



JACKSON AVENUE RESIDENCE

3231 JACKSON AVENUE
NEW ORLEANS, LA 70125

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project:
**JACKSON AVENUE
RESIDENCE**

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NEW ORLEANS, LA 70125

architect:
SARAH SATTERLEE
9301 HUG EYE ROAD #536
AUSTIN, TX 78724

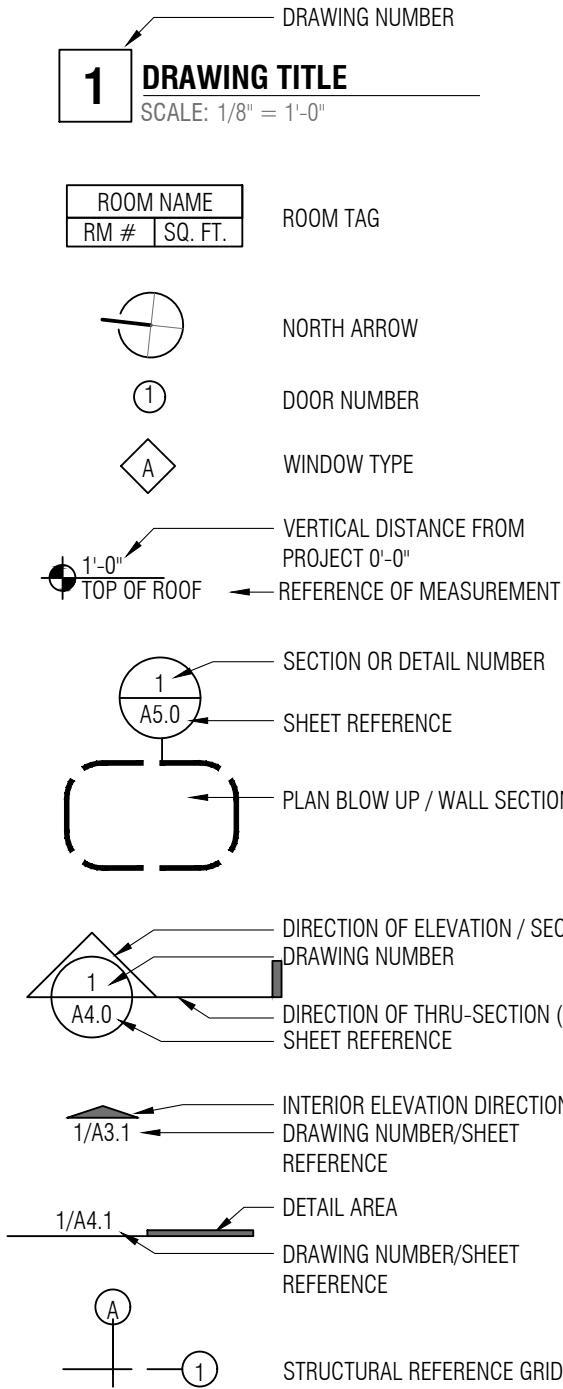


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A0.1
TITLE PAGE



ADJ Adjacent
ALT Alternate
APPROX Approximate
ARCH Architectural
ASTM American Society for Testing & Materials
BD Board
BTWN Between
BFF Below Finish Floor
BLDG Building
BLW Below
BM Beam
BO By Owner
BOF By Owner in Future
BOT Bottom
BP Base Plate
BS Both Sides
CAB Cabinet
CF Cubic Feet
CIP Cast-in-Place
CJT Construction Joint
CJ Control Joint
CL Centerline
CLG Ceiling
CLR Clear
CM Construction Manager
CMU Concrete Masonry Units
CONC Concrete
CONT Continuous
COORD Coordinate
CT Ceramic Tile
CTR Center
CY Cubic Yards
DBL Double
DEMO Demolition/Demolish
DIA Diameter
DIAG Diagonal
DIM Dimension
DWG Drawing
EA Each
EJ Expansion Joint
ELEC Electrical
EQ Equal
EXT Exterior
FDN Foundation

FFE Finish Floor Elevation
FT Feet
FUT Future
GAL Gallon
GALV Galvanized
GC General Contractor
GYP Gypsum Wallboard
HWR Hardware
HVAC Heating, Ventilating, Air Conditioning
HW Hot Water
ID Inside Diameter
IN Inches
INT Interior
IPS Iron Pin Set
JST Joist
JT Joint
KO Knockout
L Angle
LAV Lavatory
LB Pound
LIN Linear
MAX Maximum
MECH Mechanical
MFR Manufacturer
MIN Minimum
MISC Miscellaneous
MTL Metal
NA Not Applicable
NIC Not in Contract
NO Number
NOM Nominal
NTS Not to Scale
OC On Center
OD Outside Diameter
OPP Opposite
OTB Open to Below
PLS Plaster
PLY Plywood
PR Pair
PSF Pounds per Square Foot
PSI Pounds per Square Inch
PT Pressure-Treated
R Radius
RA Return Air
REF Reference

REF Reference
REFR Refrigerator
RM Room
RO Rough Opening
SECT Section
SHT Sheet
SIM Similar
SPECS Specifications
SQ Square
SQ FT Square Foot
SQ IN Square Inch
STL Steel
SUSP Suspended
SYS System
T/ Top
T&B Top and Bottom
T&G Tongue and Groove
TOW Top of Wall
TYP Typical
UGND Underground
UON Unless Otherwise Noted
VERT Vertical
VB Vapor Barrier
VENT Ventilation
VIF Verify in Field
VTR Vent through Roof
W Width / Wide
W/ With
W/O Without
WC Water Closet
WD Wood
WT Weight
WWF Welded Wire Fabric

2 **SYMBOLS AND ABBREVIATIONS**
SCALE: N.T.S.

CODE ANALYSIS

Applicable Codes

Building Code 2015 International Building Code
Life Safety Code 2015 NFPA 101 Life Safety
Mechanical Code 2015 International Mechanical Code
Plumbing Code SW&B Plumbing Code, 2000 Louisiana Plumbing Code
Electrical Code 2014 National Electric Code
Energy Code AHRAE 90.1-2007

Occupancy Classification

IBC: Residential R-3 (IBC 310.5)
NFPA: Residential, One- and Two- Family Dwelling Unit (NFPA 6.1.8.1)

Building Information

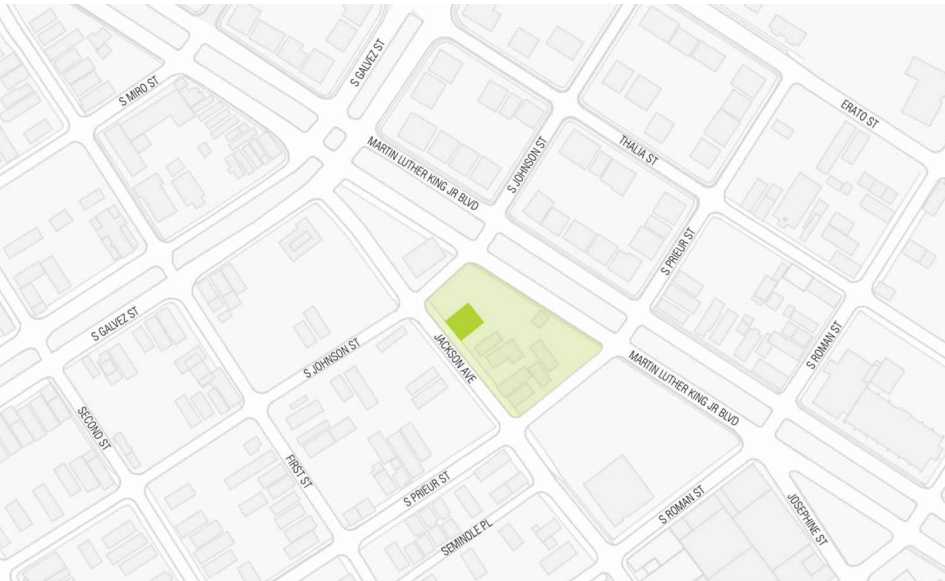
Building Area
Conditioned main floor: 1315 sf
Covered, unconditioned main floor: 129 sf
Conditioned second floor: 1048 sf
Covered, unconditioned second floor: 0 sf
Total floor area: 2363 sf
Number of Stories: 2
Building Height: 30'-8" above adj grade, approx.
Fire Protection: No sprinkler provided

PROJECT INFORMATION

Description: New single-family residence.
Building Address: 3231 Jackson Avenue
New Orleans, LA 70125
Tax Bill/ Parcel Number 412402304
Flood Zone: AE, -1.0 BFE. See Foundation Plan for FFE
Zoning District: HU-RD2
Lot Area 3600 SF
Lot Width 60'
Lot Depth 60'
Permeable Open Space: 47%
Yard Requirements: See Site Plan
Parking: None required

PROJECT DIRECTORY

Owner: Blake and Lena Satterlee
3822 Octavia
New Orleans, LA 70125
Architect: Sarah Satterlee
9301 Hog Eye Road #536
Austin, TX 78724
General Contractor: Charles Aponza
Brighter Horizons Construction



DEPARTMENT OF SAFETY & PERMITS
CITY OF NEW ORLEANS

PERMIT NO: _____ DATE: _____
ADDRESS: 3231 JACKSON AVE. - 70125 SUBDIVISION: N/A
DISTRICT: 4TH SQUARE: 433 LOTS: G & H

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM INDEX	FIRM ZONE	BASE FLOOD ELEVATION (BFE)	FREEBOARD (ADD 1FT FOR A AND V ZONES)
225 203	0229	F	9/30/16	AE	-1.0 N.A.V.D.	+1ft = _____

MINIMUM FLOOR ELEVATION: _____ N.A.V.D.
FOR V - ZONES ONLY: _____ N.A.V.D.
(ELEVATION OF BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER)

IN ADDITION TO THE FEMA ELEVATIONS, THE FOLLOWING CONDITIONS MUST ALSO BE MET:
A. TOP OF SLABS ON GRADE OR FILL MUST BE AT LEAST 36" ABOVE THE HIGHEST POINT OF CURB IN FRONT OF THE LOT OR SITE.
B. PIER CONSTRUCTION: TOP OF PIERS (UNDERSIDE OF SILLS) MUST HAVE AT LEAST 18" CLEARANCE BENEATH THE STRUCTURE. IN ADDITION, THE LOWEST FLOOR MUST BE AT LEAST 36" ABOVE THE HIGHEST POINT OF CURB IN FRONT OF THE LOT OR SITE. (IF NO CURB, USE CENTERLINE OF STREET)
C. ALL MECHANICAL OR PLUMBING EQUIPMENT SERVICING THE BUILDING MUST BE LOCATED AT OR ABOVE THE REQUIRED FLOOR ELEVATION.
D. SLABS FOR ATTACHED GARAGES MUST BE AT THE REQUIRED FLOOR ELEVATION OR BE CONSTRUCTED OF WATER-RESISTANT MATERIALS WITH PROPER VENTING IN 2 WALLS.
E. DETACHED GARAGES WITH PLUMBING MUST BE AT THE REQUIRED FLOOR ELEVATION.
F. CONSTRUCTION BENCHMARK MUST BE SET AT REQUIRED MINIMUM FLOOR ELEVATION OR GREATER. (ADD 1 FOOT FOR A & V-ZONES)

APPROVED FOR CITY BY: _____

1. CERTIFICATE OF CONSTRUCTION BENCHMARK

EXISTING HIGHEST TOP OF CURB ELEVATION -4.7' N.A.V.D.
EXISTING HIGHEST CENTERLINE OF STREET -4.7' N.A.V.D.
EXISTING LOT ELEVATIONS (PROPERTY CORNERS OR EDGE)
FRONT (RIGHT) -4.0' N.A.V.D. FRONT (LEFT) -4.2' N.A.V.D.
REAR (RIGHT) -3.9' N.A.V.D. REAR (LEFT) -4.1' N.A.V.D.
OTHER: _____ N.A.V.D.
DESCRIBE: _____
DESCRIPTION OF CONSTRUCTION BENCHMARK: 60d NAIL IN POWER POLE IN FRONT OF LOT.
NAIL SET ON WEST SIDE OF POWER POLE.

ELEVATION OF CONSTRUCTION BENCHMARK: 0.0' N.A.V.D. (SEE NOTE F.)
REFERENCE BENCHMARK USED TO ESTABLISH CONSTRUCTION BENCHMARK: ALCO
ELEVATION OF REFERENCE BENCHMARK: 5.8' N.A.V.D.

SIGNATURE: _____ DATE: JULY 27, 2022
(LA. REGISTERED PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER) (SEAL)

2. CERTIFICATE OF TOP OF FORM OR TOP OF PIER ELEVATION
(To be submitted before pouring concrete for slab construction or framing floor for pier construction)

AS BUILT ELEVATIONS: FORM _____ N.A.V.D. PIER _____ N.A.V.D.

PIER CONSTRUCTION:
ALL FRAMING MATERIALS BELOW THE MINIMUM FLOOR ELEVATION (B.F.E.) MUST BE CONSTRUCTED WITH WATER-RESISTANT MATERIALS AND THE FIRST FLOOR MUST BE AT OR ABOVE THE MINIMUM FLOOR ELEVATION (B.F.E.).

V ZONES ONLY:
BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER _____ N.A.V.D.
(Must be submitted before framing begins)
IN V ZONES, ALL ENCLOSURES BELOW THE B.F.E. MUST BE DESIGNED WITH BREAK-AWAY WALLS CONSTRUCTION.

SIGNATURE: _____ DATE: _____
(LA. REGISTERED PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER) (SEAL)

3. FILLING, GRADING, DRAINAGE, SIDEWALK AND DRIVEWAY CERTIFICATION AND AFFIDAVIT
(To be submitted before Use & Occupancy Certificate can be issued)

THIS WILL CONFIRM THAT ALL FILLING, GRADING, DRAINAGE, SIDEWALKS AND DRIVEWAYS HAVE MET THE REQUIREMENTS OF THE APPLICABLE SECTIONS OF THE CODE OF THE CITY OF NEW ORLEANS.

OWNER: _____ DATE: _____

APPLICANT: _____ DATE: _____ (NOTARY)

OR
IS LOT PROPERLY FILLED TO GRADE? YES NO

(minimum lot slope, rear to front, 1 inch every 20 feet)
ARE SIDEWALKS PROPERLY INSTALLED? YES NO
ARE DRIVEWAYS PROPERLY INSTALLED? YES NO
ARE RETAINING WALLS REQUIRED? YES NO
(if yes, then on which side(s) RIGHT LEFT REAR
ARE EQUIPMENT SLABS, SUCH AS A/C COMPRESSORS,
AT MINIMUM FLOOR ELEVATION? YES NO
DO ATTACHED GARAGES IN A-ZONES,
THAT ARE BELOW MINIMUM FLOOR ELEVATION,
HAVE PROPER VENTING AND WATERPROOFING? YES NO N/A

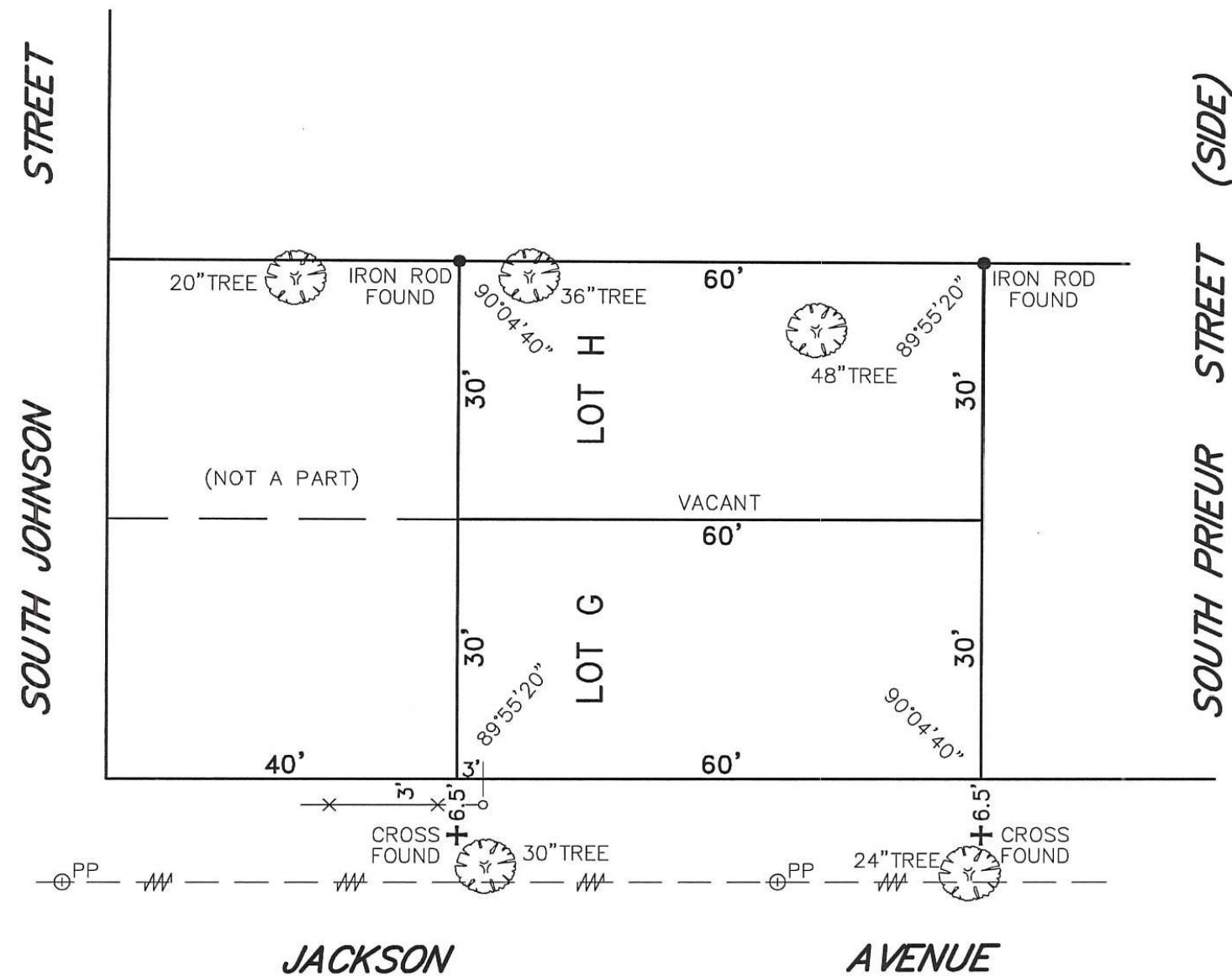
SIGNATURE: _____ DATE: _____
(LA. REGISTERED PROFESSIONAL CIVIL ENGINEER) (SEAL)

THE LATEST FEMA ELEVATION CERTIFICATE MUST ACCOMPANY PART 3 OF THIS FORM WHEN SUBMITTED TO THE DEPARTMENT OF SAFETY AND PERMITS. 2016

2 ELEVATION CERTIFICATE
SCALE: N.T.S.

BOUNDARY SURVEY OF
PORTION OF LOTS G & H
SQUARE 433
FOURTH DISTRICT
ORLEANS PARISH, LA

MARTIN LUTHER KING JR. BOULEVARD (SIDE)
(LATE MELPOMENE STREET)



NOTE:
ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED. SOME ITEMS MAY NOT BE TO SCALE FOR CLARITY. DIMENSIONS ON SURVEY PREVAIL OVER THE SCALE. FENCES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND DO NOT REFLECT EXACT LOCATION OR CONDITION.

GENERAL NOTES

ANGLES AND/OR BEARINGS ARE BASED ON REFERENCE PLAN #1
REFERENCE PLAN #1: A PLAN OF SURVEY BY GILBERT, KELLY & COUTURIE, INC., SURVEYING & ENGINEERING
DATED APRIL 16, 1981
THE SERVITUDES SHOWN ON THIS SURVEY ARE LIMITED TO THOSE FURNISHED US AND THERE IS NO
REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR
HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.
THIS PERIMETER SURVEY SHALL NOT CONSTITUTE A LEGAL OPINION OF TITLE, AND SHALL NOT BE
RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS TO THE LEGAL
TITLE, AND WAS MADE SOLELY ACCORDING TO THE INFORMATION PROVIDED TO THE SURVEYOR.

