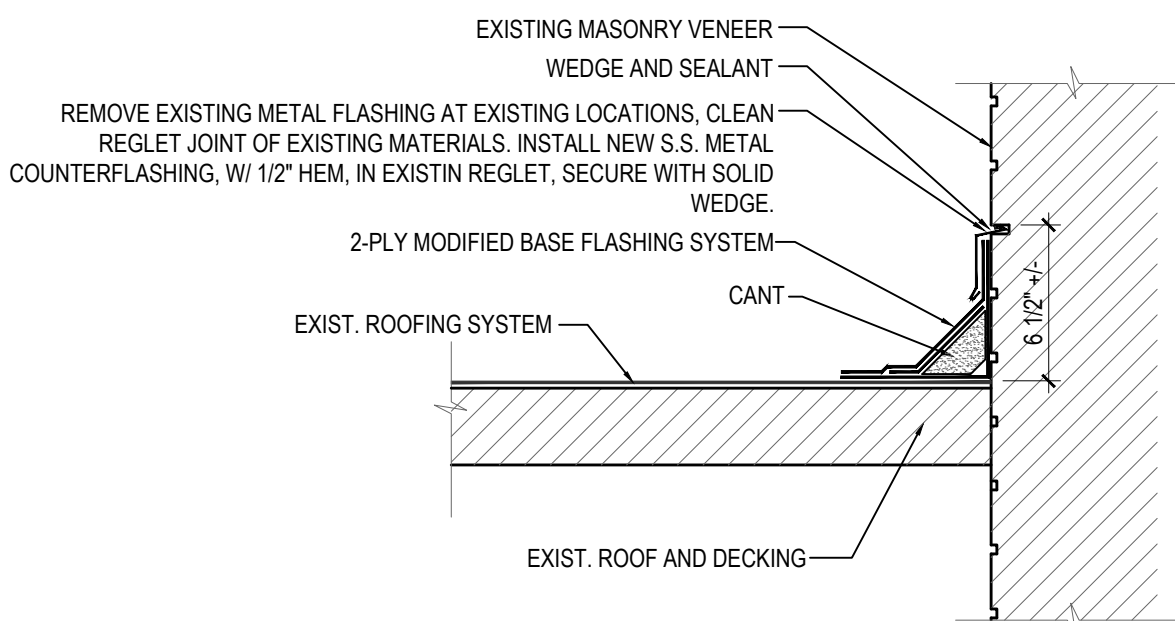
11 VENT PIPE DETAIL - FLAT ROOF - RECTORY  
A4.00 SCALE: 1 1/2" = 1'-0"



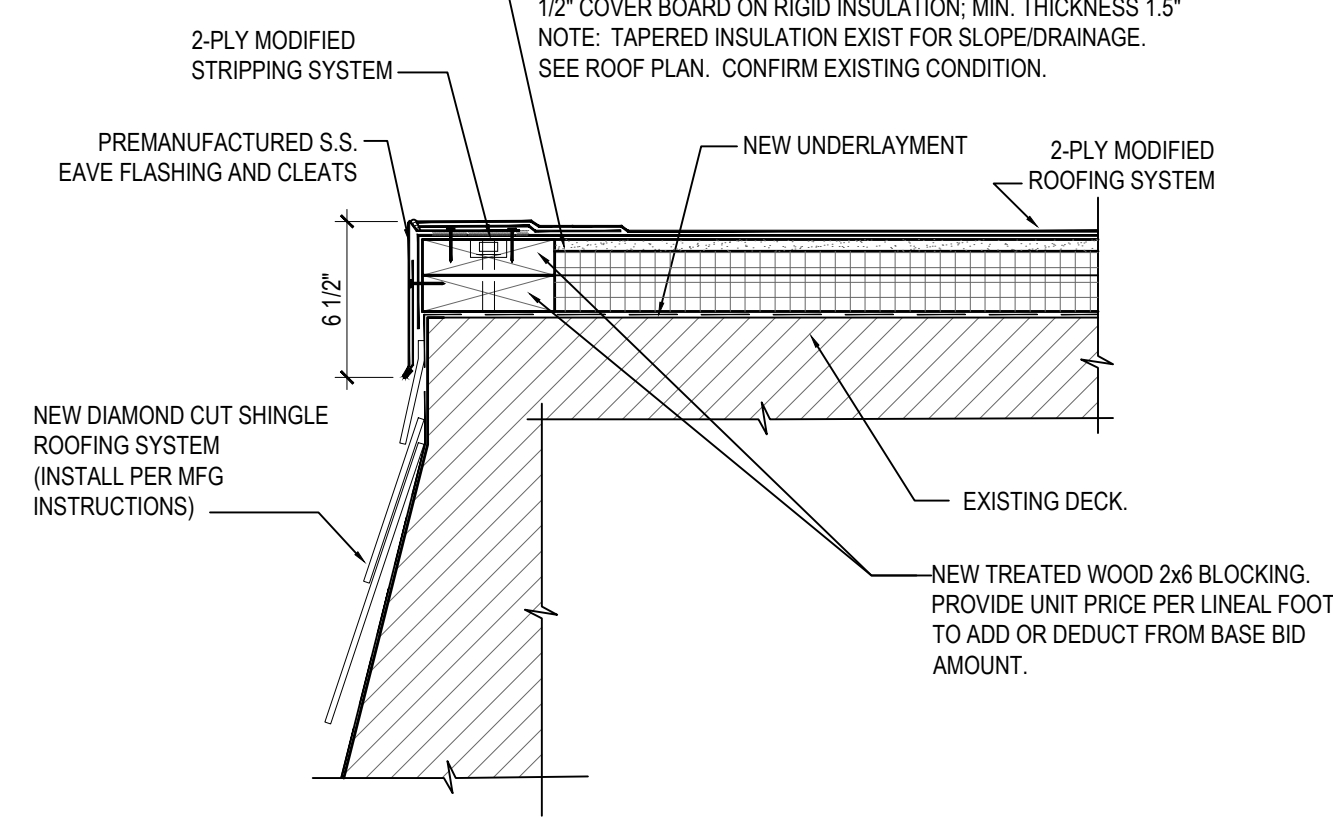
7 VALLEY FLASHING DETAIL - FLAT ROOF - RECTORY  
A4.00 SCALE: 1 1/2" = 1'-0"



