

REMODEL - POPEYES #2239

3100 S Carrollton Ave | New Orleans | LA



POPEYES

LOUISIANA KITCHEN

POPEYES LOUISIANA KITCHEN, INC.

DEMOLITION NOTES:

- PERFORM DEMOLITION WORK IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS, CODES, AND ORDINANCES OF LOCAL, STATE, AND FEDERAL AUTHORITIES, AND IN ACCORDANCE WITH THE REQUIREMENTS OF PUBLIC UTILITY CORPORATIONS HAVING JURISDICTION OVER THE WORK.
- ANSI A10.6, 'SAFETY REQUIREMENTS FOR DEMOLITION' SHALL GOVERN EXCEPT AS OTHERWISE SPECIFIED HEREIN. WHERE THE REQUIREMENTS SPECIFIED HEREIN OR CONTAINED IN THE ANSI STANDARD DIFFER FROM THE APPLICABLE RULES, REGULATIONS, AND CODES, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN THE WORK UNDER THIS CONTRACT.
- THE OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF THE STRUCTURES TO BE DEMOLISHED. EXAMINE THE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK, AS FAR AS IT IS PRACTICAL.
- PROVIDE AND MAINTAIN TEMPORARY PROTECTION OF EXISTING STRUCTURES DESIGNATED TO REMAIN, WHERE DEMOLITION, REMOVAL, AND NEW WORK IS BEING DONE, MATERIALS HANDLED OR BEING MOVED.
- PROVIDE WARNING SIGNS AND ALL OTHER ITEMS AS REQUIRED FOR THE PROPER PROTECTION OF WORKMEN ENGAGED IN DEMOLITION OPERATIONS, THE PUBLIC AND ADJACENT CONSTRUCTION.
- PROVIDE ADEQUATE FIRE PROTECTION IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT REQUIREMENTS.
- DO NOT CLOSE OR OBSTRUCT STREETS OR SIDEWALKS WITHOUT THE PROPER PERMITS. CONDUCT OPERATIONS WITH THE MINIMUM TRAFFIC INTERFERENCE.
- MAKE SUCH EXPLORATIONS AND PROBES AS ARE NECESSARY TO ASCERTAIN ANY REQUIRED PROTECTIVE MEASURES BEFORE PROCEEDING WITH DEMOLITION AND REMOVAL WORK. GIVE PARTICULAR ATTENTION TO SHORING AND BRACING REQUIREMENTS SO AS TO PREVENT ANY DAMAGE TO EXISTING CONDITIONS.
- DO NOT CLOSE OR OBSTRUCT WALKWAYS, PASSAGEWAYS OR STAIRWAYS WITHOUT THE AUTHORIZATION OF THE OWNER. DO NOT STORE OR PLACE MATERIALS IN PASSAGEWAYS, STAIRS OR OTHER MEANS OF EGRESS.
- IN GENERAL, DEMOLISH MASONRY IN SMALL SECTIONS. WHERE NECESSARY TO PREVENT THE COLLAPSE OF ANY CONSTRUCTION, INSTALL TEMPORARY SHORES, STRUTS, AND BRACING.
- DEMOLITION AND REMOVAL WORK SHALL BE AS SHOWN ON THE DRAWINGS AND AS REQUIRED TO MAKE WAY FOR NEW CONSTRUCTION. DO ALL SUCH WORK REQUIRED IN CONNECTION WITH THIS PROJECT WITH DUE CARE, INCLUDING SHORING, BRACING, ETC. BE RESPONSIBLE FOR SUCH DAMAGE WHICH MAY BE CAUSED BY SUCH WORK OR PARTS OF THE EXISTING STRUCTURE AND BUILDING SERVICES.
- MATERIALS AND/OR ITEMS DESIGNATED ON DRAWINGS ARE TO REMAIN THE PROPERTY OF THE OWNER AND SHALL BE REMOVED WITH CARE AND STORED ON THE SITE DESIGNATED BY THE OWNER.
- MATERIALS AND/OR ITEMS DEMOLISHED AND NOT DESIGNATED TO BECOME THE PROPERTY OF THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE OWNER'S PROPERTY.
- TAKE PRECAUTIONS TO GUARD AGAINST MOVEMENT OR COLLAPSE OF ANY DESIGNATED CONSTRUCTION OR EQUIPMENT DESIGNATED TO REMAIN, AND BE LIABLE FOR SUCH MOVEMENT OR COLLAPSE.
- UPON COMPLETION OF ALL WORK UNDER THIS SECTION, REMOVE ALL TOOLS, MATERIALS, PLANT APPARATUS AND RUBBISH OF ANY SORT. THE PREMISES SHALL BE LEFT BROOM CLEAN.
- THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, FITTING, AND PATCHING WORK THAT MAY BE REQUIRED TO MAKE ALL PARTS COME TOGETHER PROPERLY, AND FIT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER CONTRACTORS, AS SHOWN UPON OR REASONABLY IMPLIED BY THE DRAWINGS AND NOTES.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL FLOOR CUTOUTS AND PATCHING REQUIRED FOR THE INSTALLATION OF ALL WORK.
- THE GENERAL CONTRACTOR SHALL SURVEY ALL EXISTING FINISHED SURFACES INCLUDING CORNER BEADS, STOPS, ETC., FOR CHIPS, CRACKS, HOLES, DAMAGED SURFACES, WHEREVER DOOR BUCKS HAVE BEEN REMOVED, AND ANY OTHER DEFECTS CAUSING AN APPEARANCE DIFFERENT FROM A NEW FIRST CLASS FINISHED INSTALLATION. THESE DEFECTIVE SURFACES SHALL BE REPAIRED, OR IF BEYOND REPAIRING, THEN THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING AND INSTALL NEW SURFACES TO THE SATISFACTION OF THE ARCHITECT.
- ALL OTHER DAMAGED SURFACES (FINISHED FLOOR, CEILING, ETC.) SHALL BE REPAIRED TO THE SATISFACTION OF THE ARCHITECT.
- ALL DAMAGED EXISTING AREAS TO REMAIN AND EXISTING AREAS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WORK SHOWN ON DRAWINGS SHALL BE PATCHED AS REQUIRED TO MATCH IMMEDIATE EXISTING ADJACENT AREAS IN MATERIALS, FIRE RATING, FINISH, AND COLOR, UNLESS OTHERWISE NOTED.

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF HAVING JURISDICTION.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE AIA GENERAL CONDITIONS FOR CONSTRUCTION.
- SHOULD THE GENERAL CONTRACTOR (G.C.) DISCOVER ANY DISCREPANCIES OR AMBIGUITIES OF DATA THAT CAUSE DOUBT AS TO THE MEANING OF ANY DRAWINGS OR SPECIFICATIONS, THE G.C. SHALL NOTIFY THE ARCHITECT, AND REQUEST CLARIFICATION PRIOR TO PROCEEDING.
- ALL WORKMAN EMPLOYED BY THE G.C. OR ANY SUBCONTRACTORS SHALL BE SKILLED AT THE WORK TO WHICH HE IS ASSIGNED. ALL TRADES MUST PROVIDE EVIDENCE OF WORKMAN'S COMPENSATIONS AND LIABILITY INSURANCE IN FORCE.
- ALL MATERIAL STORED ON THE SITE SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE FROM OTHER WORK IN PROGRESS. REPAIR OF COMPLETED WORK DAMAGED IN THE COURSE OF THE PROJECT WILL BE THE G.C.'S RESPONSIBILITY AT NO COST TO THE OWNER.
- AFTER MAKING REMOVALS, RELOCATIONS, ADDITIONS, ETC., TO EXISTING ELEMENTS, SURFACES AND FINISHES THAT DESTROY THOSE SURFACES AND FINISHES, PATCH SUCH ELEMENTS, AND MATCH SUCH FINISHES TO PREEXISTING ADJACENT CONDITIONS. THIS PATCHING WORK IS CONSIDERED PART OF THE PROJECT.
- THE PROJECT SITE IS TO BE KEPT REASONABLY CLEAN AT ALL TIMES. LOOSE TRASH IS TO BE CONTAINED AND EMPTIED OFF THE SITE WHEN FULL. PAINT SPOTS AND EXCESS CAULKING ARE TO BE REMOVED.
- UPON COMPLETION OF THE WORK, THE G.C. IS RESPONSIBLE FOR THE FINAL ADJUSTMENTS OF WINDOWS, DOORS, HARDWARE, DEVICES, AND THOSE ITEMS DEEMED BY THE ARCHITECT TO MAKE THE PROJECT HABITABLE.
- THOSE ITEMS NOT NOTED, BUT IMPLIED AS NECESSARY FOR THE COMPLETION OF THE WORK ARE TO BE PART THEREOF. THE G.C. SHALL VERIFY ALL DIMENSIONS, QUANTITIES, AND CONDITIONS.
- APPROVAL OF MINOR CHANGES OR CLARIFICATION TO PLANS MAY BE ACCOMPLISHED BY ISSUANCE OF REVISED PLANS, PARTIAL SKETCH, OR INITIALING AND DATING OF CHANGE BY THE ARCHITECT ON THE EXISTING PLANS.
- UNLESS OTHERWISE NOTED, ALL EXPOSED NEW AND EXISTING ELECTRICAL, MECHANICAL, PLUMBING, AND COMMUNICATIONS LINES, DUCTS, PIPES, UNITS AND DEVICES ARE TO PRIMED AND PAINTED THE SAME COLOR AS THE WALL AND/OR CEILING SURFACE ON WHICH THEY RUN, OR ARE TO BE LOCATED ON. IN ORDER TO BLEND IN.
- ALL WORK MUST BE LEVEL AND/OR PARALLEL TO EXISTING ELEMENTS AS SHOWN ON DRAWINGS.
- THE ARCHITECT AND/OR DESIGNER HAS NO RESPONSIBILITY FOR ANY ACTIONS OR OMISSIONS OF THE G.C. OR HIS SUBCONTRACTORS, OR THE FAILURE OF THEM TO PERFORM WORK ACCORDING TO THE CONTRACT DOCUMENTS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LABOR AND MATERIALS AND MAKE GOOD ANY DEFECTS THEREIN WHICH ARE DISCOVERED OR OCCUR WITHIN ONE YEAR AFTER THE COMPLETION OF THE PROJECT. HE SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY MATERIAL OR EQUIPMENT CONSIDERED PART OF THE CONTRACT AND UNDER GUARANTEE PERIODS SPECIFICALLY NOTED BY THE MANUFACTURER THEREOF.
- THE CONTRACTOR'S COST IS TO INCLUDE THE REMOVAL, TEMPORARY DISCONNECTION, RELOCATION, AND/OR REROUTING OF ALL EXPOSED ELECTRICAL, MECHANICAL, PLUMBING, AND COMMUNICATION LINES, DUCTS, PIPES, UNITS, AND DEVICES, WHETHER SPECIFICALLY NOTED OR NOT IN THE CONTRACT DOCUMENTS, IN ORDER TO INSTALL, INSERT, OR PASS BY A SPECIFIED NEW OR RELOCATED EXISTING LINE, DUCT, CIRCUIT, PIPE, AND/OR DEVICE AS REQUIRED BY THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXPOSED EXISTING STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING CONDITIONS AND INTERFERENCES PRIOR TO BIDDING, AND INCLUDE IT AS PART OF THE COST OF THE NEW WORK.
- ALL JOINT SURFACES SHALL BE FREE OF ANY SUBSTANCE OR MATERIAL THAT WOULD PREVENT THE PROPER ADHESION OF THE CAULKING UPON APPLICATION OR WOULD CAUSE FAILURE OF THE CONNECTION BETWEEN THE CAULKING AND THE WALL JOINT. ALL CAULKING LINES ARE TO BE EVEN, SMOOTH, AND STRAIGHT.
- ALL NOTES ON ALL DRAWINGS OF THE ARCHITECT, ENGINEER, AND DESIGNER'S DRAWINGS AND PLANS ARE TO BE CONSIDERED PART OF THE CONTRACT DOCUMENTS.
- ALL BUILDING AREAS ARE TO BE BROOM SWEEP EACH NIGHT BEFORE THE AUTHORIZED CONTRACTORS LEAVE. THE PREMISES IS TO BE KEPT CLEAN DURING ALL TIMES CONSTRUCTION IS UNDERWAY.
- NO EQUIPMENT OR MATERIALS ARE TO BE LEFT OR STORED IN ANY PUBLIC OR COMMON AREAS OF THE BUILDING.
- NO CUTTING OR CHANNELING OF BUILDING STRUCTURE SHOULD BE PERMITTED FOR ANY WORK OF ALTERATION INCLUDING FOR RUNS OF PIPING OR ELECTRICAL CONDUIT.
- PLUMBING AND ELECTRICAL WORK SHOULD BE PERFORMED BY LICENSED CONTRACTORS AND ALL REQUIRED PERMITS AND CERTIFICATIONS