ELEVATION NOTES

THIS IS CERTIFY THAT SUBJECT PROPERTY IS LOCATED IN THE FOLLOWING FLOOD ZONE, PER FLOOD
INSURANCE RATE MAP (FIRM) DATED: SEPTEMBER 30, 2016 FLOOD ZONE: AE
BASE FLOOD ELEVATION: -1.0' COMMUNITY PANEL: 225203 0229 F

THIS IS TO CERTIFY THAT THE PROPERTY BOUNDARY SURVEY RECORDED
HEREON WAS MADE ON THE GROUND UNDER MY DIRECT SUPERVISION,
AND IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE FOR
PROFESSIONAL LAND SURVEYORS AS STIPULATED IN LOUISIANA
ADMINISTRATIVE CODE TITLE: 46:IXI, CHAPTER 29 FOR A CLASS "C"
(SUBURBAN) SURVEY

MADE AT THE REQUEST OF BLAKE SATTERLEE

BY: _____
RICHMOND W. KREBS, PLS, LIC. #4836

R.W. KREBS
PROFESSIONAL LAND SURVEYING, LLC
RICHMOND W. KREBS, SR., PLS
3445 N. CAUSEWAY BLVD, SUITE 201
METAIRIE, LA. 70002
PHONE: (504) 889-9616
FAX: (504) 889-0916
E-MAIL: info@rwkrebs.com
WEB: www.rwkrebs.com

DATE: NOVEMBER 22, 2021 DRAWN BY: WRB
SCALE: 1" = 20' CHECKED BY: NDK
JOB #: 212546

1 SURVEY
SCALE: N.T.S.

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revisions:

A0.3
SURVEY

GENERAL NOTES

- 1. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE SPECIFICATIONS.
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH DESIGN AND DESCRIBED UNDER CODE REVIEW BELOW.
- 3. CONTRACTOR TO NOTIFY ARCHITECT FOR CLARIFICATION OF ANY DISCREPANCIES IN THE DRAWINGS.
- 4. SLOPE ALL EXTERIOR SLABS FOR POSITIVE DRAINAGE. STANDING WATER CAUSE FOR REJECTION - NO EXCEPTIONS.
- 5. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY BLOCKING, GYPBD AND/OR FIRE CAULKING AS NEEDED TO PROVIDE REQD FIRE RESISTANCE RATING AT ALL FLOOR, WALL, AND ROOF ASSEMBLIES AND SEPARATIONS PER CODE REQUIREMENTS.
- 6. ARCHITECT HAS MADE EFFORT TO DOCUMENT ALL EXISTING CONDITIONS AT SITE. HOWEVER, VARIATIONS IN INFORMATION CALLED OUT HEREIN MAY EXIST. CONTRACTOR TO CONFIRM ANY VARIATIONS OR DISCREPANCIES PRIOR TO BEGINNING WORK.
- 7. FOR MINOR UNDOCUMENTED EXISTING CONDITIONS, GENERAL CONTRACTOR TO MAKE MODIFICATIONS AS REQUIRED TO FULFILL DESIGN INDICATED ON CONTRACT DOCUMENTS.

GENERAL STRUCTURAL NOTES

- 1. CONTRACTOR RESPONSIBILITY - CONSTRUCTION DOCUMENTS REPRESENT THE FINISHED STRUCTURE. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES AND SAFETY PRECAUTIONS, INCLUDING BUT NOT LIMITED TO SHORING AND TEMPORARY BRACING.
- 2. DIMENSIONS - USE WRITTEN DIMENSIONS ONLY. VERIFY ALL DIMENSIONS AT JOB SITE BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES. WHERE NO DIMENSIONS ARE PROVIDED OBTAIN CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- 3. OMISSIONS & CONFLICTS - OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE CONSTRUCTION DOCUMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM. IF CERTAIN FEATURES ARE NOT FULLY DELINEATED IN THE CONSTRUCTION DOCUMENTS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE DELINEATED.

II. DESIGN BASIS

- APPLICABLE BUILDING CODES AND STANDARDS:
- 1. 2015 INTERNATIONAL BUILDING CODE (IBC), NEW ORLEANS AMENDMENTS

MECHANICAL NOTES

- 1. GENERAL CONTRACTOR RESPONSIBLE FOR PROVIDING DESIGN/BUILD MECHANICAL SERVICES FOR PROJECT. WORK TO COMPLY WITH ALL APPLICABLE CODES. WORK TO BE COORDINATED AND REVIEWED BY ARCHITECT FOR COMPLIANCE WITH DESIGN REQUIREMENTS PRIOR TO INSTALL. STANDARD SUBMITTAL PROCEDURE TO BE FOLLOWED.
- 2. ALL WORK SHALL BE PERFORMED BY LICENSED INDIVIDUALS TO PERFORM THEIR SAID WORK, AS OUTLINED BY LAW.
- 3. IT IS INTENDED THAT ALL OCCUPIED SPACES ARE TO BE CONDITIONED.
- 4. ALL HVAC DUCT WORK TO BE ROUTED ABOVE CEILING IN CONCEALED SPACE.

ELECTRICAL NOTES

- 1. GENERAL CONTRACTOR RESPONSIBLE FOR PROVIDING DESIGN/BUILD ELECTRICAL SERVICES FOR PROJECT. WORK TO COMPLY WITH ALL APPLICABLE CODES. WORK TO BE COORDINATED AND REVIEWED BY ARCHITECT FOR CODE COMPLIANCE WITH DESIGN REQUIREMENTS PRIOR TO INSTALL. STANDARD SUBMITTAL PROCEDURE TO BE FOLLOWED.
- 2. ALL WORK SHALL BE PERFORMED BY LICENSED INDIVIDUALS TO PERFORM THEIR SAID WORK, AS OUTLINED BY LAW.
- 3. LIGHTING LAYOUT SHOWN ON PLANS IS TO DESCRIBE DESIGN INTENT ONLY. ELECTRICAL CONTRACTOR TO PROVIDE ALL CODE-REQUIRED LIGHTING, EXIT SIGNAGE, ETC. FINAL LIGHTING LAYOUT TO BE COORDINATED WITH ARCHITECT.
- 4. RECEPTACLES, SWITCHES, AND ALL OUTLET BOX COVERS TO BE WHITE U.O.N.
- 5. SMOKE AND CARBON MONOXIDE DETECTORS TO BE PROVIDED AS REQUIRED BY CONTRACTOR.

PLUMBING NOTES

- 1. GENERAL CONTRACTOR RESPONSIBLE FOR PROVIDING DESIGN/BUILD PLUMBING SERVICES FOR PROJECT. WORK TO COMPLY WITH ALL APPLICABLE CODES. WORK TO BE COORDINATED AND REVIEWED BY ARCHITECT FOR CODE COMPLIANCE WITH DESIGN REQUIREMENTS PRIOR TO INSTALL. STANDARD SUBMITTAL PROCEDURE TO BE FOLLOWED.
- 2. ALL WORK SHALL BE PERFORMED BY LICENSED INDIVIDUALS TO PERFORM THEIR SAID WORK, AS OUTLINED BY LAW.
- 3. SEE PLUMBING FIXTURE SCHEDULE FOR BASIC PLUMBING FIXTURES. NOT ALL EQUIPMENT AND FIXTURES ARE SHOWN OR NOTED. PLUMBING CONTRACTOR TO PROVIDE ALL NECESSARY PARTS AND EQUIPMENT FOR COMPLETE INSTALLATION.
- 4. HOT WATER AND DRAIN PIPES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

MATERIALS

- 1. EARTHWORK - PLACE FOOTINGS ON UNDISTURBED SOIL. NOTIFY THE ARCHITECT IF 'SOFT SPOTS', UNDERGROUND OBSTRUCTIONS OR ANY UNUSUAL CONDITION IS ENCOUNTERED DURING STRIPPING, EXCAVATION OR FILLING.
- 2. CONCRETE - ALL CONCRETE WORK SHALL CONFORM TO ACI 301 SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS AND MEET THE FOLLOWING REQUIREMENTS:
CONCRETE - TYPE 1 CEMENT ASTM C 150, NORMAL WEIGHT AGGREGATES ASTM C 33, 3000 PSI AT 28 DAYS, 5" SLUMP
REINFORCING STEEL - ASTM A615 GRADE 60, WELDED WIRE FABRIC ASTM A185
REINFORCING STEEL DETAILS - EXCEPT AS NOTED OTHERWISE, WHERE CONTINUOUS REINFORCING IS SPECIFIED, HOOK BARS AT NON-CONTINUOUS ENDS.
LAP BAR SPLICES AS INDICATED:
#3 1'-3"
#4 1'-8"
#6 2'-2"
WELDED WIRE FABRIC - ONE SPACING PLUS 6"
PROVIDE 1 ½" TOP COVER, 3" BOTTOM COVER FOR GRADE BEAM REINFORCING.
- 3. CONCRETE MASONRY UNITS- ALL CONCRETE MASONRY WORK SHALL CONFORM TO ACI 530/530.1-05: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES
CONCRETE MASONRY UNITS - ASTM C90, GRADE N, TYPE 1, LIGHTWEIGHT UNITS.
MORTAR - ASTM C270, TYPE S.
GROUT - ASTM C476.
REINFORCING STEEL - ASTM 615 GRADE 60, WIRE STEEL SHALL BE ASTM A82.
HOOK HORIZONTAL BARS AT NON-CONTINUOUS ENDS OF BOND BEAMS. EXTEND VERTICAL BARS INTO HORIZONTAL BOND BEAMS. SECURE VERTICAL REINFORCING AT INTERVALS NOT TO EXCEED 192 BAR DIAMETER OR 10 FEET WITH REINFORCING WIRE BAR POSITIONERS AS DETAILED ON PLANS.
LAP SPLICE REINFORCING AS INDICATED BELOW:
#4 20"
#6 26"
WIRE JOINT REINFORCING - 10"
THE MASONRY ASSEMBLY SHALL ACHIEVE A UNIT STRENGTH (FM') = 1500 PSI.
- 4. WOOD FRAMING- ALL WOOD FRAMING FABRICATION AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NFPA, THE PLYWOOD DESIGN SPECIFICATION BY THE APA AND MEET THE REQUIREMENTS BELOW. UNLESS NOTED OTHERWISE ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE STANDARD BUILDING CODE. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED:
FRAMING LUMBER - SOUTHERN YELLOW PINE, S4S, NO. 2, MAXIMUM MOISTURE CONTENT 19%.
FLOOR FRAMING - PROVIDE BRIDGING FOR ALL FLOOR JOISTS AT 8'-0" O.C. MAX. PROVIDE SOLID BLOCKING AT ALL PANEL EDGES.
WALL FRAMING - THE SIZE AND SPACING OF WOOD STUDS ARE NOTED ON THE DRAWINGS. RAMSET BOTTOM PLATE OF STUD WALLS TO CONCRETE WITH 1/4" RAMSETS @ 16" O.C.
PLYWOOD FLOORING - APA RATED 48/24, 3/4" THICK. NAIL WITH 8D NAILS SPACED AT 6" O.C. AT PANEL ENDS AND 12" O.C. AT INTERMEDIATE SUPPORTS.
PLYWOOD ROOFING - APA RATED 32/16, 5/8" THICK. NAIL WITH 10D NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
WALL SHEATHING - PROVIDE ½" PLYWOOD ON ALL EXTERIOR WALLS. NAIL PLYWOOD EDGES WITH 10D NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE SOLID BLOCKING AT ALL PANEL EDGES EXCEPT SHEAR WALLS.

MISCELLANEOUS

- 1. STRUCTURAL DRAWINGS, IF ANY, ARE INTENDED TO BE USED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING SUCH REQUIREMENTS INTO THEIR SHOP DRAWINGS AND WORK.
- 1. NO CHANGE IN SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE PROFESSIONAL OF RECORD.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON THE STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.
- 3. THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES.
- 4. DO NOT SCALE THESE DRAWINGS, USE DIMENSIONS.
- 5. THE CONTRACTOR SHALL INFORM THE PROFESSIONAL OF RECORD IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY OF SUCH DEVIATION BY THE PROFESSIONAL OF RECORD'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA, ETC. UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE PROFESSIONAL OF RECORD OF SUCH DEVIATION AT THE TIME OF SUBMISSION AND THE PROFESSIONAL OF RECORD HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.

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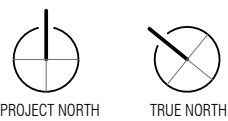
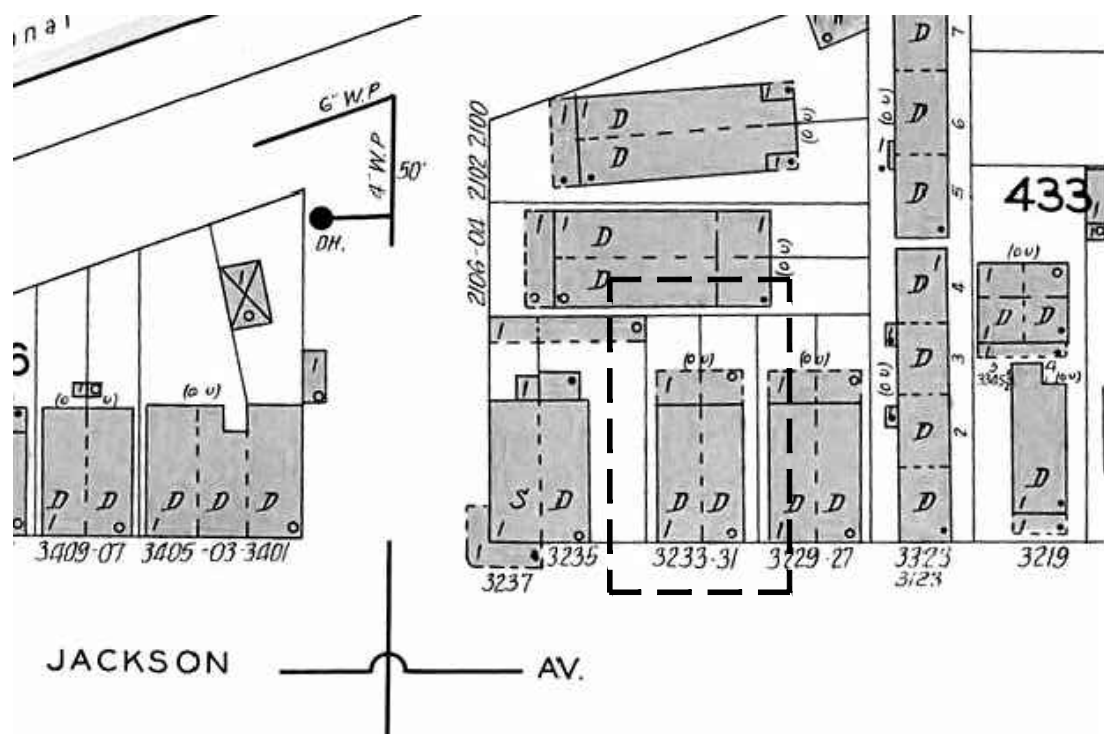
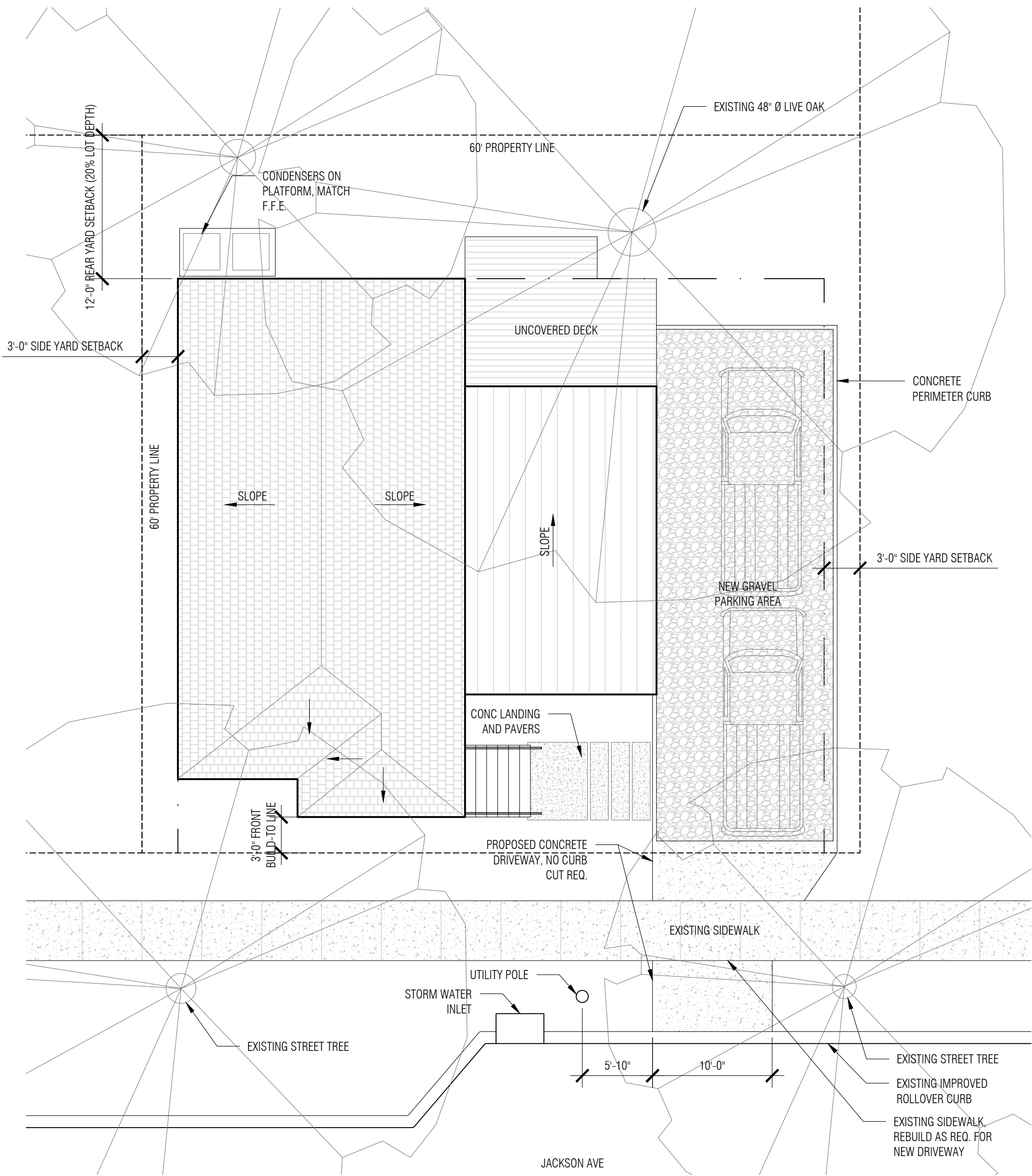
GENERAL NOTES:

-FRONT BUILD-TO LINE BASED ON 1940 SANBORN MAP, VOL. 6A. WHERE BUILD-TO LINE IS SHOWN AT 0'-0" FROM P.L.

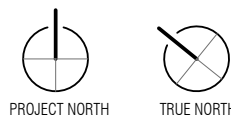
-PROPOSED BUILD-TO LINE IS 3'-0"

-PROPOSED REAR YARD SETBACK TO BE 20% OF LOT DEPTH: 12'-0".

