

GENERAL NOTES

All standards for construction, materials and execution of the work shall conform to all adopted codes, standards, and regulations of the AHJ.

The drawings and specifications, including drawings prepared by specific engineering disciplines, are complimentary. Items shown in any one location shall be requirements of the contract for construction. The Architect shall be notified of any discrepancies or omissions which would interfere with the satisfactory completion of the work.

Contractor and subcontractors are to familiarize themselves with the construction site and verify existing conditions, site grades and locations of all utilities prior to commencing construction. Any deviation or changes necessary to acheive the installations shown shall be called to the attention of the architect.

All manufactured articles, materials and equipment shall be supplied, installed, connected, erected, used, cleaned, and conditioned as directed by the manufacturers, unless otherwise noted

Contractor shall at all times keep premises free from accumulation of demolition debris, waste materials or rubbish caused by his operation and shall remove no less than weekly all debris from and about the project.

When all or opart of this structure is open to the exterior, protect interior from wind, storm, rain and vandalism.

Provide blocking for all surface mounted, semi-recessed or recessed items such as accessories, grab bars, closet rods and shelves, drapery rods, shower curtain rods, countertops, etc..

Do not scale drawings. If dimensions are in question, the Contractor shall be responsible for obtaining clarification from the Architect prior to continuing construction of area in question.

Provide separation at all dissimilar metals.

All exterior exposed work shall be installed in such a manner as to assure weather tight condition. Contractor shall provide all caulking and weather barrier materials required for weather tight conditions. All occupied spaces shall receive an insulation barrier that is continuous at all exterior wall, ceiling and floor surfaces.

The General Contractor shall submit in writing all proposals for additional work to the Architect for review and approval. No work is to proceed until a signed proposal is returned to the general contractor.

The General Contractor shall submit all subcontractors shop drawings to the architect for written approval prior to work being performed.

The General Contractor is responsible for final and thorough cleaning of all surfaces, finishes and equipment and shall deliver the premises in "move-in" condition.

SYMBOLS LEGEND

GRAPHIC SYMBOLS



BUILDING SECTION SYMBOL:
UPPER=THE SECTION NUMBER
LOWER=THE SHEET WHERE DRAWN



CABINET TYPE SYMBOL:
UPPER=CABINET STYLE
LOWER=CABINET SIZE IN INCHES



WALL SECTION SYMBOL:
UPPER=THE SECTION NUMBER
LOWER=THE SHEET WHERE DRAWN



DETAIL SYMBOL:
UPPER=THE SECTION NUMBER
LOWER=THE SHEET WHERE DRAWN



EXTERIOR ELEVATION SYMBOL:
UPPER=THE ELEVATION NUMBER
LOWER=THE SHEET WHERE DRAWN



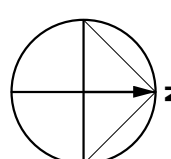
STRUCTURAL GRIDLINE IDENTIFIER



INTERIOR ELEVATION SYMBOL: THE DARKENED CORNERS INDICATE DRAWN WALLS. ELEVATION DRAWINGS ARE ARRANGED NUMERICALLY BY ROOM NUMBER ON THE INTERIOR ELEVATION SHEETS.



MATCHLINE FLAG



PLAN AND TRUE NORTH INDICATOR: THE HEAVY LINE REPRESENTS PLAN NORTH (USUALLY TOWARD THE TOP OF THE SHEET) THE SMALL ARROW INDICATES TRUE NORTH (IF DIFFERENT FROM PLAN NORTH).



WALL TYPE INDICATOR: REFER TO THE WALL TYPES SHEET FOR WALL TYPE ASSEMBLY.



WINDOW OR LOUVER TAG



DOOR TAG



FINISH TAG



FIXTURE TAG



WORK NOTE INDICATOR



CEILING HEIGHT ABOVE FLOOR



DETAIL IDENTIFICATION: DASHED LINE INDICATES EXTENT OF ENLARGED PLAN OR DETAIL



ROOM IDENTIFICATION:

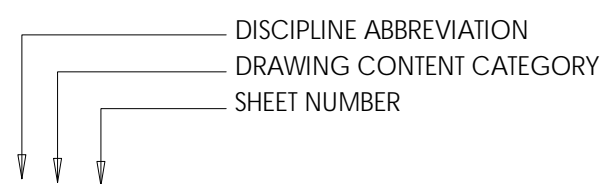
DISCIPLINE INDEX

| | |
|----|-------------------------|
| A | ARCHITECTURAL |
| AV | AUDIO VISUAL |
| C | CIVIL OR SURVEY |
| D | DEMOLITION |
| E | ELECTRICAL |
| G | GENERAL INFORMATION |
| I | INTERIORS |
| L | LANDSCAPE |
| M | MECHANICAL |
| P | PLUMBING |
| S | STRUCTURAL |
| T | TECHNOLOGY |
| VT | VERTICAL TRANSPORTATION |

CONTENT INDEX

| | |
|---|--|
| 0 | GENERAL INFORMATION AND STANDARDS |
| 1 | PLANS INCLUDING SITE, FLOOR, CEILING AND ROOF DRAWINGS |
| 2 | EXTERIOR ELEVATIONS |
| 3 | BUILDING SECTIONS |
| 4 | ENLARGED PLANS, SECTIONS AND ELEVATIONS |
| 5 | DETAILS |
| 6 | SCHEDULES |
| 7 | SUPPLEMENTAL DWGS |
| 8 | SUPPLEMENTAL DRAWINGS |

SHEET NUMBERING



A101

MATERIAL PATTERNS

| | |
|--|------------------------|
| | BATT INSULATION |
| | BRICK |
| | CAST-IN-PLACE CONCRETE |
| | CONCRETE BLOCK |
| | EARTH OR BACKFILL |
| | STEEL |
| | PLASTER & GYPSUM BOARD |
| | PLYWOOD |
| | PRECAST CONCRETE |
| | RIGID INSULATION |

TEXT SYMBOLS

| | |
|--------|-----------------|
| & | AND |
| @ | AT |
| X | BY |
| # | POUND OR NUMBER |
| / OR : | PER |
| X' | (X) FEET |
| X" | (X) INCHES |

ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS AND SYMBOLS ARE USED ON DRAWINGS CONTAINED IN THE SET. SYMBOLS AND ABBREVIATIONS ON THIS SHEET APPLY ONLY TO ARCHITECTURAL DRAWINGS

| | | | | | |
|--------|-----------------------------|-------|--------------------------------------|--------|--------------------------|
| A/C | AIR CONDITIONING | HB | HOSE BIB | SPEC | SPECIFICATION (S) |
| ACST | ACOUSTIC | HC | HOLLOW CORE | SPL | SPECIAL |
| ACR | ACRYLIC | HCAP | HANDICAPPED | SQ | SQUARE |
| AD | AREA DRAIN | HDW | HARDWARE | SST | STAINLESS STEEL |
| ADD | ADDENDUM | HM | HOLLOW METAL | STC | SOUND TRANSMISSION CLASS |
| ADH | ADHESIVE | HOR | HORIZONTAL | STD | STANDARD |
| ADJ | ADJACENT | HPT | HIGH POINT | STL | STEEL |
| ADJST | ADJUSTABLE | HR | HOSE | STO | STORAGE |
| AFF | ABOVE FINISHED FLOOR | HT | HEIGHT | STRUC | STRUCTURAL |
| AHU | AIR HANDLING UNIT | HTR | HEATER | SUS | SUSPENDED |
| ALUM | ALUMINUM | HVAC | HEATING/VENTILATION/AC | SYM | SYMMETRICAL |
| AL | ALTERNATE | HW | HOT WATER | T | TREAD |
| ANOD | ANODIZED | HWH | HOT WATER HEATER | T&B | TOP AND BOTTOM |
| APC | ACOUSTICAL CEILING TILE | ID | INSIDE DIAMETER | T&G | TONGUE AND GROOVE |
| APPROX | APPROXIMATE (LY) | IN | INCH(ES) | TEL | TELEPHONE |
| ARCH | ARCHITECT(URAL) | INCAN | INCANDESCENT | TEMP | TEMPERATURE |
| ASPH | ASPHALT | INCL | INCLUDE (D), (ING) | THK | THICK (NESS) |
| AUTO | AUTOMATIC | INFO | INFORMATION | THR | THRESHOLD |
| BD | BOARD | INS | INSULATE (D), (ION) | THRU | THROUGH |
| BTWN | BETWEEN | INT | INTERIOR | TO | TOP OF |
| BLDG | BUILDING | INV | INVERT | TOB | TOP OF BEAM |
| BLK(G) | BLOCK (ING) | JT | JOINT | TOC | TOP OF CURB |
| BM | BEAM | LAB | LABORATORY | TOI | TOP OF INSULATION |
| BO | BY OTHERS | LAM | LABORATORY LAMINATE (D) | TOP | TOP OF PARAPET |
| BOT | BOTTOM | LAV | LAVATORY | TOM | TOP OF MASONRY |
| BR | BACKER ROD | LB | POUND(S) | TOS | TOP OF SLAB |
| BRG | BEARING | LIB | LIBRARY | TOSTL | TOP OF STEEL |
| BRK | BRICK | LIN | LINEAL | TOW | TOP OF WALL |
| BS | BOTH SIDES | LKR | LOCKER | TPD | TOILET PAPER DISPENSER |
| BSMT | BASEMENT | LT | LIGHT | TPART | TOILET PARTITION |
| BUR | BUILT UP ROOFING | MAINT | MAINTAIN (ENANCE) | TR | TRANSOM |
| CAB | CABINET | MAS | MASONRY | TS | TUBE STEEL |
| CFM | CUBIC FEET/MINUTE | MAX | MAXIMUM | TV | TELEVISION |
| CG | CORNER GUARD | MC | MECHANICAL CONTRACTOR | TYP | TYPICAL |
| CIPC | CAST-IN-PLACE CONCRETE | MECH | MECHANIC (AL) | TZ | TERRAZZO |
| CJ | CONTROL JOINT | MEI | METAL | UL | UNDERWRITERS LABORATORY |
| CL | CENTERLINE | MFR | MANUFACTURE (ER) | UNFIN | UNFINISHED |
| CLG | CEILING | MH | MANHOLE | UON | UNLESS OTHERWISE NOTED |
| CLO | CLOSET | MIN | MINIMUM | UR | URINAL |
| CLR | CLEAR (ANCE) | MIR | MIRROR | VAR | VARIABLE (VARIES) |
| CMU | CONCRETE MASONRY UNIT | MISC | MISCELLANEOUS | VB | VAPOR BARRIER |
| CTR | CENTER | MO | MASONRY OPENING | VCT | VINYL COMPOSITION TILE |
| CO | CLEANOUT | MR | MOISTURE RESISTANT | VERT | VERTICAL |
| COL | COLUMN | MT | MOUNT (ED), (ING) | VEST | VESTIBULE |
| COMP | COMPRESS(ED, ION, IBLE, OR) | MTL | MATERIAL (S) | VIF | VERIFY IN FIELD |
| CONST | CONSTRUCTION | NA | NOT APPLICABLE | W | WIDE OR WIDTH |
| CONC | CONCRETE | NIC | NOT IN CONTRACT | W/ | WITH |
| CONT | CONTINUOUS OR CONTINUE | NO | NUMBER | W/O | WITHOUT |
| CONTR | CONTRACT (OR) | NOM | NOMINAL | WC | WATER CLOSET |
| COORD | COORDINATE | NR | NONE REQUIRED | WD | WOOD |
| CORR | CORRIDOR | NR | NOISE REDUCTION COEFFICIENT | WP (G) | WATERPROOF (ING) |
| CORRUG | CORRUGATED | NTS | NOT TO SCALE | WR | WATER RESISTANT |
| CPT | CARPET (ED) | OA | OVERALL | WWF | WELDED WIRE FABRIC |
| CT | CERAMIC TILE | OB | OBSCURE | | |
| CSNK | COUNTERSINK/COUNTERSUNK | OC | ON CENTER (S) | | |
| CW | COLD WATER | OD | OUTSIDE DIAMETER | | |
| DBL | DOUBLE | OH | OVERHEAD | | |
| DEMO | DEMOLISH, DEMOLITION | OPG | OPENING | | |
| DF | DRINKING FOUNTAIN | OPH | OPPOSITE HAND | | |
| DIAM | DIAMETER | OPP | OPPOSITE | | |
| DIM | DIMENSION | ORD | OVERFLOW ROOF DRAIN | | |
| DISP | DISPOSAL | OZ | OUNCE | | |
| DN | DOWN | OFCl | OWNER FURNISHED CONTRACTOR INSTALLED | | |
| DP | DEEP | PAR | PARALLEL | | |
| DPF | DAMPPOOFING | PC | PRECAST CONCRETE | | |
| DR | DOOR | PERP | PERPENDICULAR | | |
| DS | DOWNSPOUT | PL | PLATE | | |
| DTL | DETAIL | PLAM | PLASTIC LAMINATE | | |
| DWG | DRAWING | PLBG | PLUMBING | | |
| EA | EACH | PNT | PAINT(ED) | | |
| EJ | EXPANSION JOINT | PRN | PORCELAIN | | |
| ELEV | ELEVATION | PSF | POUNDS PER SQUARE FOOT | | |
| ELEC | ELECTRIC (AL) | PSI | POUNDS PER SQUARE INCH | | |
| ENC | ENCLOSE (URE) | PT | PRESSURE TREATED | | |
| ENT | ENTRANCE | PVC | POLYVINYL CHLORIDE | | |
| EQ | EQUAL | PVMT | PAVEMENT | | |
| EQP | EQUIPMENT | PWD | PLYWOOD | | |
| EW | ELECTRIC WATER COOLER | QTY | QUANTITY | | |
| EXH | EXHAUST | R | RESISTANCE, THERMAL, RISER | | |
| EXIST | EXISTING | RB | RESILIENT BASE | | |
| EXP | EXPOSED | RAD | RADIUS | | |
| EXPN | EXPANSION | RCP | REFLECTED CEILING PLAN | | |
| EXT | EXTERIOR | RD | ROOF DRAIN | | |
| FBO | FURNISHED BY OWNER | RE | REFERENCE, REFER TO | | |
| FD | FLOOR DRAIN | REINF | REINFORCING | | |
| FEC | FIRE EXTINGUISHER CABINET | REM | REMOVE | | |
| FEX | FIRE EXTINGUISHER | REQ | REQUIRE (D) | | |
| FIN | FINISH(ED) | RM | ROOM | | |
| FLR(G) | FLOOR (ING) | RO | ROUGH OPENING | | |
| FND | FOUNDATION | ROW | RIGHT OF WAY | | |
| FOS | FACE OF STUD | RR | RESTROOM | | |
| FR | FIRE RESISTIVE | SC | SOLID CORE | | |
| FT | FOOT, FEET | SCH | SCHEDULE | | |
| FTG | FOOTING | SD | STORM DRAIN | | |
| FUT | FUTURE | SEC | SECTION | | |
| GA | GAUGE, GAGE | SHT | SHEET | | |
| GALV | GALVANIZED | SHH | SHEATHING | | |
| GB | GYPSUM BOARD | SIM | SIMILAR | | |
| GBAR | GRAB BAR | SOG | SLAB ON GRADE | | |
| GC | GENERAL CONTRACT (OR) | | | | |
| GL | GLASS, GLAZING | | | | |

SHEET TABLE OF CONTENTS

| | |
|------|-------------------------------|
| A000 | COVER |
| A002 | ACCESSIBILITY / ZONING / BFE |
| A003 | LIFE SAFETY PLANS |
| A100 | SITE PLAN |
| A101 | CONSTRUCTION PLAN |
| A102 | DESIGN PLAN |
| A150 | POWER + LOW VOLT |
| A151 | FIRST FLOOR RCP |
| A200 | ELEVATIONS / SECTIONS |
| A400 | ENLARGED PLANS |
| A401 | INTERIOR ELEVATIONS |
| A402 | INTERIOR ELEVATIONS |
| A500 | ASSEMBLIES / TYPICAL DETAILS |
| A600 | OPENING SCHEDULE / DW DETAILS |
| A700 | FINISH SCHEDULE |
| A900 | 3D |

| | |
|------|----------------------------------|
| D101 | EXISTING FIRST FLOOR PLAN - DEMO |
| D150 | EXISTING FIRST FLOOR RCP |
| D200 | EXISTING ELEVATIONS / SECTIONS |

EXISTING / DEMO

PROJECT DIRECTORY

OWNER:
Worthmore
Richard Williams
100 Conti St , New Orleans, LA 70130
rhw@richardhunterwilliams.com

TENANT:
Michael Stoltzfus
Michael@coquettenola.com

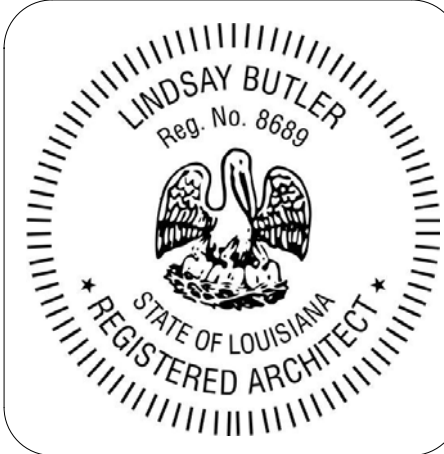
ARCHITECT:
Megan Bell
Bell Butler Design and Architecture
1811 Hastings Place
New Orleans, LA 70130

STRUCTURAL & CIVIL:
Robert B. Anderson Consulting Engineers
432 N. Anthony St., Suite 306
New Orleans, La. 70119
504-488-7797 Phone

MEP:
HG Engineering
Post Office Box 56801
New Orleans, LA 70156-6801
Contact: Heidi Gremillion
504-233-3736

BELL BUTLER
DESIGN + ARCHITECTURE

1811 HASTINGS PLACE - SUITE B. NEW ORLEANS - LOUISIANA - 70130
(504) 754-1085
www.bellbutler.com



SHELBY'S

1526 MAGAZINE ST | NEW ORLEANS, LA | 70130

ISSUE :

PERMIT

DATE :

9/14/22

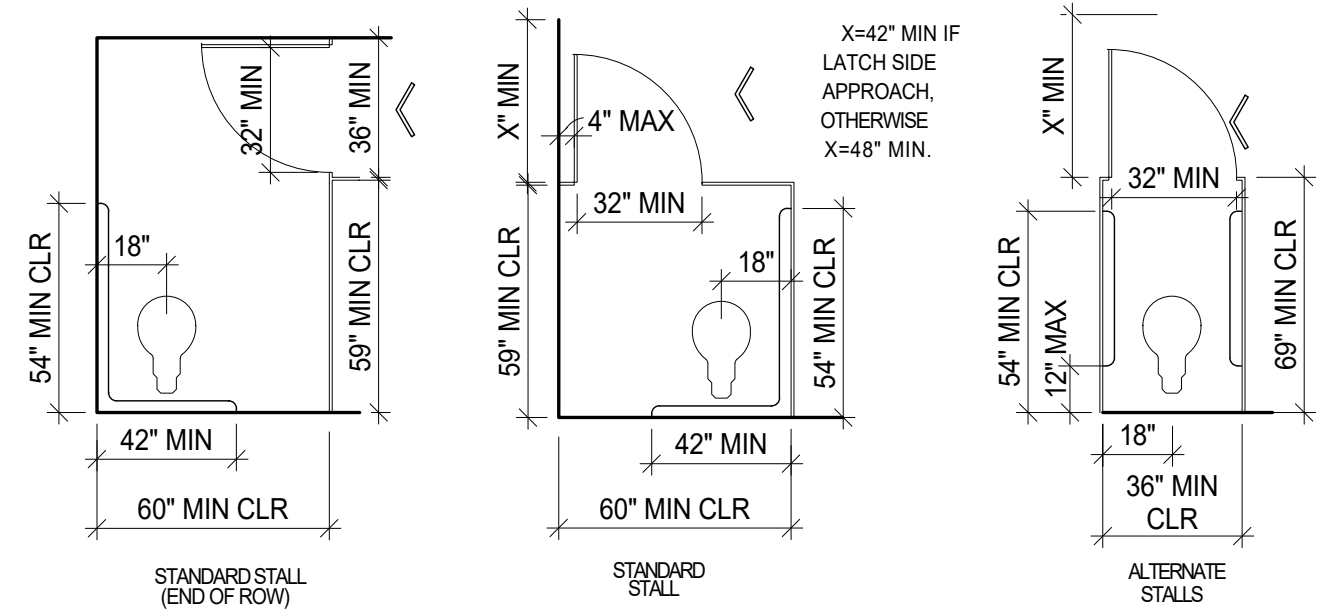
REVISION :

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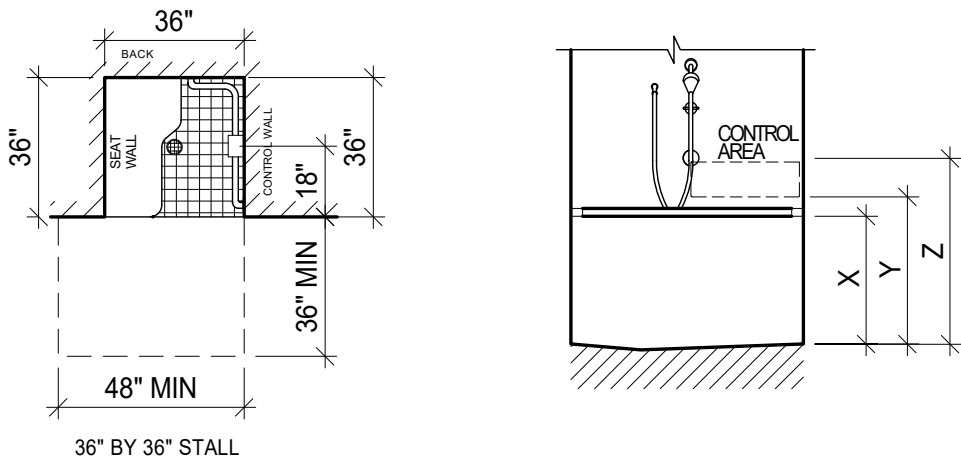