KEY TO SYMBOLS

- 88 Column Number
- A Window Tag
- Elevation Tag
- Datum Point
- Number Sheet
- Revision
- Interior Elevation
- Detail Sheet Location
- Match Line
- ROOM NAME ROOM #
- EXIST. WALL TO REMAIN
- EXIST. WALL TO BE REMOVED
- WALL TYPES
- EXISTING DOOR TO BE MODIFIED
- NEW DOOR
- HARD WIRED SMOKE DETECTOR
- EXHAUST FAN ABOVE
- EMERGENCY LIGHT ABOVE
- EXIT SIGN
- FLOOR DRAIN

CODE REVIEW

REFERENCE CODES:

2018 IBC
2018 IEBC

USE & OCCUPANCY CLASSIFICATION:

TYPE OF USE : ASSEMBLY A-2 (EXISTING TO REMAIN)
KITCHEN: 1253 SF/200 SF = 7
UNCONCENTRATED TABLES AND CHAIRS: 883 SF/15 SF = 59
TOTAL: 66

WIND SPEED RATING:

130 mph

ABBREVIATIONS

Acoust Tile	Acoustical Ceiling Tile	LAV	Lavatory
ADJ	Adjacent	MFT/MFGR	Manufacturer (ed)
ADJUST	Adjustable	MTL	Material
AFF	Above Finish Floor Slab	MAX	Maximum
BD	Board	MECH	Mechanical
BLDG.	Building	MET	Metal
BLK	Block	MIN	Minimum
BOT	Bottom	MISC	Miscellaneous
CAB	Cabinet	MNT	Mount (ed) (ing)
CLG	Ceiling	NAT	Natural
CLR	Clear(rance)	NOM	Nominal
CONT	Continuous	NIC	Not in Contract
DEM	Demolish	NTS	Not to Scale
DET	Detail	OC	On Center
DIA	Diameter	OPG	Opening
DIM	Dimension	PAN	Panel (s)
DWG	Drawing	PLAS	Plastic Laminate
ELECT	Electric	PLYWD	Plywood
ELEV	Elevation	PTD	Paint (s)
EQUIP	Equal	PR	Pair
EXIST	Existing	R	Riser
FD	Field Dimension	R/RAD	Radius
FF	Factory Finish	RE	Reference
FIN	Finish (ed)	REFRIG	Refrigerator
FLOOR	Fl oor	RESIL	Resilient
FPSC	Fireproof Self Closing	REV	Revised (Revision)
GA	Gage	SEC	Section
GL	Glass	SHT	Sheet
GYP BD	Gypsum Board	SIM	Similar
HWD	Hardware	SPEC	Specification
HM	Hollow Metal	S.S.	Stainless Steel
HT/NGT	Height	STOR	Storage
HOR	Horizontal	T	Tread
INCL	Include (d) (ing)	TEL	Telephone
INS	Insulate (d) (ion)	THK	Thickness
INT	Interior	TYP	Typical
INTM	Intermediate	VEN	Veneer
JT	Joint	VERT	Vertical
LBL	Label	VIN	Vinyl Asbestos Tile
LAM	Laminate	W/	With
		WD	Wood

PROJECT DIRECTORY

OWNER

RESTAURANT BRANDS INTERNATIONAL

CONTACT : PETER RIVERA-PIEROLA
LEAD ARCHITECTURE, DESIGN & CONSTRUCTION, US&C
POPEYES® BRAND
PRIVERAPIEROLA@RBI.COM
PHONE: 305-378-3397

ARCHITECT

M2 STUDIO, LLC
1200 ANNUNCIATION ST
NEW ORLEANS, LA 70130

CONTACT : CHARLES NEYREY, ARCHITECT
EMAIL : CHADLESNEYREY@MODERNMARKETLIFESTYLE.COM
PHONE : (504) 258-0464

SCOPE OF WORK:

The project includes a renovation of an existing Popeyes. Occupancy classification and business owner to remain.

- Remove and replace exterior light fixtures
- Remove and replace interior light fixtures in restroom, sales, service and dining rooms as indicated on plans
- Remove and replace exterior storefront
- Remove and replace exterior awnings
- Remove and replace exterior signage as indicated in Architectural Signage Elevations and Signage Package (to be filed separately for permitting)
- Upgrade exterior finishes as shown in plans
- Remove and replace interior seating
- Remove and replace floor tiles in restroom, sales, service and dining rooms
- Remove kitchen flooring and replace with Siklik flooring system
- Install new interior wall and ceiling finishes in restroom, sales, service, dining room and kitchen
- Install new interior decor as indicated in Decor Package
- Remove and replace restroom fixtures and accessories.
- Modify Parking Lot to Accomodate a second drive-thru
- Remove and replace all kitchen equipment
- Modify fencing at rear of building as noted in plan

NOTICE:

- G.C. TO COORDINATE WITH OWNER TO CONFIRM RECEIPT OF FINAL DECOR AND SIGNAGE PACKAGES PRIOR TO PURCHASE AND INSTALL OF ANY ITEMS RELATING TO DECOR AND SIGNAGE.

DRAWING INDEX

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These plans have been prepared by me or under my direct supervision. This project will not be built under my supervision.

Charles J Neyrey | AIA | LEED AP

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No.	Description	Date
1	Building Permit Set	2020.08.14
3	Owners Review	2021.06.15
4	CPC Initial Review	2021.06.24
5	Pricing Set	2021.06.28
6	Engineering Set	2021.09.20
8	CPC Resubmittal	2021.10.25
9	CPC Rev1	2021.12.09
10	CPC Rev 2	2022.02.16

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COVER

2020.36

G001

RESPONSIBILITIES CHART:

ITEM	SUPPLY		INSTALL	
	OWNER	GC	OWNER	GC
EQUIPMENT	●		●	
SMALLWARE	●		●	
EXTERIOR SIGNS (DIRECT , PYLON)	●		●	
BLDG. SIGN INTERNALLY ILLUMINATED	●		●	
DRINK SYSTEM	●		●	
CO TANK				
SECURITY SYSTEM	●		●	
DRIVE THRU SYSTEM	●		●	
POINT OF SALE SYSTEM	●		●	
POPEYES RADIO - MUZAK/RETAIL RADIO	●		●	
FLAT SCREEN TV (32" MIN)	●			●
METAL PACKAGE: CLEARANCE BAR, SHUTTERES, AWNINGS, DRIVE-THRU WINDOW CANOPY	●			●
INTEIROR ROOF LADDER				
BUIDING SIGN (VERIFY W OWNER)	●		●	
FRONT COUNTERS/SOLID SURFACES AND MATCHING BACKSPLASH	●			●
DRIVE-THRU WINDOW				
RESTROOM FIXTURES & ACCESSORIES - SEE SHEET A15		●		●
HVAC SYSTEM - EQUIPMENT				
HVAC SYSTEM - NEW REGISTERS / DUCT ALTERATIONS		●		●
INTERIOR LIGHTING PACKAGE - ACCENT LIGHTS	●			●
INTERIOR LIGHTING PACKAGE - CANS		●		●
EXTERIOR LIGHTING PACKAGE		●		●
ROOFING				
INTERIOR DECOR / FURNITURE SUPPLIER: SEATING PACKAGE, ARTWORK, OFFICE CABINETS, WOOD WALL FRAMES, WINDOW SILLS, AND P-RING	●			●
INTERIOR FLOOR TILE	●			●
INTEIROR CEILING MATERIAL - ACT	●			●
INTEIROR CEILING MATERIAL - SHEET ROCK		●		●
METAL FRAMING		●		●
INTERIOR WALL MATERIAL - SHEET ROCK		●		●
INTEIROR WALL COVERINGS: BRICK AND WOOD PANELING	●			●
DOOR LAMINATE	●			●
INTERIOR SOLID CORE WOOD DOOR PANELS		●		●
INTERIOR DOOR HARDWARE		●		●
STOREFRONT		●		●
BRICK / STONE VENEER	●			●
EIFS/STUCCO		●		●
PAINT/STAINS		●		●
FRYER GREASE REMOVAL SYSTEM (VERIFY WITH OWNER)				
WATER HEATER				
20 GA S/S AT DRIVE THRU				
S/S CEILING PANELS AND TRIM (VERIFY SIZE WITH LOCAL AUTHORITY)				
MENUBOARDS (DIGITAL)	●		●	
ORDER KIOSKS	●		●	
MENUBOARDS (D.T., PREVIEW BD.)	●			●
DRIVE-THRU LOOP SYSTEM	●			●
INTERIOR SIGNS	●			●
LANDSCAPING		●		●
NOTES: 1. G.C. TO INCLUDE RESPONSIBILITIES IN THEIR BID. GC PROJECT RESPONSIBILITIES TO BE VERIFIED AND FINALIZED WITH OWNER PRIOR TO BIDDING AT AT PRE-CONSTRUCITON MEETING. 2. TYPE OF BUIDING SIGN TO BE DECIDED DURING THE PRE-CONSTRUCTION MEETING 3. FURNITURE SUPPLIER TO INCLUDE ALL WINDOWS AND SILLS AND WOOD CORNER GUARDS IN DINING AREA. 4. PAPER TOWELS AND SOAP REPLENISHMENT ARE THE RESPONSIBILITY OF THE OWNER UNDER A SEPERATE AGREEMENT WITH A SUPPLIER.				