-IF REQ'D, ANY SIDEWALK REPAIRS TO BE DONE IN ACCORDANCE WITH PARKS AND PARKWAYS APPROVED SIDEWALK BRIDGING DETAIL



2 SANBORN MAP
SCALE: N.T.S.



1 SITE PLAN
SCALE: 1/8" = 1'-0"

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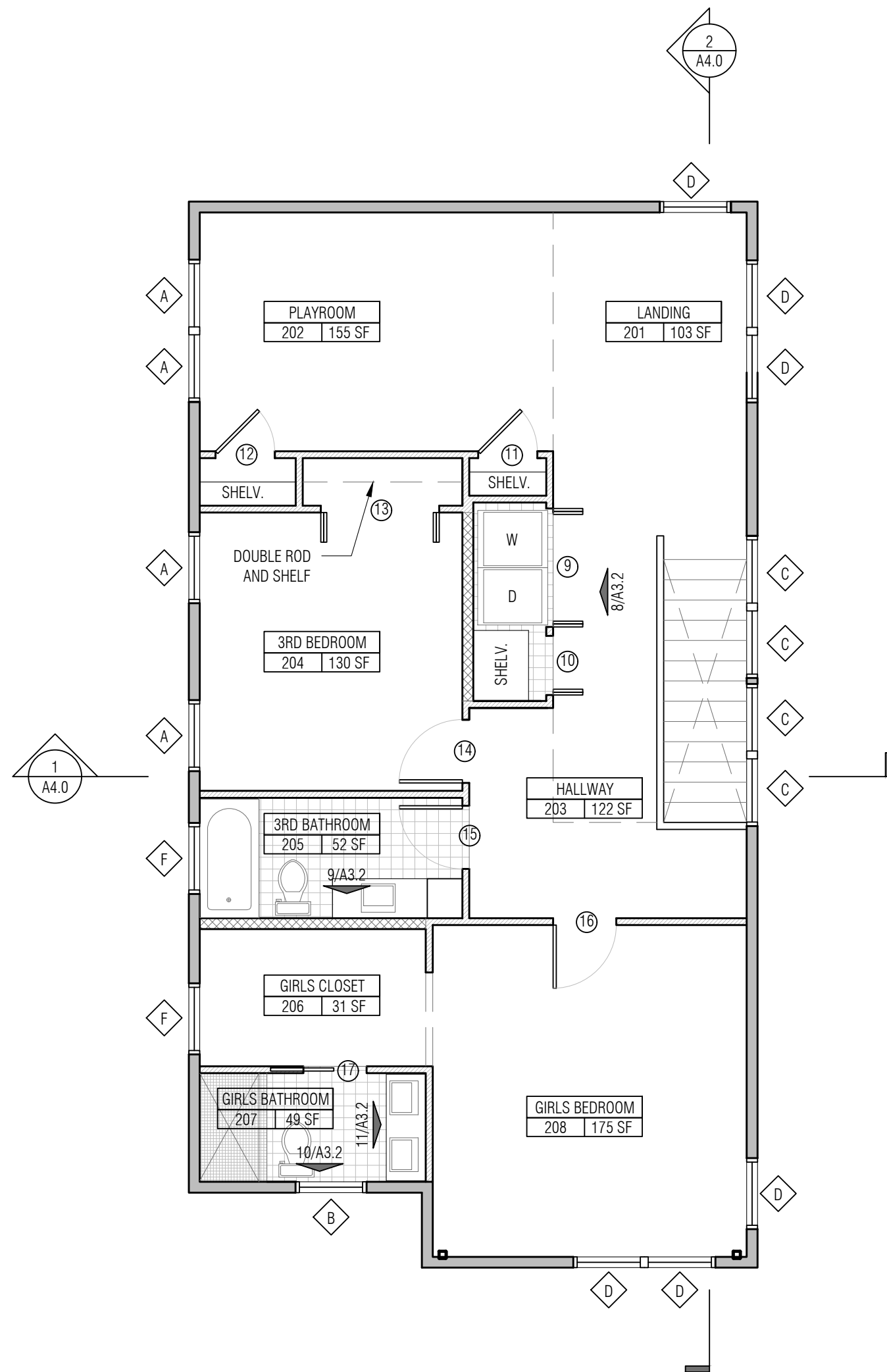


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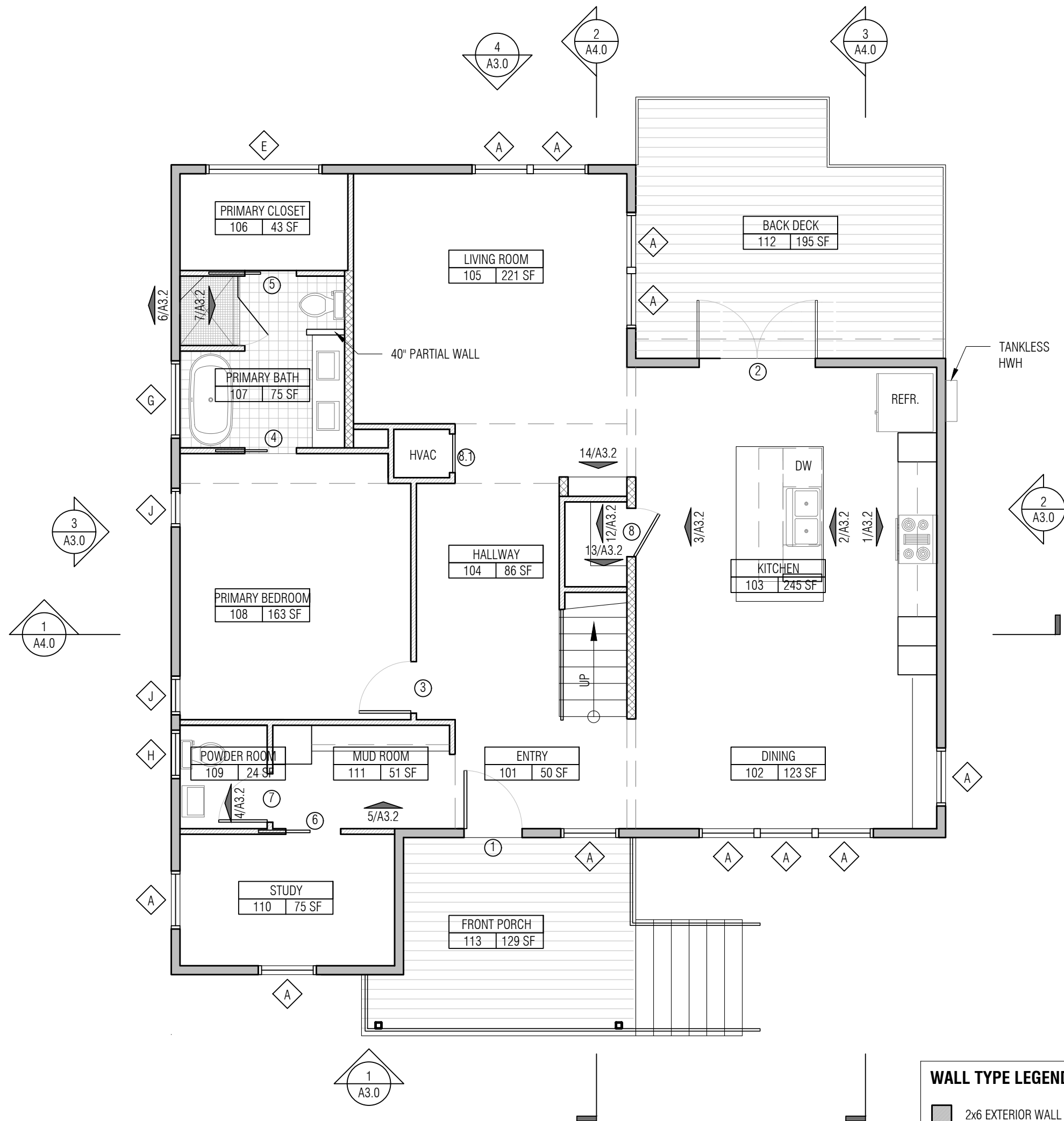
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checked by: ss
sheet format: 18" x 24"

revisions:

A1.0
SITE PLAN



2 SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

WALL TYPE LEGEND	
	2x6 EXTERIOR WALL
	2x6 PARTITION WALL
	2x4 PARTITION WALL

project:
**JACKSON AVENUE
RESIDENCE**

3231 JACKSON AVENUE
NEW ORLEANS, LA 70125

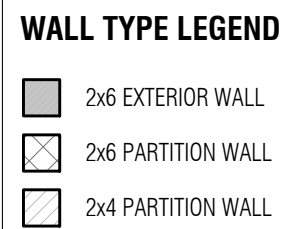
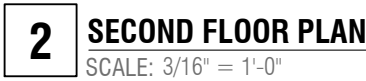
architect:
SARAH SATTERLEE
9301 HUG EYE ROAD #536
AUSTIN, TX 78724



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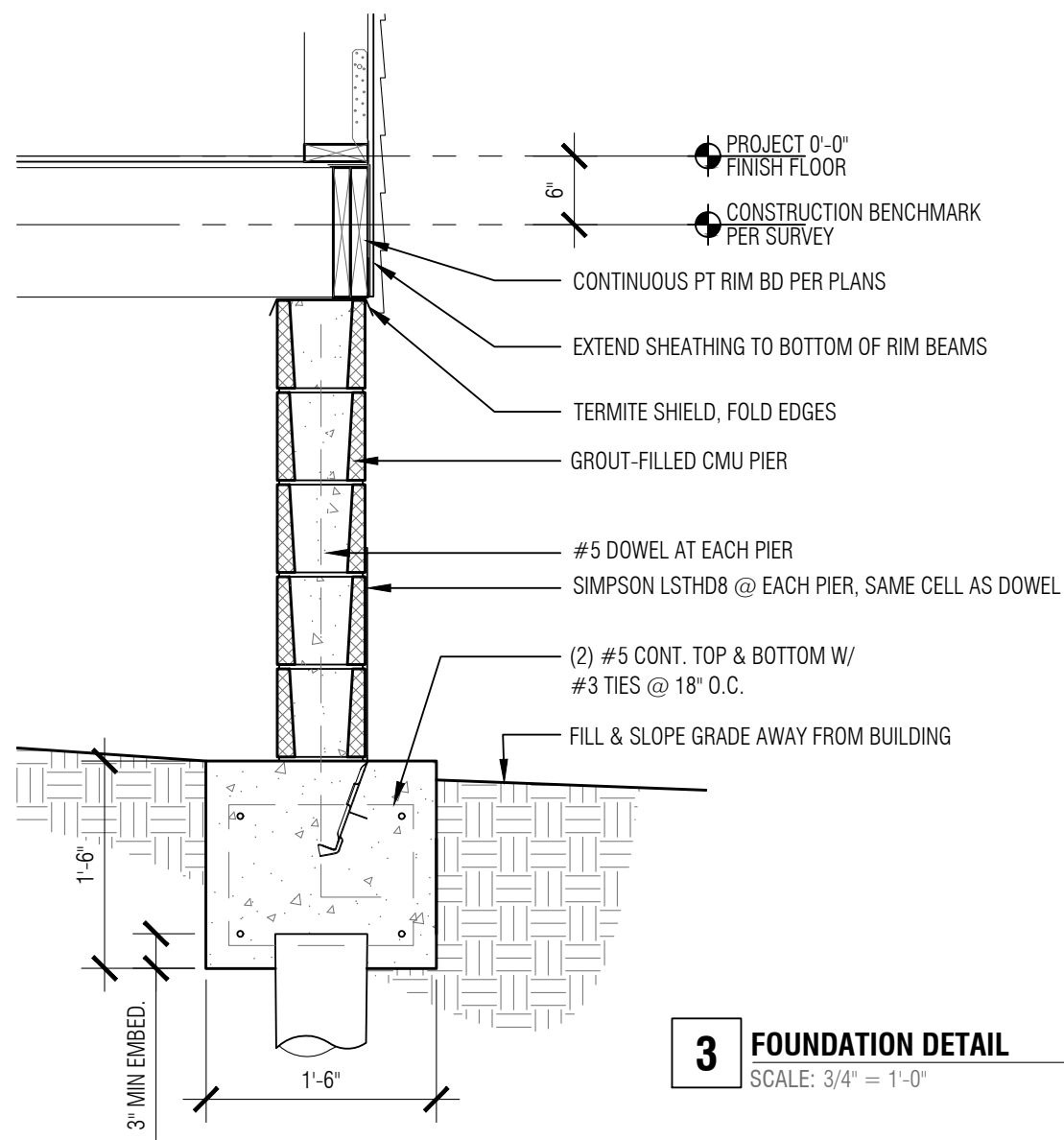
revisions:

A2.0
BUILDING PLANS

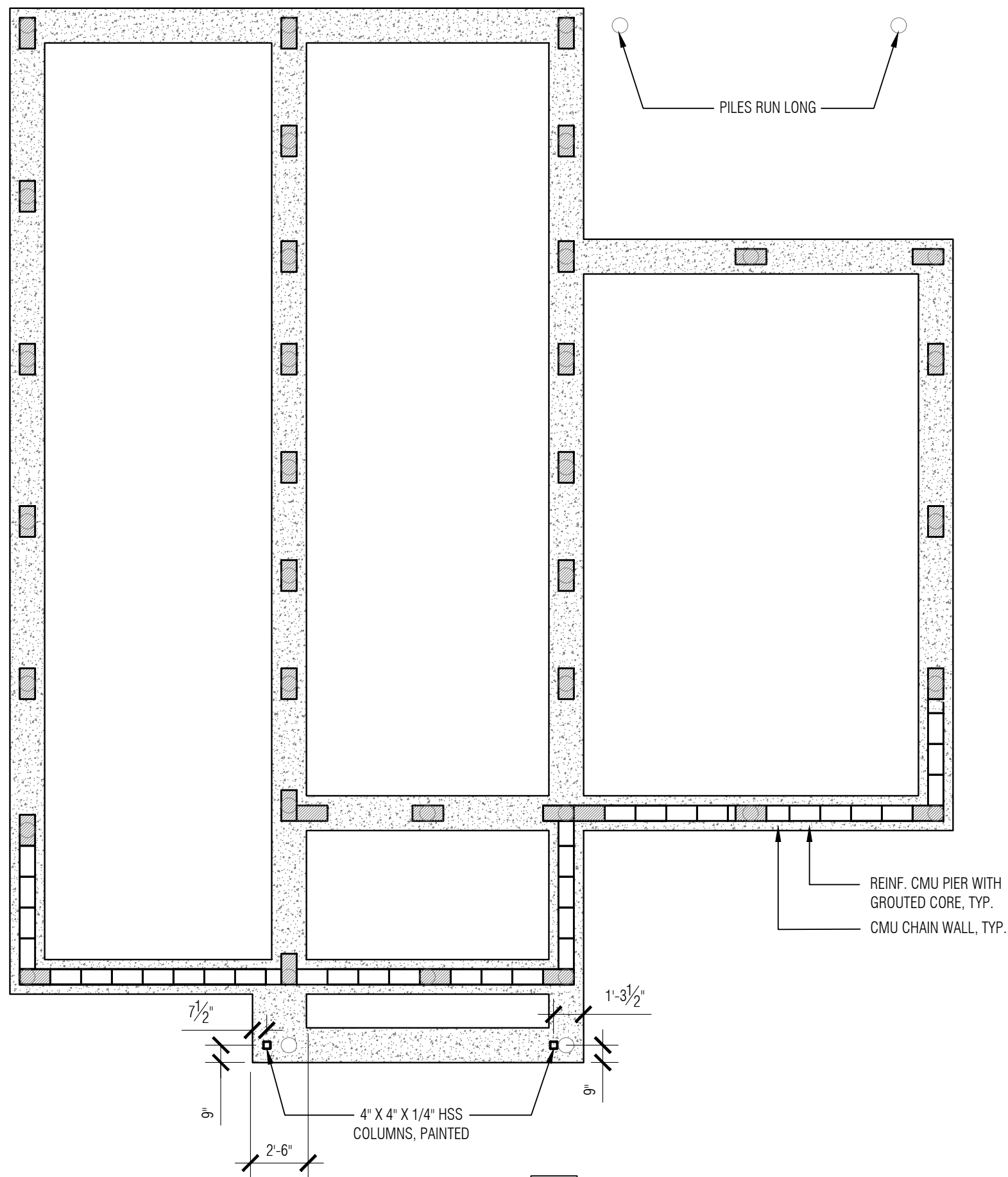


A2.1

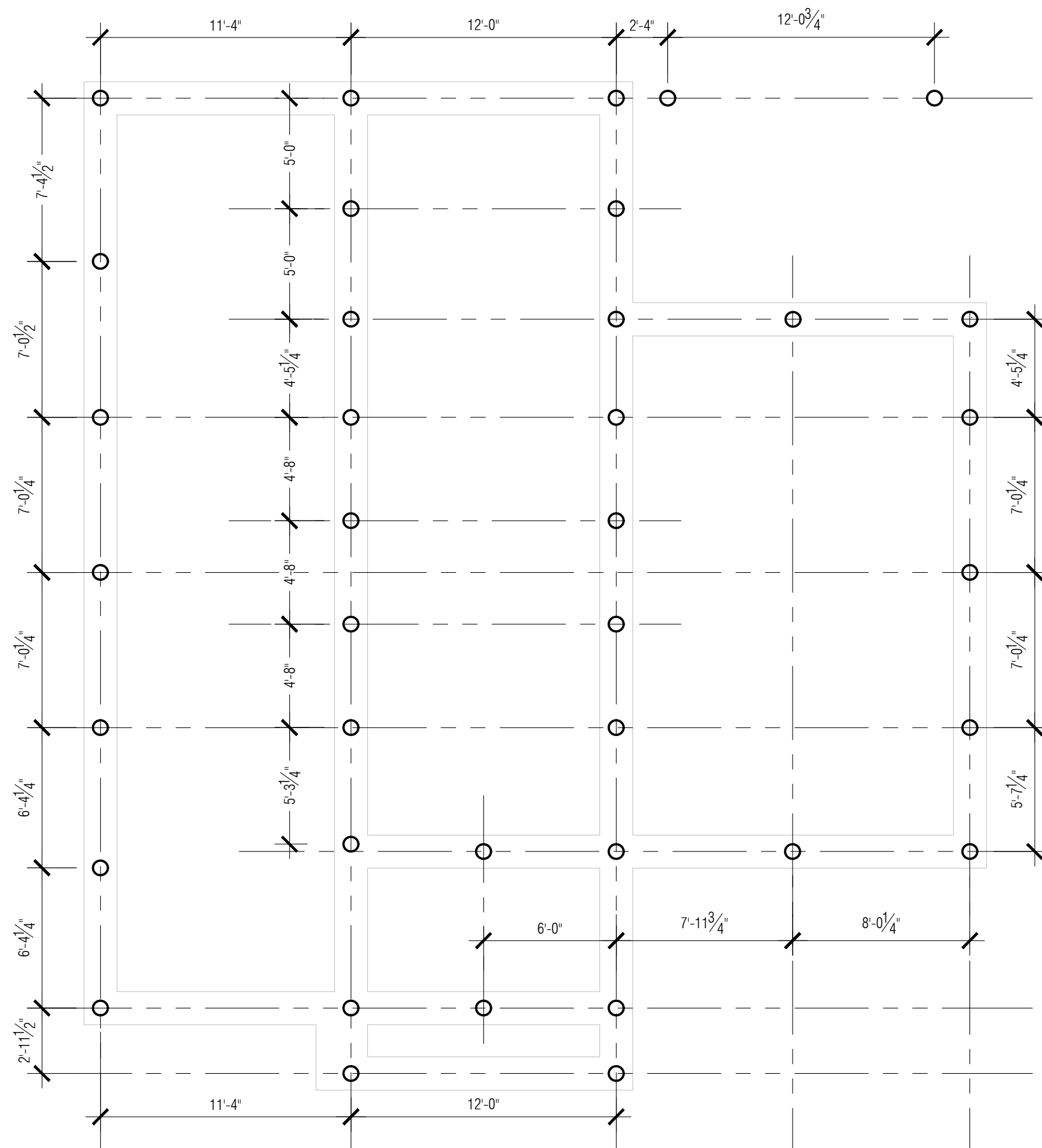
BUILDING PLANS



3 FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



2 FOUNDATION PLAN
SCALE: 3/16" = 1'-0"



1 PILE PLAN
SCALE: 3/16" = 1'-0"

GENERAL NOTES:

-FORM EDGE OF CONCRETE, LOCATE ALL PIER REINFORCEMENT PRIOR TO CONCRETE

-ALL PILES 35' ANSI CLASS 5 TIMBER, MIN. TIP 6"Ø ; MIN. BUTT 8"Ø

project:
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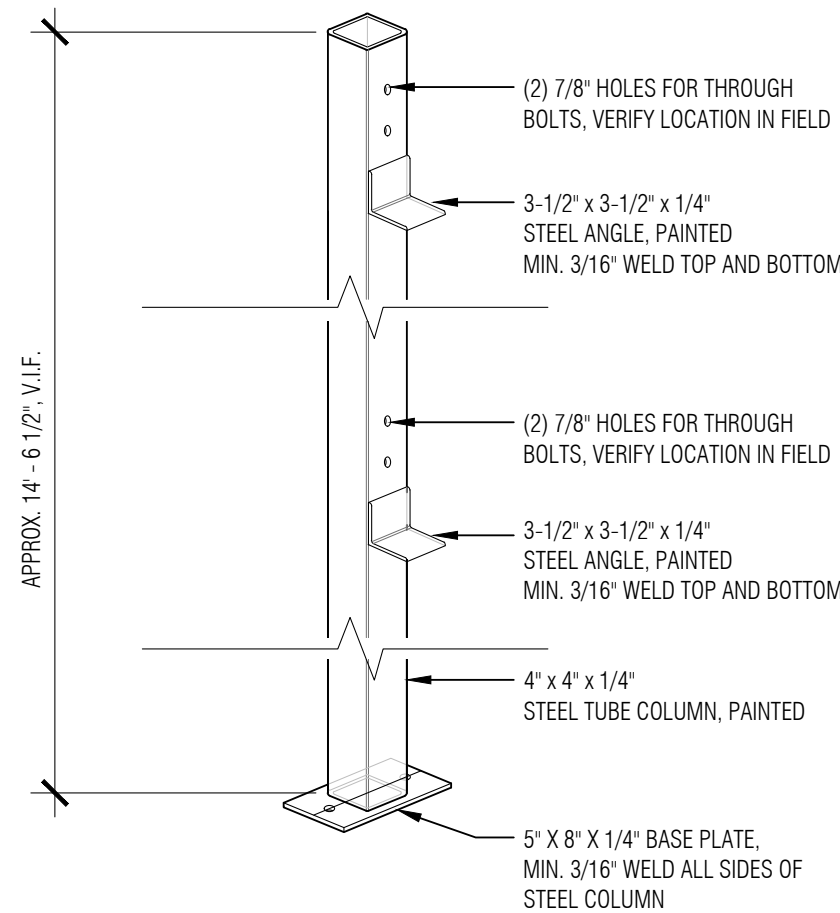


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revisions:

A2.2
FOUNDATION PLAN

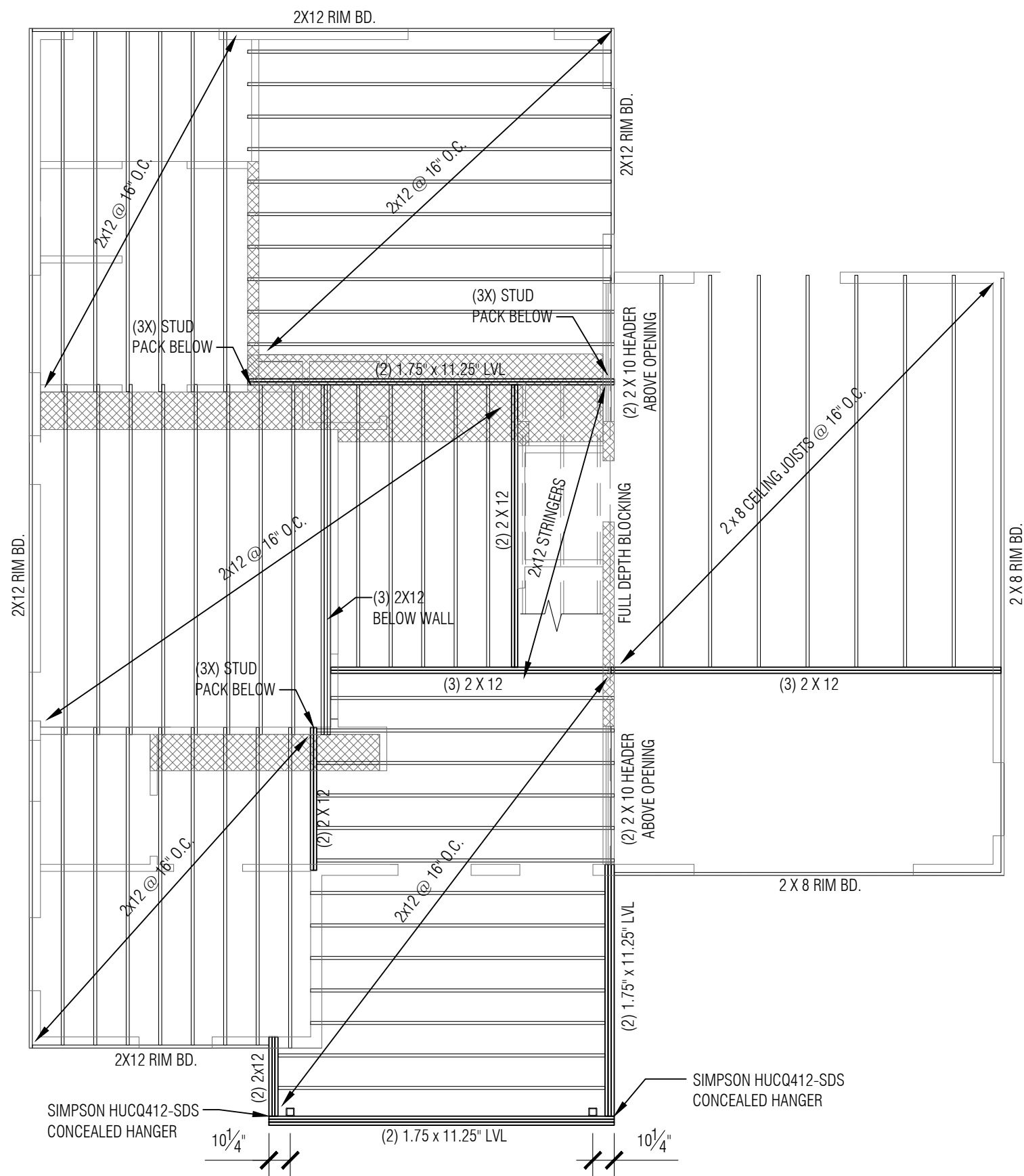


3 COLUMN DETAIL
SCALE: 3/4" = 1'-0"

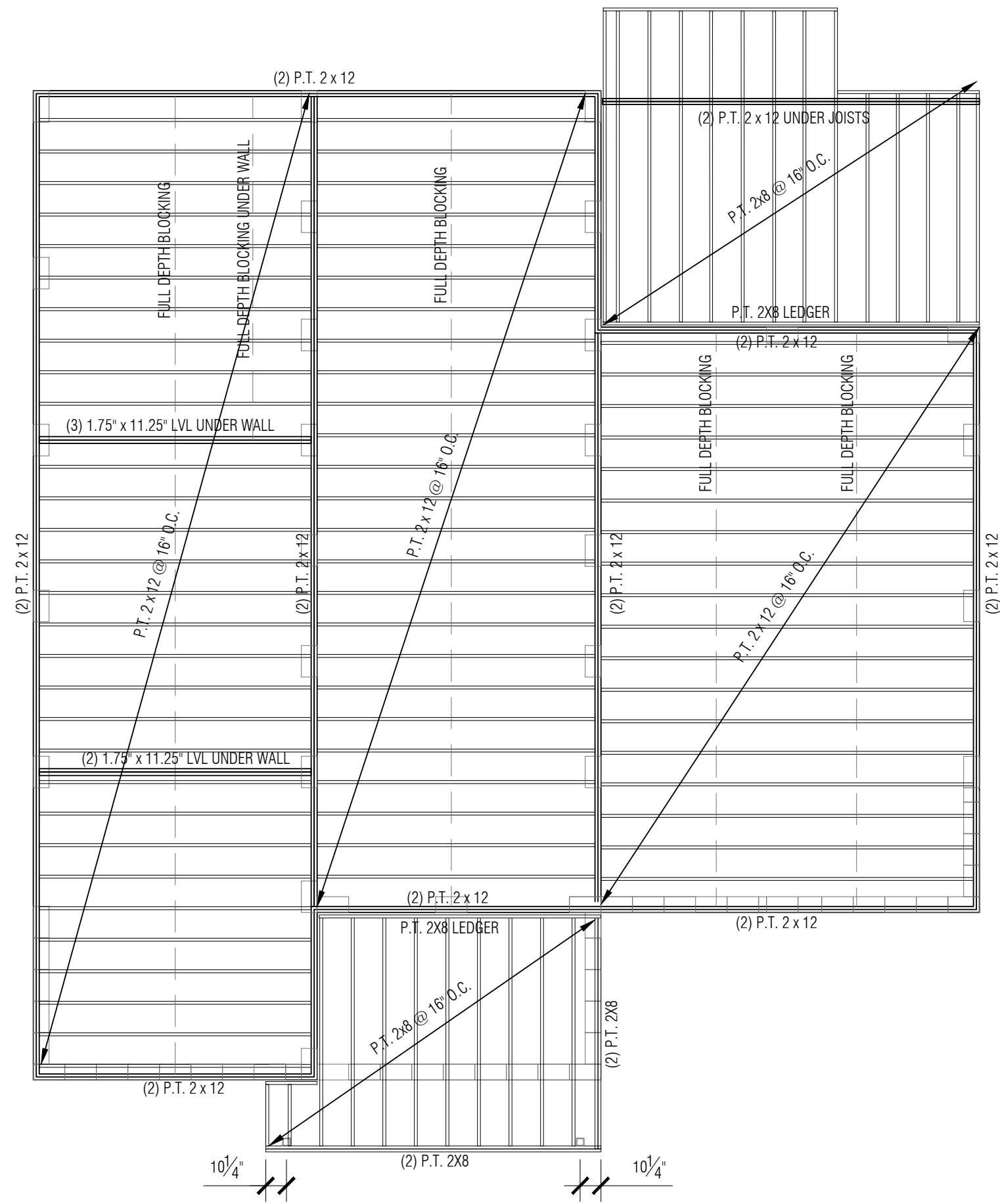
GENERAL NOTES:

-ALL FLOOR JOISTS TO BE BLOCKED AT 8'-0" MAX

- ALL FASTENERS TO BE 8D (MIN. 0.131" Ø)
RING SHANK NAILS OR #10 SCREWS (MIN. 0.19" Ø)



2 SECOND FLOOR FRAMING
SCALE: 3/16" = 1'-0"



1 FLOOR FRAMING
SCALE: 3/16" = 1'-0"

project:
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architect:
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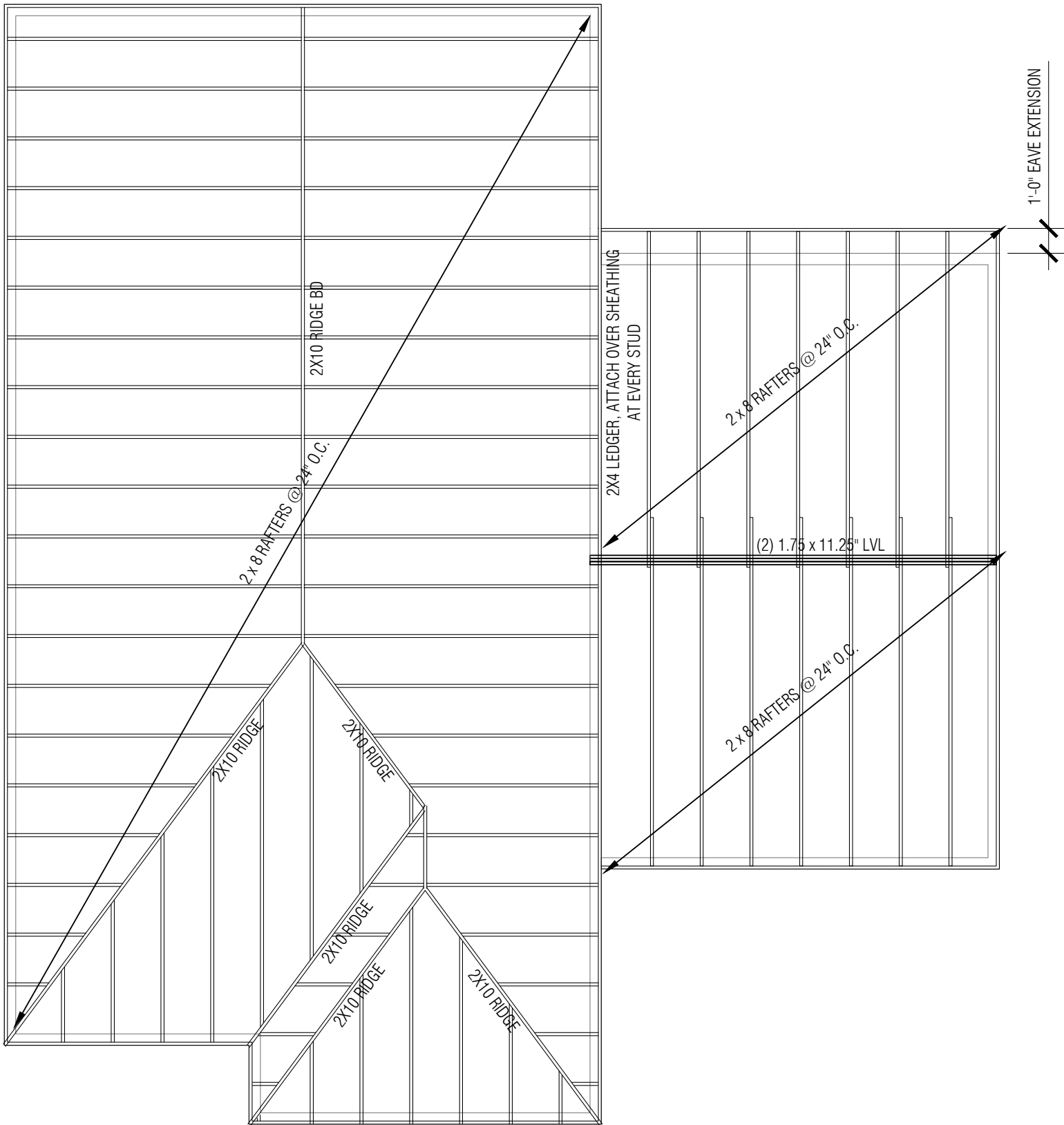
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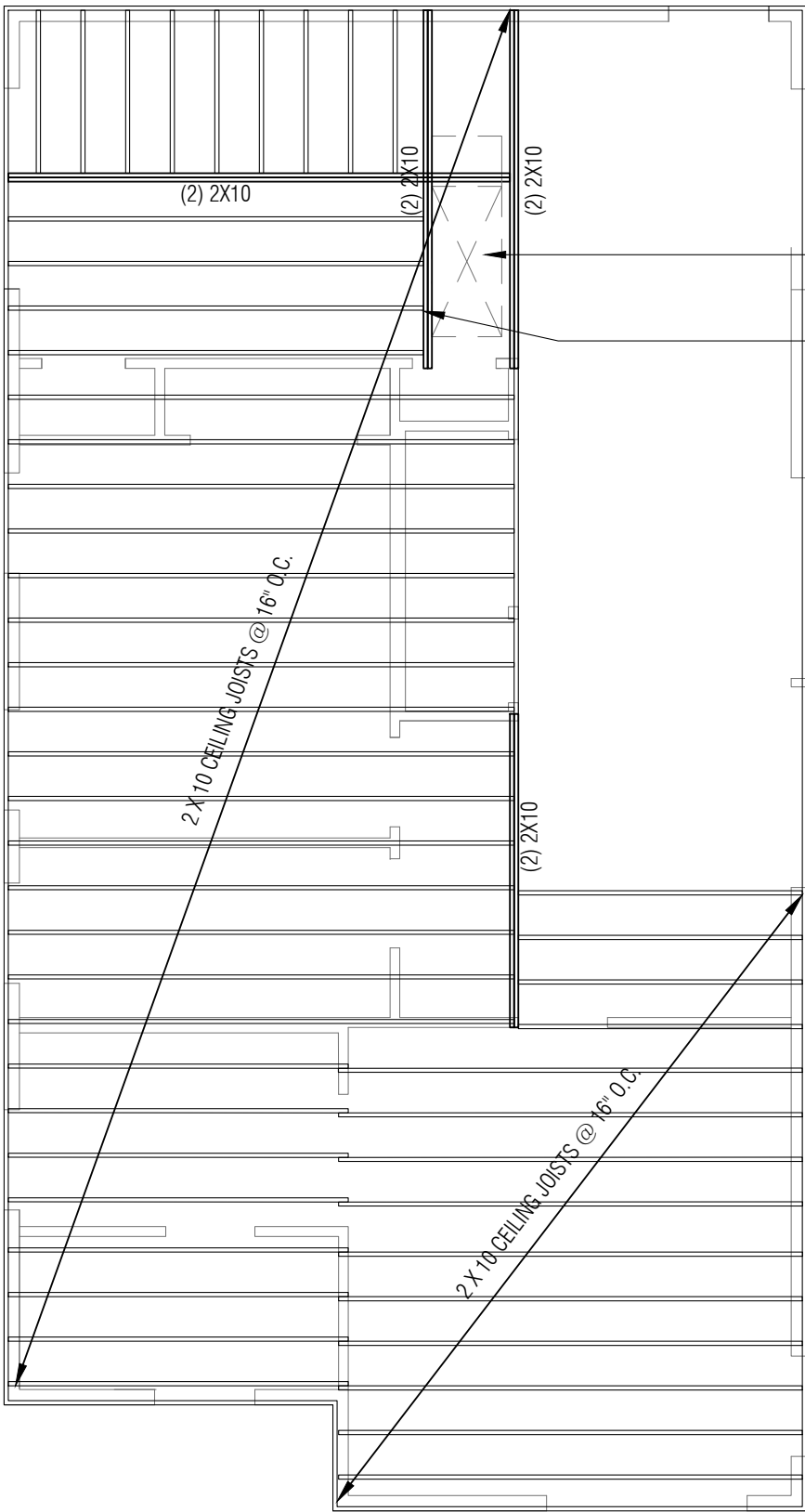
A2.3
FRAMING PLANS

NOTES:

2X6 COLLAR TIE EACH RAFTER, (6) 16D
NAILS EACH END



2 ROOF FRAMING
SCALE: 3/16" = 1'-0"



1 SECOND FLOOR CEILING FRAMING
SCALE: 3/16" = 1'-0"

project:
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NEW ORLEANS, LA 70125

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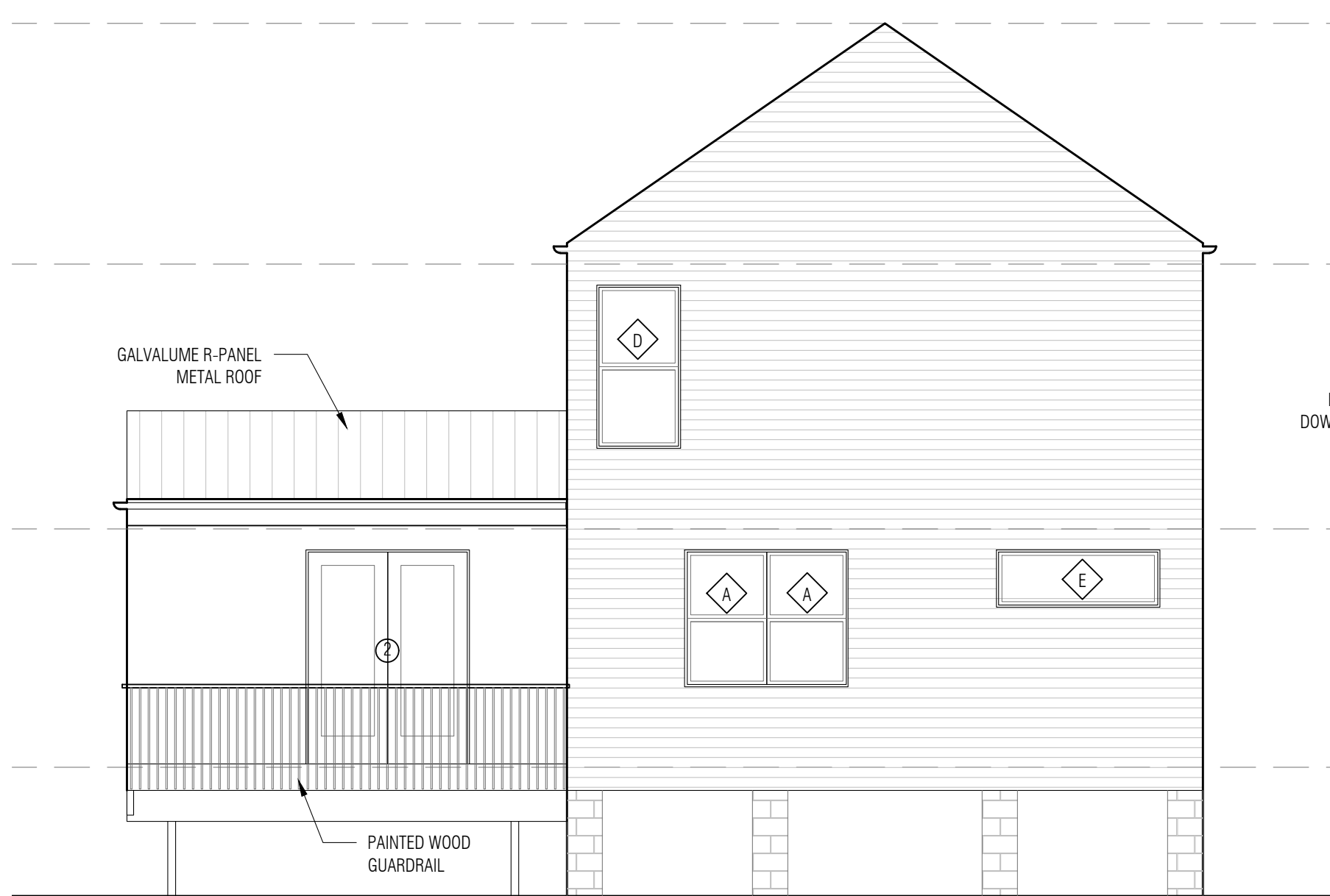