COVER

A000

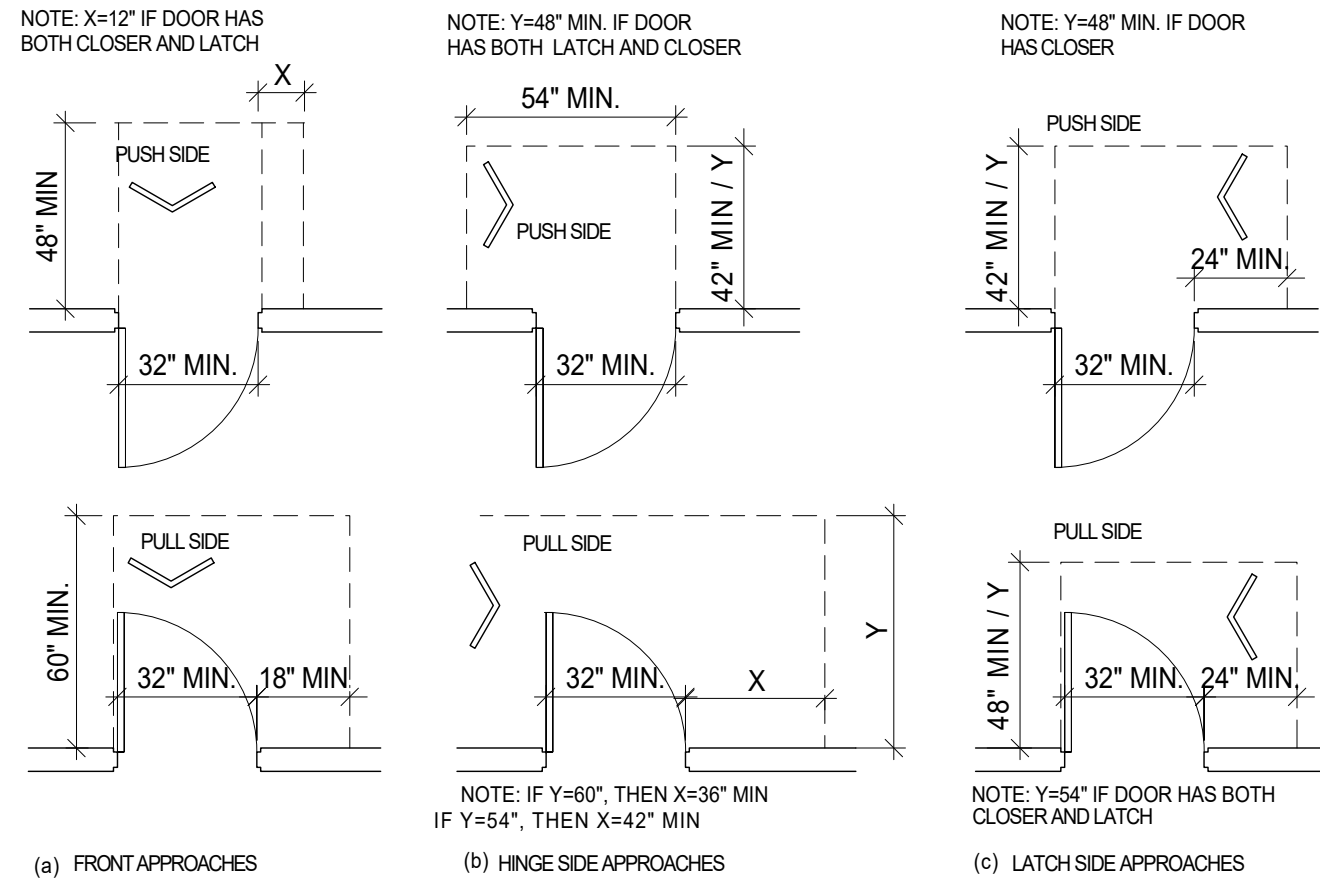


TOILET STALLS

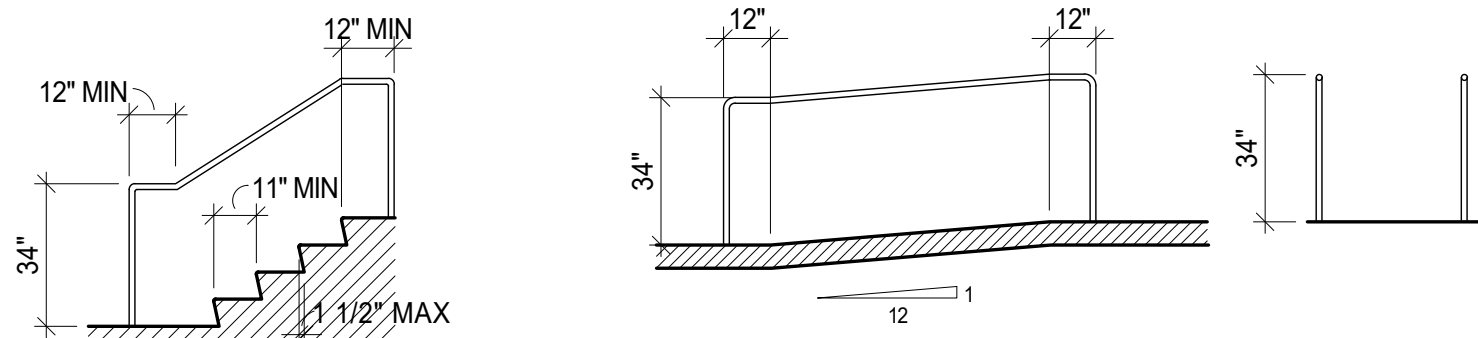


| | | |
|---|--|---|
| ADULT STD: X=33"-36" Y=36" MAX Z=48" MAX | 6-8 OR 9 STD: X=30"-32" Y=35" MAX Z=45" MAX | PREK-5 OR 6 STD: X=28"-30" Y=32" MAX Z=42" MAX |
|---|--|---|

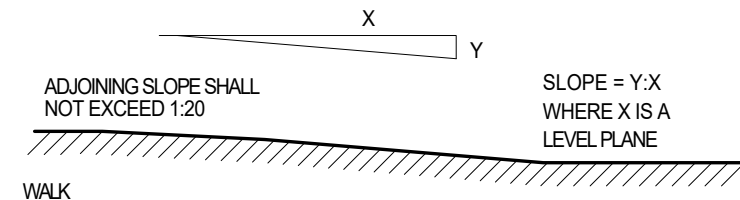
SHOWER SIZES AND CLEARANCES



MANEUVERING CLEARANCES AT DOORS



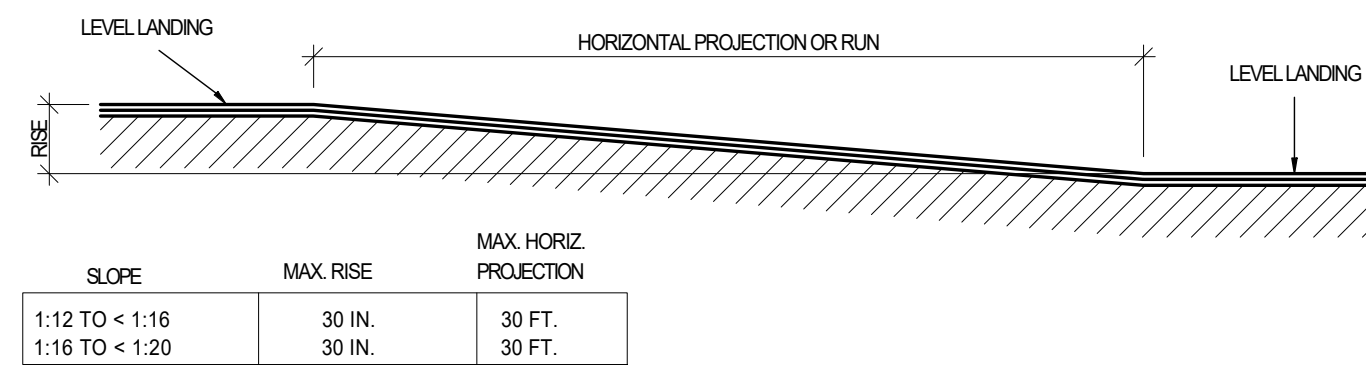
STAIR HANDRAILS



HANDRAIL EXTENSIONS

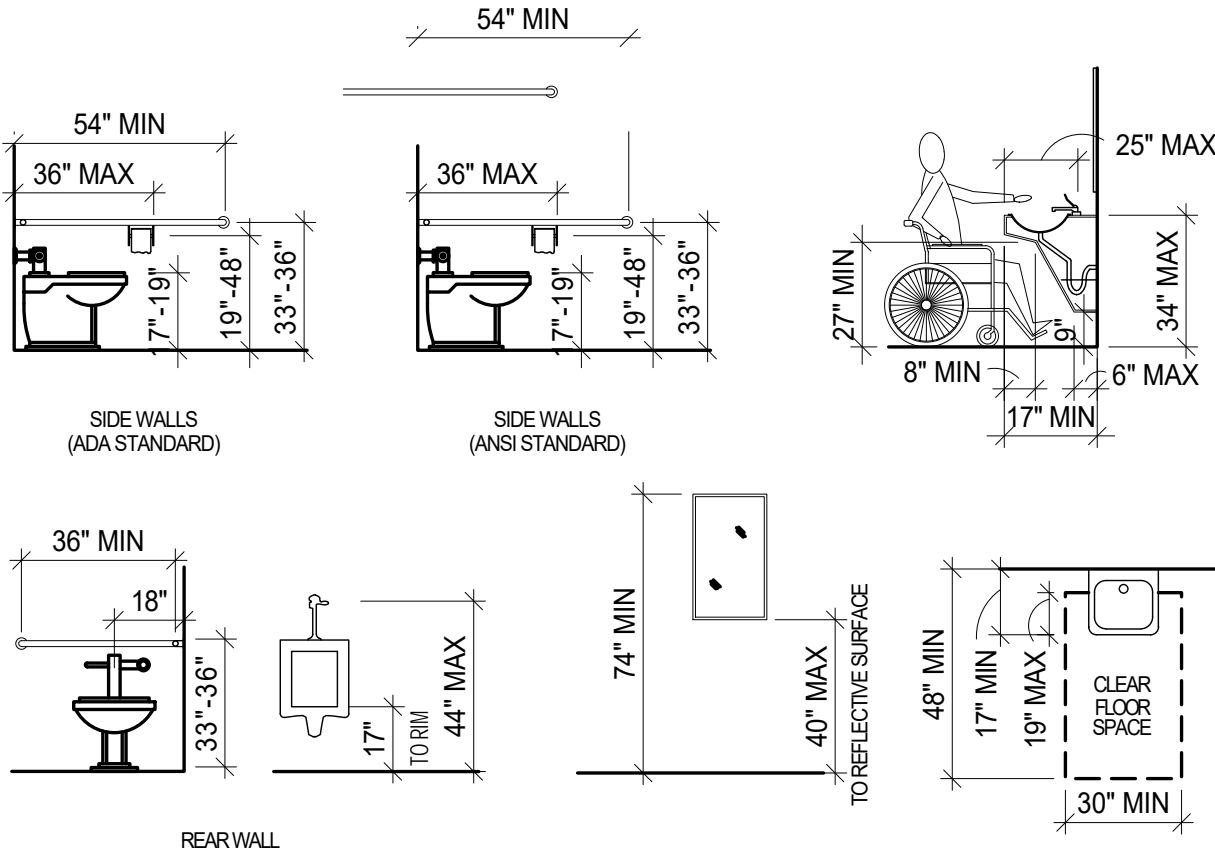


CURB RAMP SLOPES

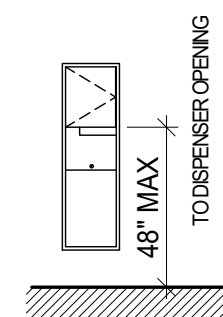


RAMP RUN DIMENSIONS

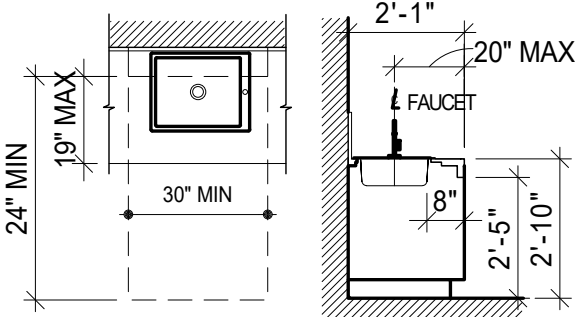
| SLOPE | MAX. RISE | MAX. HORIZ. PROJECTION |
|----------------|-----------|------------------------|
| 1:12 TO < 1:16 | 30 IN. | 30 FT. |
| 1:16 TO < 1:20 | 30 IN. | 30 FT. |



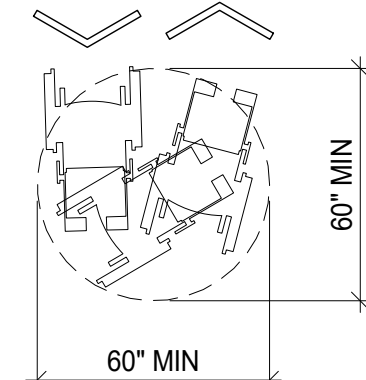
TOILET / URINAL



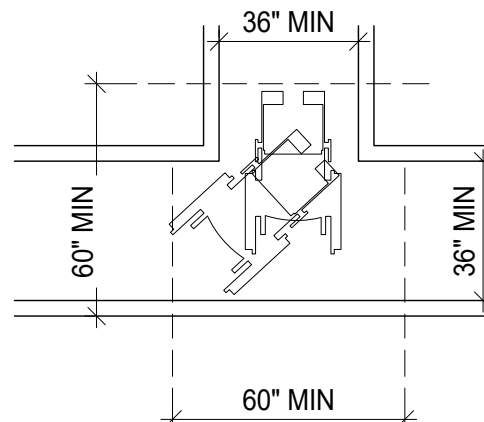
MIRROR AND LAVATORY



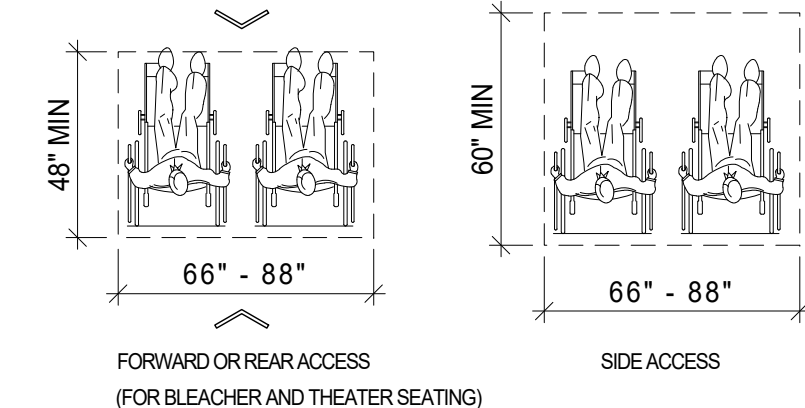
PAPER TOWEL DISPENSER



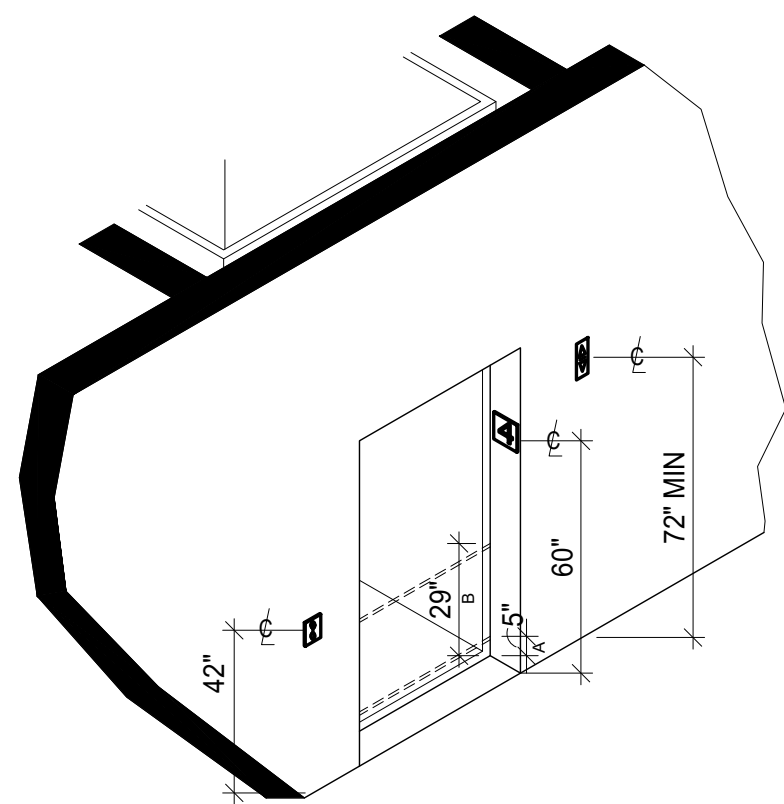
IN-COUNTER SINK



WHEELCHAIR TURNING SPACE

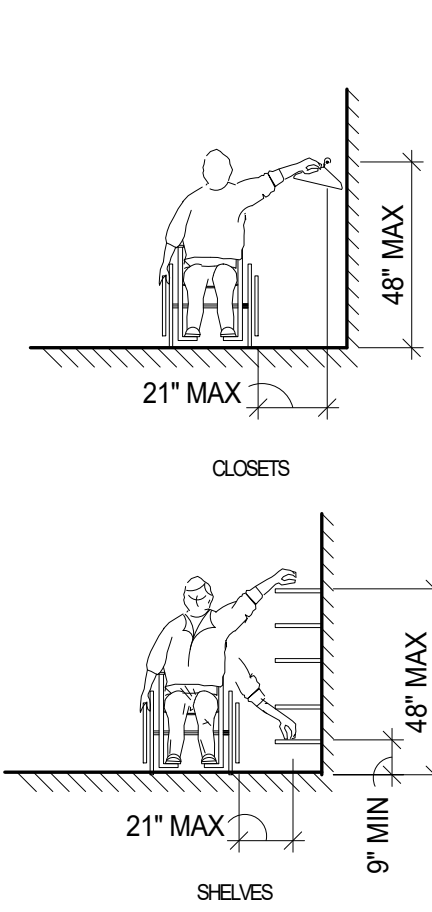


REQUIREMENTS FOR SEATING SPACES IN SERIES



NOTE: THE AUTOMATIC DOOR REOPENING DEVICE IS ACTIVATED IF AN OBJECT PASSES THROUGH EITHER LINE A OR LINE B. LINE A AND LINE B REPRESENT THE VERTICAL LOCATIONS OF THE DOOR REOPENING DEVICE NOT REQUIRING CONTACT.

ELEVATOR ENTRANCE



CLOSET AND STORAGE SHELVES

VICINITY PLAN



ZONING SUMMARY

| | |
|----------------------|---|
| ADDRESS | 1526 MAGAZINE STREET |
| BLOCK | 145 |
| LOTS | 8? |
| LOT AREA | 3,335 SF |
| FLOOD ZONE | 'X' |
| STORMWATER PLAN REQD | NO, INTERIOR TENANT IMPROVEMENT + UNDER 5,000 SF OF IMPERVIOUS SURFACE |
| ZONING DISTRICT | HU-B1: HISTORIC URBAN NEIGHBORHOOD BUSINESS DISTRICT |
| OVERLAYS | CPC CHARACTER PRESERVATION CORRIDOR DESIGN OVERLAY DISTRICT MAGAZINE STREET USE RESTRICTION OVERLAY DISTRICT |
| HISTORIC DISTRICT | LOWER GARDEN: FULL CONTROL |
| BULK & YARD | MAX HEIGHT: 40' / 3 STORIES FRONT YARD: 0' SIDE YARD: 0' REAR YARD: 0' MIN. OPEN SPACE: 10% = 334' SF |
| USES | RESTAURANT: CONDITIONAL USE |
| BLDG AREA | BUILDING FOOT PRINT - 2,252 SF |
| OFF STREET PARKING | ALL USES ARE <5000 SF; ALL EXEMPT FROM PARKING REQUIREMENTS PER NOCZO 22.5.A.6 |

DEPARTMENT OF SAFETY & PERMITS
CITY OF NEW ORLEANS

PERMIT NO: _____ DATE: _____

ADDRESS: 1526 MAGAZINE STREET SUBDIVISION: None

DISTRICT: FIRST SQUARE: 145 LOTS: 8 OR 22

| COMMUNITY NUMBER | PANEL NUMBER | SUFFIX | DATE OF FIRM INDEX | FIRM ZONE | BASE FLOOD ELEVATION (BFE) | FREEBOARD (ADD 1 FT FOR A AND V ZONES) |
|------------------|--------------|--------|--------------------|-----------|----------------------------|--|
| 225 203 | 0237 | P | 9/30/2016 | X | NONE N.A.V.D. | +1ft = |

MINIMUM FLOOR ELEVATION: _____

IN ADDITION TO THE FEMA ELEVATIONS, THE FOLLOWING CONDITIONS MUST ALSO BE MET:

A. TOP OF SLABS ON GRADE OR FILL MUST BE AT LEAST 36" ABOVE THE HIGHEST POINT OF CURB IN FRONT OF THE LOT OR SITE.

B. PIER CONSTRUCTION: TOP OF PIERS (UNDERSIDE OF SILLS) MUST HAVE AT LEAST 18" CLEARANCE BENEATH THE STRUCTURE. IN ADDITION, THE LOWEST FLOOR MUST BE AT LEAST 36" ABOVE THE HIGHEST POINT OF CURB IN FRONT OF THE LOT OR SITE. (IF NO CURB, USE CENTERLINE OF STREET)

C. ALL MECHANICAL OR PLUMBING EQUIPMENT SERVICING THE BUILDING MUST BE LOCATED AT OR ABOVE THE REQUIRED FLOOR ELEVATION.

D. SLABS FOR ATTACHED GARAGES MUST BE AT THE REQUIRED FLOOR ELEVATION OR BE CONSTRUCTED OF WATER-RESISTANT MATERIALS WITH PROPER VENTING IN 2 WALLS.