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No.	Description	Date
5	Pricing Set	2021.06.28
8	CPC Resubmittal	2021.10.25
10	CPC Rev 2	2022.02.16

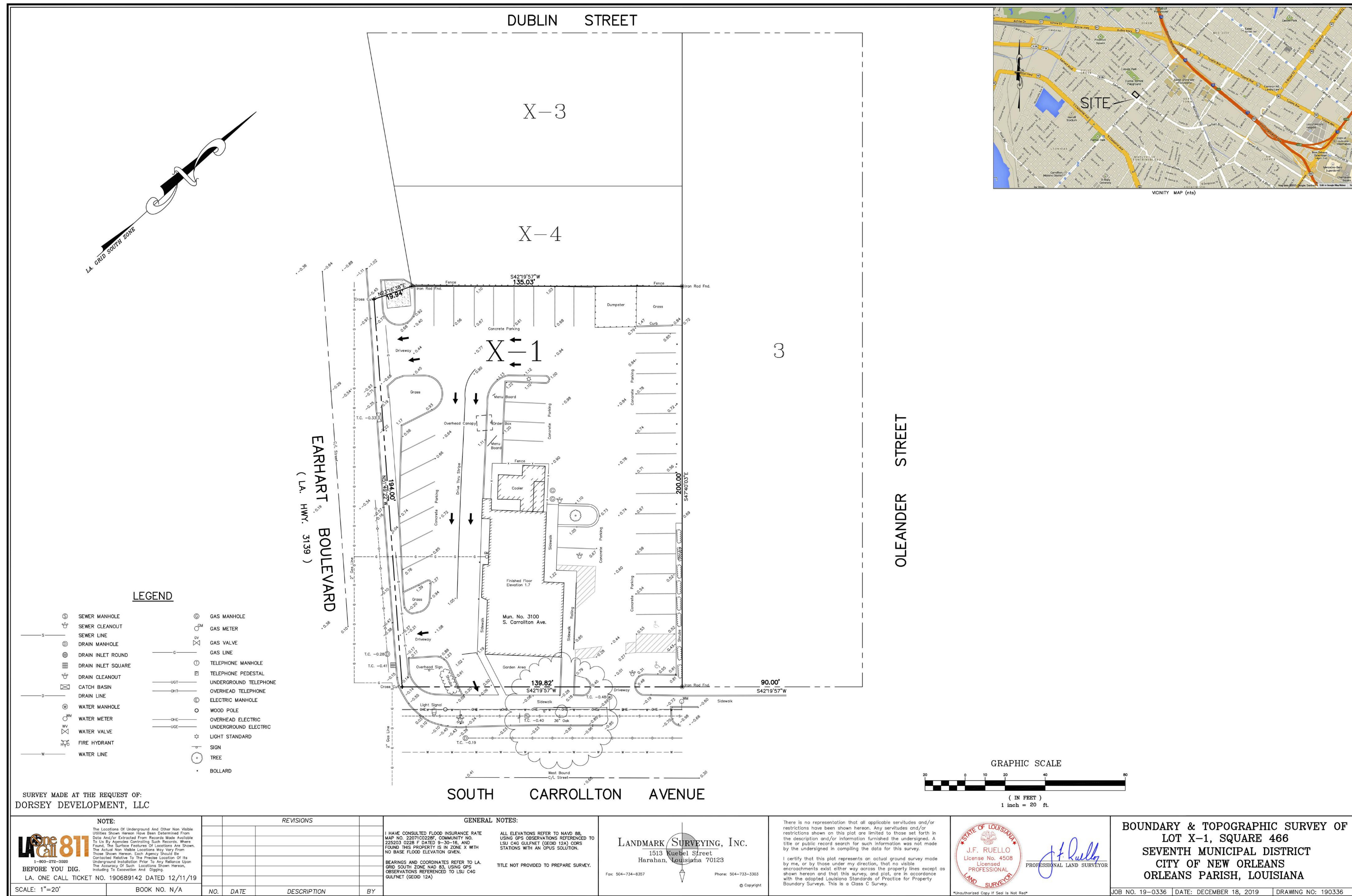
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RESPONSIBILITIES
CHART

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G002



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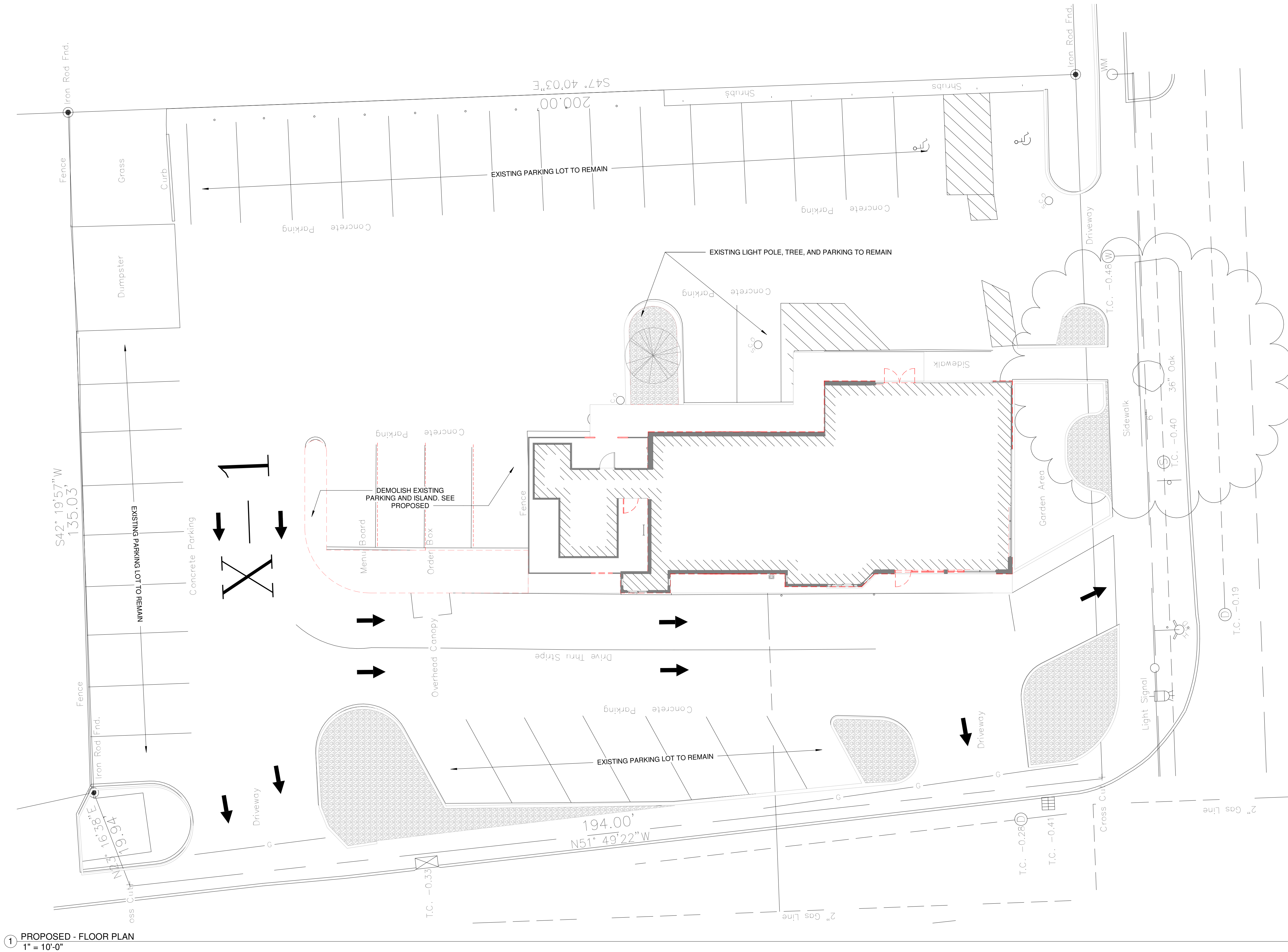
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SURVEY

2020.36

G004



1 PROPOSED - FLOOR PLAN
1" = 10'-0"

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No.	Description	Date
4	CPC Initial Review	2021.06.24
5	Pricing Set	2021.06.28
6	Engineering Set	2021.09.20
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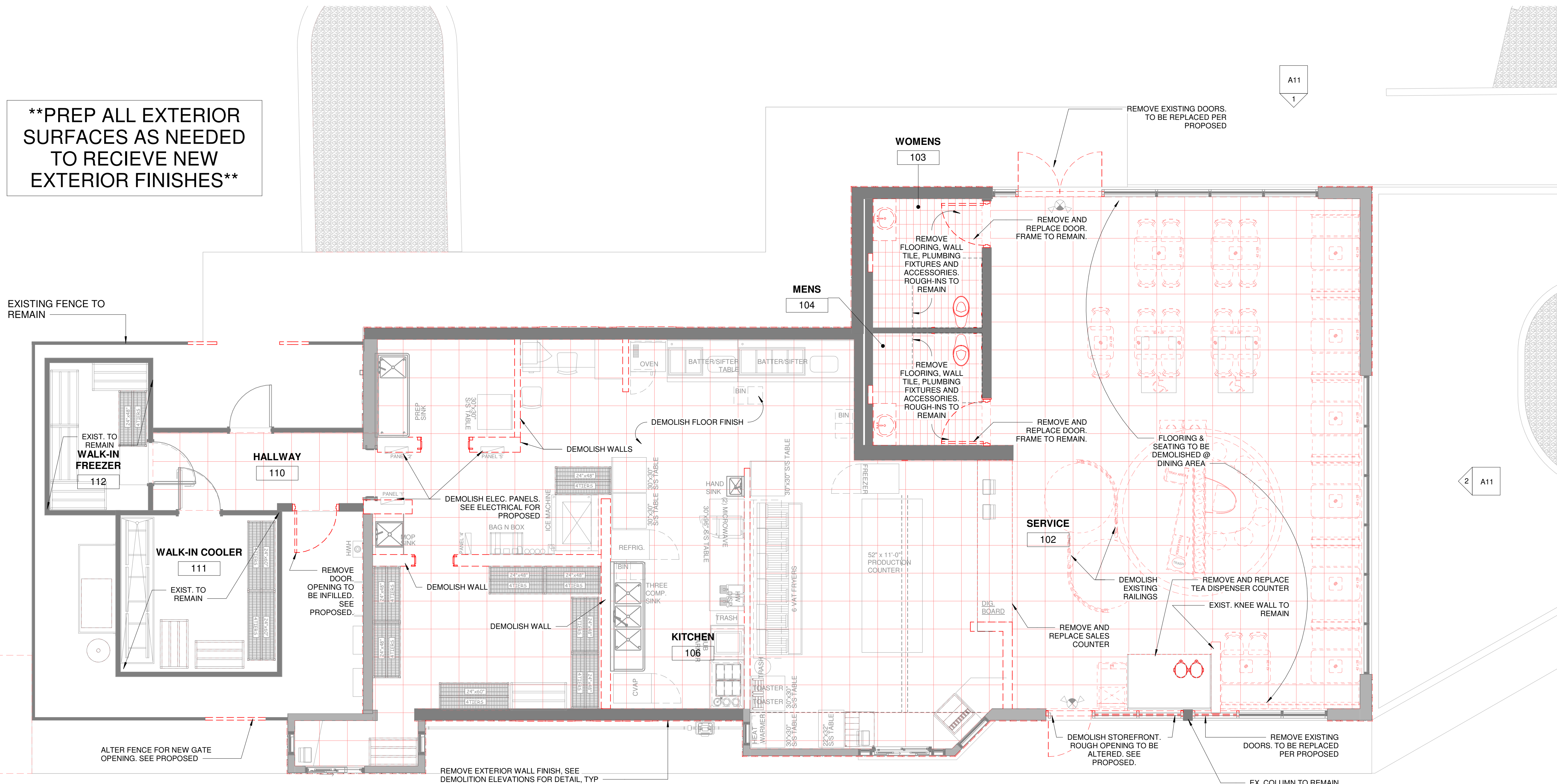
DEMOLITION
SITE PLAN