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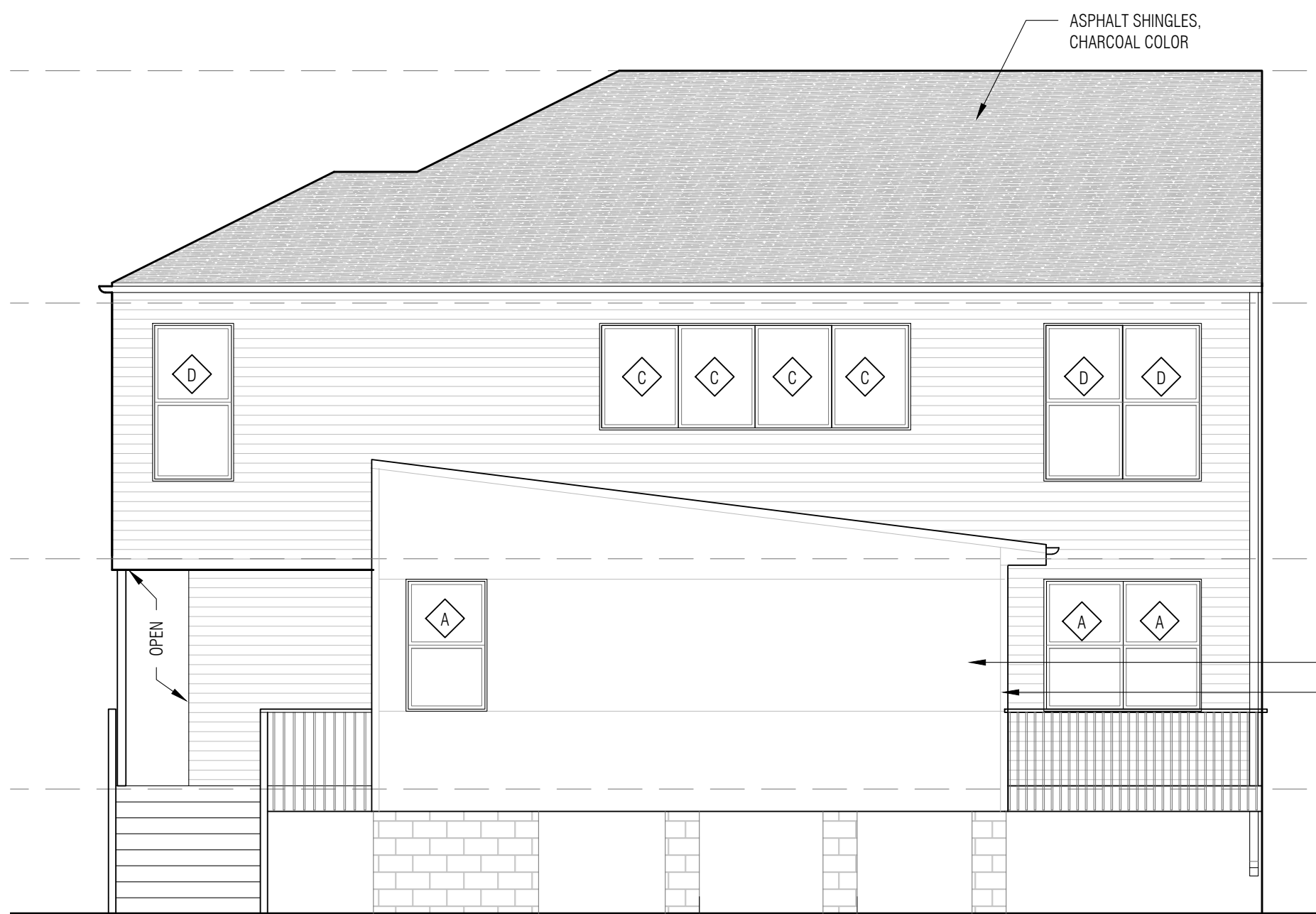
A2.4
FRAMING PLANS



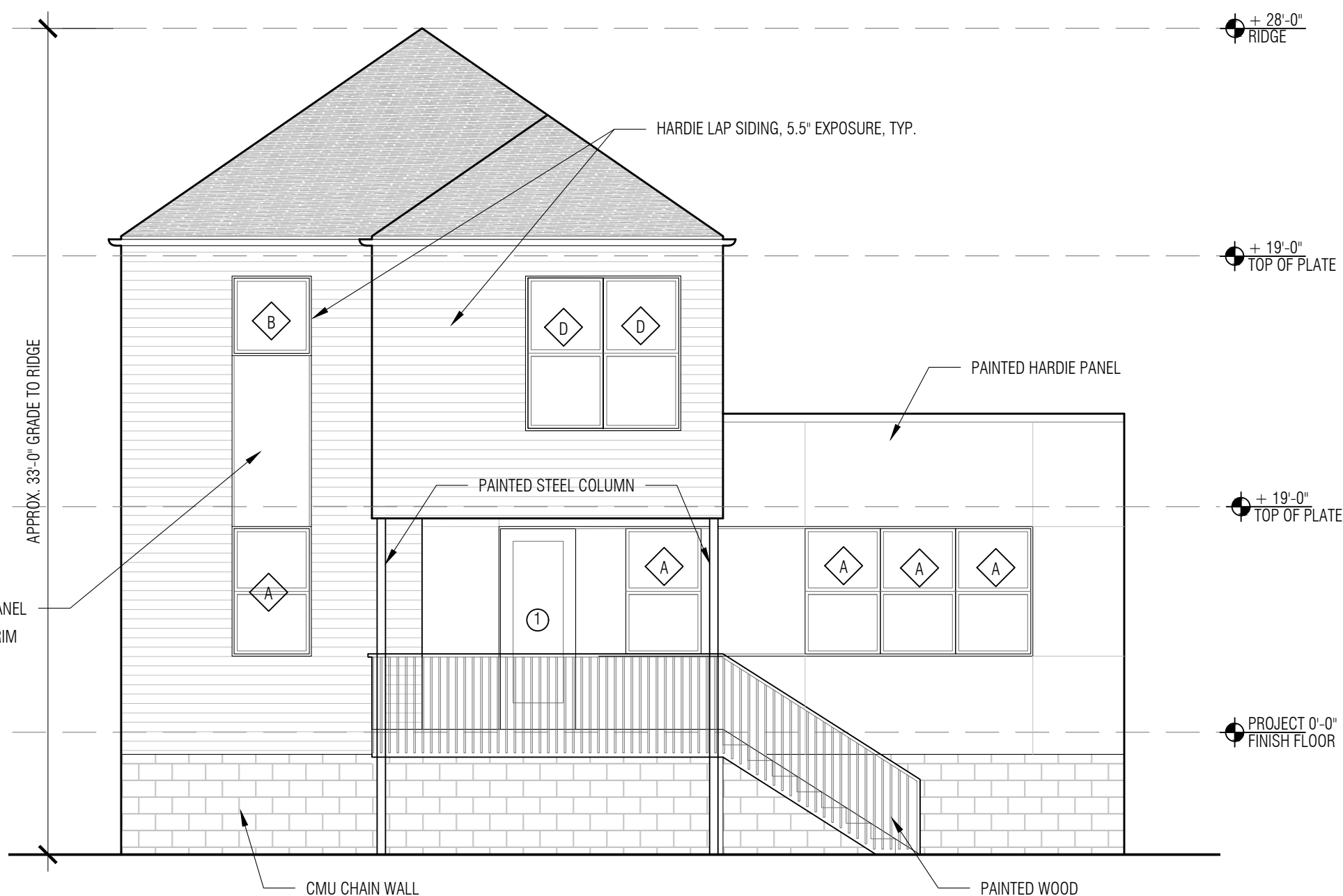
4 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"



3 EAST ELEVATION
SCALE: 3/16" = 1'-0"



1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

project:
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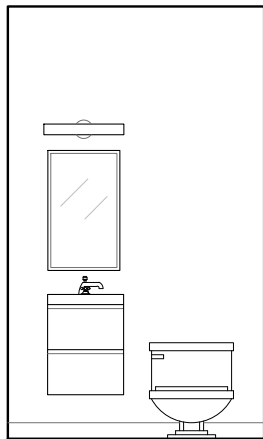


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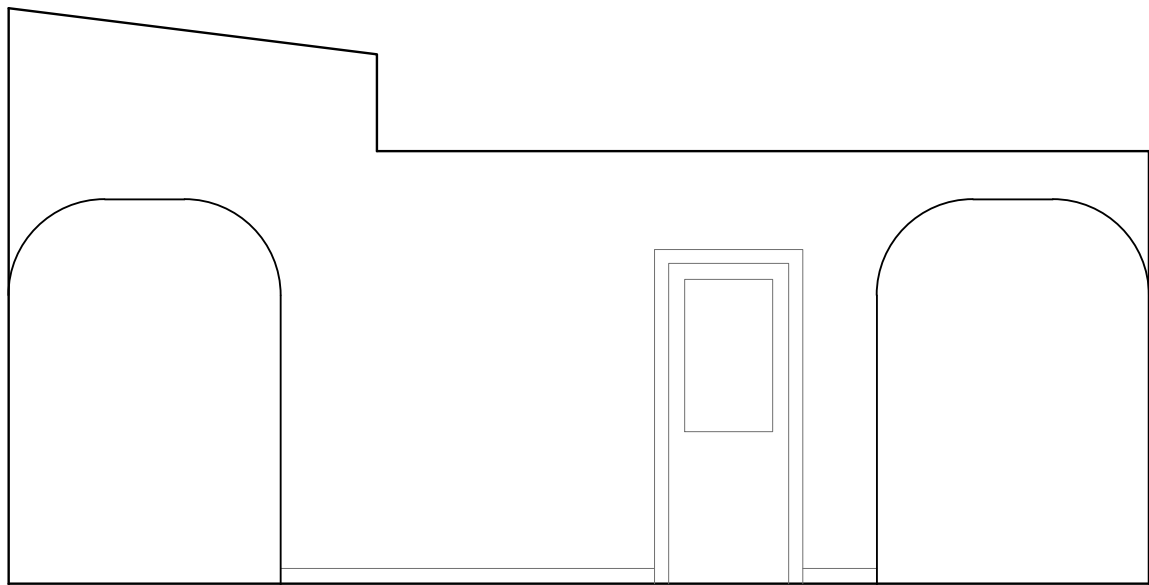
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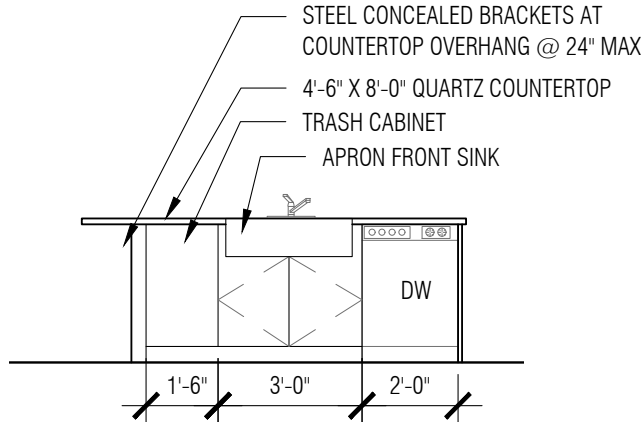
A3.0
ELEVATIONS



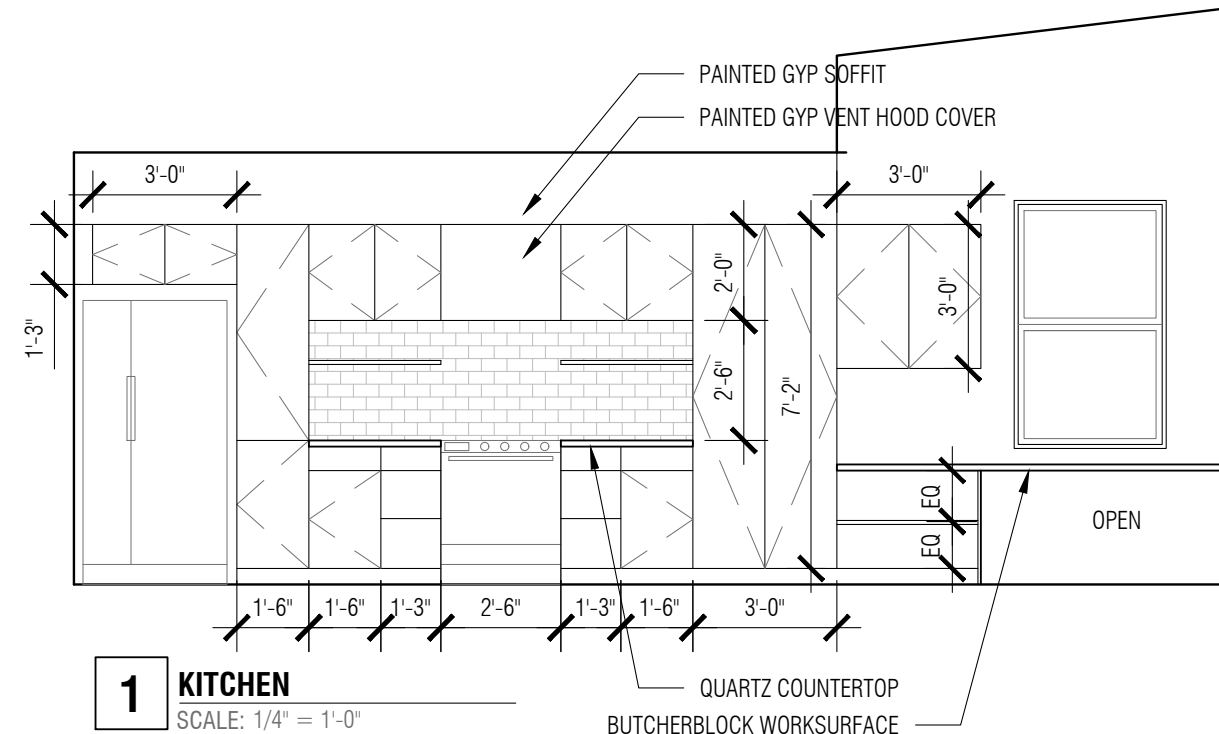
4 POWDER ROOM
SCALE: 1/4" = 1'-0"



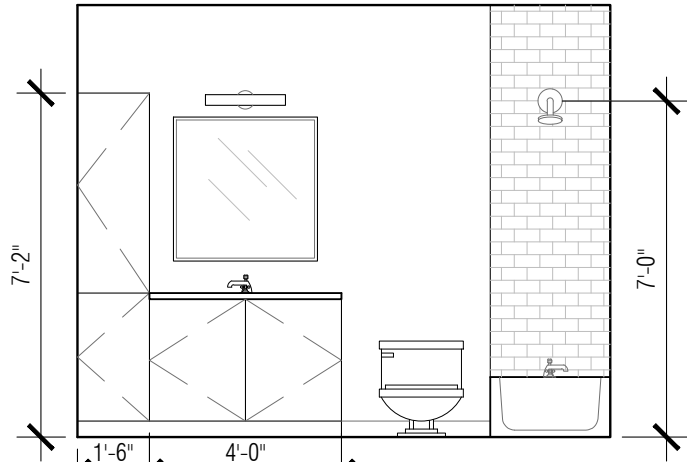
3 KITCHEN
SCALE: 1/4" = 1'-0"



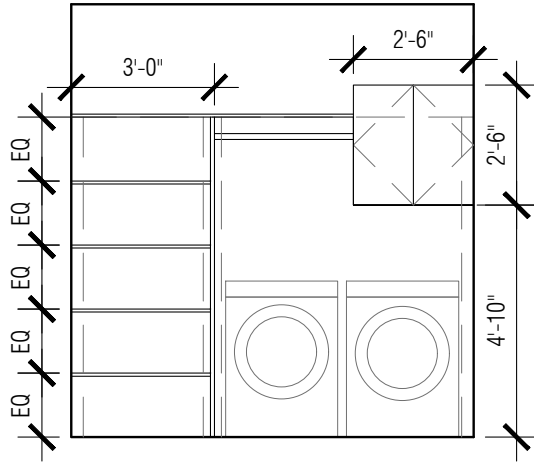
2 KITCHEN- ISLAND
SCALE: 1/4" = 1'-0"



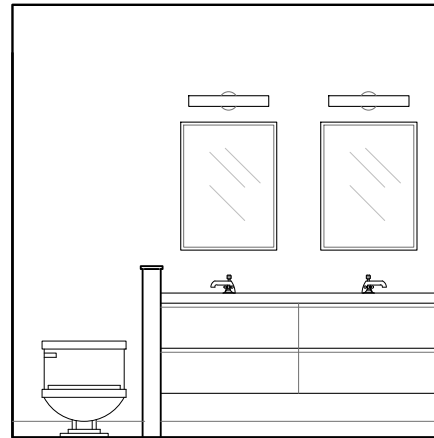
1 KITCHEN
SCALE: 1/4" = 1'-0"



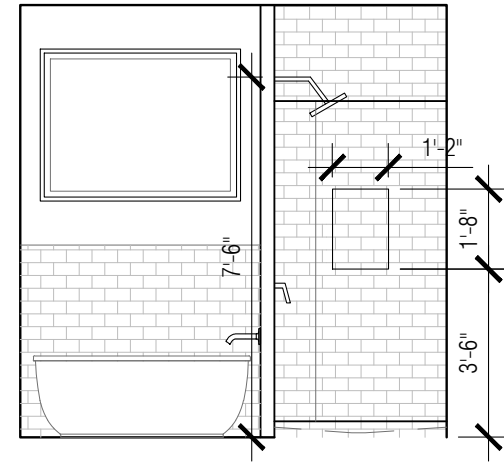
9 3RD BATHROOM
SCALE: 1/4" = 1'-0"



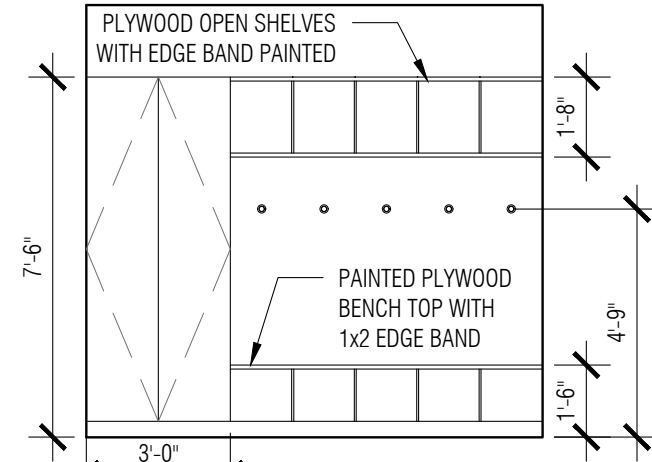
8 LAUNDRY
SCALE: 1/4" = 1'-0"