E. DETACHED GARAGES WITH PLUMBING MUST BE AT THE REQUIRED FLOOR ELEVATION.

F. CONSTRUCTION BENCHMARK MUST BE SET AT REQUIRED MINIMUM FLOOR ELEVATION OR GREATER. (ADD 1 FOOT FOR A & V-ZONES)

APPROVED FOR CITY BY: _____

1. CERTIFICATE OF CONSTRUCTION BENCHMARK

EXISTING HIGHEST TOP OF CURB ELEVATION 3.53 N.A.V.D. FOR FUTURE OFFICE USE ONLY
EXISTING HIGHEST CENTERLINE OF STREET N.A.V.D. ADD 3ft to curb, if no curb use the centerline of street
+ 3ft =

FRONT (RIGHT) 3.83 N.A.V.D. FRONT (LEFT) 3.83 N.A.V.D.
REAR (RIGHT) 4.08 N.A.V.D. REAR (LEFT) 4.08 N.A.V.D.
OTHER 4.63 N.A.V.D.

DESCRIBE EXISTING BLDG., ATTACHED GARAGE ELEVATION TO 4.08 HAVD.
DESCRIPTION OF CONSTRUCTION BENCHMARK: HALF SET IN POWER POLE
ELEVATION OF CONSTRUCTION BENCHMARK: 4.63 N.A.V.D. (SEE NOTE F.)
REFERENCE BENCHMARK USED TO ESTABLISH CONSTRUCTION BENCHMARK: ALSO
ELEVATION OF REFERENCE BENCHMARK: 5.80 N.A.V.D.

SIGNATURE: _____ DATE: 2/5/2022
(L.A. REGISTERED PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER)

2. CERTIFICATE OF TOP OF FORM OR TOP OF PIER ELEVATION
(To be submitted before pouring concrete for slab construction or framing floor for pier construction)

AS BUILT ELEVATIONS: FORM _____ N.A.V.D. PIER _____ N.A.V.D.

PIER CONSTRUCTION:
ALL FRAMING MATERIALS BELOW THE MINIMUM FLOOR ELEVATION (B.F.E.) MUST BE CONSTRUCTED WITH WATER-RESISTANT MATERIALS AND THE FIRST FLOOR MUST BE AT OR ABOVE THE MINIMUM FLOOR ELEVATION (B.F.E.).

V ZONES ONLY:
BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER _____ N.A.V.D.
(Must be submitted before framing begins)
IN V ZONES, ALL ENCLOSURES BELOW THE B.F.E. MUST BE DESIGNED WITH BREAK-AWAY WALLS CONSTRUCTION.

SIGNATURE: _____ DATE: _____
(L.A. REGISTERED PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER)

3. FILLING, GRADING, DRAINAGE, SIDEWALK AND DRIVEWAY CERTIFICATION AND AFFIDAVIT
(To be submitted before Use & Occupancy Certificate can be issued)

THIS WILL CONFIRM THAT ALL FILLING, GRADING, DRAINAGE, SIDEWALKS AND DRIVEWAYS HAVE MET THE REQUIREMENTS OF THE APPLICABLE SECTIONS OF THE CODE OF THE CITY OF NEW ORLEANS.

OWNER: _____ DATE: _____
APPLICANT: _____ DATE: _____ (NOTARY)

IS LOT PROPERLY FILLED TO GRADE? _____ YES _____ NO

(minimum lot slope, rear to front, 1 inch every 20 feet)

ARE SIDEWALKS PROPERLY INSTALLED? _____ YES _____ NO
ARE DRIVEWAYS PROPERLY INSTALLED? _____ YES _____ NO
ARE RETAINING WALLS REQUIRED? _____ YES _____ NO
(if yes, then on which side(s) _____ RIGHT _____ LEFT _____ REAR
ARE EQUIPMENT SLABS, SUCH AS A/C COMPRESSORS, AT MINIMUM FLOOR ELEVATION? _____ YES _____ NO
DO ATTACHED GARAGES IN A-ZONES, THAT ARE BELOW MINIMUM FLOOR ELEVATION, HAVE PROPER VENTING AND WATERPROOFING? _____ YES _____ NO _____ N/A

SIGNATURE: _____ DATE: _____
(L.A. REGISTERED PROFESSIONAL CIVIL ENGINEER)

THE LATEST FEMA ELEVATION CERTIFICATE MUST ACCOMPANY PART 3 OF THIS FORM WHEN SUBMITTED TO THE DEPARTMENT OF SAFETY AND PERMITS. 2016

BELL BUTLER
DESIGN + ARCHITECTURE



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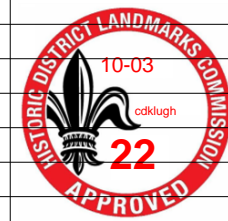
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ACCESSIBILITY /
ZONING / BFE

A002

| CODE COMPLIANCE |
|--|
| 2015 International Building Code 2012 International Mechanical Code 2012 International Fuel Gas Code 2011 National Electrical Code 2013 Louisiana State Plumbing Code NFPA 13 Standard for Installation of Sprinkler Systems NFPA 72 National Fire Alarm and Signaling Code NFPA 101 Life Safety Code |

| PROJECT INFORMATION |
|---|
| SCOPE OF WORK THE SCOPE OF WORK IS LIMITED TO THE INTERIOR BUILD OUT OF A RESTAURANT AND SMALL BOUTIQUE RETAIL SPACE IN AN EXISTING BUILDING. THE RESTAURANT AND RETAIL SPACE WILL SHARE BATHROOMS AND MOP SINKS. |
| DESCRIPTION OF USE PRIOR USE WAS A RETAIL SHOP AND STORAGE SPACE. PROPOSED USE IS RESTAURANT (ASSEMBLY) AND RETAIL (MERCANTILE). |

| GENERAL BLDG INFO |
|---------------------------------------|
| CONSTRUCTION TYPE TYPE V-B |
| AREA OF WORK 2,095 SF |
| BLDG HEIGHT 14' - 6" / 1 STORY |

| OCCUPANCY |
|--|
| NON-SEPARATED MIXED-USE OCCUPANCY PER IBC 508.3 |
| A-2 ASSEMBLY MERCANTILE- ORDINARY HAZARD, CLASS C |
| REFER OCCUPANT LOAD SCHEDULE |

| ALLOWABLE HEIGHTS & AREAS |
|---|
| IBC TABLES 504.3, 504.4, 506.2 BASED ON MOST STRINGENT OCCUPANCY |
| ALLOWABLE HEIGHT 40' (A,B,M) |
| ALLOWABLE STORIES 1 (A2,A-3,M) 3(B) |
| ALLOWABLE AREA NOT CALCULATED AS BLDG IS UNDER 6,000 SF |

| FIRE RATED CONSTRUCTION |
|---|
| CONSTRUCTION TYPE TYPE V-B |
| IBC 601 FIRE RESISTANCE RATING REQS STRUCTURAL FRAME 0HR EXTERIOR WALLS 0HR INTERIOR BEARING WALLS 0HR FLOOR CONSTRUCTION 0HR ROOF CONSTRUCTION 0HR |

| |
|---|
| IBC 602 FIRE RESISTANCE RATING BASED ON FSD EXTERIOR WALLS W/ FSD <5' / M OCCUPANCY = 2HR EXTERIOR WALLS W/ FSD <5' / B - A OCCUPANCY = 1HR EXTERIOR WALLS W/ FSD <10' / B-A-M OCCUPANCY = 0HR |
| MAX AREA OF EXTERIOR WALL OPENINGS BASED ON FSD IBC 705.8 3' TO LESS THAN 5' 15% (UNPROTECTED, SPRINKLERED) 10' TO LESS THAN 15' 45% (UNPROTECTED, SPRINKLERED) 25' TO LESS THAN 30' NO LIMIT (UNPROTECTED, SPRINKLERED) |

| INTERIOR FINISHES |
|---|
| IBC TABLE 803.11 INTERIOR EXIT STAIRWAYS & PASSAGEWAYS CLASS 'B' GENERAL WALL & CEILING FINISHES CLASS 'C' |

| FIRE PROTECTION SYSTEMS |
|--|
| SPRINKLER SYSTEM NOT REQD PER IBC 903.2.1.2, 903.2.7; NFPA 12.3.5.2, 36.3.5 |
| FIRE ALARM NOT REQD PER IBC 907.2.1, 907.2.7; NFPA 12.3.4, 36.3.4 |
| PORTABLE FIRE EXTINGUISHERS IBC [F]906.1 PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN ALL OCCUPANCIES AND FINAL LOCATION SHALL BE DETERMINED BY THE AHJ REPRESENTATIVE UPON BUILD OUT. |

| MEANS OF EGRESS |
|--|
| MAX COMMON PATH OF TRAVEL (UNSPRINKLERED) ASSEMBLY: 75' MERCANTILE: 75' |
| TRAVEL DISTANCE LIMIT (UNSPRINKLERED) ASSEMBLY: 200' MERCANTILE: 250' |

| |
|---|
| EXIT DISCHARGE / SAFE DISPERSAL AREA IBC 1028.5 WHERE ACCESS TO THE PUBLIC WAY CANNOT BE PROVIDED A SAFE DISPERSAL AREA SHALL BE PROVIDED WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET: 1. THE AREA SHALL NOT BE LESS THAN 5 SF PER PERSON 2. THE AREA SHALL BE ON THE SAME LOT NOT LESS THAN 50' FROM THE BLDG REQUIRING EGRESS. 3. THE AREA SHALL BE PERMANENTLY MAINTAINED AS A SAFE DISPERSAL AREA. 4. THE AREA SHALL BE PROVIDED WITH A SAFE AND UNOBSTRUCTED PATH OF TRAVEL FROM THE BLDG. |
|---|

| |
|---|
| SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY IBC TABLE 1006.2.1 MAX. OCCUPANT LOAD 49 |
|---|

| |
|---|
| SINGLE EXITS IBC 1006.3.2.2 EXIT MUST DISCHARGE DIRECTLY TO THE EXTERIOR AT THE LEVEL OF DISCHARGE |
|---|

| |
|--|
| NUMBER OF MEANS OF EGRESS (SINGLE EXIT) NFPA 38.2.4.3 EXIT MUST DISCHARGE DIRECTLY TO THE EXTERIOR AT THE LEVEL OF DISCHARGE TRAVEL DISTANCE MUST NOT EXCEED 100' STAIRS MUST NOT EXCEED 15' IN HEIGHT INTERIOR STAIRS SHALL BE ENCLOSED PER NFPA 7.1.3.2 (1HR RATING) |
|--|

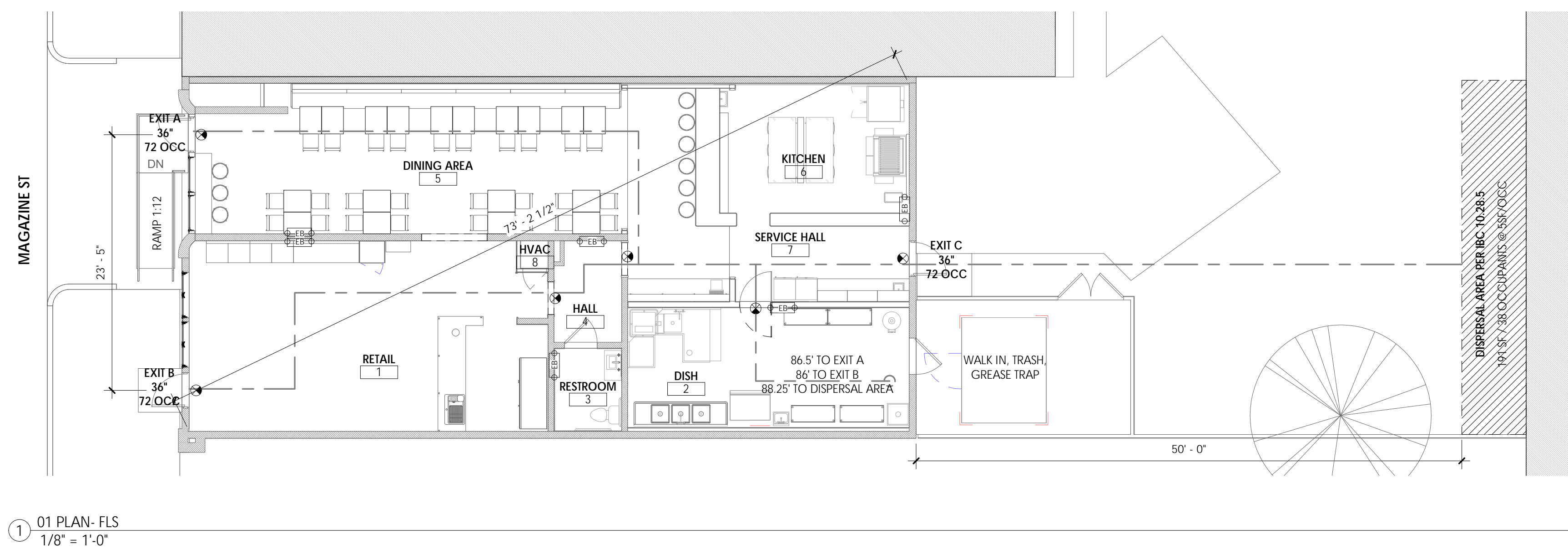
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|--|
| SIZE OF DOORS IBC 1010.1.1 MIN. CLEAR WIDTH 32" MAX. SWINGING DOOR WIDTH 48" |
|--|

| |
|---|
| DIRECTION OF SWING IBC 1010.1.2.1 / NFPA 7.2.1.4.2 DOORS MAY SWING INWARD SERVING LESS THAN 50 OCCUPANTS |
|---|

| |
|---|
| EXIT PASSAGEWAYS IBC 1023.2; NFPA 101 12.2.3.8, 101 38.2.3.2 OCC LOAD OF 50 OR MORE 44" MIN. OCC LOAD LESS THAN 50 36" MIN. |
|---|

| PLUMBING FIXTURES |
|---|
| Fixtures Required Provided |
| Toilets (1/75 M & F) 1 1 (UNISEX ADA) |
| Sinks (1/200 M & F) 1 1 |
| Service Sink 1 1 |
| Drinking Fountain 1 0" water provided from water filler |

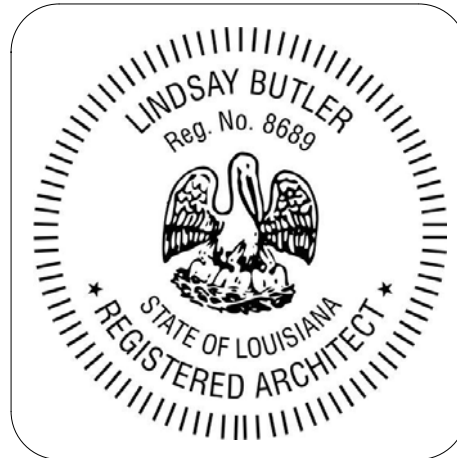
| OCCUPANT LOAD SCHEDULE BY ROOM | | | | | | |
|--------------------------------|--------|--------------|--------------|-------------------|-----------|---------------|
| No. | Area | Name | Occupancy | Area Per Occupant | Area Type | Occupant Load |
| 1 | 563 SF | RETAIL | MERCANTILE | 60 SF | GROSS | 10 |
| 5 | 616 SF | DINING AREA | ASSEMBLY | 15 SF | NET | 42 |
| 2 | 283 SF | DISH | KITCHEN | 200 SF | GROSS | 2 |
| 3 | 46 SF | RESTROOM | SIMULTANEOUS | | | |
| 4 | 56 SF | HALL | SIMULTANEOUS | | | |
| 6 | 220 SF | KITCHEN | KITCHEN | 200 SF | GROSS | 2 |
| 7 | 178 SF | SERVICE HALL | SIMULTANEOUS | | | |
| 8 | 6 SF | HVAC | NA | | | |
| Grand total: 8 | | | | | | 55 |



| FLS LEGEND |
|--|
| COMMON PATH OF EGRESS TRAVEL |
| WALL MOUNT EMERGENCY LIGHT: DUAL-LITE PG; COLOR TBD |
| CEILING MOUNT LED EXIT SIGNAGE EXITLIGHTCO.COM Aluminum Edge Lit Red LED Exit Sign Base Code: ELCELSM-R |

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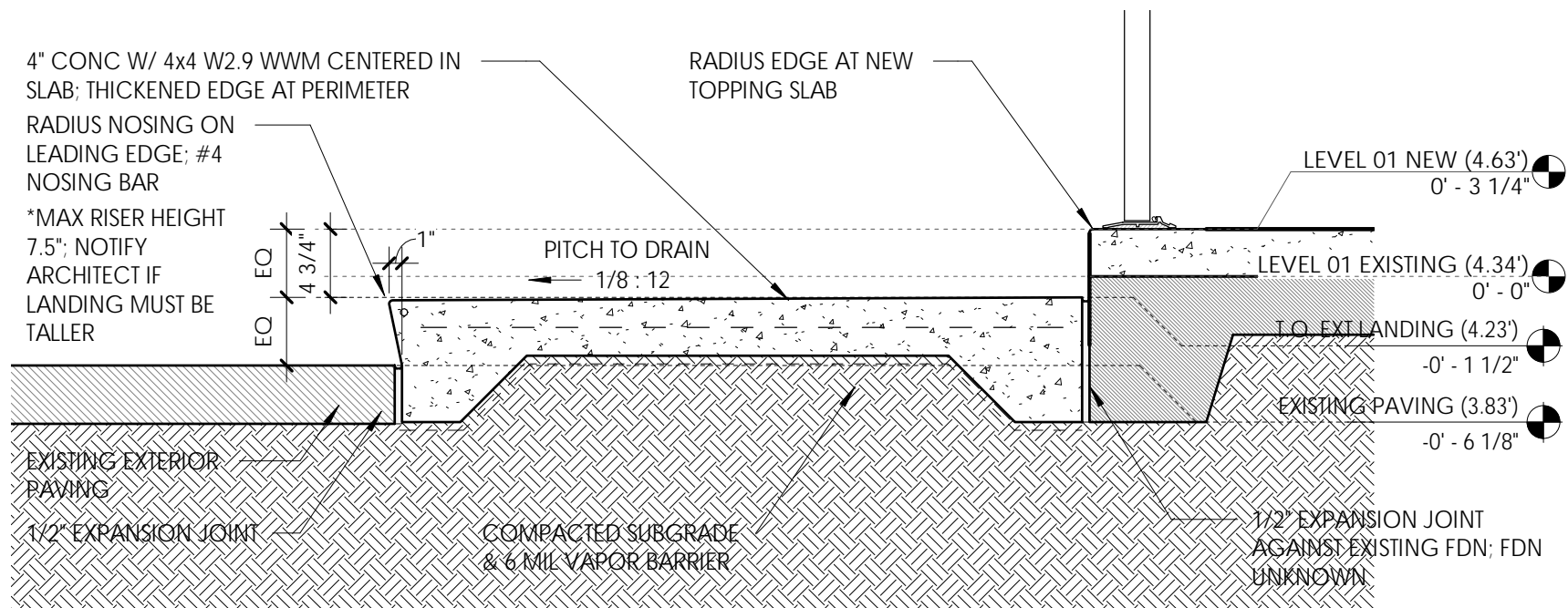
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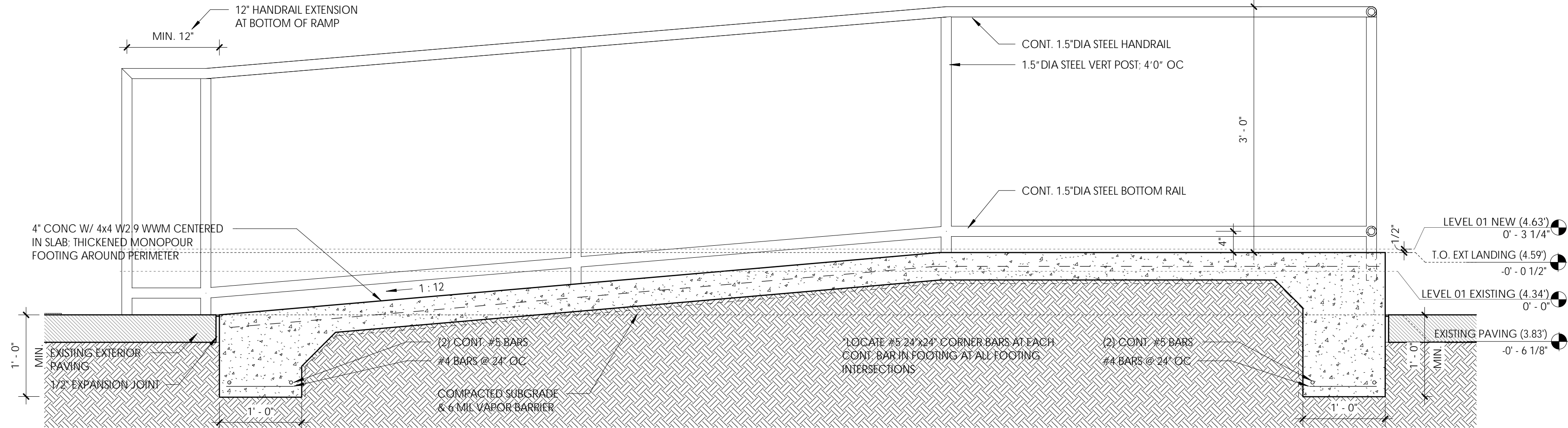
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APPROVED