2020.36

AD0.1

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1 DEMO - FLOOR PLAN
1/4" = 1'-0"



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No.	Description	Date
1	Building Permit Set	2020.08.14
2	Owner Design Review	2021.04.29
3	Owners Review	2021.06.15
4	CPC Initial Review	2021.06.24
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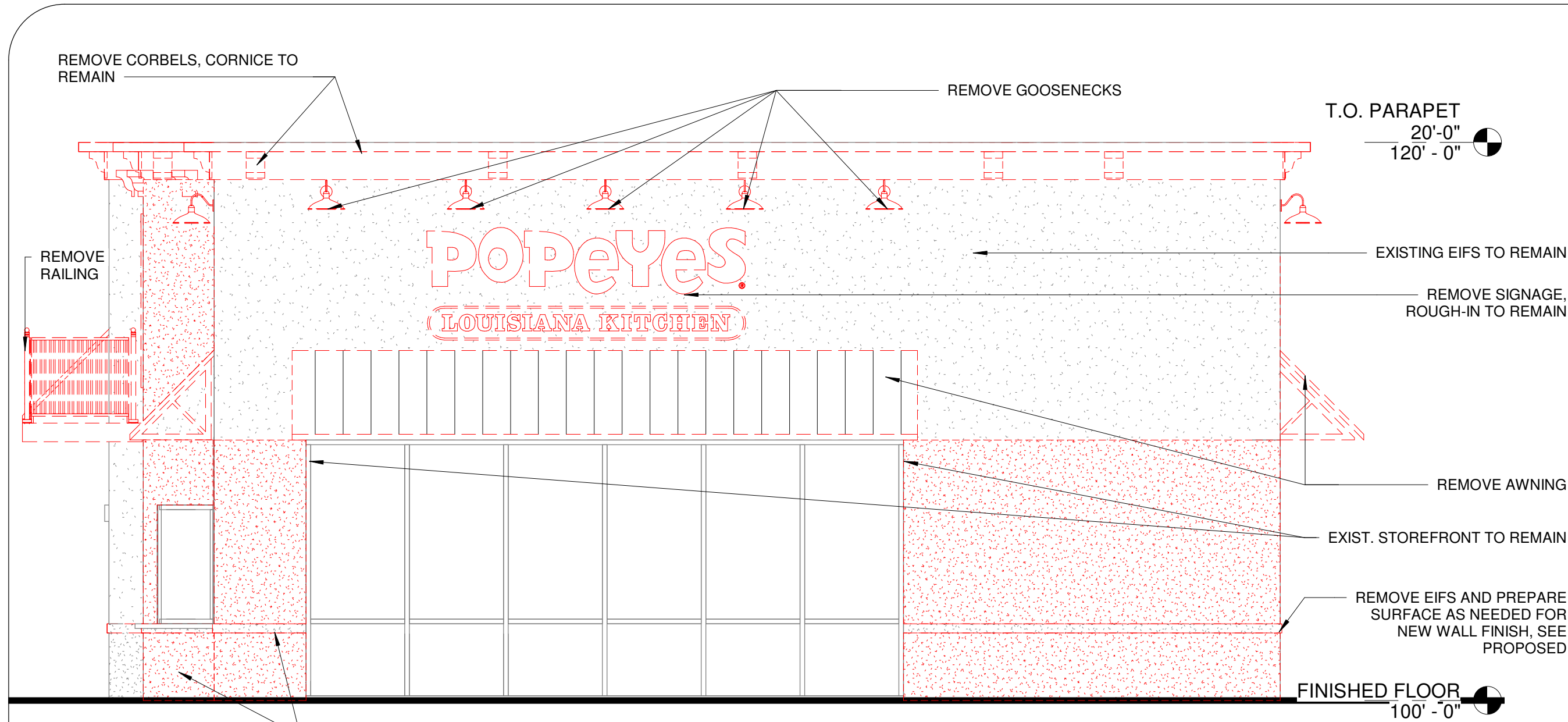
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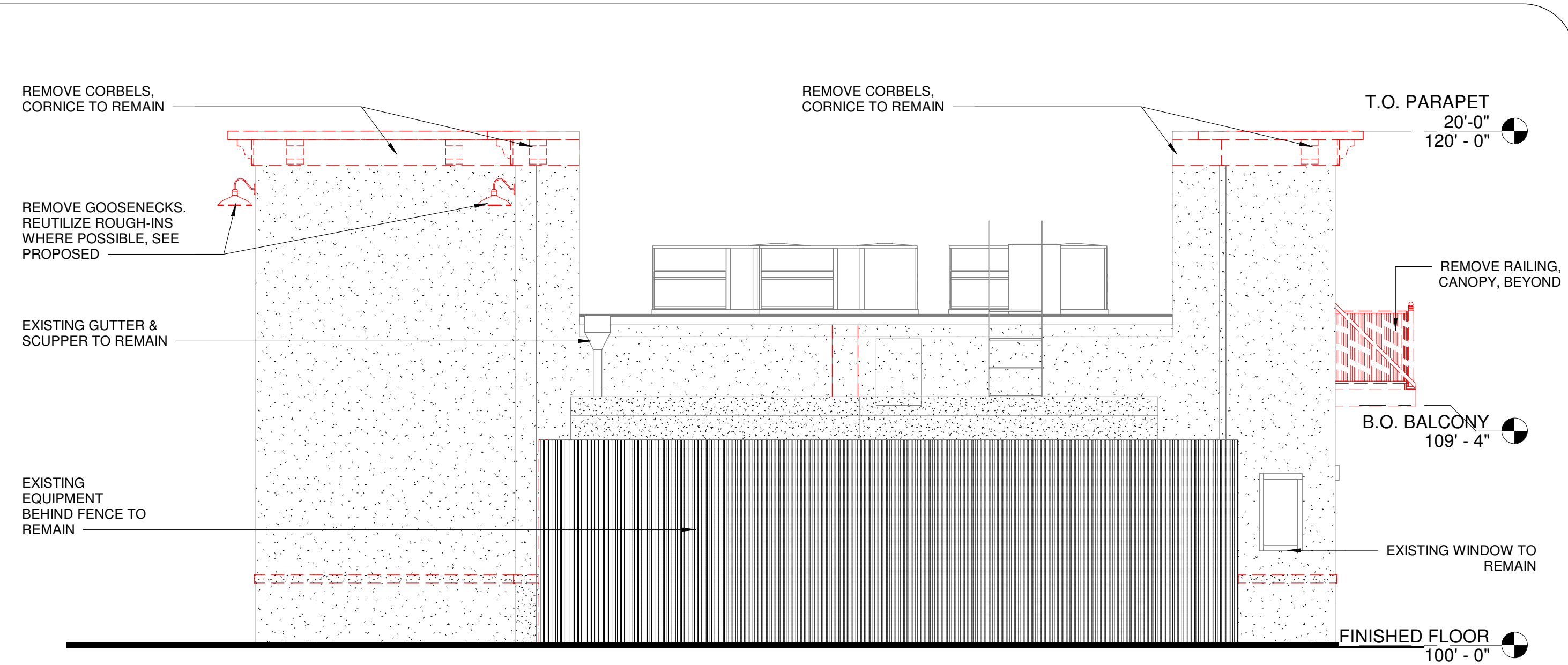
DEMO - FLOOR
PLAN

2020.36

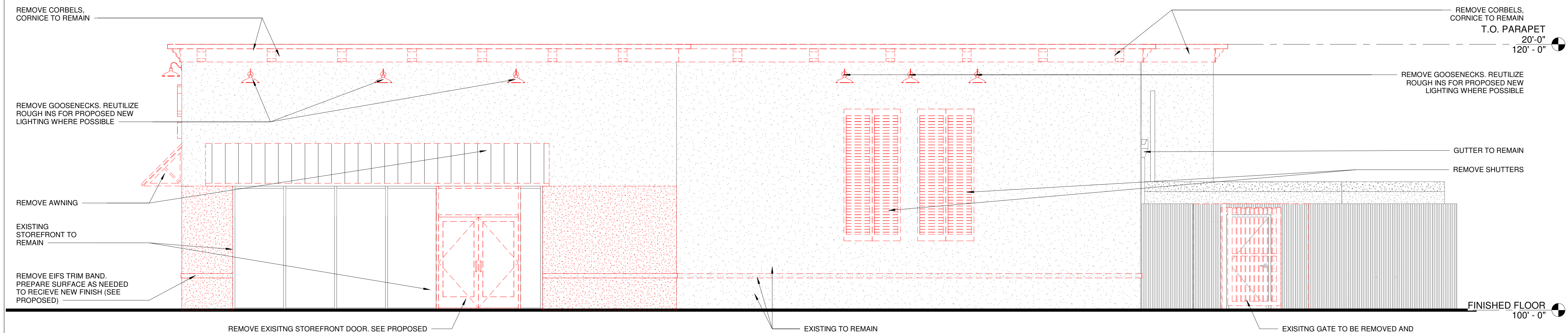
AD1



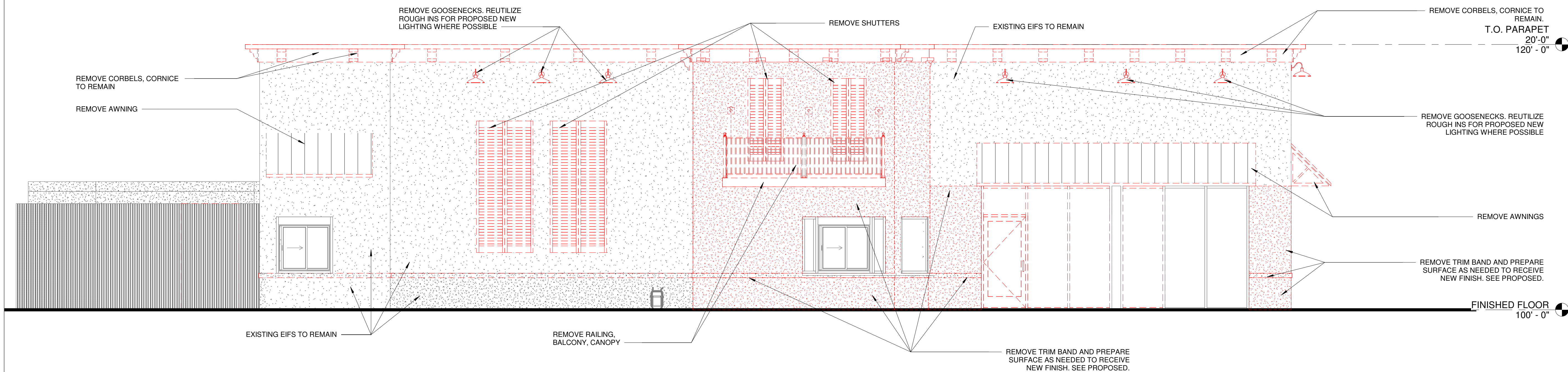
1 FRONT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"