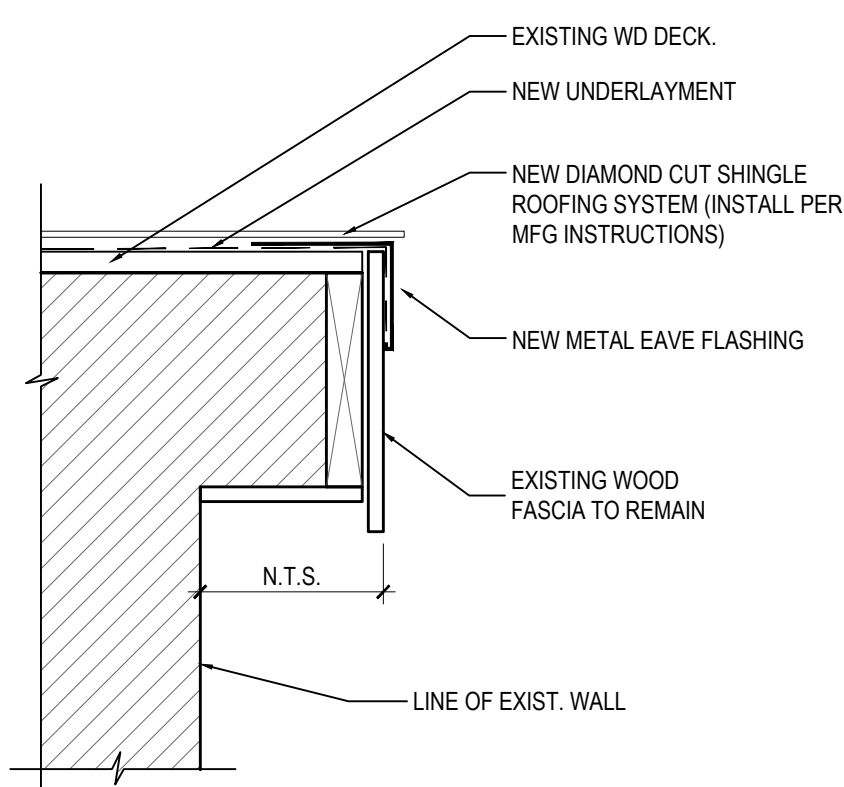
3 ROOF EAVE @ GUTTER DETAIL - RECTORY  
A4.00 SCALE: 1 1/2" = 1'-0"



12 BASE FLASHING DETAIL - LOW ROOF - RECTORY  
A4.00 SCALE: 1 1/2" = 1'-0"

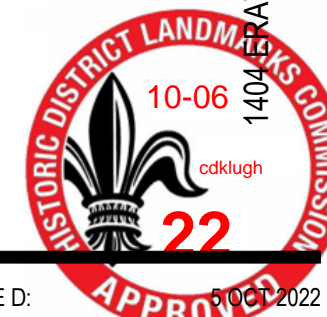


8 ROOF EDGE TRANSITION DETAIL - RECTORY  
A4.00 SCALE: 1 1/2" = 1'-0"



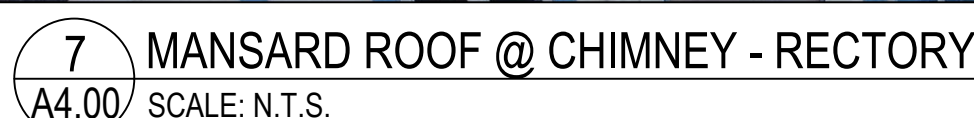
4 ROOF RAKE DETAIL - RECTORY  
A4.00 SCALE: 1 1/2" = 1'-0"