CODE / LIFE
SAFETY PLANS

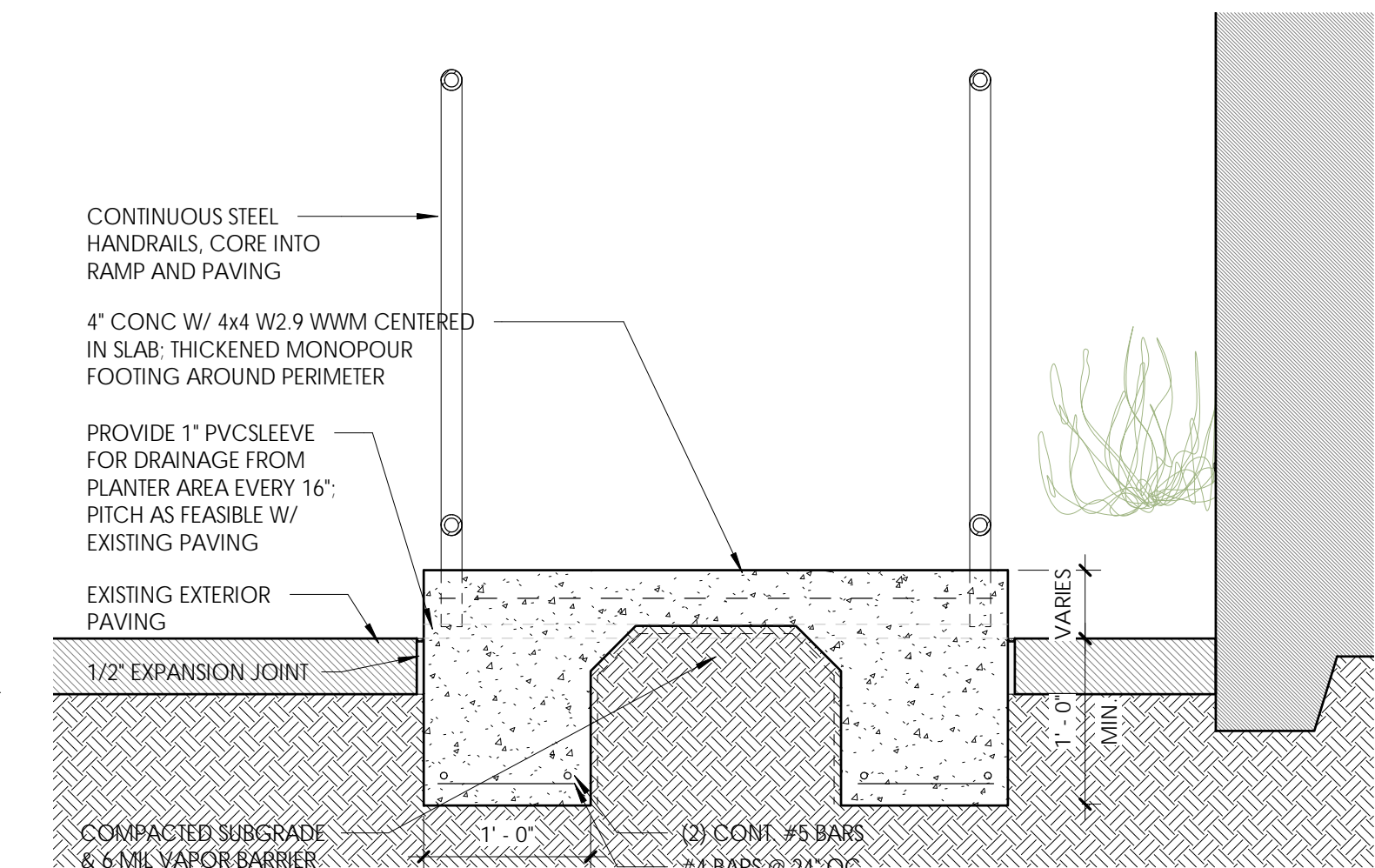
A003



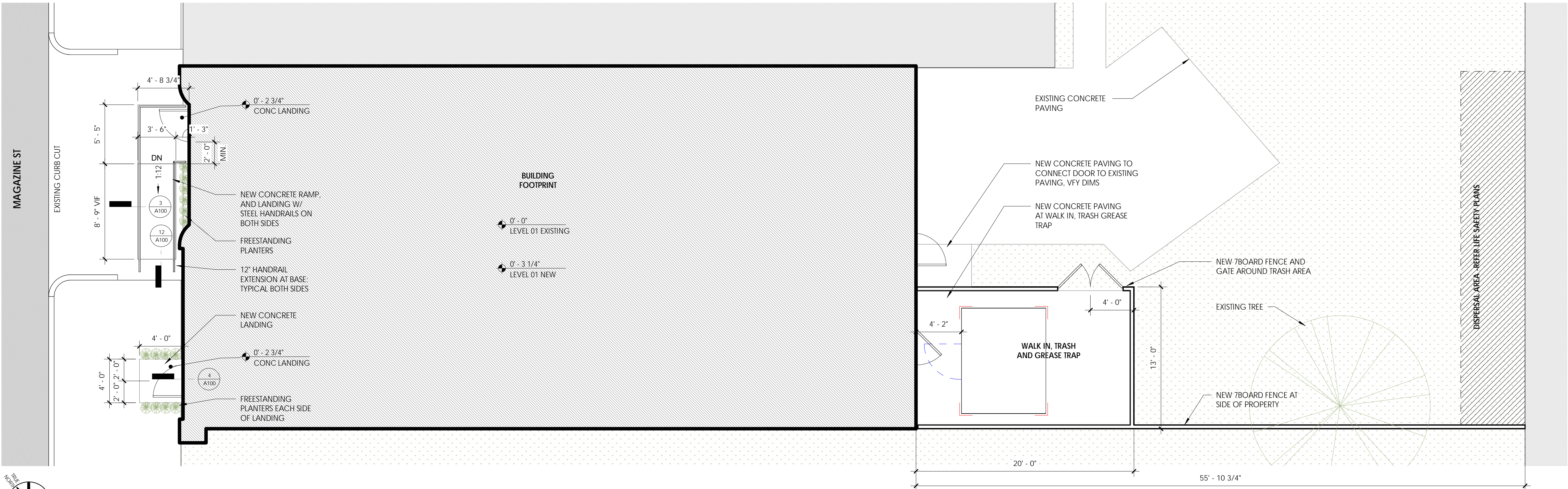
4 SECTION- STOOP LANDING
1" = 1'-0"



12 SECTION- RAMP
1" = 1'-0"



3 SECTION- RAMP1
1" = 1'-0"



1 SITE PLAN
3/16" = 1'-0"

RAILINGS NOTES

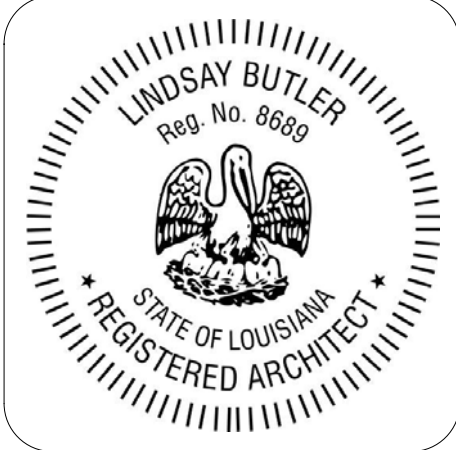
- TYPICAL HANDRAIL IS 1.5" DIA STEEL PIPING W/ CONTINUOUS TOP RAIL AT 36" AND CONTINUOUS BOTTOM RAIL AT 4" ABOVE THE WALKING SURFACE. VERT POSTS SHALL BE 1.5" DIA STEEL PIPE AT ~4'-0" OC
- ALL RAMP SHALL HAVE RAILINGS ON BOTH SIDES WITH MINIMUM 12" EXTENSIONS AT TOP AND BOTTOM OF RUN IN DIRECTION OF TRAVEL OR TRANSITIONING INTO 36" PERIMETER HANDRAILS. 4" BOTTOM RAIL SHALL SERVE AS EDGE PROTECTION ALONG SIDES OF RAMP

CONCRETE PAVING NOTES

- CONCRETE MIX MIN. 3000 PSI AT 28 DAYS
- ALL CONVENTIONAL REINFORCING STEEL TO BE A-615 / GRADE 60 WITH DETAILS AND ACCESSORIES PER ACI MANUAL OF STANDARD PRACTICE
- REINFORCEMENT SHALL HAVE 3" COVER IN GRADE BEAM BOTTOMS, 2" COVER AT BEAM SIDES & TOPS, AND 1.5" COVER IN SLAB TOPS & BOTTOMS
- REINFORCING STEEL AND MESH SHALL BE SECURELY SUPPORTED TO PREVENT MOVEMENT WHEN PLACING CONCRETE
- GC SHALL VERIFY ALL DROPS, SLOPES, RECESSES, SEATS, AND BLOCK OUTS WITH DRAWINGS
- PLANS FOR PIPES, CONDUITS, THIMBLES, ETC TO PASS THROUGH CONCRETE MUST NOT CONFLICT WITH REINFORCING
- PROVIDE 6 MIL POLYETHYLENE MEMBRANE UNDER ALL CONCRETE PAVING
- EXTERIOR PAVING TO HAVE BROOM FINISH

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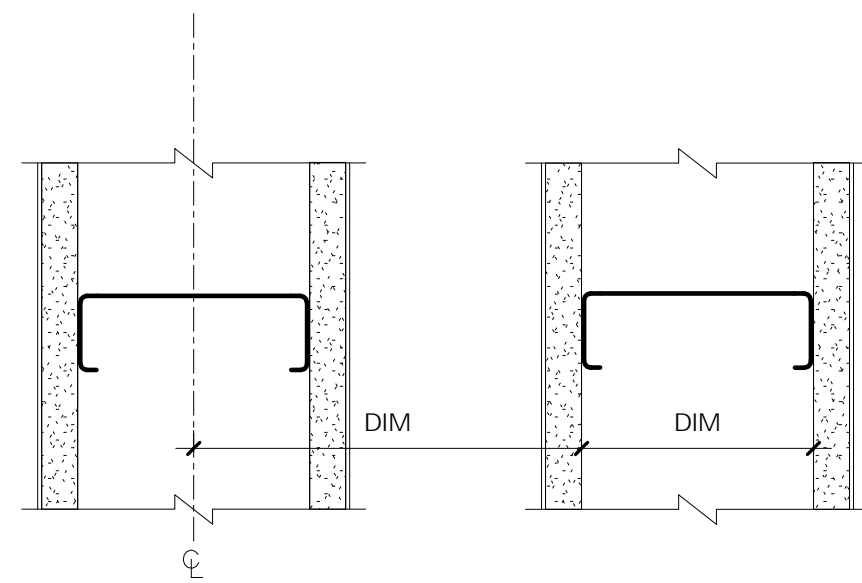
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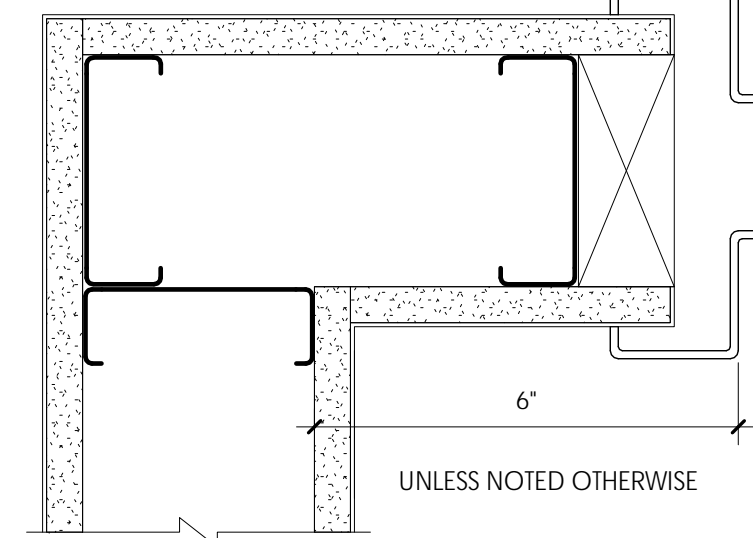
SITE PLAN

A100

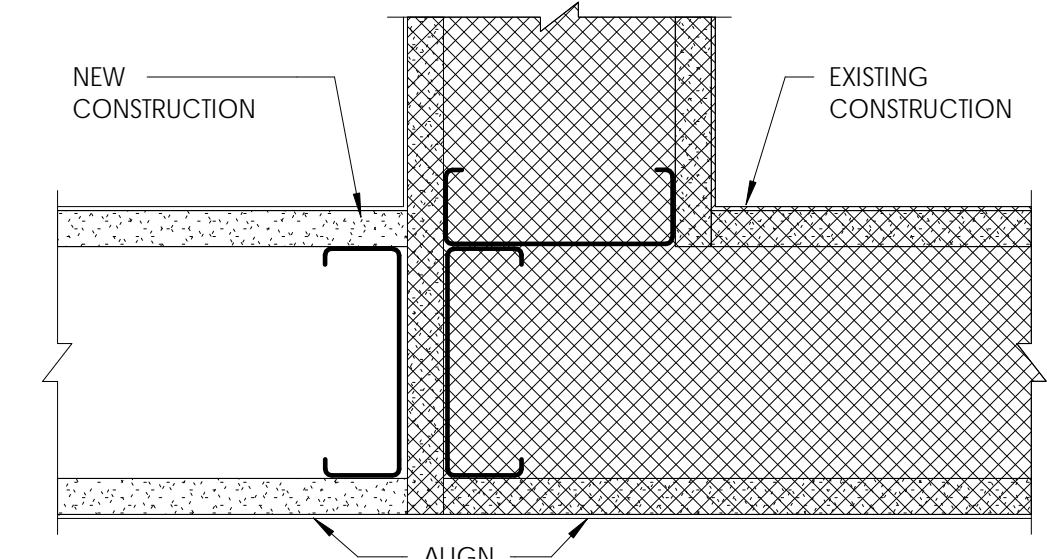


CENTERLINE OF WALL
NOTE: REFER TO WALL TYPES
FO CONSTRUCTION TYPE

FACE OF STUD TO FACE OF STUD

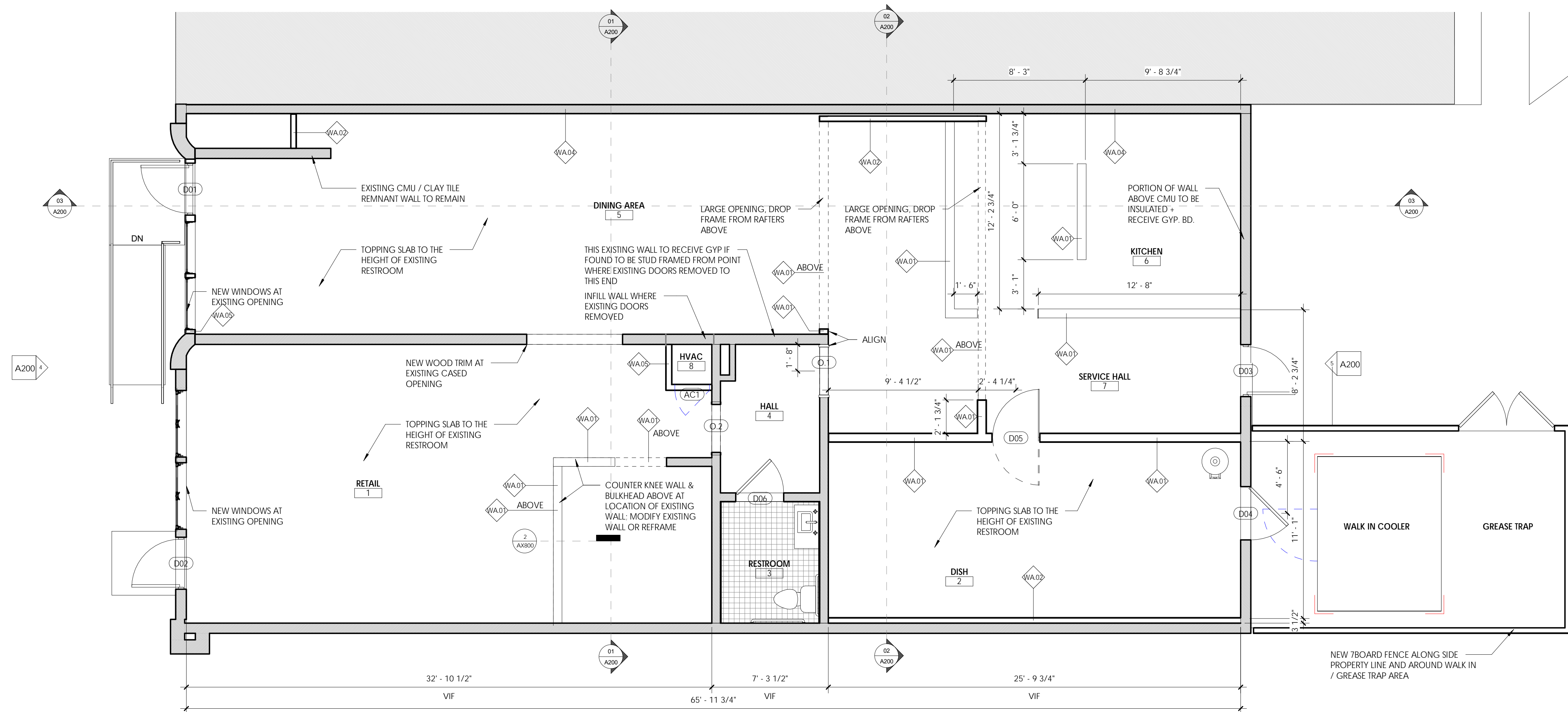


DOOR & FRAME LOCATION

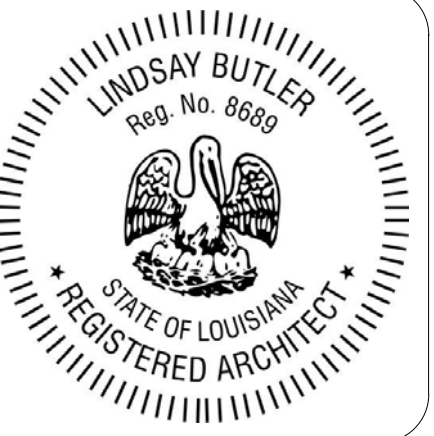


ALIGN SYMBOL

2 DIMENSION LEGEND
12" = 1'-0"

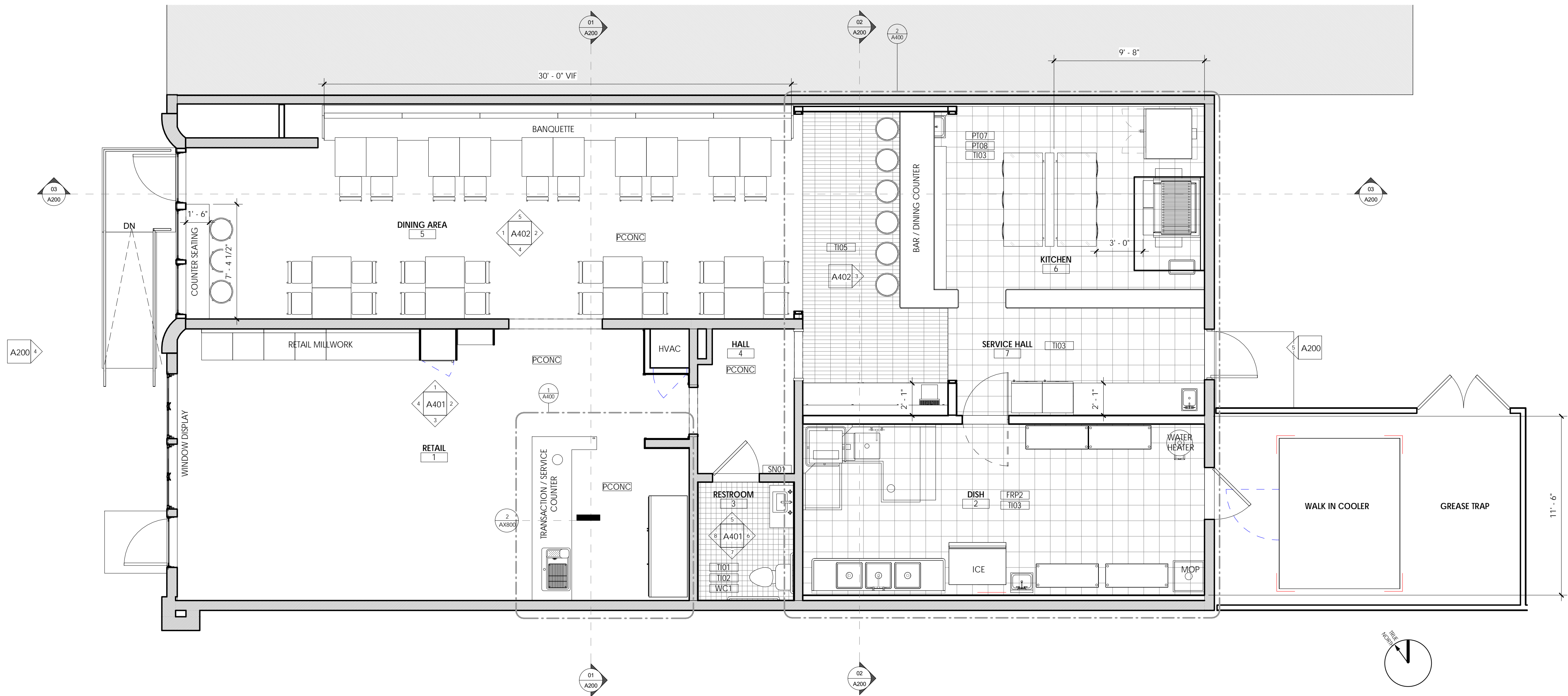


1 CONSTRUCTION PLAN
1/4" = 1'-0"

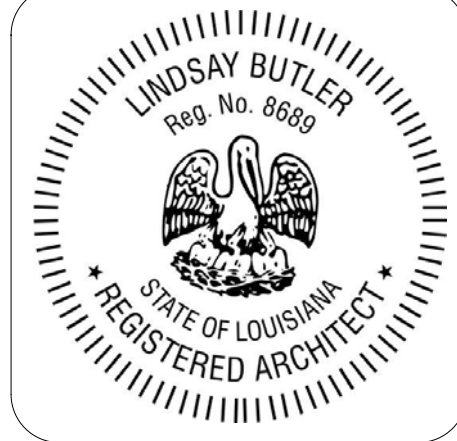


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2 DESIGN PLAN
1/4" = 1'-0"