3 MAIN ENTRANCE ELEVATION
1/4" = 1'-0"



4 DRIVE - THRU ELEVATION
1/4" = 1'-0"



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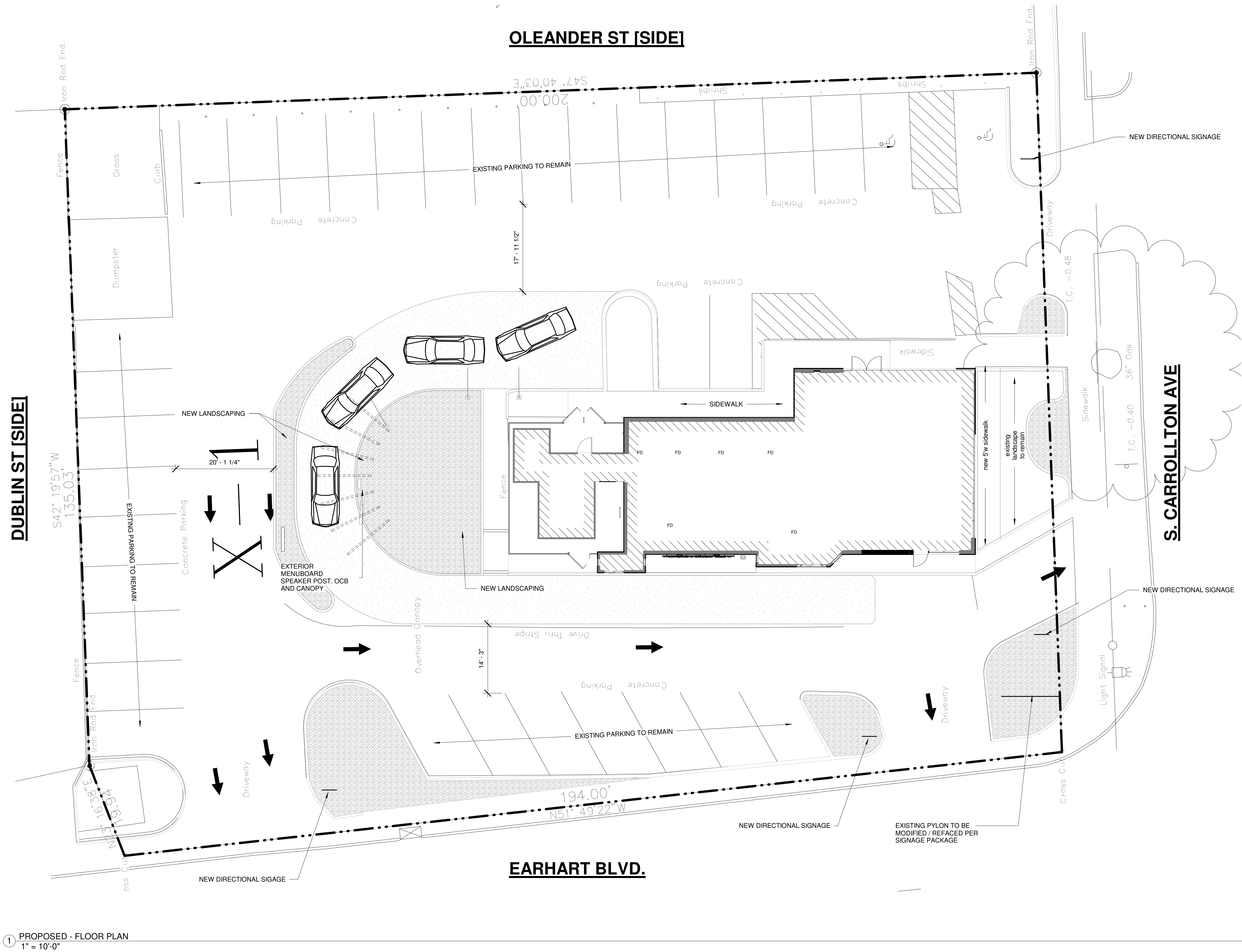
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DEMOLITION
EXTERIOR
ELEVATIONS

2020.36

AD5

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Any deviation from these plans shall require the review and approval of the Executive Director of the City Planning Commission and shall be subject to a review fee. All changes must be reviewed and approved prior to the change being made or construction being commenced. Changes in conflict with the Comprehensive Zoning Ordinance or the original terms of approval may require the review and approval of the City Planning Commission and/or the City Council where appropriate.



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SITE PLAN

2020.36

A0.1

SPECIFICATIONS
SECTION 9 : FINISHES -
SECTION 9A : GYPSUM WALLBOARD

GENERAL PROVISIONS

1. SCOPE: FURNISH AND INSTALL GYPSUM WALLBOARD AS A SUBSTRATE FOR OTHER FINISH MATERIALS ON ALL INTERIOR WALLS AND THE INTERIOR PORTIONS OF EXTERIOR WALLS. FURNISH AND INSTALL GYPSUM BOARD SUSPENDED CEILING WITH HANGERS AND SUPPORTS AS RECOMMENDED BY MANUFACTURER

1. MATERIALS
MATERIAL NAMES ARE BASED ON A NATIONAL GYPSUM GOLD BOND STA-SMOOTH BEVEL EDGE SYSTEM. USE GOLD BOND OR EQUAL SYSTEM BY U.S. GYPSUM.
- WALLS (EXCEPT WHERE NOTED): 1/2" STA-SMOOTH GYPSUM WALLBOARD WALLS
- WHERE NOTED: 1/2" THICK TAPERED EDGE M/R (MOISTURE RESISTANT) GYPSUM WALLBOARD
- DROPPED CEILING WHERE NOTED: 1/2" STA-SMOOTH GYPSUM WALLBOARD
- FIRE RATED WHERE NOTED OR REQUIRED BY CODE: 5/8" FIRE SHIELD (GYPSUM WALLBOARD)
2. FASTENERS
- A. GWB-54 1-5/8" LONG ANNULAR RING SHANK NAILS MEETING THE REQUIREMENTS OF ASTM C-380.
- B. 1-1/4" LONG TYPE-W DRYWALL SCREWS TO WOOD STUDS.
- C. 1-1/4" LONG TYPE-S DRYWALL SCREWS TO INTERIOR METAL STUDS.
- D. 1-1/4" LONG TYPE-S12 CORROSION RESISTANT SCREWS FOR EXTERIOR GYPSUM SHEATHING TO METAL STUDS.
- E. JOINT TREATMENT COMPOUND SHALL BE READY MIXED. JOINT TAPE SHALL BE CROSS FIBERED, PERFORATED, FEATHER EDGED. CORNER BEADS SHALL BE GALVANIZED STEEL ROLL-FORMED U-SHAPED CHANNELS. HANGERS AND SUPPORTS: 2X4 WOOD FRAMING. SUBSTITUTION: FOR STEEL TRUSS BUILDINGS 1-1/2" CARRYING CHANNELS, 3/4" FURRING CHANNELS, 8 GAGE HANGER WIRES, 16 GAGE TIE WIRES, AND 1" TYPE S SCREWS.

PERFORMANCE

1. INSTALLATION
- A. CUTTING WALLBOARD: GYPSUM WALLBOARD SHALL BE CUT BY SCORING AND BREAKING, OR BY SAWING, WORKING FROM THE FACE SIDE. WHERE BOARD MEETS PROJECTING SURFACES, IT SHALL BE SCRIBED NEATLY.
- B. INSTALLING WALLBOARD: GYPSUM WALLBOARD SHALL BE APPLIED AT RIGHT ANGLES TO FRAMING MEMBERS. BOARDS OF MAXIMUM PRACTICAL LENGTH SHALL BE USED SO THAT AN ABSOLUTE MINIMUM NUMBER OF END JOINTS OCCUR. WALLBOARD JOINTS AT OPENINGS SHALL BE LOCATED SO THAT NO END JOINT SHALL ALIGN WITH EDGES OF OPENINGS. END JOINTS SHALL BE STAGGERED.
- C. FASTENING WALLBOARD: ATTACH WITH SCREWS OR NAILS SPACED APPROXIMATELY 8" o.c. THE NAILS SHALL BE DRIVEN HOME WITH THE HEAD SLIGHTLY BELOW THE SURFACE OF THE BOARD IN A DIMPLE FORMED BY THE DRIVING TOOL.
- D. FASTENING EXTERIOR GYPSUM SHEATHING: ATTACH TO METAL STUDS (OPTIONAL) WITH SCREWS @ 12" o.c. WITH HEAD FLUSH WITH SURFACE.
- E. JOINTS FINISHING: JOINT COMPOUND, QUICK-TREAT, AND TOPPING COMPOUND SHALL BE APPLIED IN ACCORDANCE WITH PRINTED INSTRUCTIONS CONTAINED IN THE PACKAGE. A UNIFORMLY THIN LAYER OF JOINT COMPOUND SHALL BE APPLIED OVER THE JOINT UNDER THE TAPE TO PROVIDE PROPER BOND. CEILING AND WALL ANGLES AND INSIDE CORNER ANGLES SHALL BE REINFORCED WITH THE TAPE FOLDED TO CONFORM TO THE ANGLE AND EMBEDDED IN THE COMPOUND. AFTER THE COMPOUND IS THOROUGHLY DRY, APPROXIMATELY TWENTY FOUR (24) HOURS FOR REGULAR COMPOUND, 2-1/2 HOURS FOR QUICK TREAT, THE TAPE SHALL BE COVERED WITH A COAT OF JOINT COMPOUND OR TOPPING COMPOUND SPREAD OVER THE TAPE APPROXIMATELY 3" ON EACH SIDE OF TAPE, AND FEATHERED OUT AT THE EDGE. AFTER THOROUGHLY DRY, APPLY ANOTHER CROWN OVER JOINTS. THIS COAT SHALL BE SMOOTH AND THE EDGES FEATHERED APPROXIMATELY 3' BEYOND THE PRECEDING COAT. ALLOW EACH APPLICATION OF COMPOUND TO JOINTS AND NAIL HEADS TO DRY, THEN SAND IF NECESSARY. ALL WALLBOARD AND TREATED AREAS SHALL BE SMOOTH (LEVEL 5) AND READY FOR PAINTING.