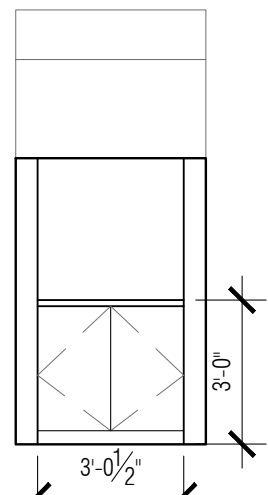
7 PRIMARY BATH
SCALE: 1/4" = 1'-0"



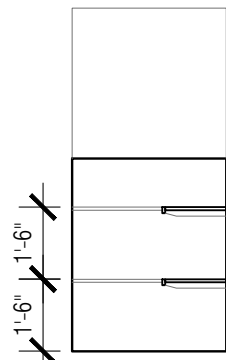
6 PRIMARY BATH
SCALE: 1/4" = 1'-0"



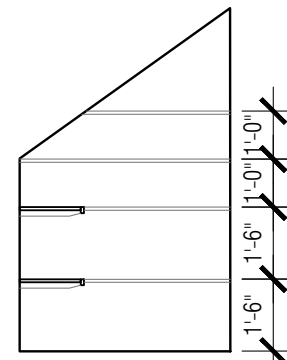
5 MUD ROOM
SCALE: 1/4" = 1'-0"



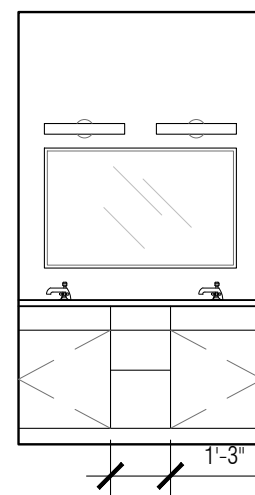
14 BAR
SCALE: 1/4" = 1'-0"



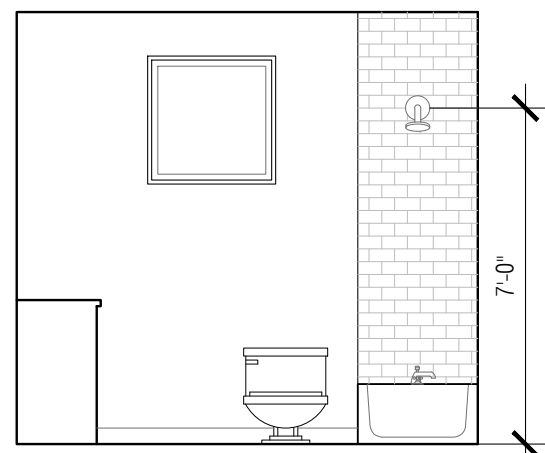
13 PANTRY
SCALE: 1/4" = 1'-0"



12 PANTRY
SCALE: 1/4" = 1'-0"



11 GIRLS BATHROOM
SCALE: 1/4" = 1'-0"



10 GIRLS BATHROOM
SCALE: 1/4" = 1'-0"

project:
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architect:
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A3.2
INTERIOR
ELEVATIONS

project:
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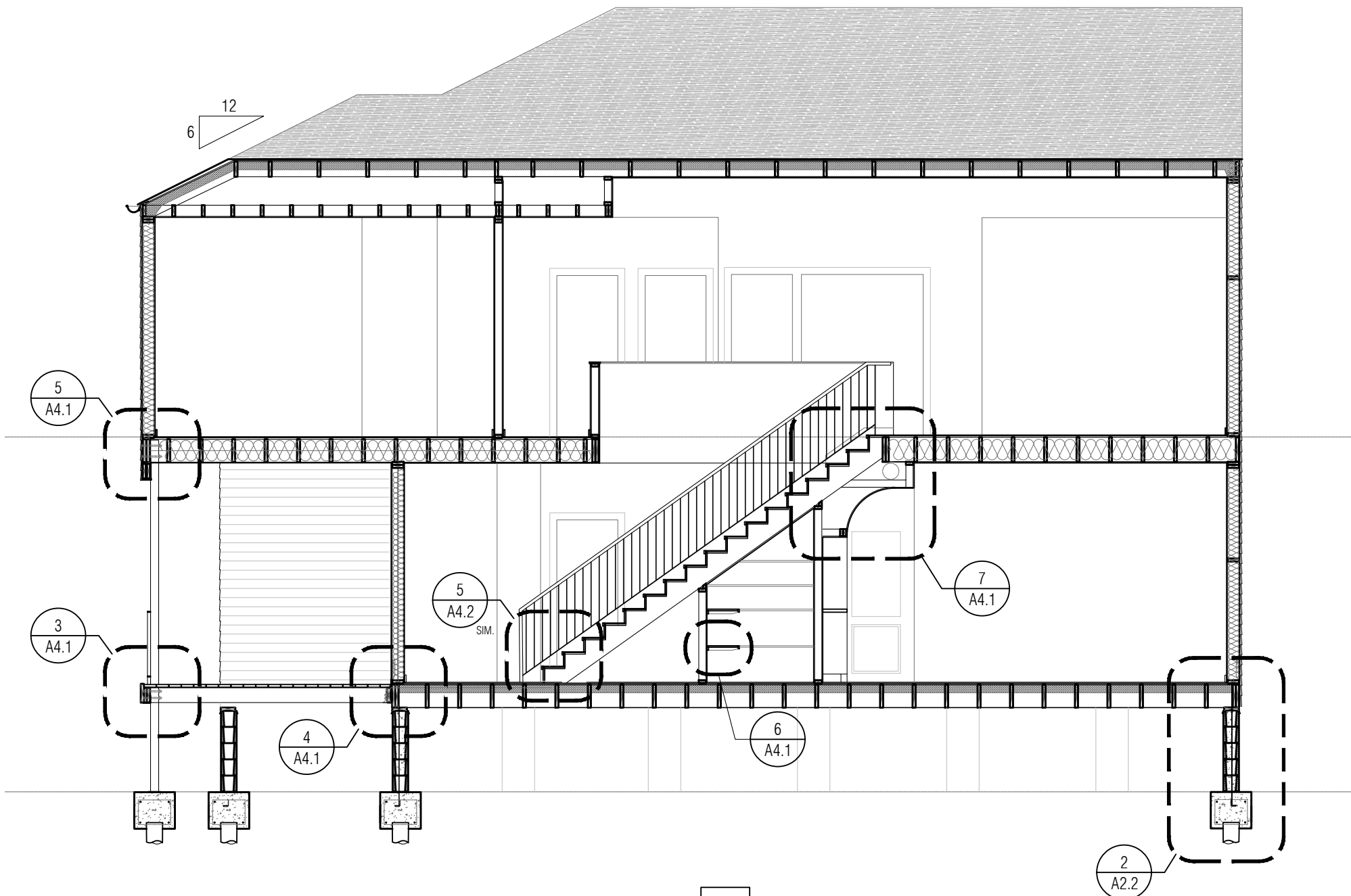


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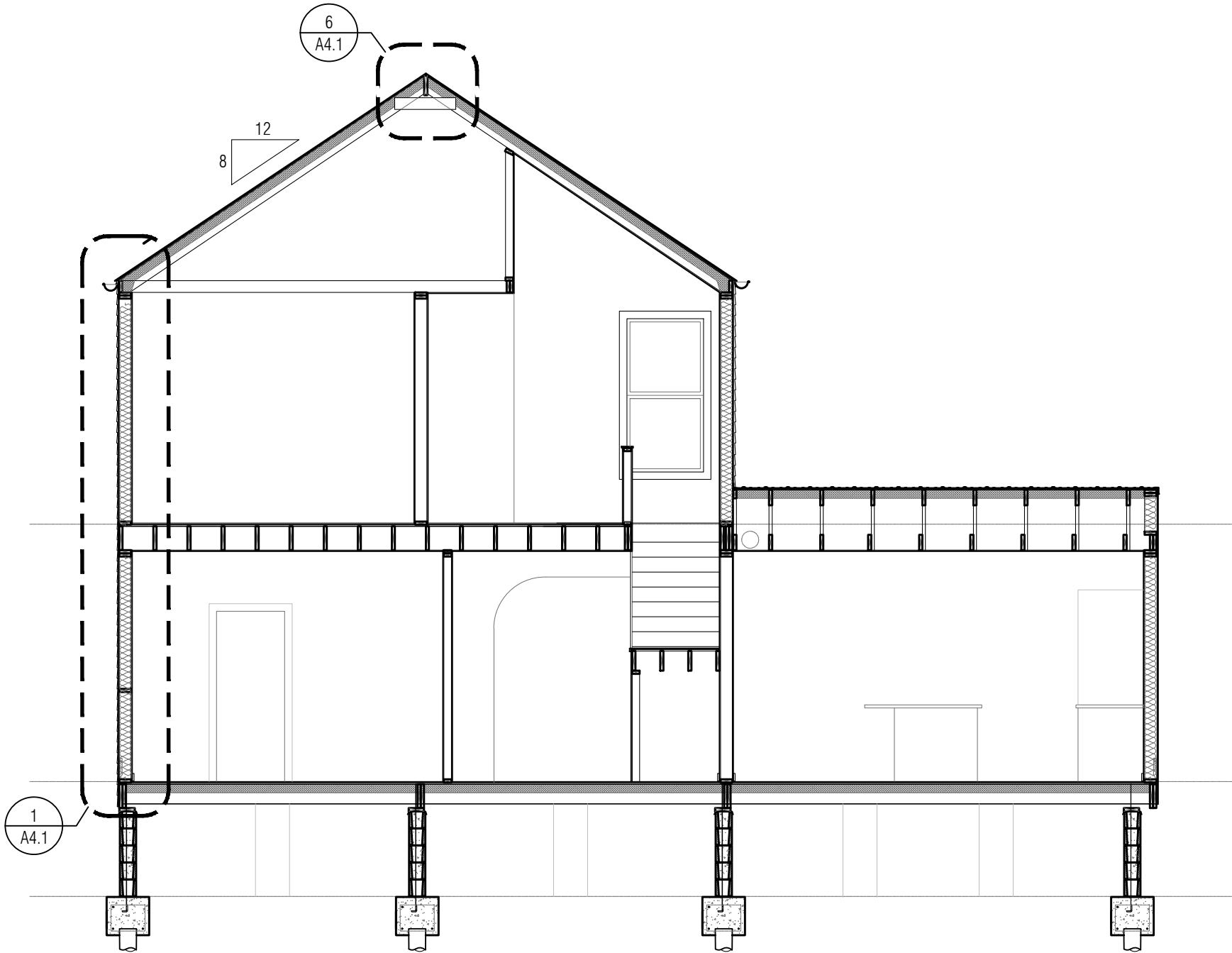
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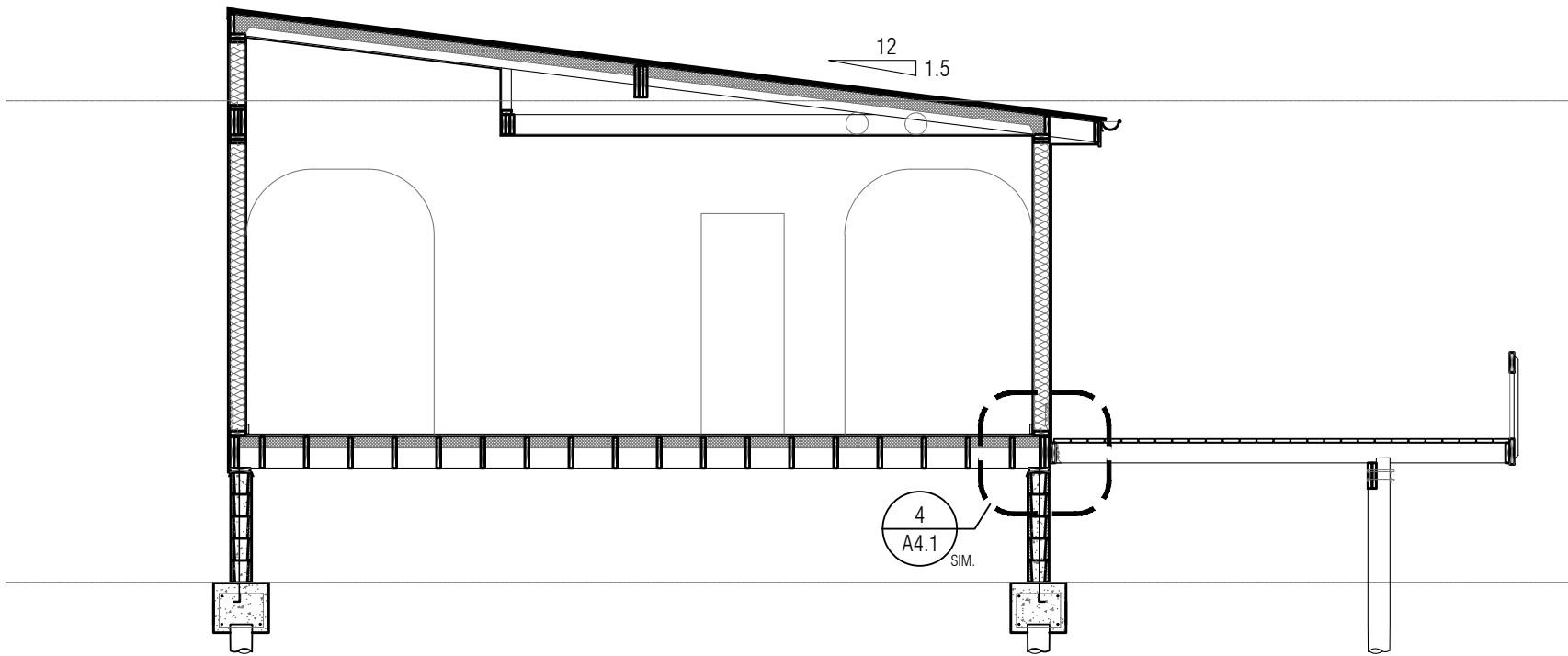
A4.0
BLDG SECTIONS



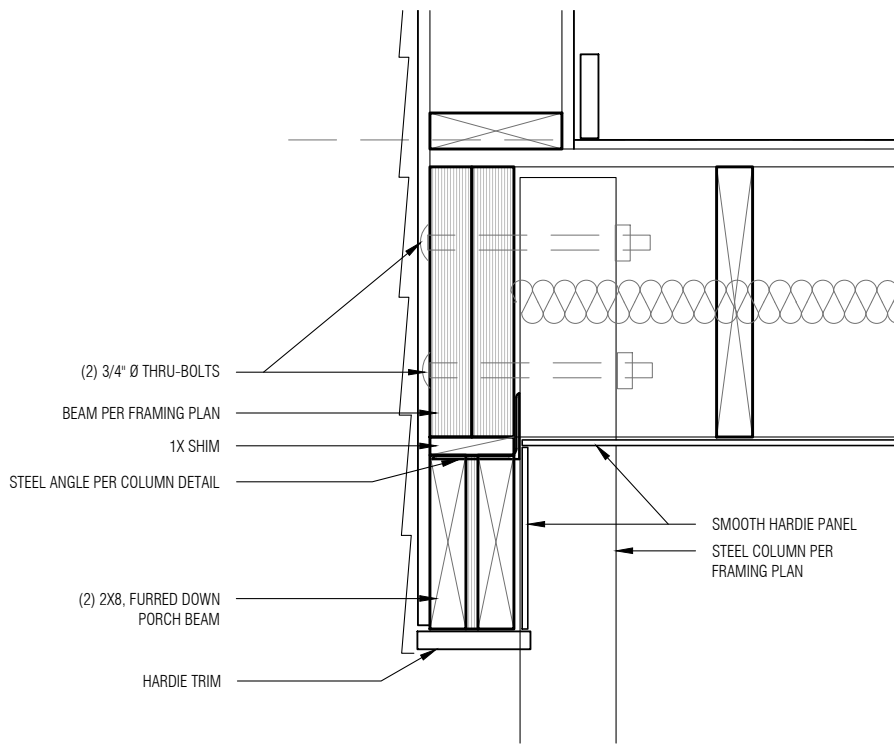
2 BUILDING SECTION
SCALE: 3/16" = 1'-0"



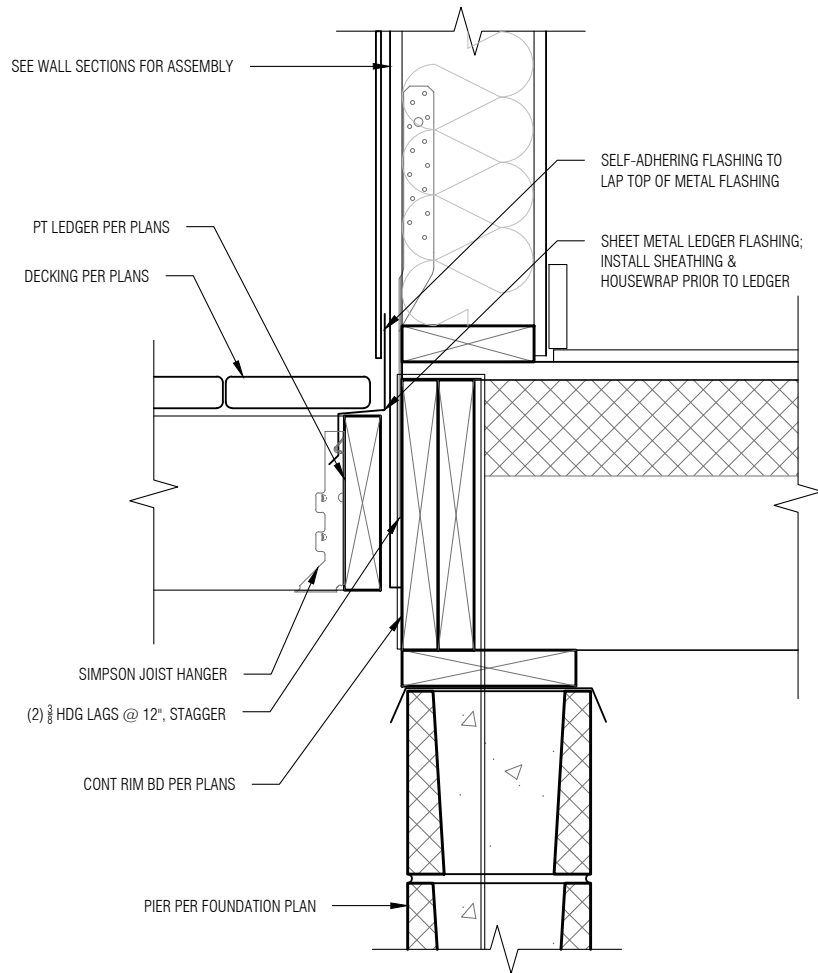
1 BUILDING SECTION
SCALE: 3/16" = 1'-0"



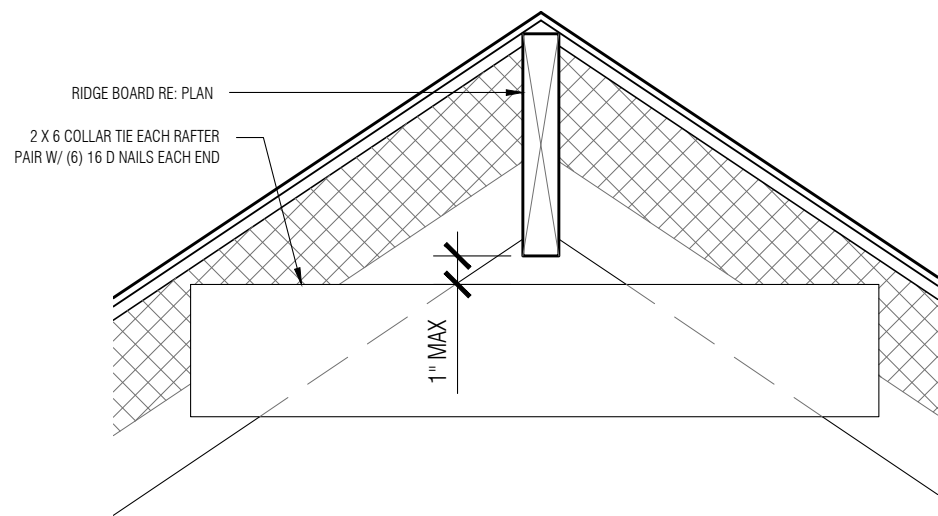
3 BUILDING SECTION
SCALE: 3/16" = 1'-0"