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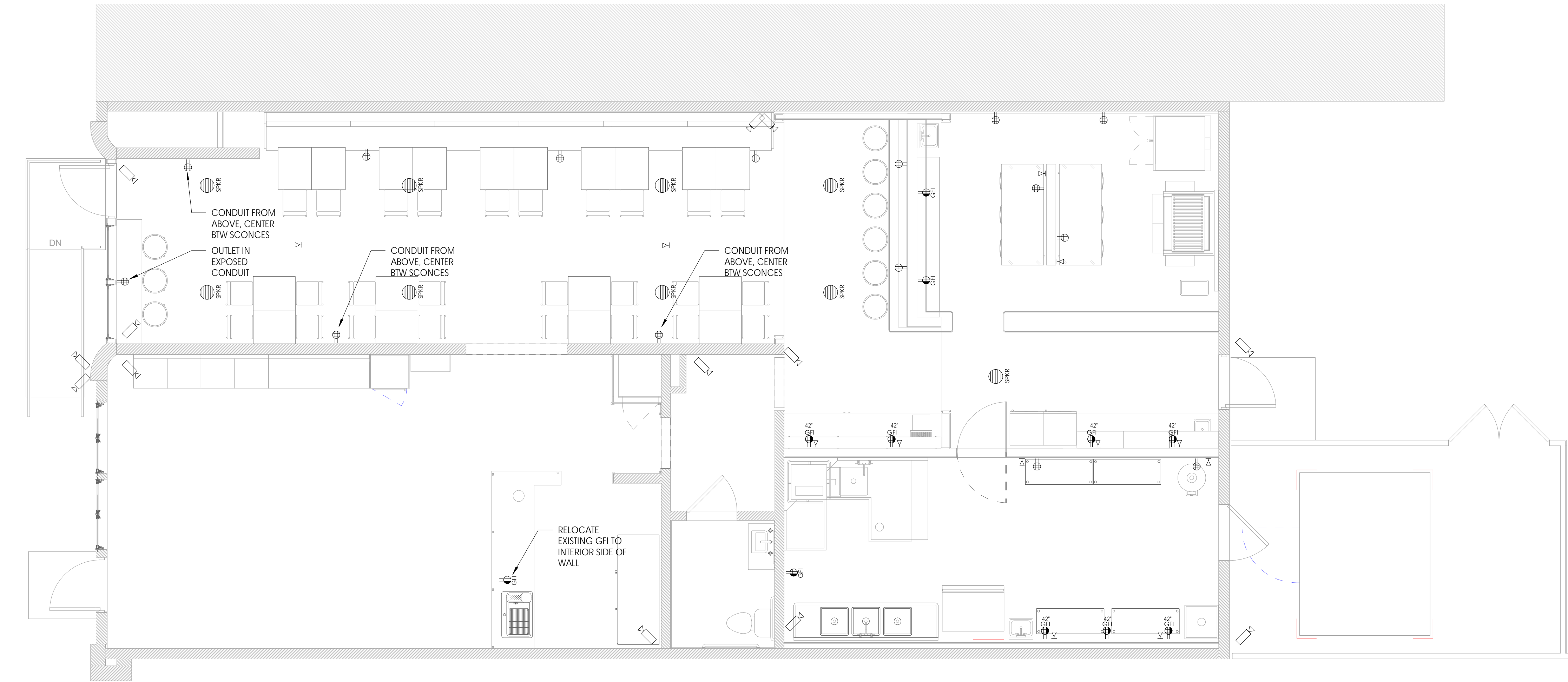
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DESIGN PLAN

A102



1 CONVENIENCE POWER + LOW VOLT
1/4" = 1'-0"

ELECTRICAL SYMBOLS

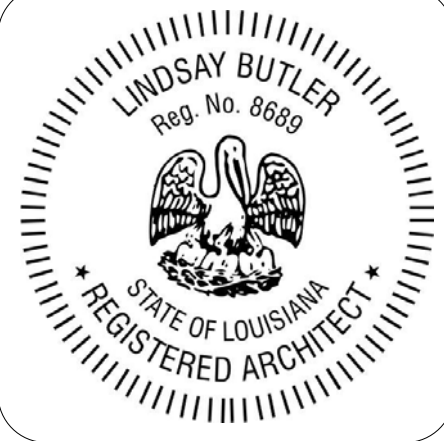
- 110 DUPLEX RECEPTACLE
- GFI DUPLEX RECEPTACLE
- EXTERIOR DUPLEX RECEPTACLE
- 110 QUAD RECEPTACLE, ISOLATED GROUND
- APPLIANCE / EQUIP. RECEPTACLE
- DUPLEX RECEPTACLE, FLOOR UNIT
- SWITCH, SINGLE POLE
- SWITCH, 3 WAY
- SWITCH, DIMMER
- SWITCH, OCCUPANCY SENSOR
- SWITCH, DIMMABLE OCCUPANCY SENSOR
- SWITCH, AIR OR COMPRESSION

AV / LOW VOLT

- CEILING MOUNTED SPEAKER, EXTERIOR AS NOTED
- TV COAXIAL
- LIGHTING SCENE SELECTOR
- DOME SECURITY CAMERA
- DATA POINT
- DATA / PHONE (DOUBLE DATA JACK)
- SMOKE DETECTOR
- SMOKE & CARBON DETECTOR

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POWER + LOW
VOLT

A150

All new exterior lighting to be submitted for HDLC review and approval prior to purchase and installation.

CEILING TYPES

CA.01: BLACK VINYL LAY IN TILE- KITCHEN
UDECOR.COM
SOUTHLAND CEILING TILE
SIZE: 24x24
COLOR: BLACK
SUSPENSION: ARMSTRONG PRELUDE 15/16" EXPOSED TEE SYSTEM
SUSPENSION COLOR: BLACK
OR EQUAL BLACK CLEANABLE CEILING TILE

CA.02: WHITE VINYL LAY IN TILE- DISH
UDECOR.COM
DURACLEAN SMOOTH
SIZE: 24x24
COLOR: WHITE
SUSPENSION: ARMSTRONG PRELUDE 15/16" EXPOSED TEE SYSTEM
SUSPENSION COLOR: WHITE
OR EQUAL WHITE CLEANABLE CEILING TILE

CA.03: NEW GYPSUM
5/8" GYPSUM BOARD
SUSPENSION: ARMSTRONG DRYWALL GRID
SOFFITS: ARMSTRONG DRYWALL GRID OR QUICKSTIX
OR EQUAL

CA.04: EXISTING ACCESS CEILING, NEW MIRROR TILES
UDECOR.COM
MIRROR CEILING TILE - SILVER
COLOR: SILVER
SIZE: 24x24
USE EXISTING SUSPENSION SYSTEM, REPLACE TILES,
PAINT EXISTING SUSPENSION SYSTEM BLACK

DRAWING NOTES

1. ALL RECESSED LIGHTING IN WET LOCATIONS TO BE WET RATED.
2. ALL OUTLETS IN WET LOCATIONS TO BE GFI PER CODE.
3. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN MEP DRAWINGS AND ARCHITECTURAL DRAWINGS.
4. WHERE APPLICABLE, LOW VOLTAGE LANDSCAPE OR POOL LIGHTING AND EQUIPMENT PROVISIONS SHALL BE PER LANDSCAPE PLAND AND COORDINATED WITH OWNER.
5. PROVIDE ATTIC ACCESS AS REQUIRED PER IRC.

MOUNTING HEIGHTS

72" panel boards (top)
18" receptacles
42" counter height receptacles
24" exterior receptacles
26" garage receptacles
42" switches (centerline)
18" telephone outlets
18" data outlets
42" thermostat

ELECTRICAL NOTES

1. CONTRACTOR SHALL REFER TO BUILDING SPECIFICATIONS ISSUED BY THE ARCHITECT FOR THIS PORTION OF THE WORK.
2. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COMPLETE ELECTRICAL DISTRIBUTION SYSTEM AND EQUIPMENT CONNECTIONS TO HVAC AND OTHER EQUIPMENT SHOWN ON THIS SET OF THE DOCUMENTS. ALL WORKS SHALL BE IN ACCORDANCE WITH THE CURRENT GOVERNING CODE.
3. ALL INTERIOR ELECTRICAL RACEWAY SYSTEM IN EXPOSED STRUCTURE SHALL BE EMT. ALL INTERIOR ELECTRICAL WIRING SYSTEM IN CONCEALED WALL AND ABOVE CEILING SPACE MAY BE TYPE "MC" IN ACCORDANCE WITH NEC. EXTERIOR ELECTRICAL RACEWAY SYSTEM EXPOSED TO WEATHER SHALL BE RIGID GALVANIZED STEEL CONDUITS.
4. ELECTRICAL SYSTEM SHALL BE GROUNDED IN ACCORDANCE WITH NEC.
5. ALL OUTDOOR HVAC AND SPECIALTY EQUIPMENT SHALL BE TERMINATED WITH LIQUID-TIGHT FLEXIBLE CONDUITS. THIS CONTRACTOR SHALL PROVIDE LINE VOLTAGE POWER CONNECTION TO ALL MECHANICAL EQUIPMENT AS SHOWN ON ELECTRICAL DRAWINGS OR AS REQUIRED BY MECHANICAL DIVISION. VERIFY ALL CONNECTIONS WITH EQUIPMENT SUPPLIER.
7. ALL EMPTY CONDUIT SHOWN ON THESE PLANS SHALL HAVE A 250 POUND RATED NYLON PULL STRING INSTALLED.

LIGHTING TYPES

- LE
EXISTING RECESSED CAN TO REMAIN OR BE REUSED

L01
WALL SCONCE, KARTELL, LIGHT-AIR SCONCE, AMBER

L02
DECORATIVE PENDANT LIGHT, CB2, EXPOSIOR WHITE PENDANT LIGHT MODEL 018, 24.75" BULB: Tala Porcelain II Medium Base Globe, 2700K

L3
LED STRIP
MFG: LUMINI
MODEL: KBM-F-H-24K-CONNECTORS TBD- LENGTH MOUNTING BRACKET: MB-KBM-F-H-ST

L04
2X2 LED PANEL
MFG: WESTGATE
2700K, 90 CRI
MODEL: LPWG-2X2-4KLM-27K-D
- L05
RECESSED SPOT
MFG: DMF
HOUSING: M4-NC-R-S
MODULE: DRD4M-10-9-3W-SP-O
TRIM: M4T-R-P-BK
RECESSED ADJ. SPOT, BLACK TRIM, WARM DIM

L05 ALTERNATE
MFG: WAC
MODEL: PALOMA, MO-4023-927-BK-LENS-16-HCL 2700K, 90 CRI, BLACK, HONEYCOMB LENS

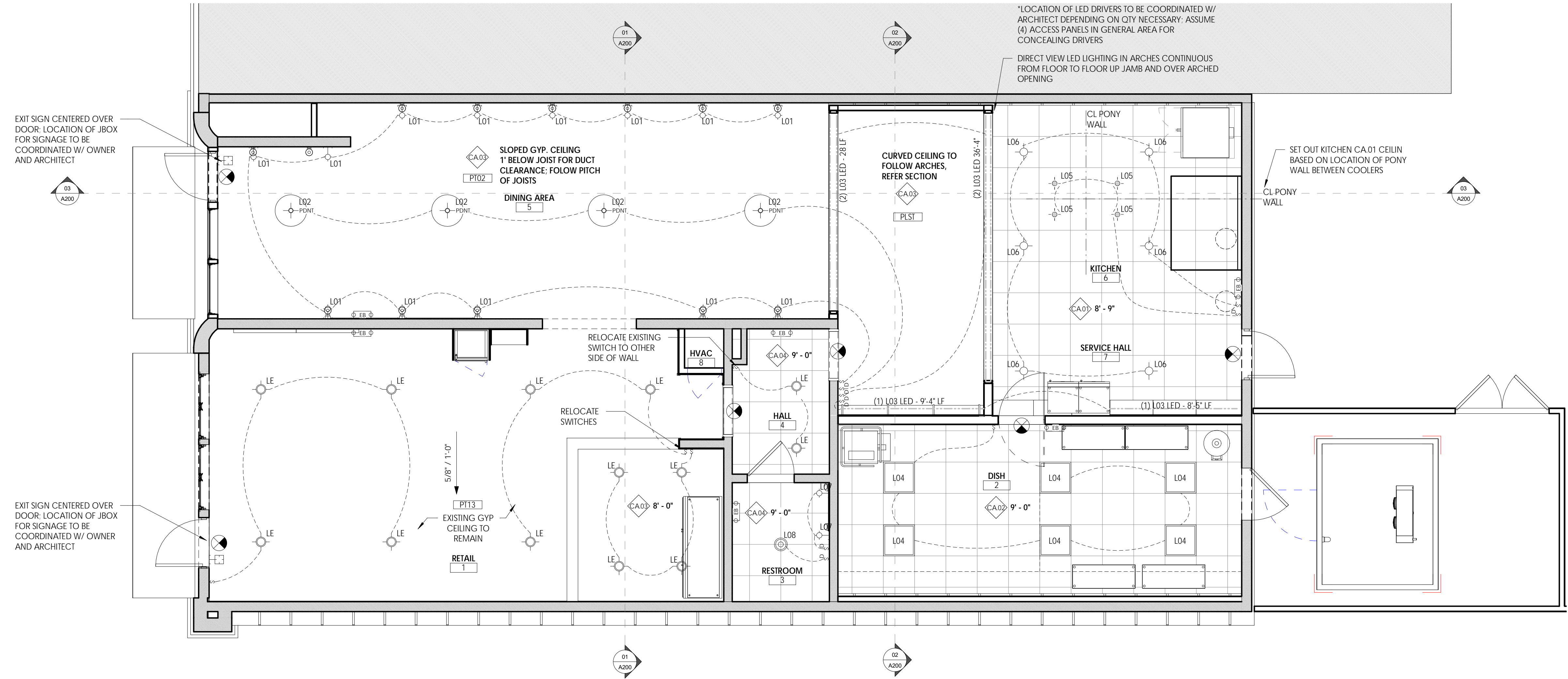
L06
RECESSED CAN- KITCHEN
MFG: DMF
HOUSING: M4-NC-R-S
MODULE: DRD2M-10-9-3W-GA-O
TRIM: M4T-R-H-BK
RECESSED, BLACK TRIM, WARM DIM

L07
WALL SCONCE - RESTROOM, TBD FIXTURE W/ LED BULBS; HOLD \$300 ALLOWANCE PER FIXTURE

L08
SURFACE MOUNT - RESTROOM
REPLACE EXISTING FIXTURE
TBD FIXTURE W/ LED BULBS; HOLD \$300 ALLOWANCE PER FIXTURE

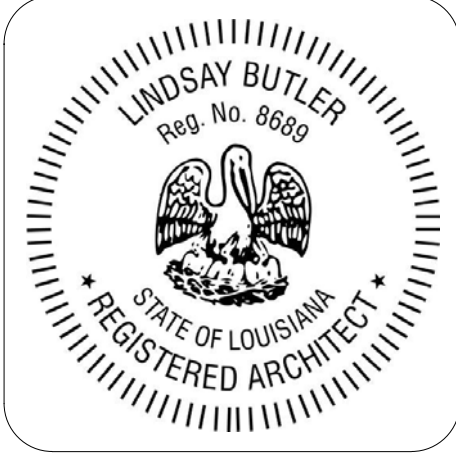
FLS LEGEND

- COMMON PATH OF EGRESS TRAVEL
- ⬇ EB ⬆
WALL MOUNT EMERGENCY LIGHT:
DUAL-LITE PG; COLOR TBD
- ⬇ EB ⬆
CEILING MOUNT LED EXIT SIGNAGE
EXITLIGHTCO.COM
Aluminum Edge Lit Red LED Exit Sign
Base Code: ELCELSM-R