GENERAL CONSTRUCTION NOTES

GYPSUM BOARD / EXTERIOR SHEATHING NOTES:

1. EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR PLYWOOD NAILED IN ACCORDANCE WITH THE STRUCTURAL NAILING SCHEDULE. REFER TO S/S0.
2. WALLS TO RECEIVE TILE BASE SHALL HAVE 1/2" USG "DUROCK" INSTALLED TO 18" AFF. KITCHEN AND RESTROOM ONLY
3. THE REAR ENCLOSURE WALL SHALL BE CMU WITH APPLIED EIFS AND WAINSCOT TO MATCH MAIN BUILDING.

INSULATION NOTES:

1. ALL EXTERIOR WALLS TO RECEIVE FIBERGLASS BATT INSULATION TO MATCH DEPTH OF WALL CAVITY.

KITCHEN WALL NOTES:

1. ALL KITCHEN WALLS SHALL RECEIVE 1/2" USG DUROCK INSTALLED UP TO 18" AFF. AND 1/2" MOISTURE RESISTANT PLYWOOD OR 5/8" DUROCK WALL BOARD OR 1/2" GYPSUM BOARD. REFER TO THE FLOOR PLAN FOR APPLICATIONS. PLYWOOD IS NEEDED FOR SHELVING, 5/8" DUROCK IS NEEDED AT ALL HEAT PRODUCING EQUIPMENT AND 1/2" GYPSUM BOARD AT ALL OTHER LOCATIONS.

RESTROOM WALL NOTES:

1. ALL RESTROOM WALLS SHALL RECEIVE 1/2" USG DUROCK INSTALLED UP TO 18" AFF. AND 1/2" MOISTURE RESISTANT GYPSUM BOARD FROM 18" TO UNDERSIDE OF TRUSSES. BLOCKING SHALL BE PROVIDED WHERE TOILET ROOM ACCESSORIES ARE BEING INSTALLED.

DINING AREA NOTES:

1. MARLITE TO ADHERE TO 1/2" PLYWOOD SUBSTRATE. PLYWOOD FROM FINISH FLOOR TO 2'-10" AFF.
2. MARLITE COVERING ON 1/2" GYPSUM BOARD.
3. INSTALL 1/2" GYPSUM WALL BOARD FROM 2'-10" TO UNDERSIDE OF TRUSSES.

BLOCKING NOTES:

1. "xxxxxxx" INDICATES BLOCKING REQUIRED IN WALL FOR PLUMBING LINES AND RESTROOM ACCESSORIES. BLOCKING SHALL BE FIRE RETARDANT WHERE REQUIRED BY CODE.
2. CONTRACTOR TO VERIFY REQUIREMENTS WITH LOCAL BUILDING OFFICIALS PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR OBTAINING MANUFACTURERS' CUT SHEETS AND LOCATING BLOCKING AS REQUIRED. THIS INCLUDES KITCHEN EQUIPMENT AND ITEMS FURNISHED AND INSTALLED BY OTHERS.

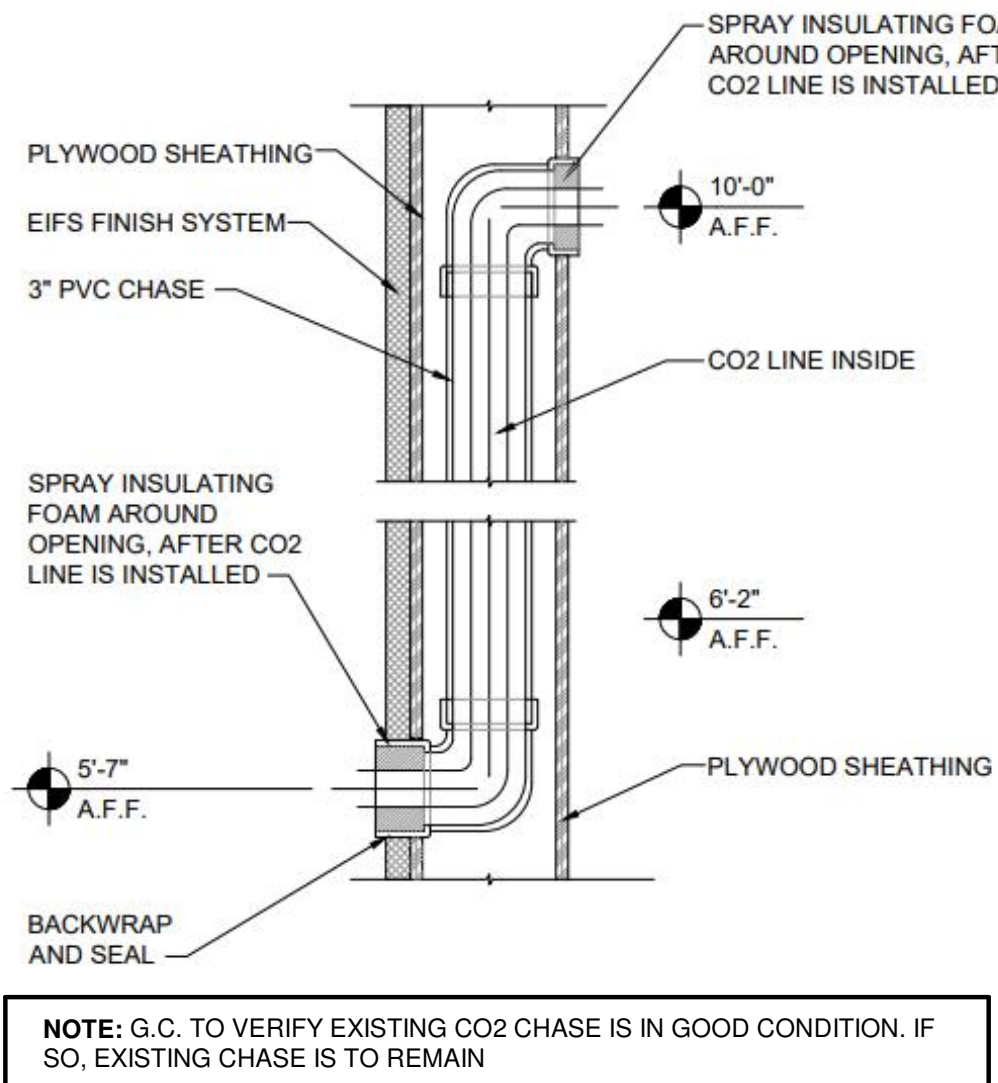
FRAMING NOTES:

1. CONTRACTOR MAY SUBSTITUTE METAL STUDS FOR INTERIOR WALL, AND SOFFIT FRAMING. WHERE USED, METAL FRAMMING TO BE 25 GA. UNLESS NOTED OTHERWISE (U.N.O.).
2. REFER TO FRAMING NOTES FOR WALL SECTIONS.
3. ALL INTERIOR WOOD FRAMING TO BE #2 SPRUCE, FIR OR WHITE PINE OR OF EQUAL GRADE. WHERE REQUIRED BY CODE, FRAMING SHALL BE #2 FIRE RETARDANT YELLOW PINE. CONTRACTOR TO VERIFY REQUIREMENTS WITH LOCAL BUILDING OFFICIALS PRIOR TO BIDDING. ALL WOOD IN CONTACT WITH THE SLAB MUST BE PRESSURE TREATED.
4. ALL INTERIOR WALLS TO BE FRAMED TO UNDERSIDE OF TRUSS U.N.O.
5. ALL INTERIOR WALLS THAT ARE NOT SHEAR WALLS TO BE ANCHORED W/ 5/8" DIA. EXPANSION ANCHORS AT 6'-0" O.C. SEE STRUCTURAL DWGS. FOR SHEAR WALL ANCHORS.