CONSTRUCTION  
DOCUMENTS

A5.00



- 1) REMOVE EXISTING ASBESTOS TILE ROOFING SYSTEM, INCLUDING HIP AND RIDGE TILES, EDGE FLASHING, AND UNDERLAYMENT TO EXISTING WOOD DECK OR PURLINS. INSTALL NEW ASPHALT, DIAMOND CUT PATTERN ROOFING SYSTEM AND UNDERLAYMENT ON WOOD DECK OR PURLINS. SALVAGE EXISTING RIDGE TILES FOR RE-INSTALLATION. REPLACE ALL MISSING OR DAMAGED TILES.
- 2) REMOVE EXISTING TERRA COTTA, RIDGE AND HIP TILES EXISTING HIP AND RIDGE NAILER BOARDS TO BE REMOVED AND REPLACED WITH NEW. INSTALL NEW TERRA COTTA RIDGE AND HIP TILES.
- 3) EXISTING BUILT UP ROOFING SYSTEM, INCLUDING BLOCKING, DRIP EDGE, FLASHING, ETC., TO BE REMOVED TO DECK AND REPLACED WITH NEW MODIFIED BITUMEN ROOFING SYSTEM.
- 4) REMOVE AND REINSTALL EXIST. GUTTER WITH NEW S.S. EAVE FLASHING AFTER WOOD BLOCKING AND TRIM REPLACED.
- 5) REMOVE AND REPLACE COPPER VALLEY "V-CHANNEL" FLASHING WITH NEW S.S. FLASHING
- 6) REMOVE AND REPLACE COPPER CHIMNEY FLASHING WITH NEW S.S. FLASHING TO MATCH EXISTING. SEE: 5/A5.00 & 6/A5.00
- 7) REMOVE EXISTING DOWNSPOUTS AS REQUIRED TO REPLACE WOOD BLOCKING. REINSTALL TO MATCH EXISTING.
- 8) INSTALL NEW ASPHALT BASE FLASHING AND SEALANT TO EXIST. MTL ROOF. EXIST MTL ROOF TO REMAIN.
- 9) REMOVE AND REPLACE BASE FLASHING OF EXISTING MODIFIED BITUMEN ROOF AS SHOWN, APPROX. 23 L.F. (V.I.F.), REF 2/A1.00 AND 2/A5.00
- 10) INSTALL NEW S.S. EAVE FLASHING. SEE DETAIL 8/A4.00
- 11) REMOVE EXISTING FLASHING AT VENT. INSTALL NEW S.S. FLASHING, RETAIN EXISTING VENT.
- 12) INSTALL NEW S.S. FLASHING AT EXISTING PIPE PENETRATIONS. SEE DETAIL 8/A5.00.
- 13) INSTALL NEW FLASHING AT EXISTING ROOF HATCH, EXISTING HATCH TO REMAIN. REPLACE EXISTING HATCH COVER ON ROOF TO MATCH EXISTING MATERIAL, PROFILE AND DIMENSIONS. REF: 9/A4.00. REF: 13/A4.00 FOR ALTERNATE NO. 1 TO PROVIDE AND INSTALL A NEW ROOF ACCESS HATCH AND LADDER.
- 14) REPAIR CHIMNEY MASONRY, TO MATCH EXISTING AND FABRICATE AND INSTALL REPLACEMENT S.S. METAL CAP TO MATCH EXISTING REMAINING CAP ON OPPOSITE CHIMNEY. SEE DETAILS: 5/A4.00 AND 6/A4.00, PHOTO: 7/A5.00
- 15) EXISTING CHIMNEY STRAP TO REMAIN, REMOVE AND RE-ATTACH, TO MATCH EXISTING, AS REQUIRED FOR INSTALLATION OF NEW ROOFING SYSTEM.
- 16) EXISTING TRIANGULAR LOUVERED VENTS TO BE REMOVED AND REPLACED WITH S.S. VENTS, FLASH INTO NEW ROOFING SYSTEM PER THE ROOFING MFG.
- 17) REMOVE ALL DEBRIS FROM STANDING SEAM METAL ROOF PANELS AND GUTTERS.
- 18) CLEAN AND SEAL ALL EXISTING STANDING SEAM JOINTS AT METAL PANELS IN THE ENTIRE AREA INDICATED.
- 19) EXISTING GUTTER AND DOWNSPOUT TO REMAIN.
- 20) REMOVE OLD SEALANT AND CAULKING FROM COPPER THRESHOLD. CLEAN AND PREP AREA, APPLY NEW SEALANT.





Diamond shaped  
Paramount/Cascade  
Advantage Series  
roofing shingles in  
Pewter Gray.