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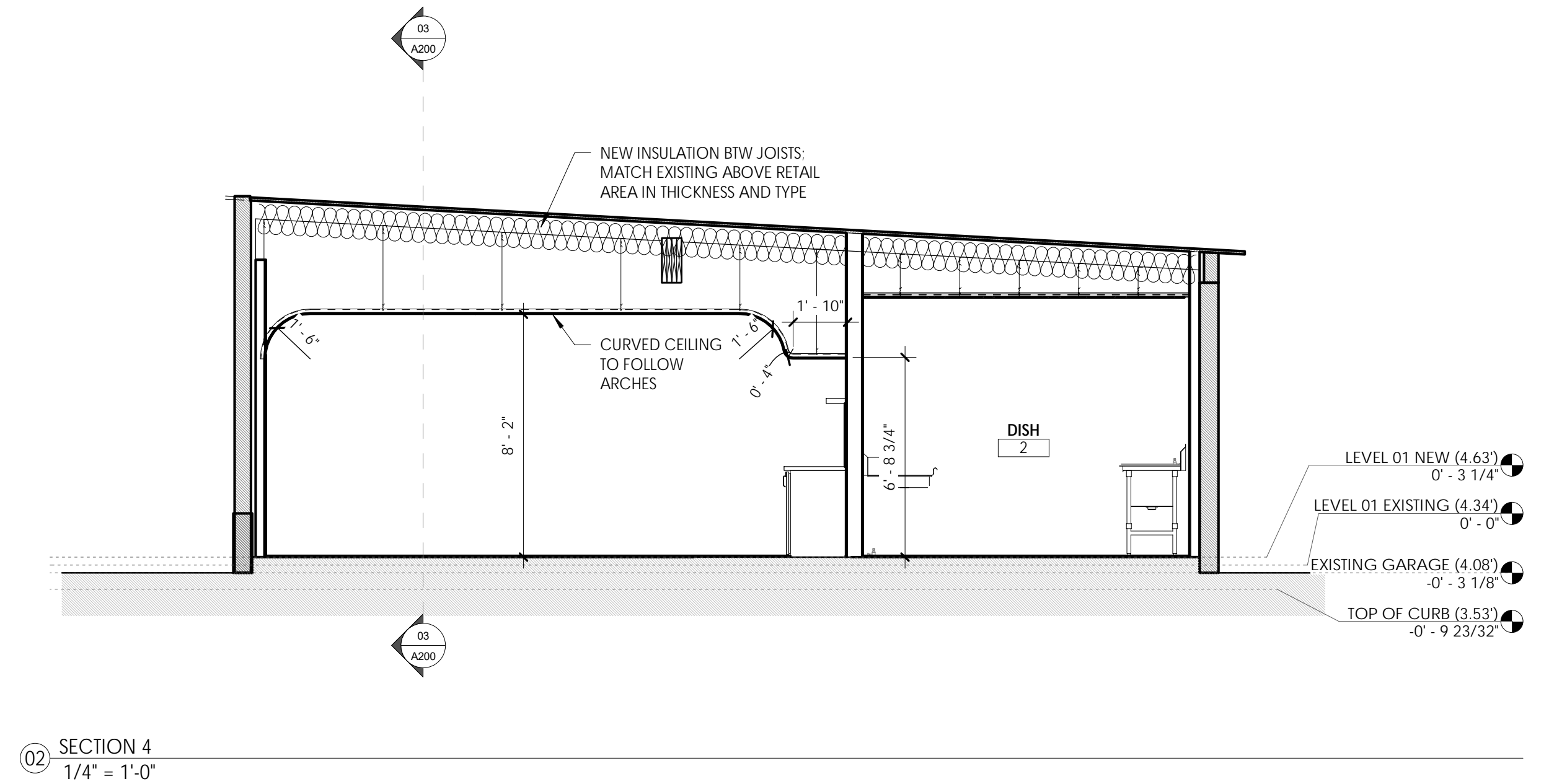
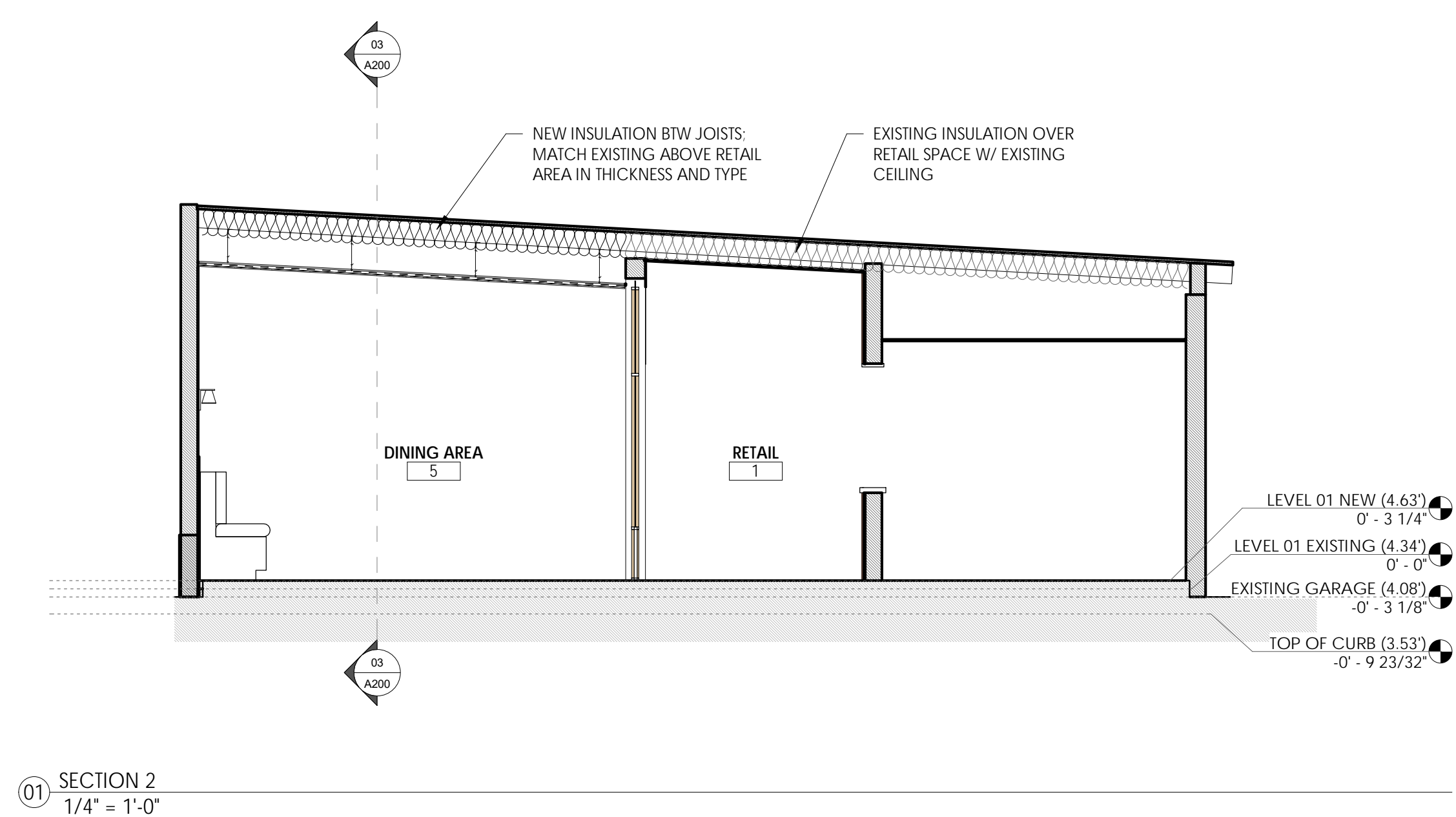
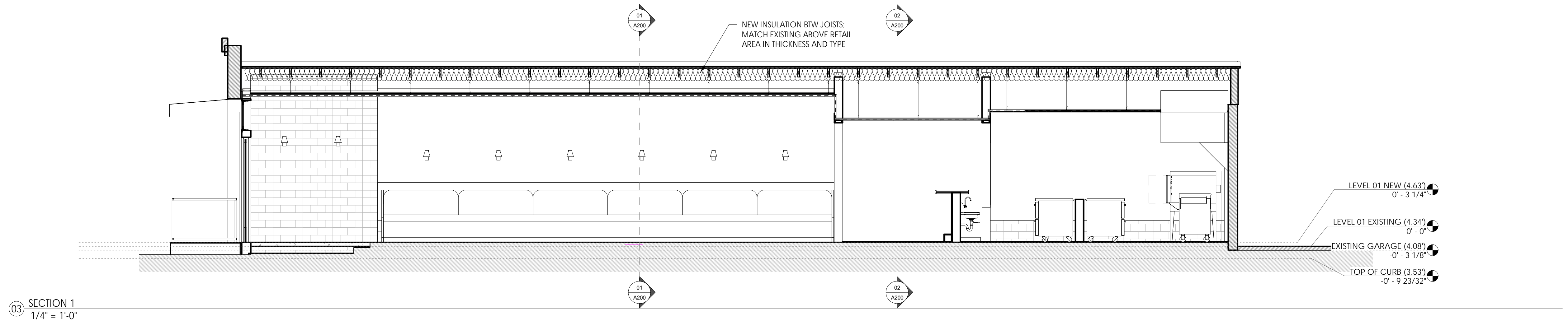
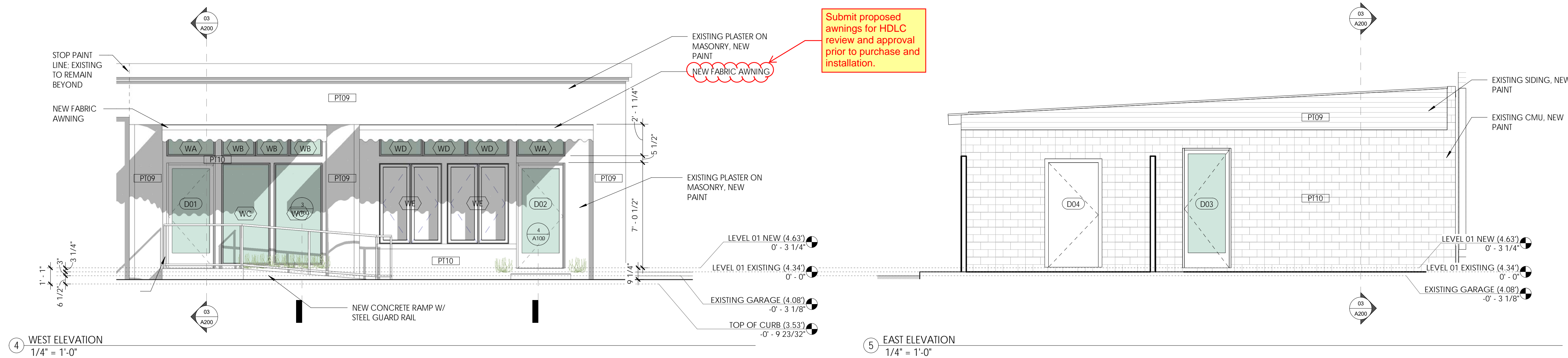
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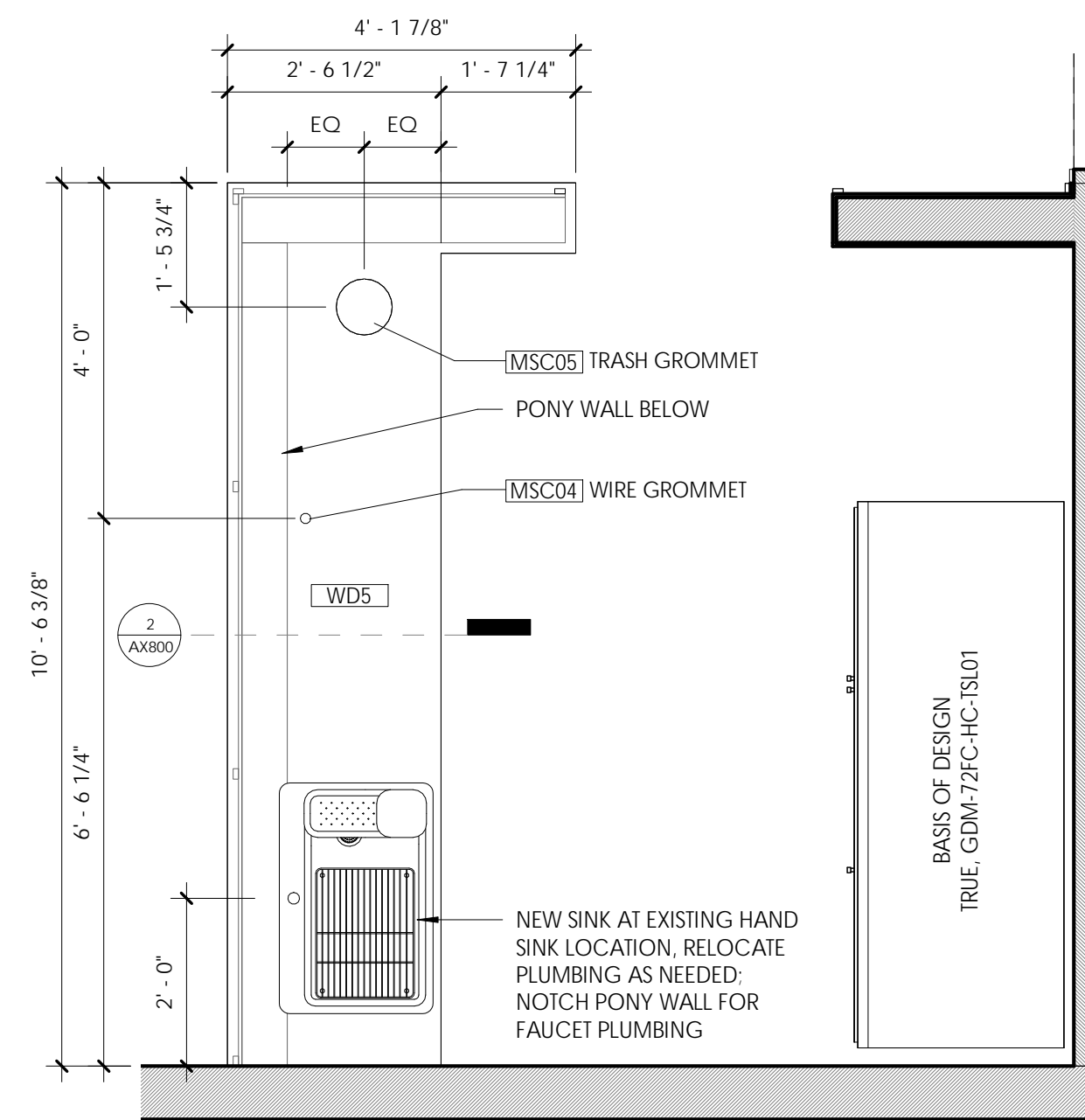
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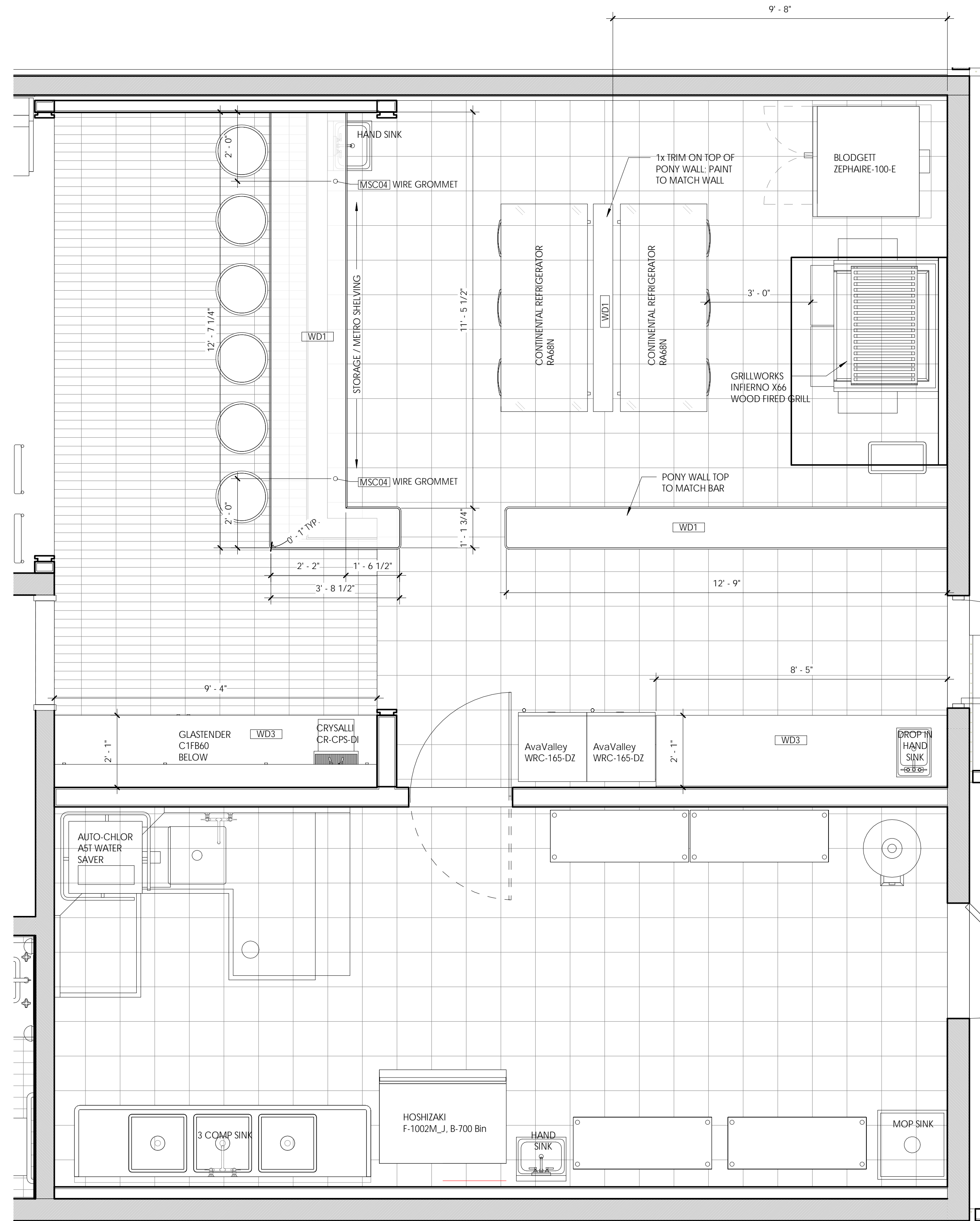
FIRST FLOOR RCP