CONSTRUCTION KEYNOTES

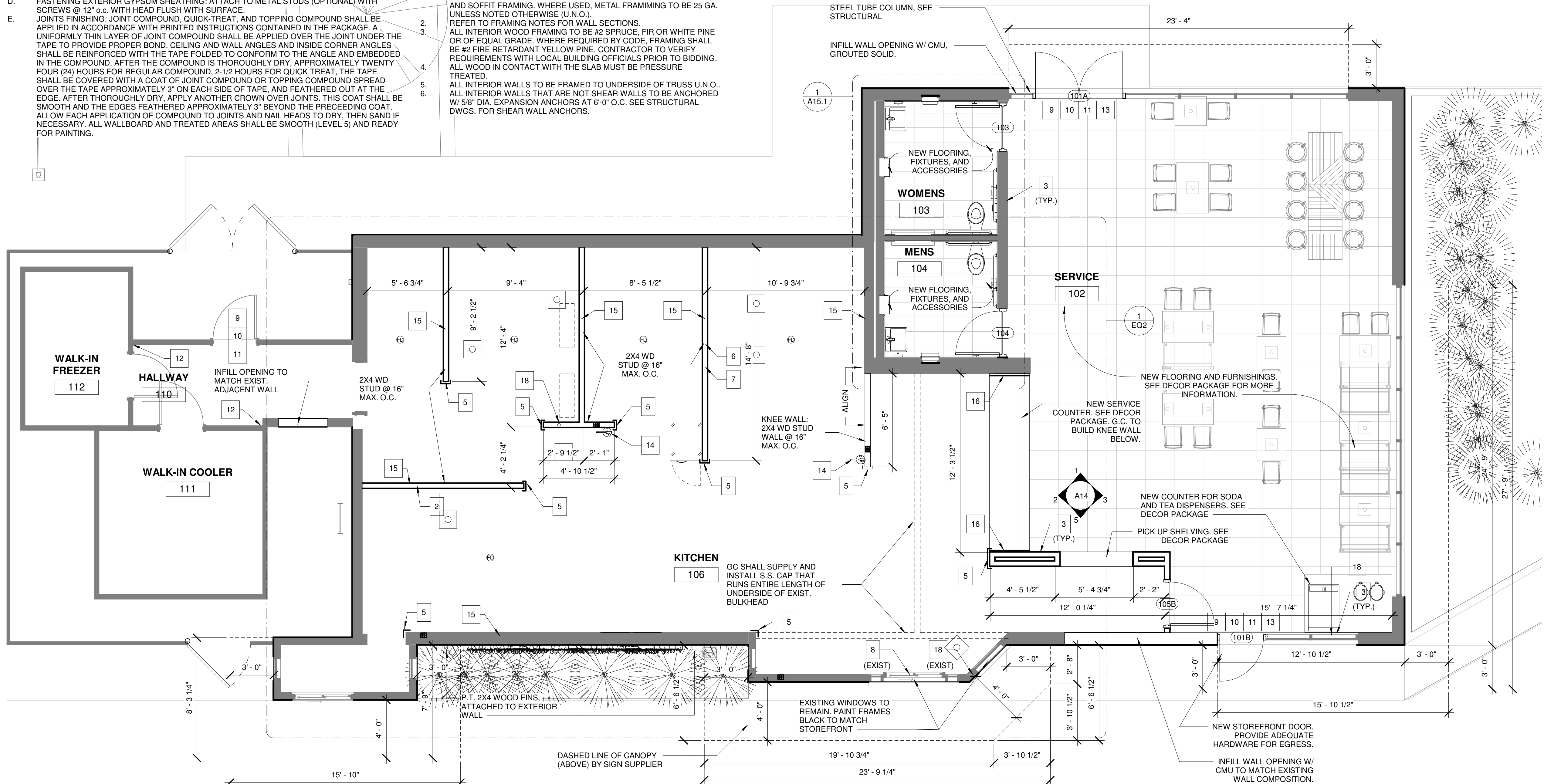
1. DIMENSIONS ARE SHOWN:
1. EXTERIOR WALLS: FROM INTERIOR FACE OF GYPSUM BOARD TO THE EXTERIOR FACE OF PLYWOOD.
2. INTERIOR WALLS: FROM THE FACE OF FINISH WALL TO THE FACE OF FINISH WALL, U.N.O..
2. INSTALL 4'-0" W X 10'-0" H X 18 GA STAINLESS STEEL PANEL BEHIND OVENS. REFER TO INTERIOR KITCHEN ELEVATIONS (REFER TO DETAIL 4 /A13) AND EQUIPMENT PLAN FOR EXACT LOCATION. GC SHALL VERIFY WITH KES THAT THE PANELS WILL EXTEND 18" AROUND ALL HEAT PRODUCING EQUIPMENT TO CONFORM TO THE IMC.
3. ALL GYPSUM BOARD BELOW FINISHED CEILING HEIGHT IS TO BE PREPARED FOR PAINTING (LEVEL 5 FINISH) OR WALL COVERING AS INDICATED ON INTERIOR ELEVATIONS AND FINISH SCHEDULE. SEE GEN' CONSTR. NOTES FOR DINING AREA
4. VESTIBULE DOORS OPTIONAL, USED IN COLD CLIMATES. (NOT USED)
5. GENERAL CONTRACTOR (G.C.) TO PROVIDE 2"X2"FULL HEIGHT HIGH CORNER GUARDS ON ALL OUTSIDE CORNERS @ KITCHEN WALL. PROVIDE COMPLETE WRAP ON END WALLS - SEE DETAIL 2-A2.
6. HOOD WALL TO BE CONSTRUCTED WITH 3-5/8" 16 GAUGE (GA.) METAL STUDS AT 24" o.c. AND 5/8" FIRE RATED GYPSUM ON BOTH SIDES OF WALL. G.C. TO INSTALL 18 GA. STAINLESS STEEL PANELS ON WALL. REFER TO MECHANICAL HOOD DRAWINGS FOR PANEL SIZES AND DETAIL 4&5/A13.
7. ELECTRIC DRIVE-THRU WINDOW SHOWN. G.C TO PROVIDE JUNCTION BOX UNDERNEATH THE WINDOW. VERIFY REQUIRED ROUGH-IN AND ELECT. REQUIREMENTS W/MANUF. DRAWINGS. (EXISTING TO REMAIN)
8. HANDICAP ACCESS TO BUILDING IS DESIGNED ACCORDING TO APPLICABLE CODE. G.C. TO ENSURE THAT ALL DIRECTIONS AND DIMENSIONS GIVEN ARE STRICTLY ADHERED TO. IF CHANGES ARE MADE THAT CONTRADICT WITH THE DRAWING, OR IF EXISTING FIELD CONDITIONS MAKE THE DRAWINGS NOT APPLICABLE, THE ARCHITECT MUST BE CONTACTED IMMEDIATELY

9. ALL DOORS SHALL BE ABLE TO BE OPENED FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS SHALL NOT BE USED.
10. PROVISIONS FOR EXIT DISCHARGE LIGHTING ARE SHOWN ON THE LIGHTING PLAN.
11. PROVIDE STAINLESS STEEL FLASHING AT WALK-IN FREEZER AND COOLER CORNERS. SEE DETAILS SHEET 7/A10
12. ALL GLAZING WITHIN A 24" ARC OF DOORS WHOSE BOTTOM IS LESS THAN 60" ABOVE THE FLOOR AND ALL GLAZING IN DOORS SHALL BE SAFETY, TEMPERED, OR ACRYLIC PLASTIC SHEET.
13. PORTABLE FIRE EXTINGUISHER PER NFPA-10 SUPPLIED BY KES AND INSTALLED BY GC ON SITE AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
14. PROVIDE 1/2" PLYWOOD SHEATHING AT ALL SHELVES AS DIMENSIONED ON INTERIOR ELEVATIONS.
15. SOLID SURFACE SPLASH GUARD TO MATCH COUNTERTOP.
16. STEEL PIPE BOLLARD - REFER TO DETAIL A/SD3 SEE P1 SHEET FOR SODA LINE CHASES.
17. SOFFIT ABOVE COUNTER STAINED TO MATCH CR-1 (SERVES AS BOUNDARY FOR CEILING CHANGE BETWEEN KITCHEN AND DINING).
18. GC TO INSTALL CERAMIC WALL TILE IF REQUIRED BY LOCAL HEALTH DEPARTMENT. COORDINATE WITH POPEYES CONSTRUCTION MANAGER.



② CO2 CHASE DETAIL
1 1/2" = 1'-0"

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No.	Description	Date
1	Building Permit Set	2020.08.14
2	Owner Design Review	2021.04.29
3	Owners Review	2021.06.15
4	CPC Initial Review	2021.06.24
5	Pricing Set	2021.06.28
6	Engineering Set	2021.09.20
8	CPC Resubmittal	2021.10.25
9	CPC Rev1	2021.12.09
10	CPC Rev 2	2022.02.16

REMODEL -
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PROPOSED PLAN

2020.36

A1

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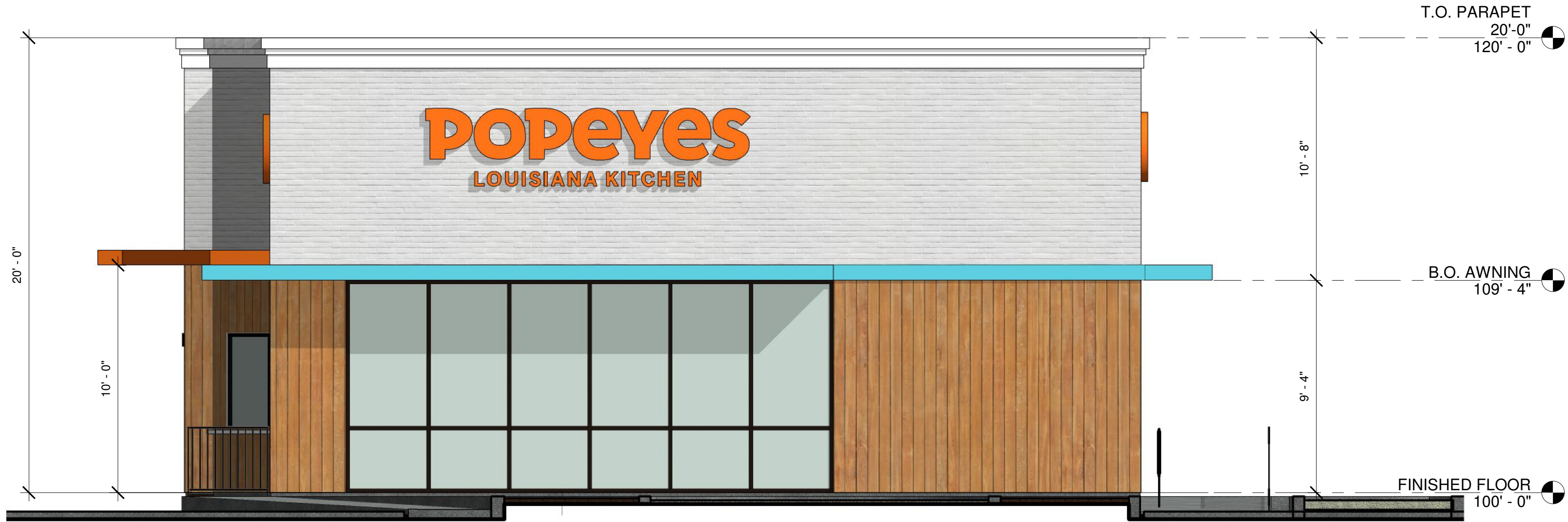
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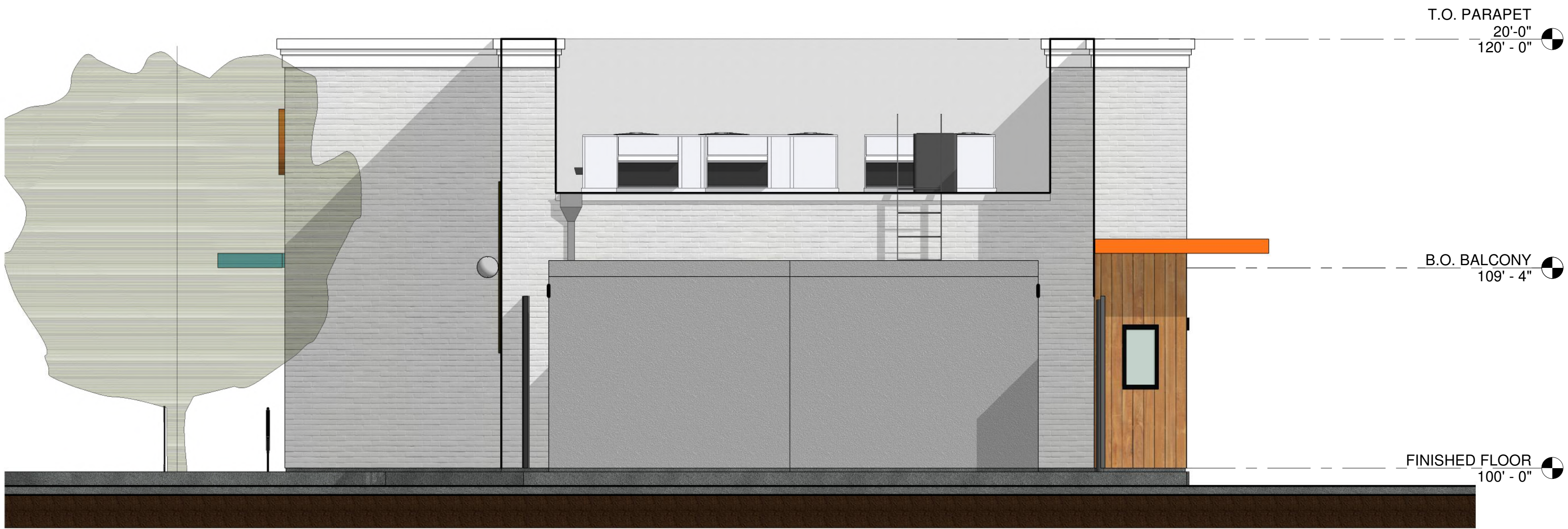
PROPOSED
EXTERIOR
ELEVATIONS