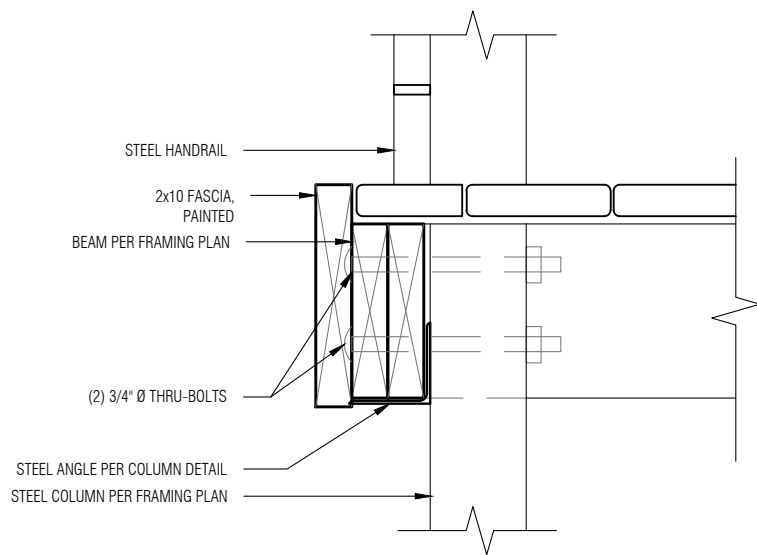
5 BEAM CONNECTION DETAIL
SCALE: 1-1/2" = 1'-0"



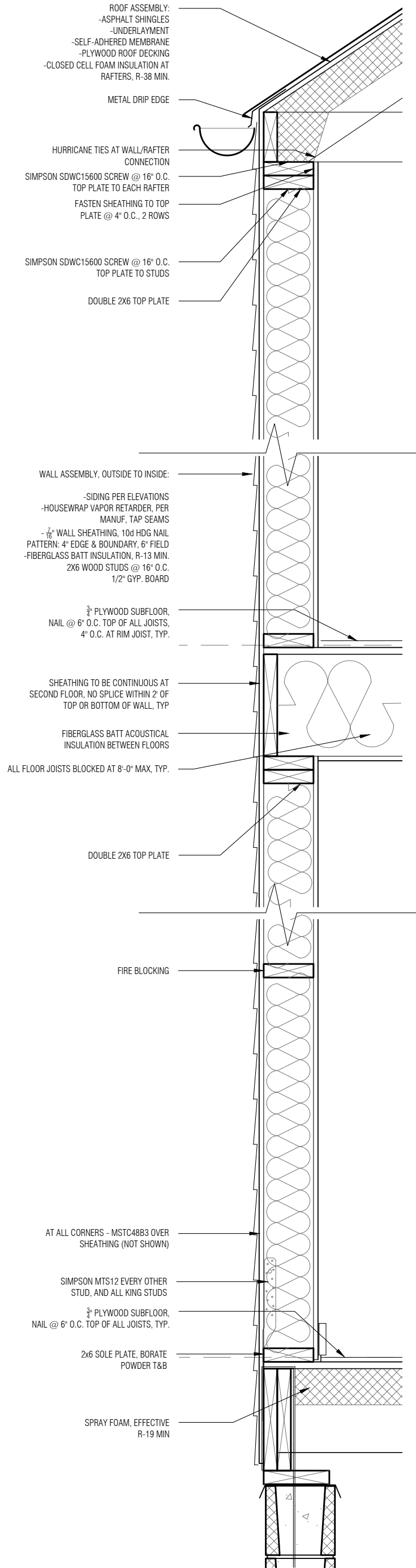
4 PORCH LEDGER DETAIL
SCALE: 1-1/2" = 1'-0"



6 COLLAR TIE DETAIL
SCALE: 1-1/2" = 1'-0"



3 BEAM CONNECTION DETAIL
SCALE: 1-1/2" = 1'-0"



1 TYPICAL WALL SECTION
SCALE: 1" = 1'-0"

project:
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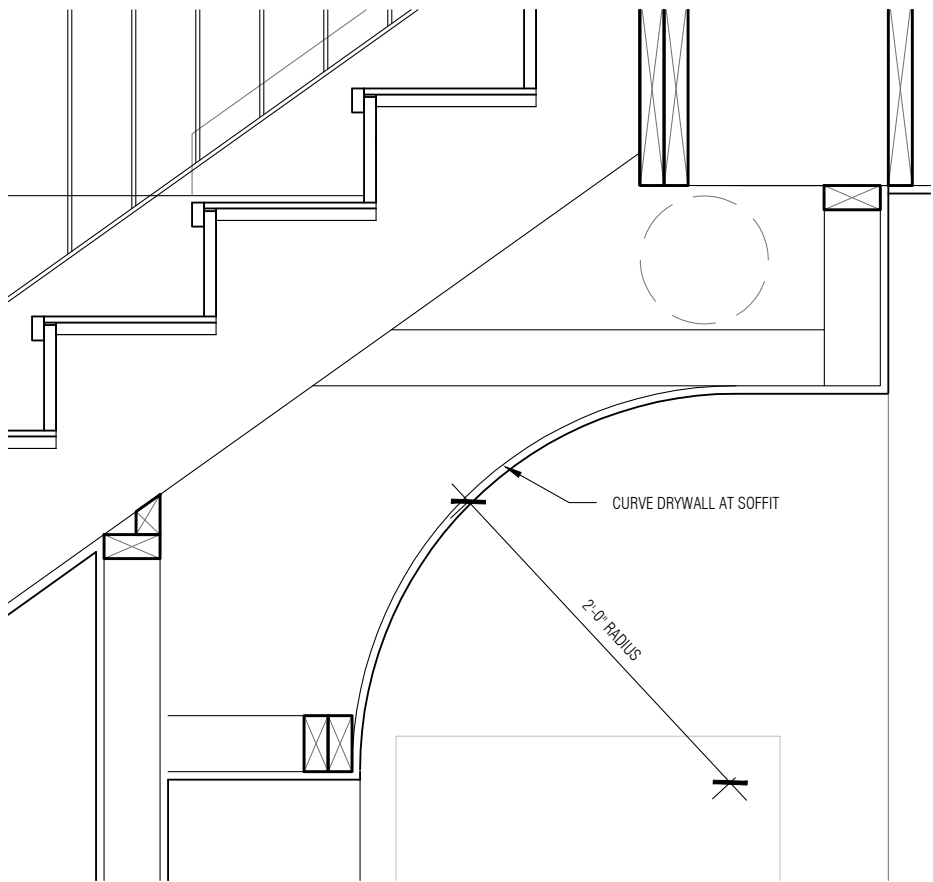


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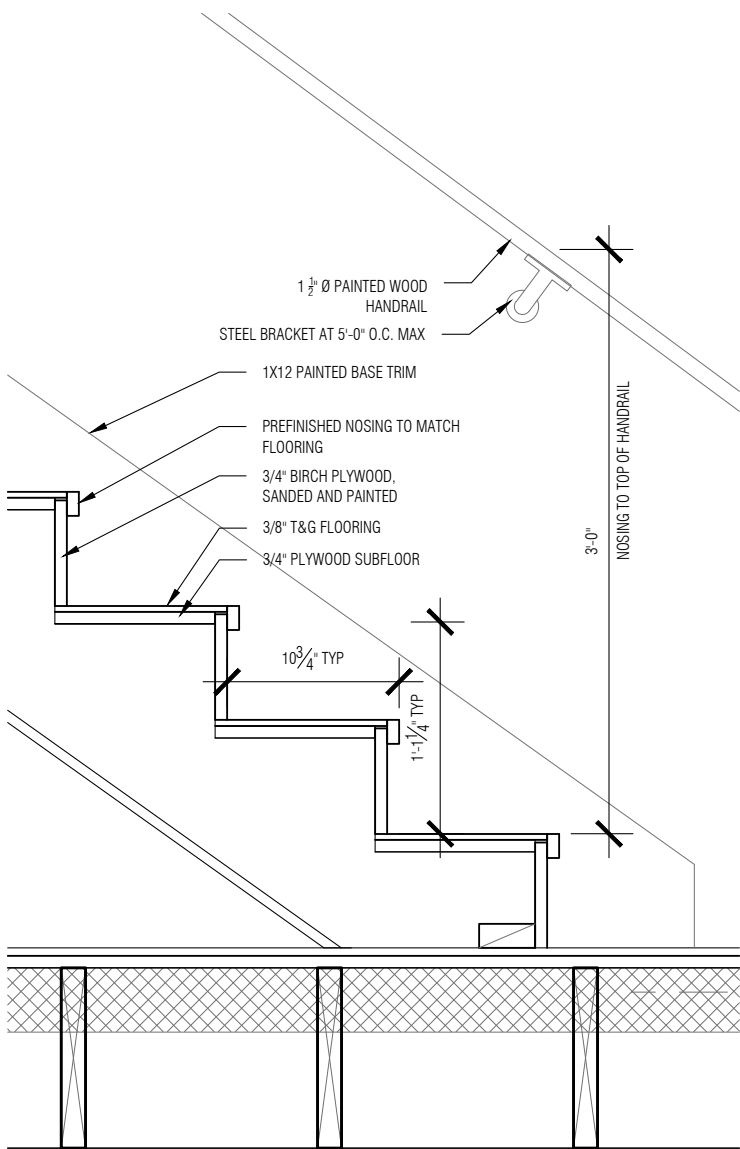
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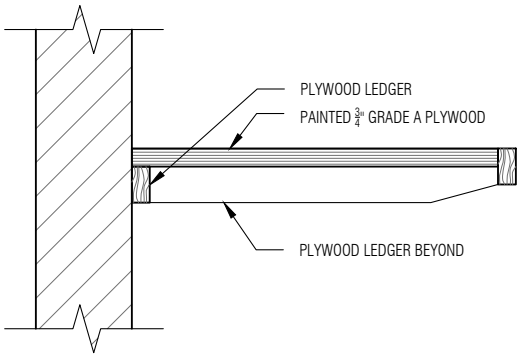
A4.1
WALL SECTIONS +
DETAILS



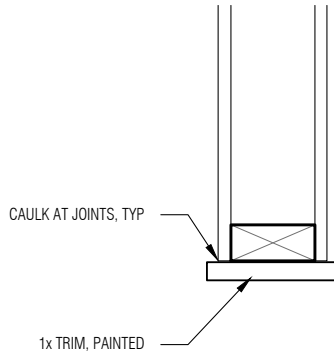
7 SOFFIT DETAIL
SCALE: 1" = 1'-0"



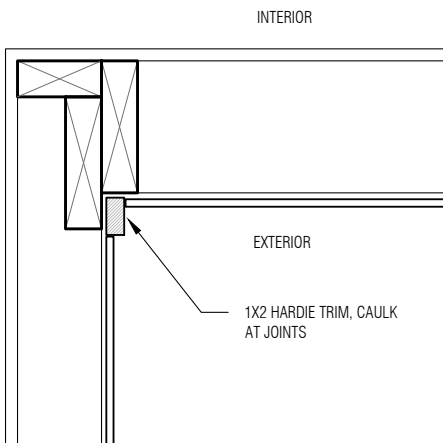
5 STAIR DETAIL
SCALE: 1" = 1'-0"



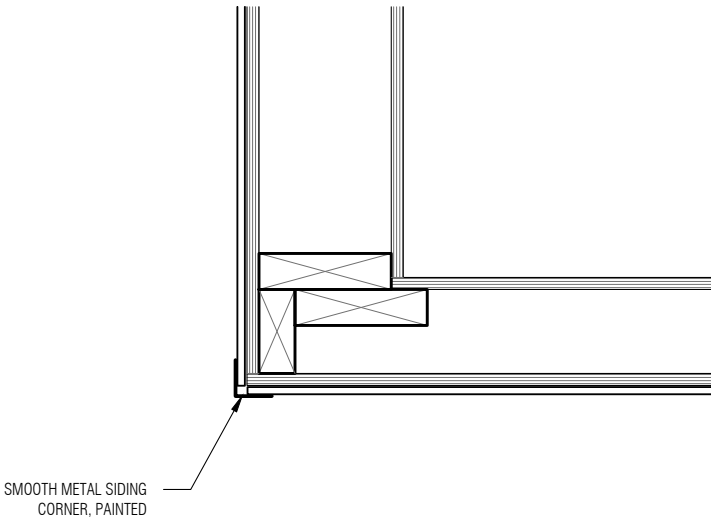
6 TYPICAL SHELF DETAIL
SCALE: 1'-1/2" = 1'-0"



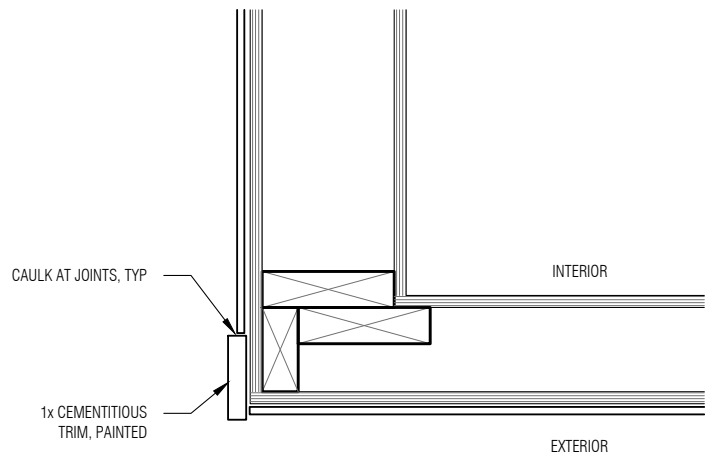
4 PLAN DETAIL: INTERIOR OPENING
SCALE: 1'-1/2" = 1'-0"



3 PLAN DETAIL: CORNER
SCALE: 1'-1/2" = 1'-0"



2 PLAN DETAIL: CORNER @ LAP SIDING
SCALE: 1'-1/2" = 1'-0"



1 PLAN DETAIL: CORNER @ PANEL SIDING
SCALE: 1'-1/2" = 1'-0"

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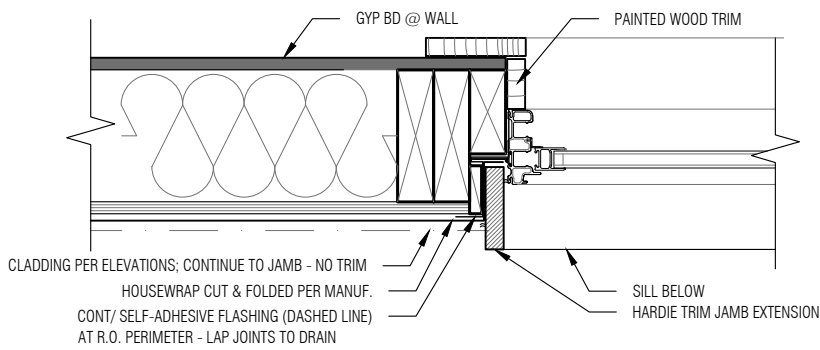
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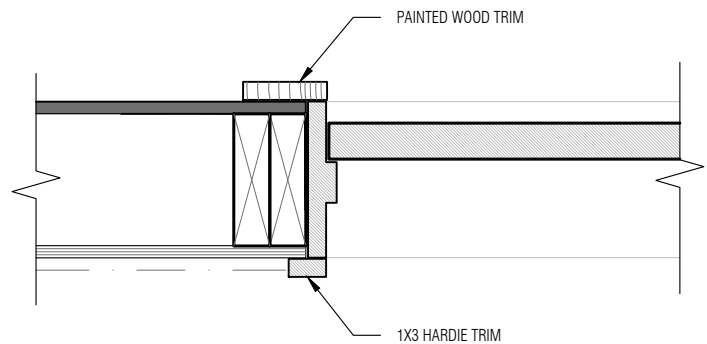
A4.2
DETAILS

DOOR SCHEDULE						
ALL HARDWARE TO BE BRUSHED NICKEL, LEVER TYPE						
ALL DOORS TO HAVE PAINTED FINISH U.N.O.						
NUMBER	SIZE		HARDWARE	TYPE	GLAZING	NOTES
	W	H				
1	3'-0"	8'-0"	ENTRY	SMOOTH FIBERGLASS	HALF LITE, FROSTED	-
2	6'-0"	8'-0"	ENTRY, PROVIDE 180° HINGES AND WALL STOPS	SMOOTH FIBERGLASS	FULL LITE	-
3	2'-8"	6'-8"	PRIVACY	SOLID FLUSH	-	-
4	2'-8"	6'-8"	PRIVACY	POCKET, SOLID FLUSH	-	-
5	2'-8"	6'-8"	PASSAGE	POCKET, SOLID FLUSH	-	-
6	2'-8"	6'-8"	PRIVACY	SOLID FLUSH	-	-
7	2'-6"	6'-8"	PRIVACY	SOLID FLUSH	-	-
8	2'-6"	6'-8"	PASSAGE	SALVAGE WOOD	HALF LITE	-
9	5'-0"	6'-8"	PASSAGE	BIFOLD LOUVERED		
10	2'-6"	6'-8"	PASSAGE	BIFOLD LOUVERED		
11	2'-6"	6'-8"	PASSAGE	SOLID FLUSH	-	-
12	2'-6"	6'-8"	PASSAGE	SOLID FLUSH	-	-
13	5'-0"	6'-8"	PASSAGE	SOLID FLUSH	-	-
14	2'-8"	6'-8"	PRIVACY	SOLID FLUSH	-	-
15	2'-8"	6'-8"	PRIVACY	SOLID FLUSH	-	-
16	2'-8"	6'-8"	PRIVACY	SOLID FLUSH	-	-
17	2'-8"	6'-8"	PRIVACY	POCKET, SOLID FLUSH	-	-

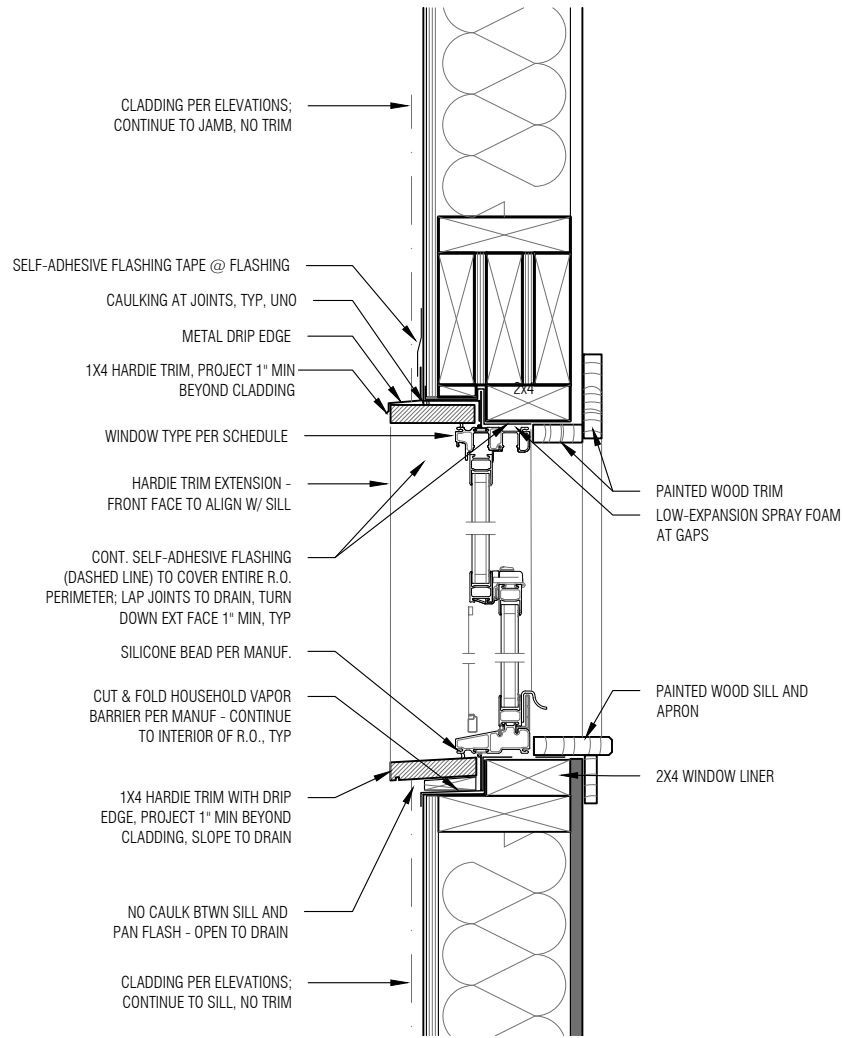
WINDOW SCHEDULE						
ALL WINDOW HEAD HEAD HEIGHTS TO BE 8'-0" AFF, U.N.O.						
LETTER	SIZE		TYPE	HEIGHT		NOTES
	W	H		H	J	
A	3'-0"	5'-0"	SINGLE HUNG	-	-	
B	3'-0"	3'-0"	FIXED	-	-	
C	3'-0"	4'-0"	FIXED	-	-	
D	3'-0"	6'-0"	SINGLE HUNG	-	-	
E	6'-0"	2'-0"	FIXED	-	-	
F	3'-0"	2'-0"	FIXED	-	-	
G	4'-0"	2'-0"	FIXED	-	-	
H	2'-0"	3'-0"	FIXED	-	-	
J	2'-0"	6'-0"	CASEMENT	-	-	