A151

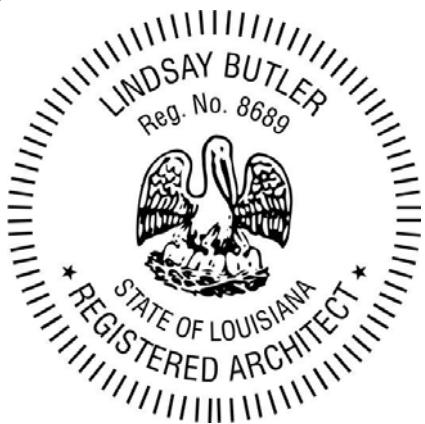




1 RETAIL TRANSACTION COUNTER
1/2" = 1'-0"



2 ENLARGED PLAN - BOH
1/2" = 1'-0"



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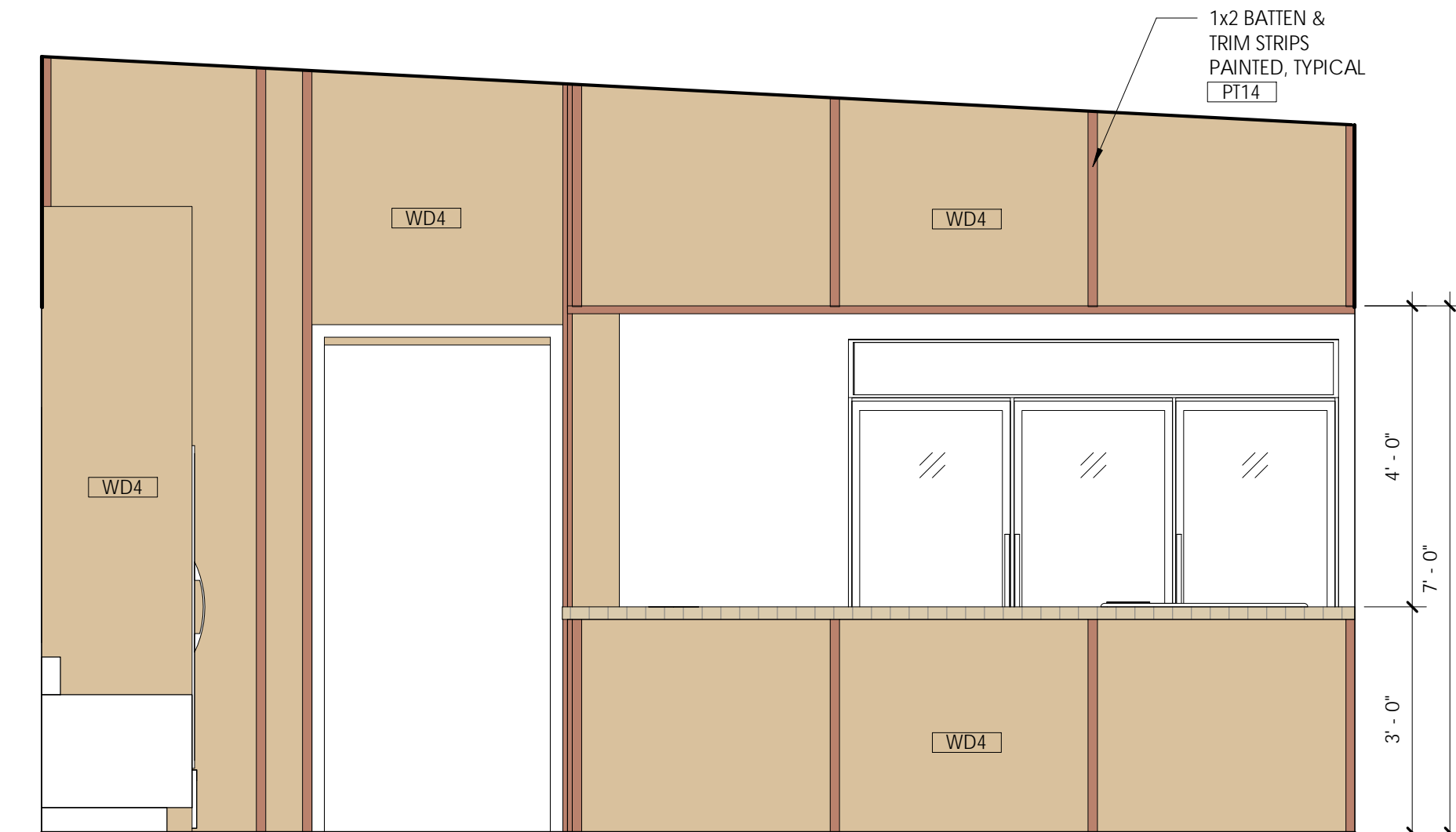
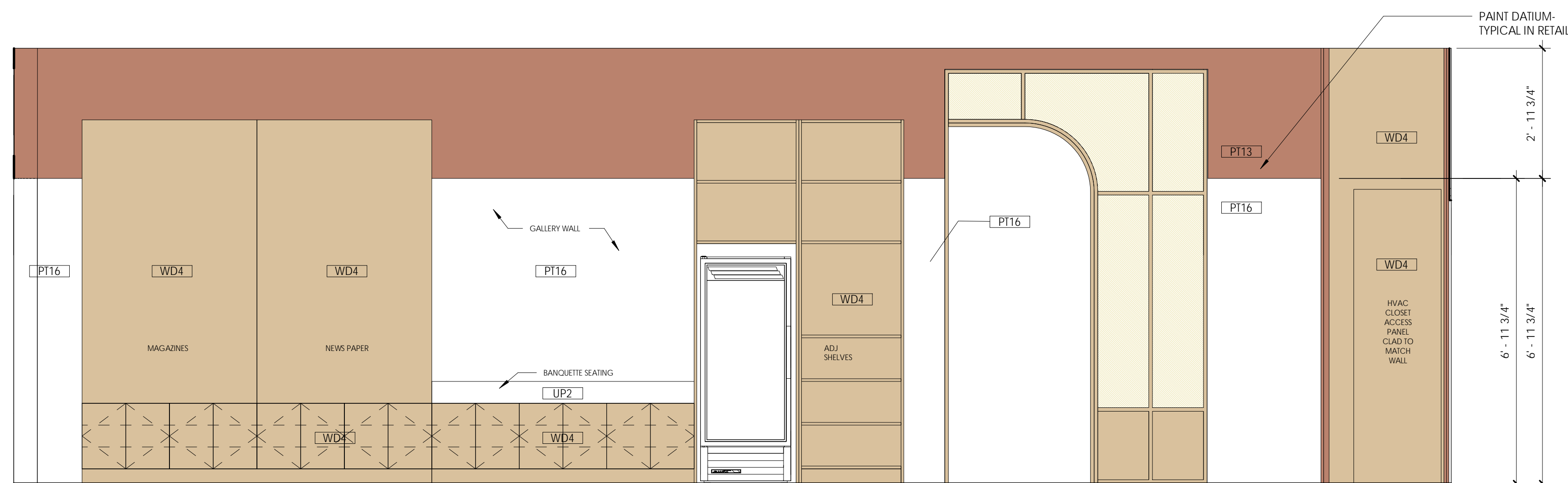
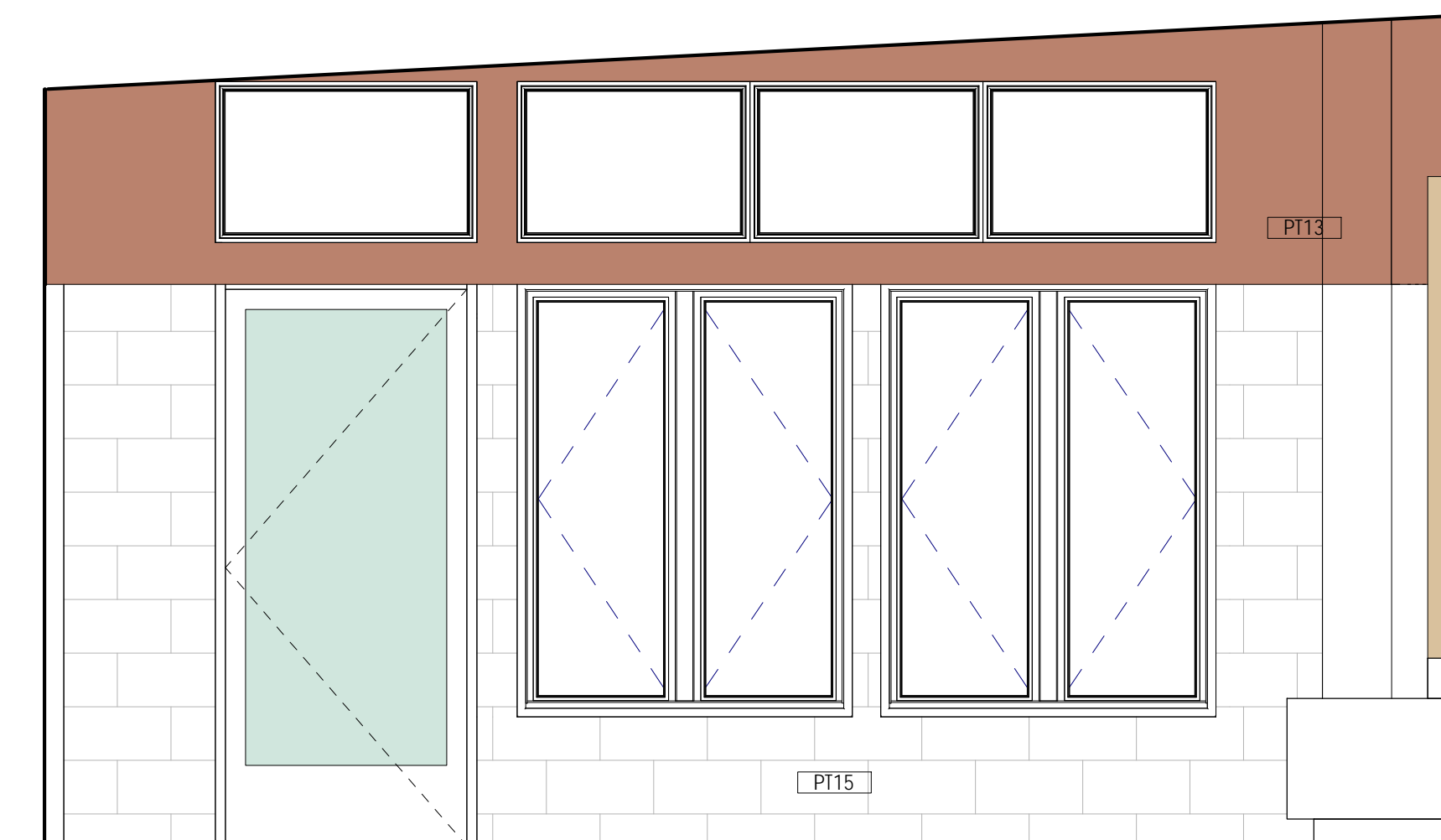
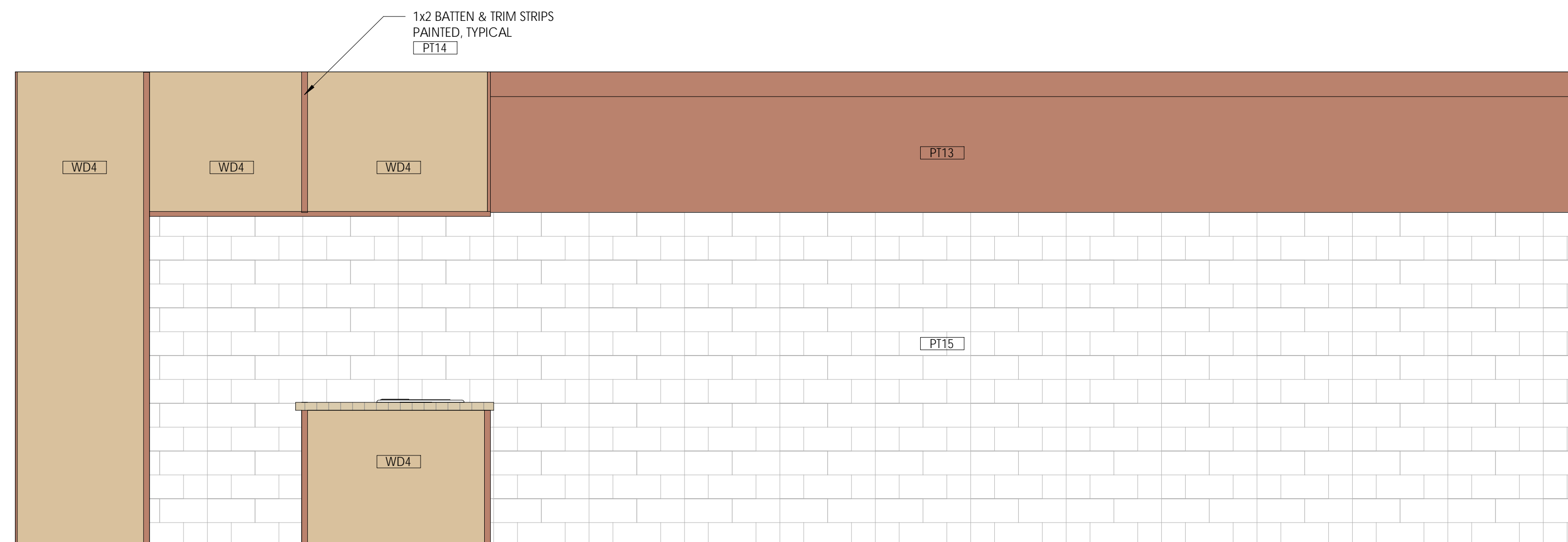
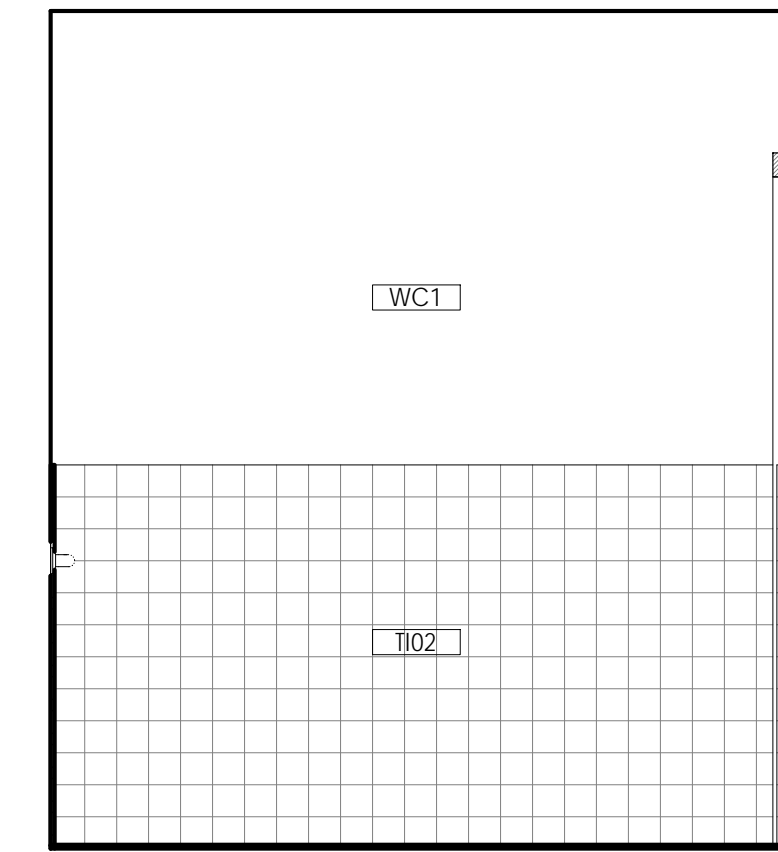
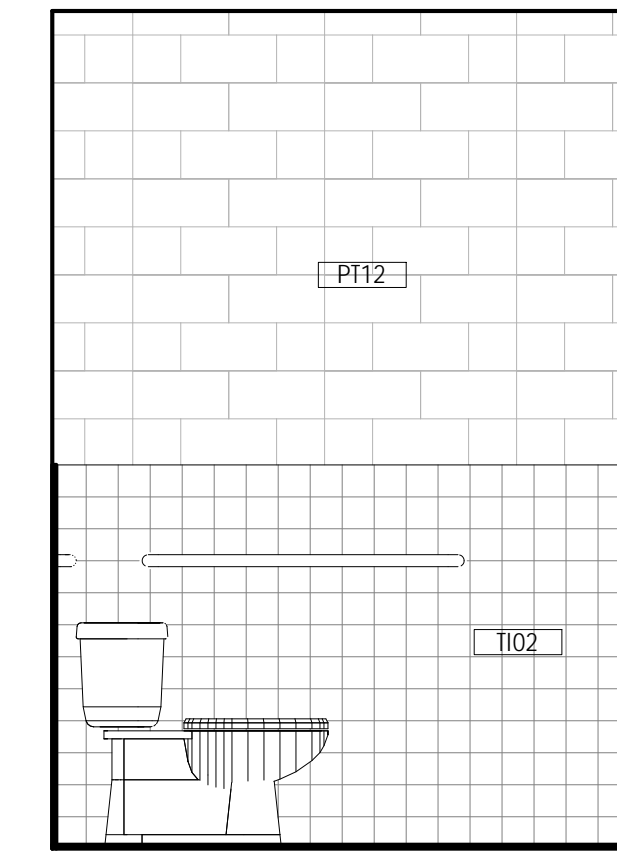
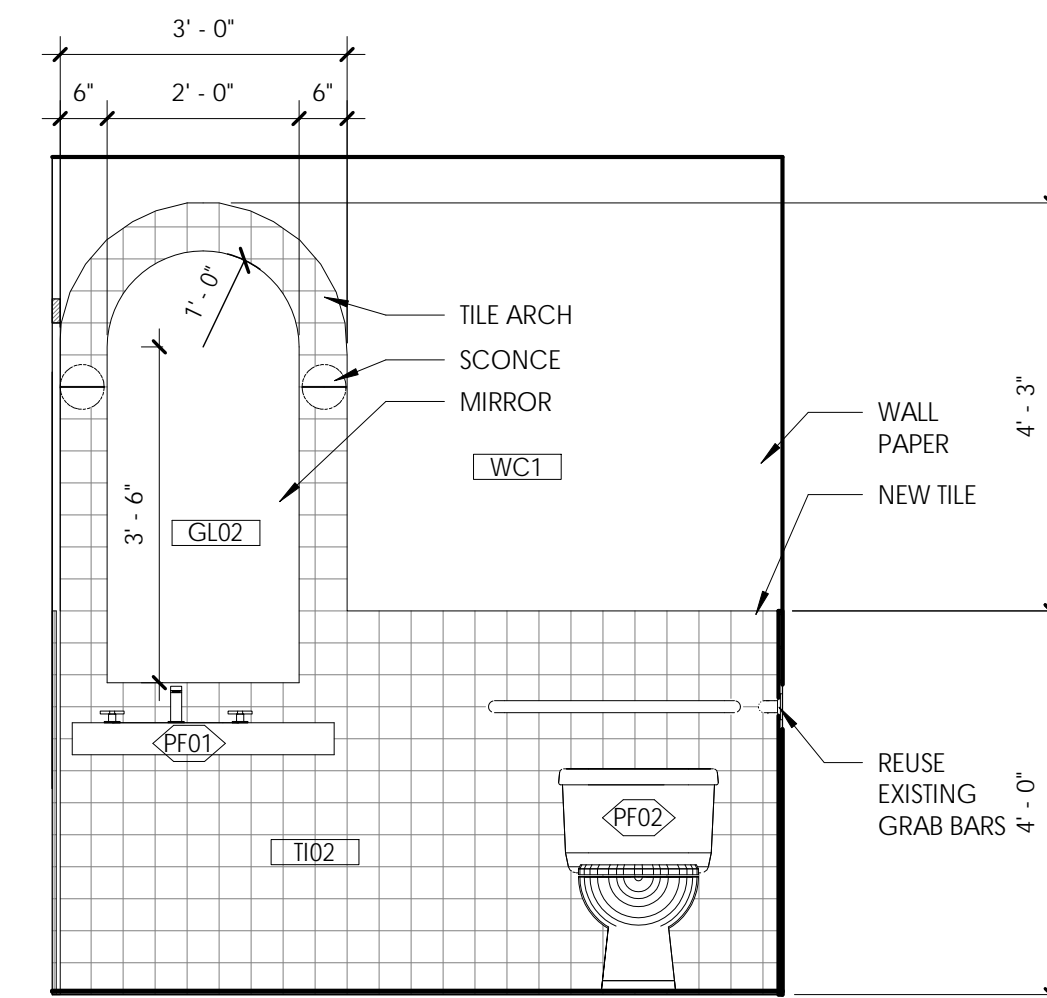
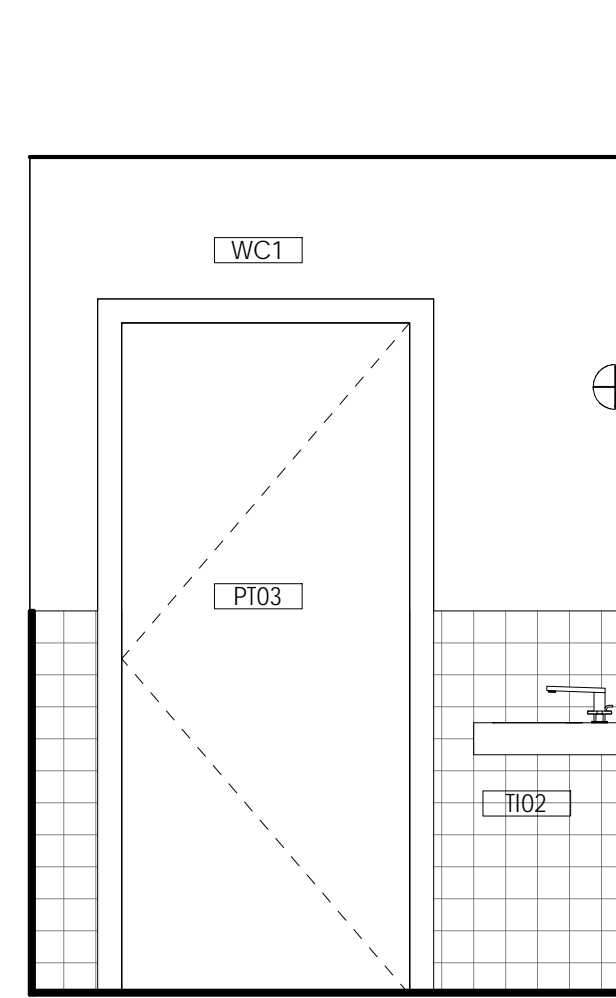
REVISION:

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PLANS

A400

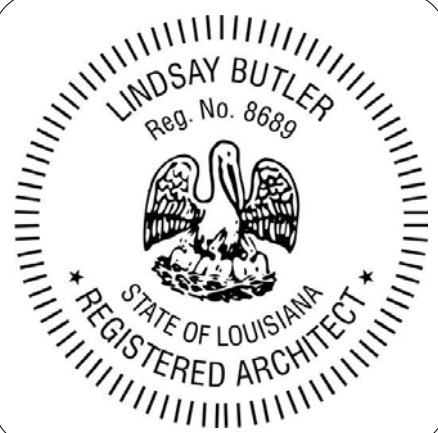
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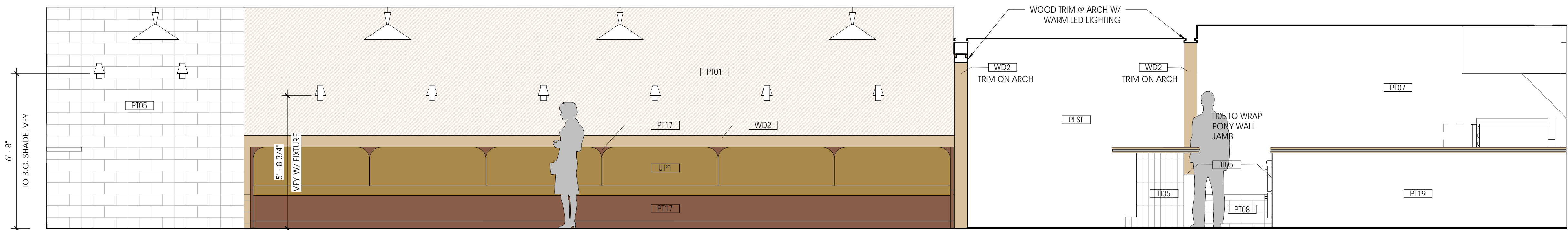
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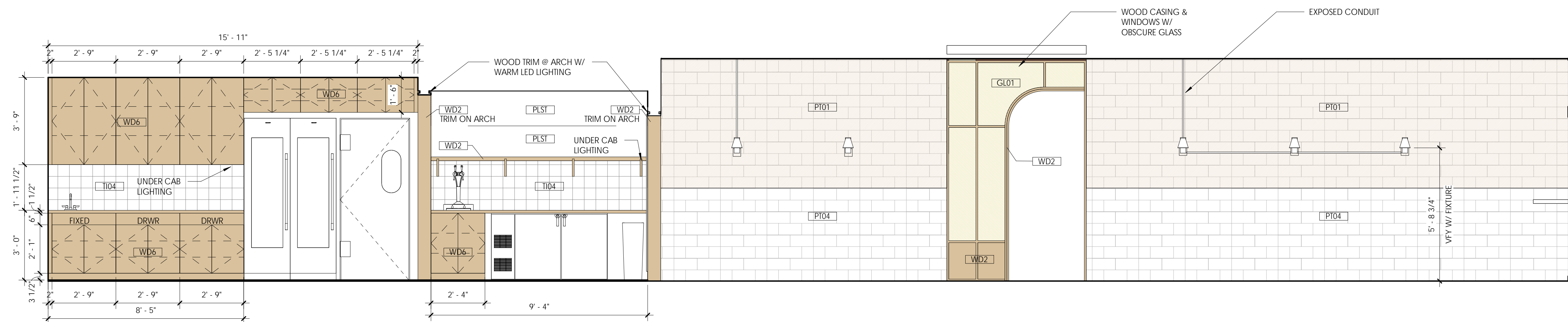
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INTERIOR ELEVATIONS

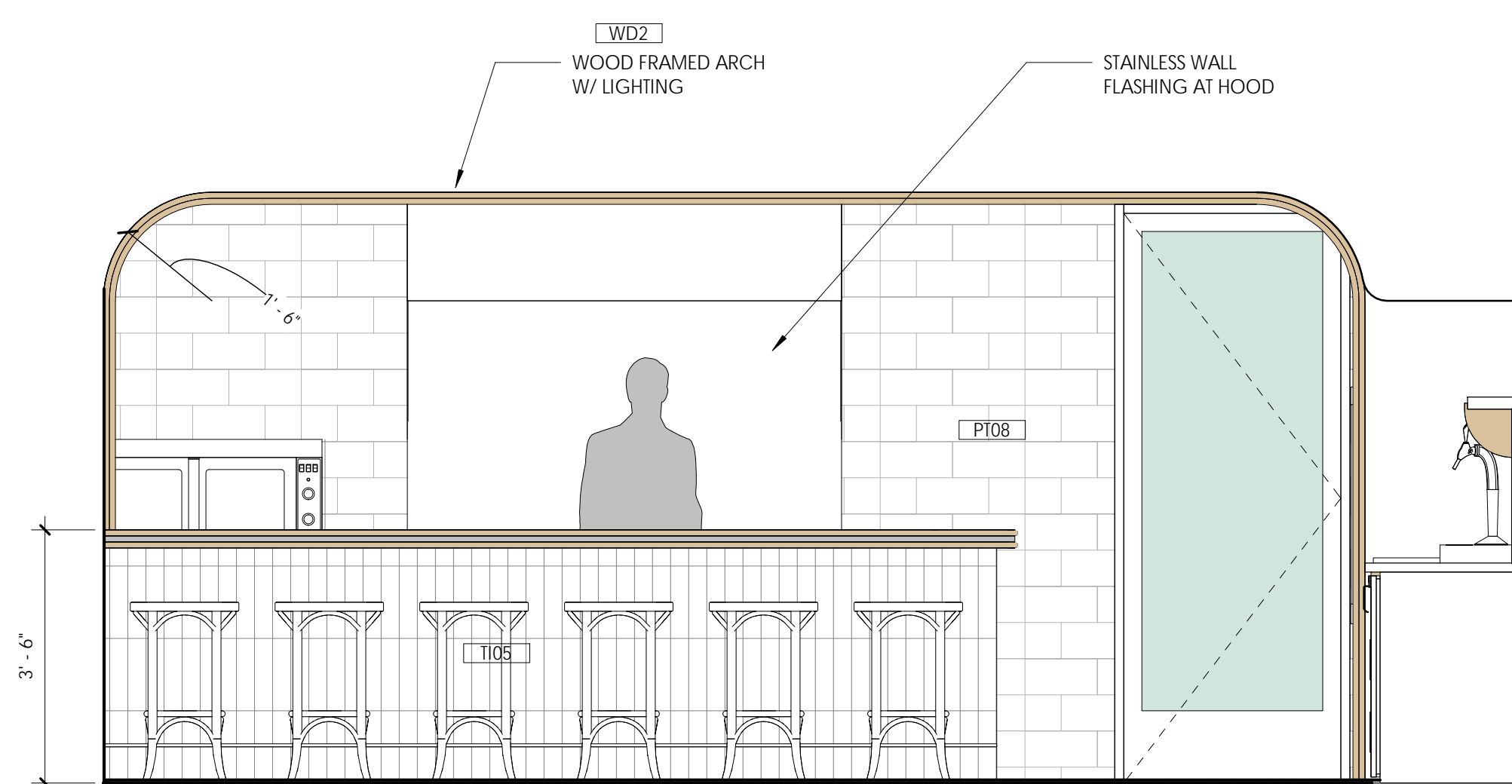
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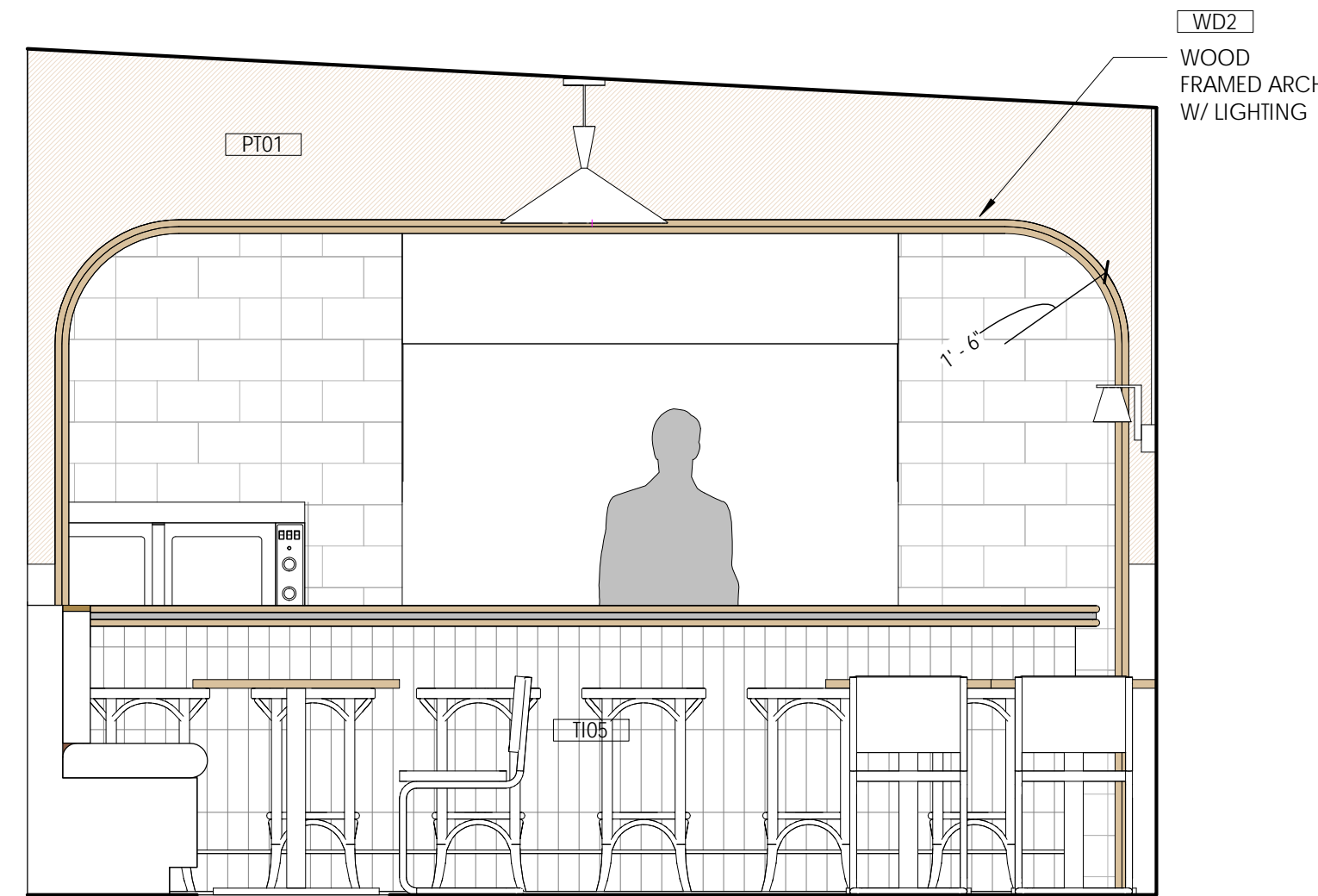
5 DINING A
3/8" = 1'-0"