2020.36

A5.1

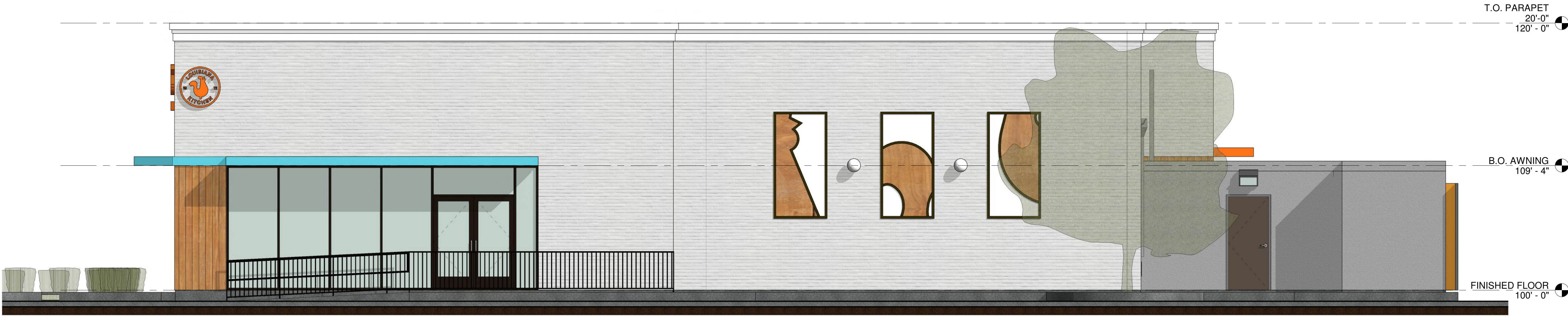


1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"



2 PROPOSED REAR ELEVATION
1/4" = 1'-0"

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PROPOSED MAIN ENTRANCE
ELEVATION
①
1/4" = 1'-0"



PROPOSED DRIVE-THRU ELEVATION
②
1/4" = 1'-0"

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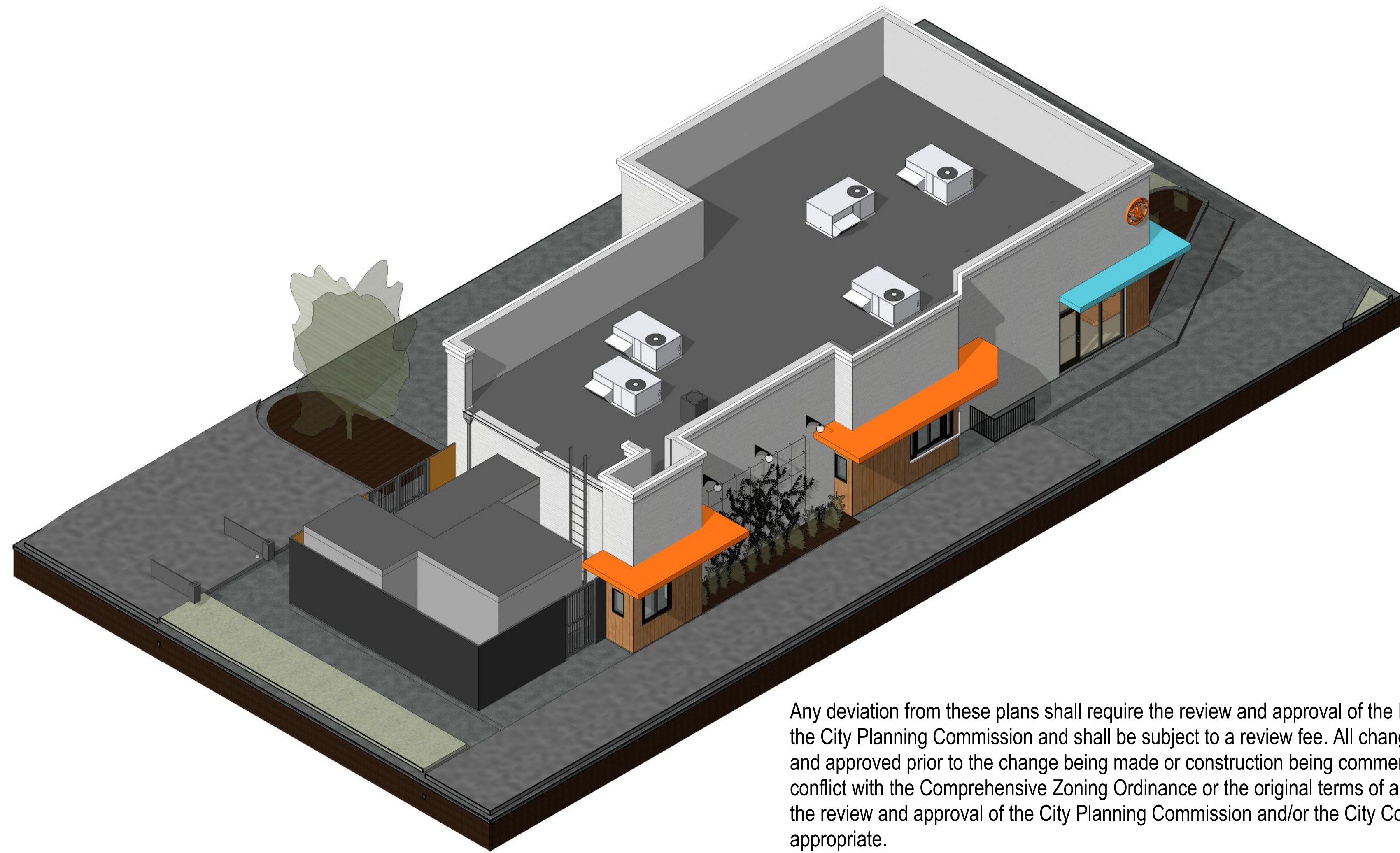
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PROPOSED
EXTERIOR
ELEVATIONS

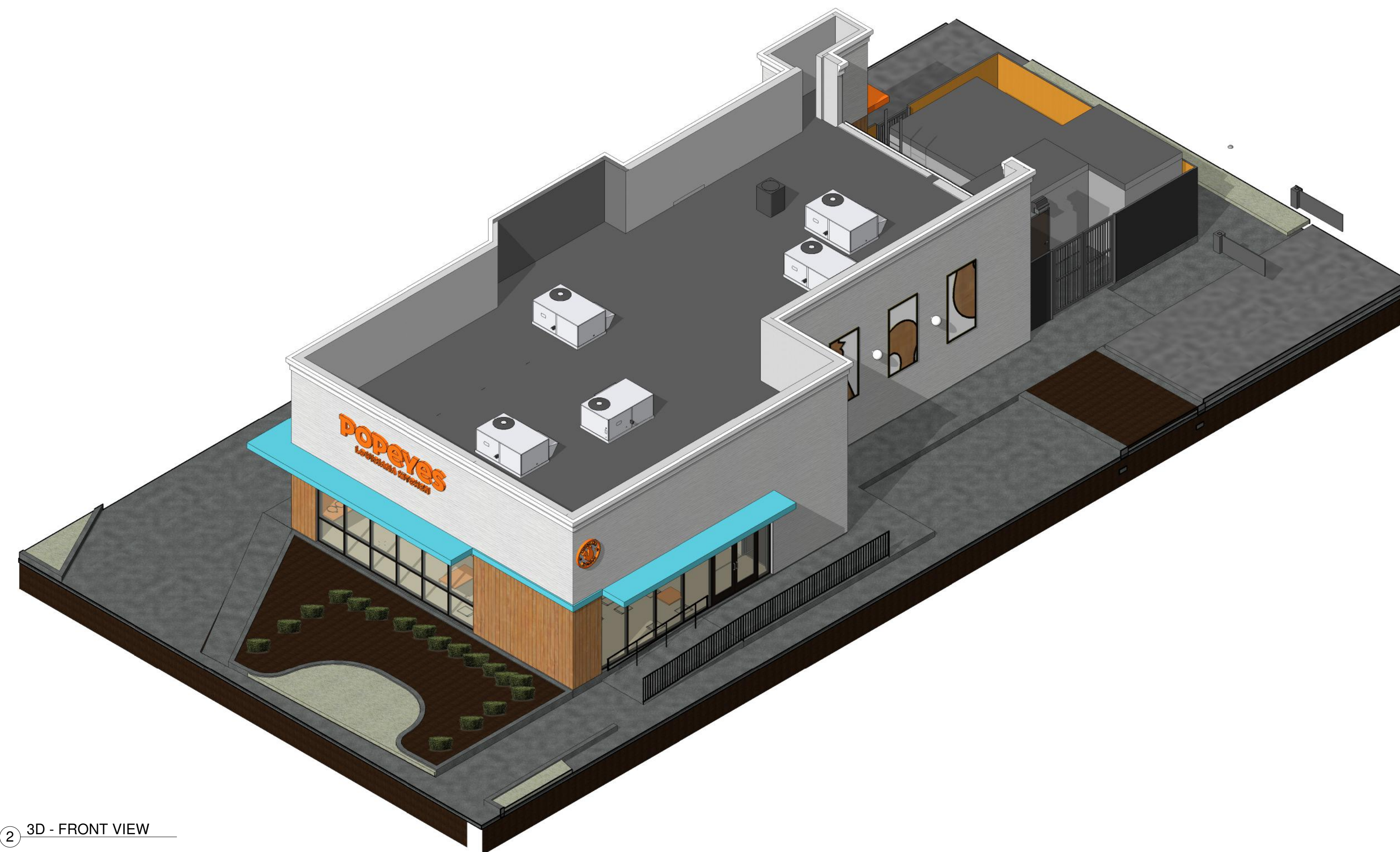
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① 3D - BACK VIEW

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② 3D - FRONT VIEW



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3D VIEWS

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A9



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3D
PERSPECTIVES

2020.36

A10



② PERSPECTIVE - REAR

① PERSPECTIVE - FRONT