2 PLAN DETAIL - WINDOW JAMB
SCALE: 1-1/2" = 1'-0"



3 PLAN DETAIL - DOOR JAMB
SCALE: 1-1/2" = 1'-0"



1 SECTION DETAIL - WINDOW SILL AND HEAD
SCALE: 1-1/2" = 1'-0"

MEP LEGEND

- | | | | |
|----|--|----|----------------------------------|
| ⌋○ | WALL MOUNT LIGHT FIXTURE | ⌚ | DUPLEX RECEPTACLE |
| ○ | RECESSED LED LIGHT FIXTURE | ⌚⌚ | GFCI RECEPTACLE @ COUNTER HEIGHT |
| ⌋⌋ | CEILING MOUNT FIXTURE | ▽ | DATA |
| ⌋ | EXHAUST FAN - NO LIGHT | ⌋⌋ | CEILING FAN |
| ⌋ | STRIP LED FIXTURE | ⌋⌋ | CEILING SUPPLY REGISTER |
| ⌋ | SWITCH | ⌋⌋ | SIDE WALL SUPPLY REGISTER |
| ⌋⌋ | 3-WAY SWITCH | | |
| ⌋⌋ | CARBON MONOXIDE DETECTOR | | |
| ⌋⌋ | SMOKE DETECTOR/
CARBON MONOXIDE COMBO | | |
| ⌋⌋ | FLOODLIGHT- PHOTOCELL | | |
| ⌋⌋ | FLOODLIGHT | | |

NOTE: ALL LIGHT FIXTURES TO HAVE DIMMER TYPE SWITCH, EXCEPT CLOSETS AND PANTRY

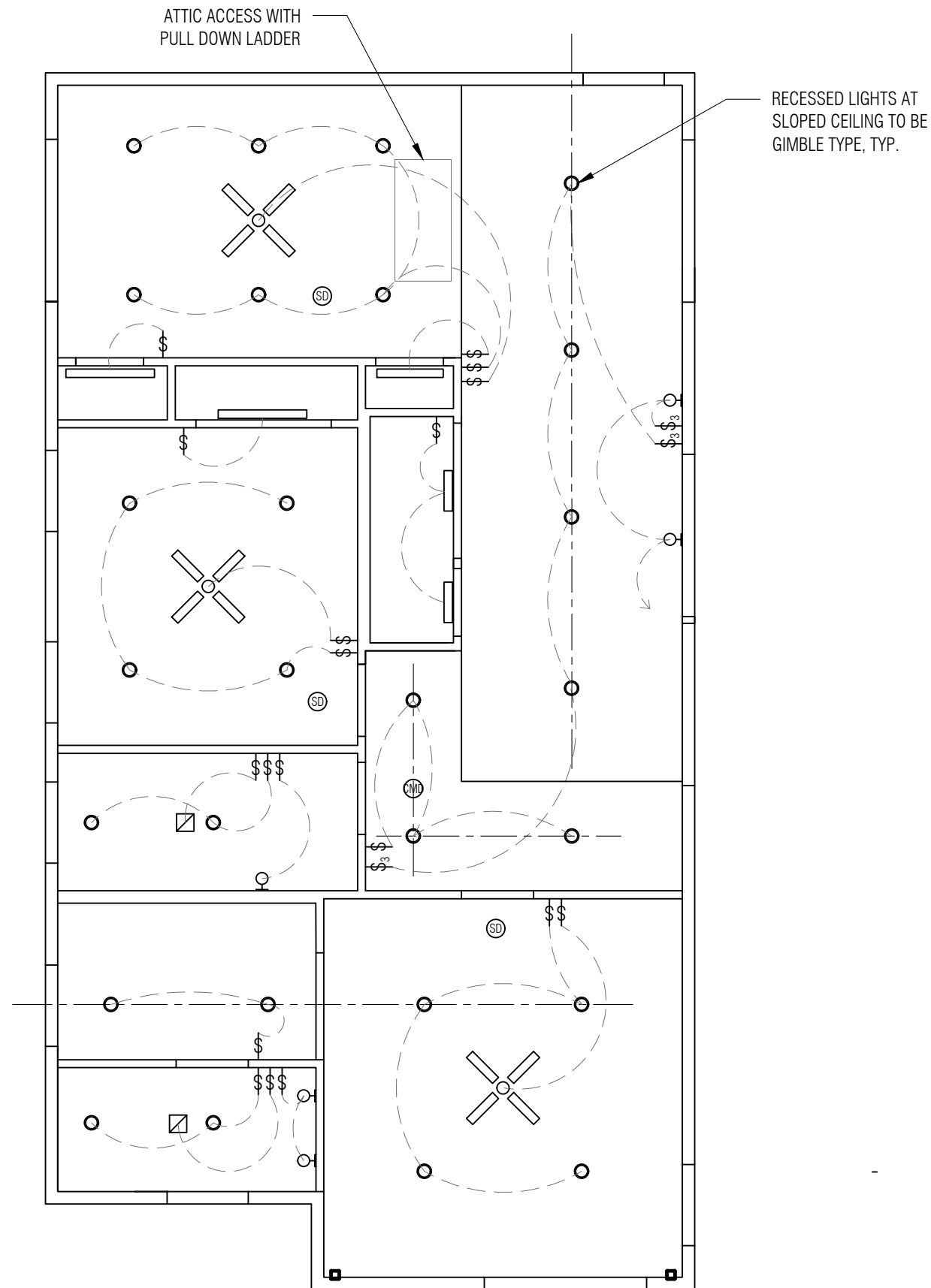
NOTES:

-HVAC DUCT RUNS SHOWN FOR INFORMATION ONLY. FINAL HVAC TO BE DESIGN-BUILD BY HVAC SUPPLIER

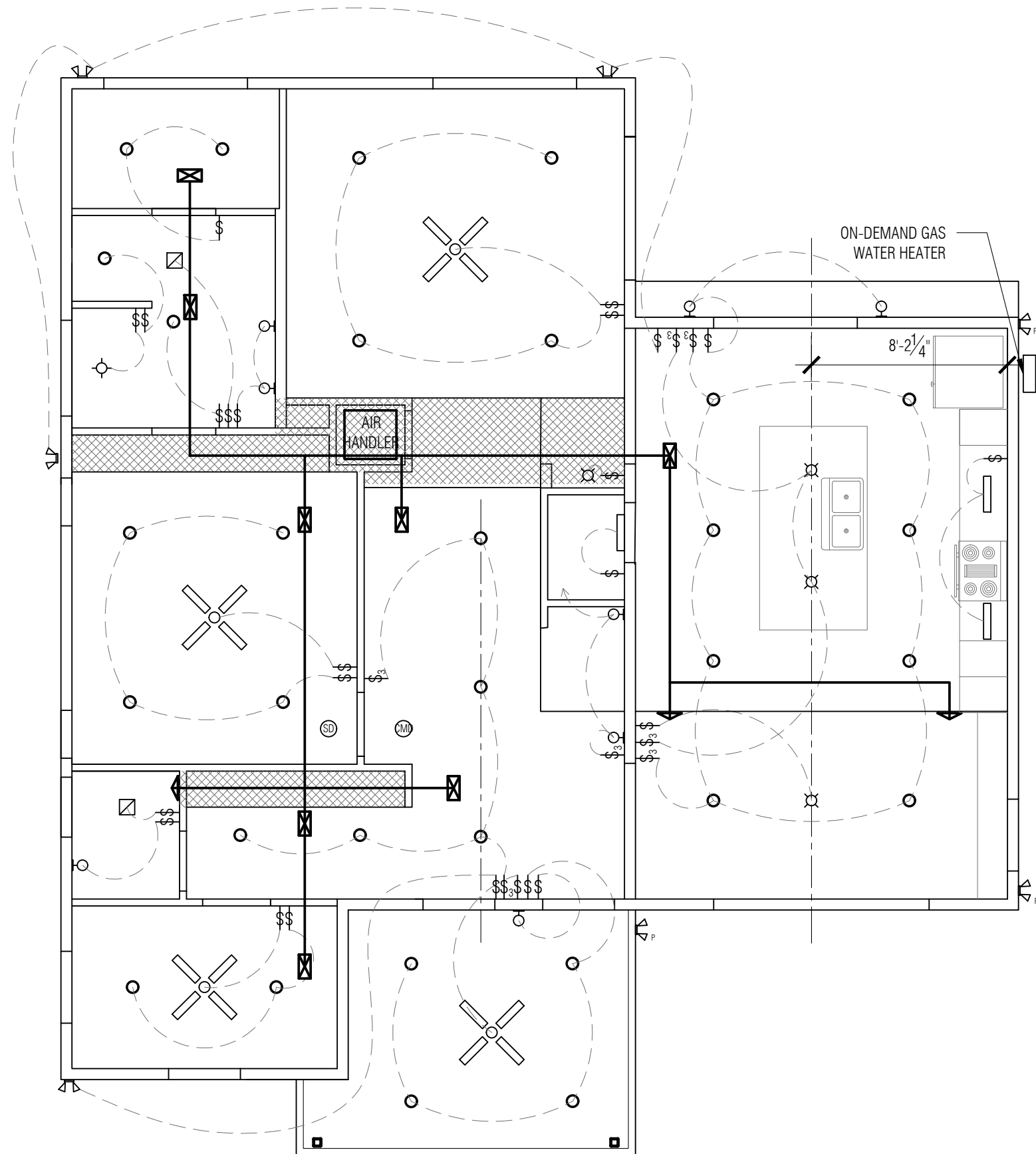
-DUCT RUN ASSUMED TO RUN THROUGH FLOOR FRAMING AND CHANGE DIRECTIONS AT FURR DOWNS

-FIRST FLOOR HVAC RETURN TO BE LOCATED IN WALL BELOW AIR HANDLER

-SECOND FLOOR AIR HANDLER AND DUCTS TO BE LOCATED IN ATTIC SPACE



2 SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"



1 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"

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
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checked by: ss
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
revisions:


A6.0
MEP PLANS


MEP LEGEND


-  WALL MOUNT LIGHT FIXTURE


 RECESSED LED LIGHT FIXTURE


 CEILING MOUNT FIXTURE


 EXHAUST FAN - NO LIGHT


 STRIP LED FIXTURE



 SWITCH


 3-WAY SWITCH


 CARBON MONOXIDE DETECTOR

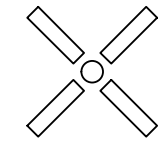
 SMOKE DETECTOR/
CARBON MONOXIDE COMBO


 FLOODLIGHT- PHOTOCELL


 FLOODLIGHT
-  DUPLEX RECEPTACLE

 GFCI RECEPTACLE @ COUNTER HEIGHT

 DATA

 CEILING FAN

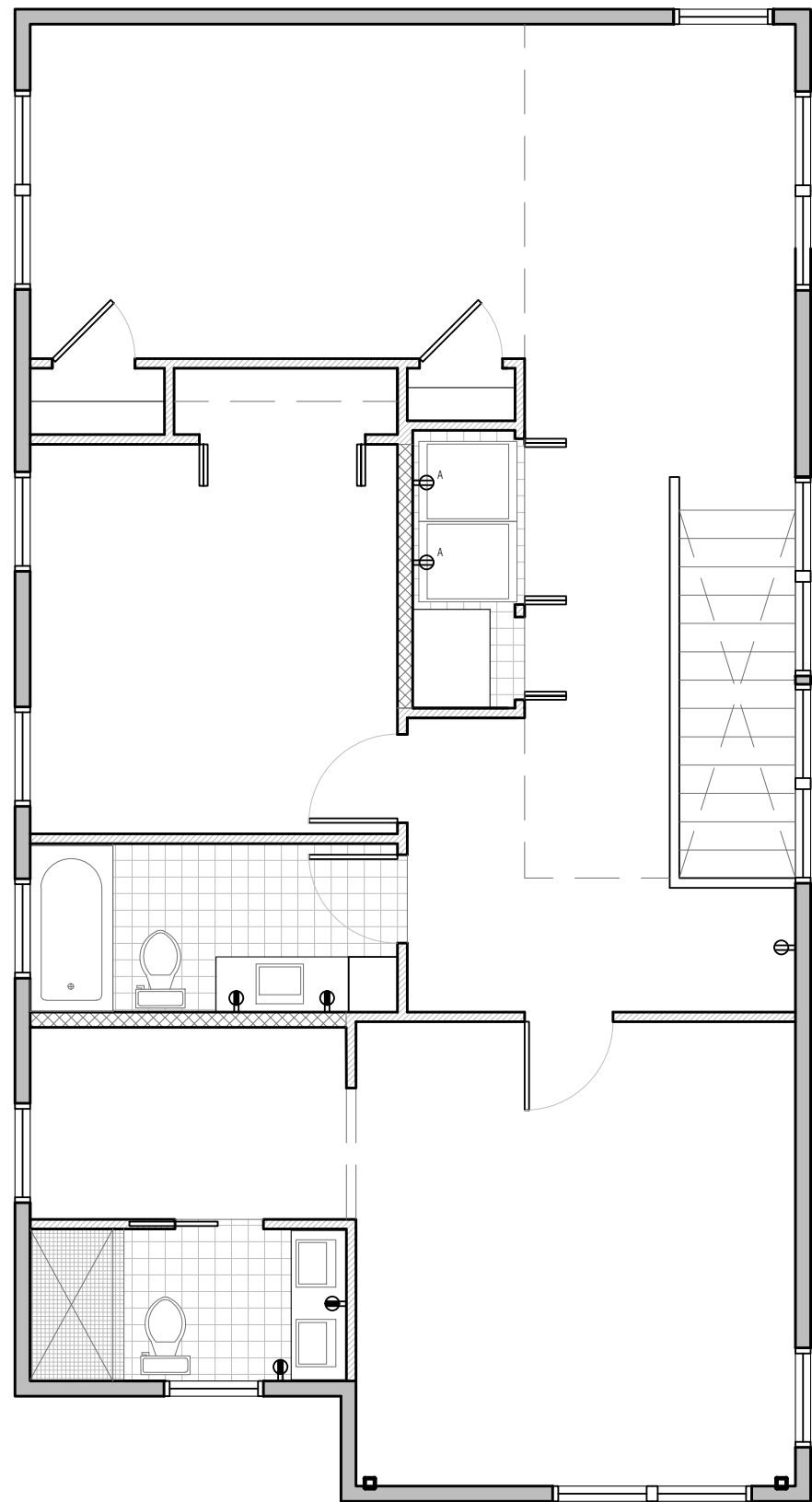
 CEILING SUPPLY REGISTER

 SIDE WALL SUPPLY REGISTER

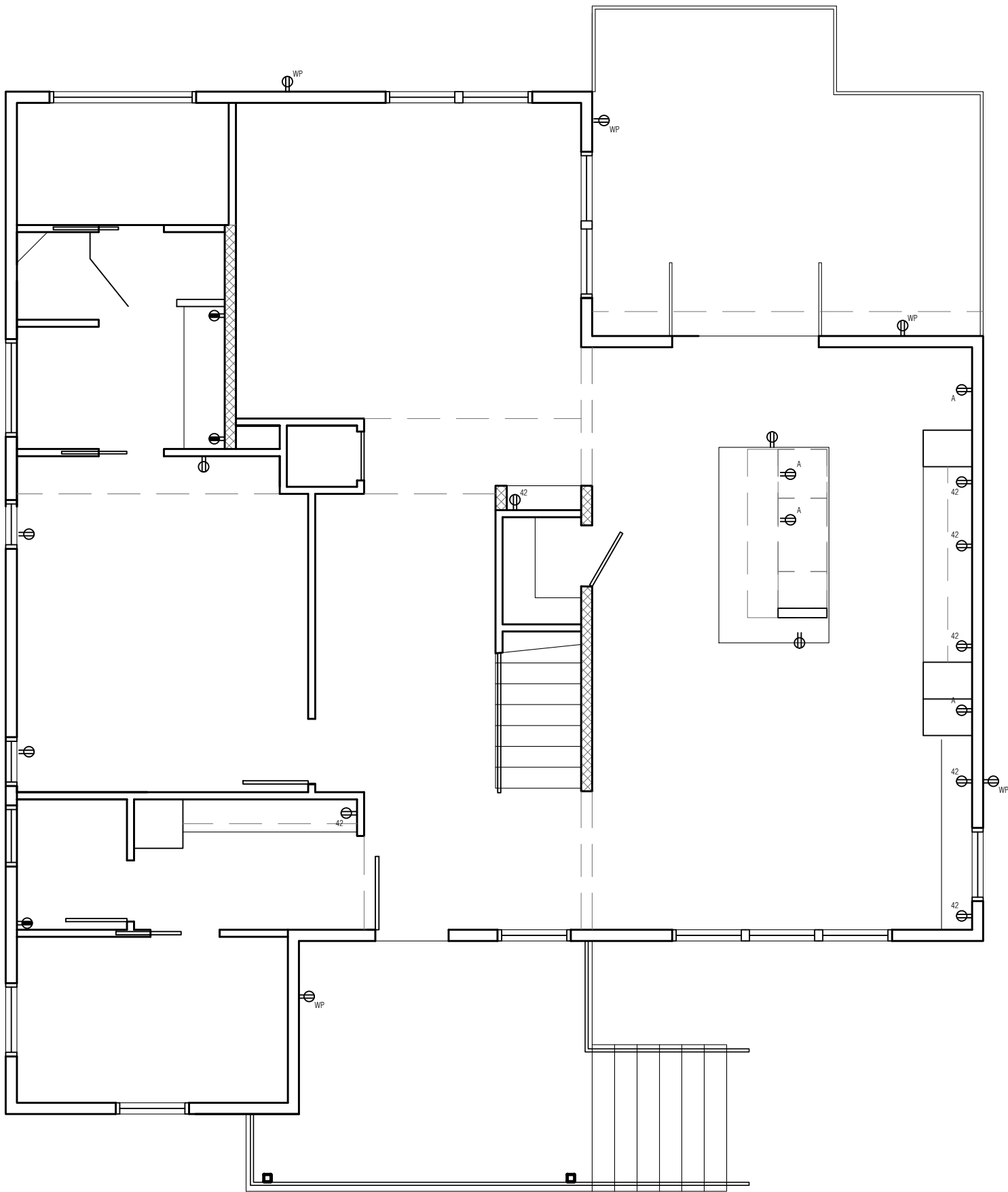
NOTE: ALL LIGHT FIXTURES TO HAVE DIMMER TYPE SWITCH, EXCEPT CLOSETS AND PANTRY

NOTES:

-RECEPTACLES SHOWN ARE MINIMUM REQUIRED. G.C. TO PROVIDE ADDITIONAL RECEPTACLES PER CODE



2 SECOND FLOOR POWER PLAN
SCALE: 3/16" = 1'-0"



1 FIRST FLOOR POWER PLAN
SCALE: 3/16" = 1'-0"

project:
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RESIDENCE**

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PERMIT SET

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checked by: ss
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POWER PLANS