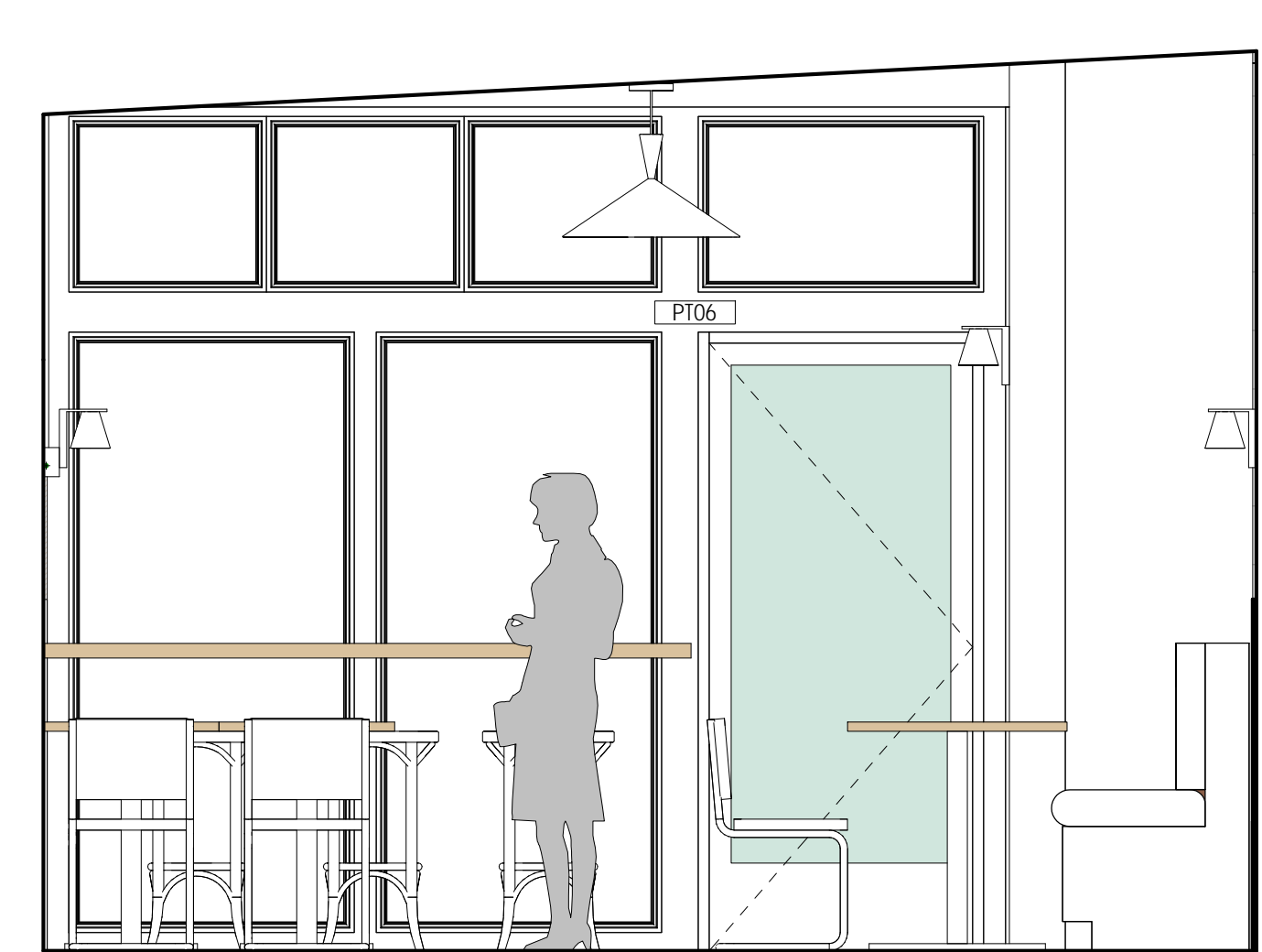
4 DINING C / SERVICE HALL
3/8" = 1'-0"



3 BAR / DINING COUNTER
1/2" = 1'-0"

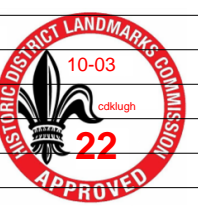


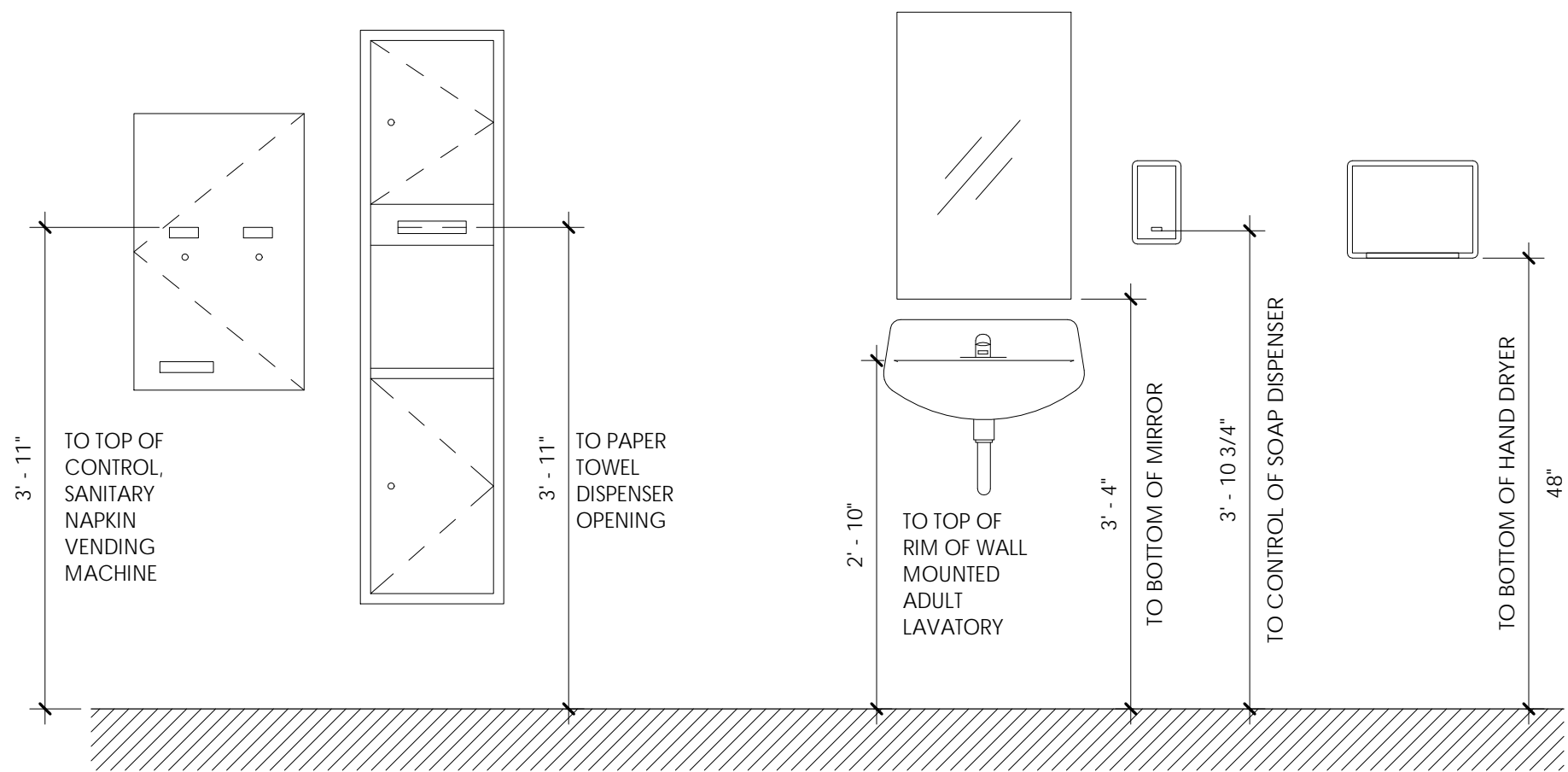
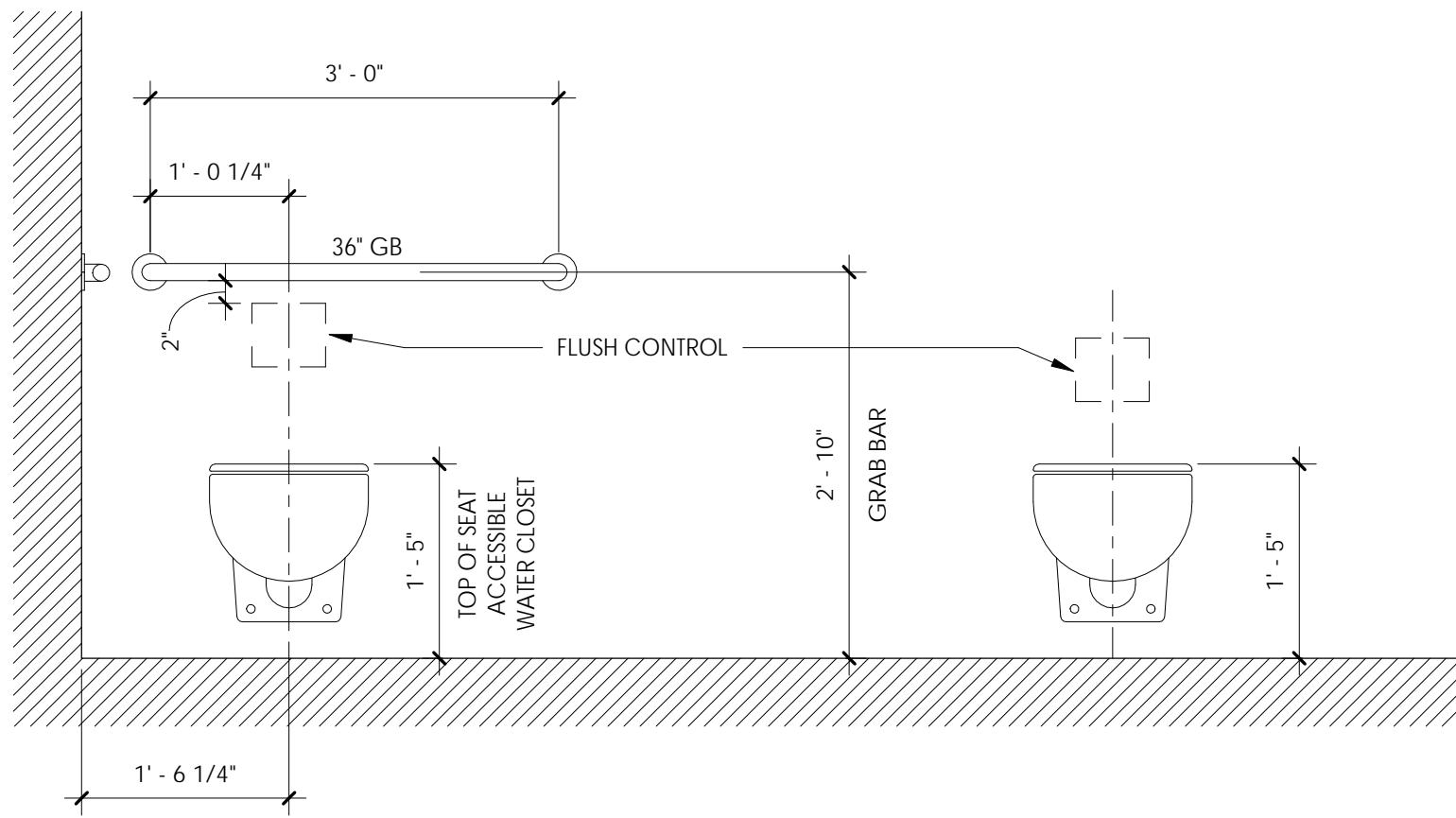
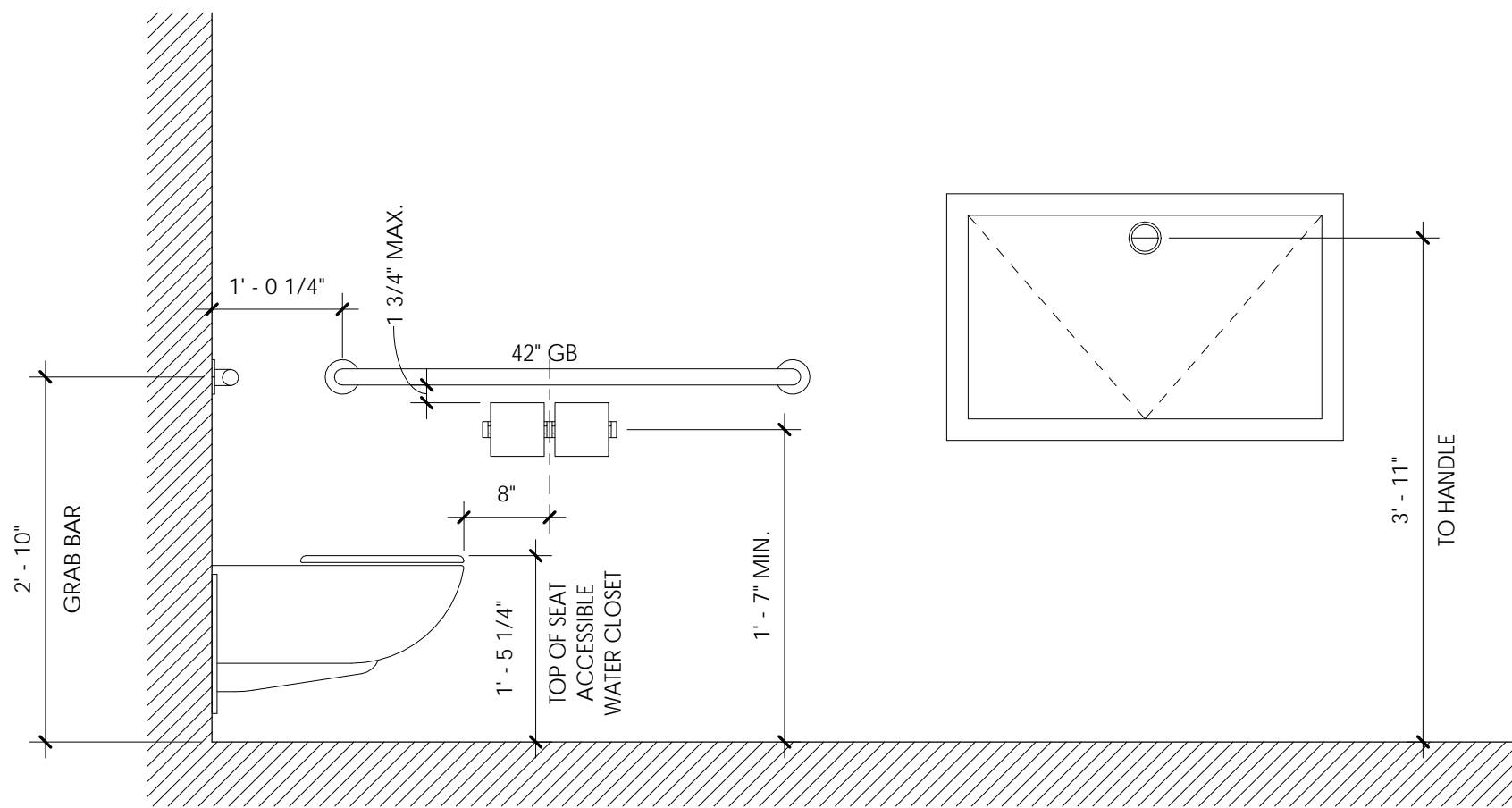
2 DINING B
1/2" = 1'-0"



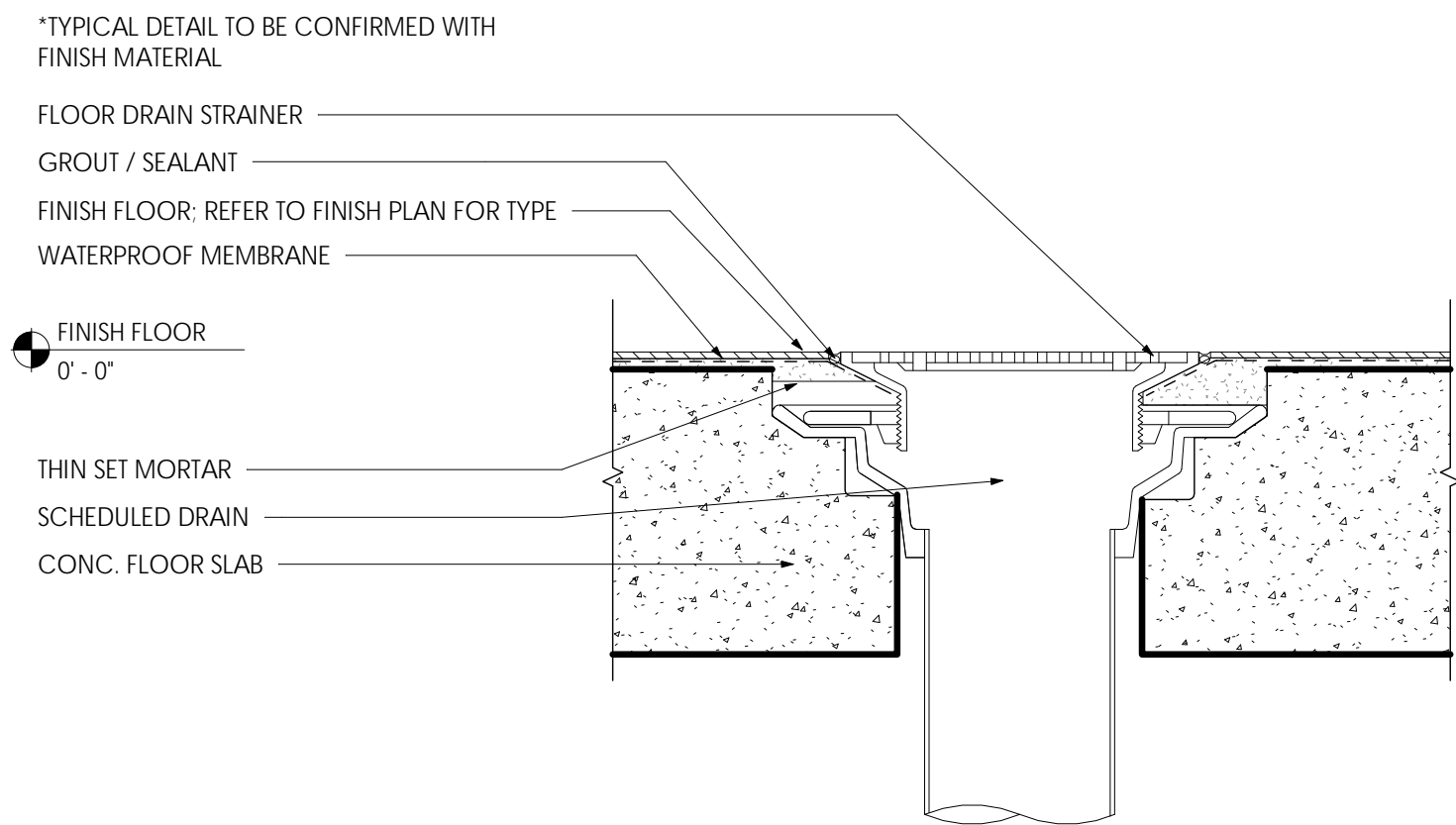
1 DINING D
1/2" = 1'-0"

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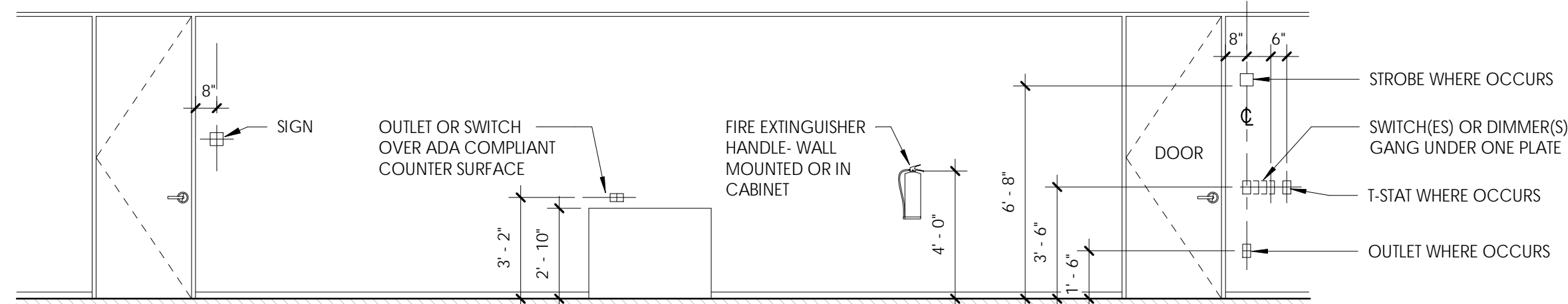




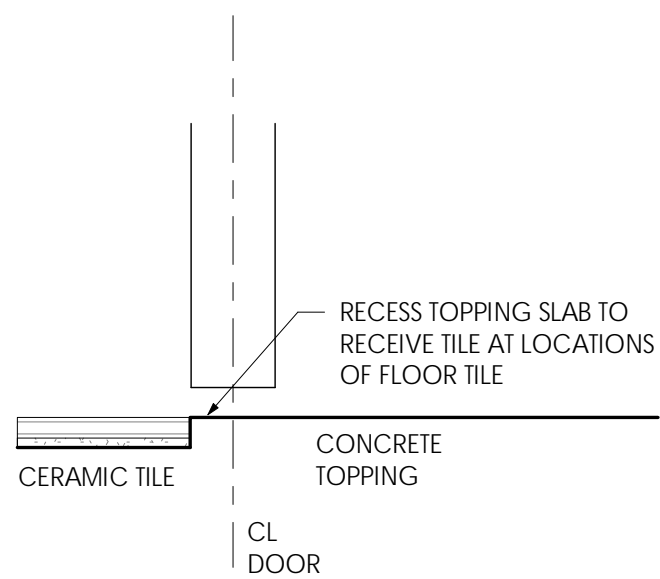
3 RESTROOM TYPICAL MOUNTING HEIGHTS
3/4" = 1'-0"



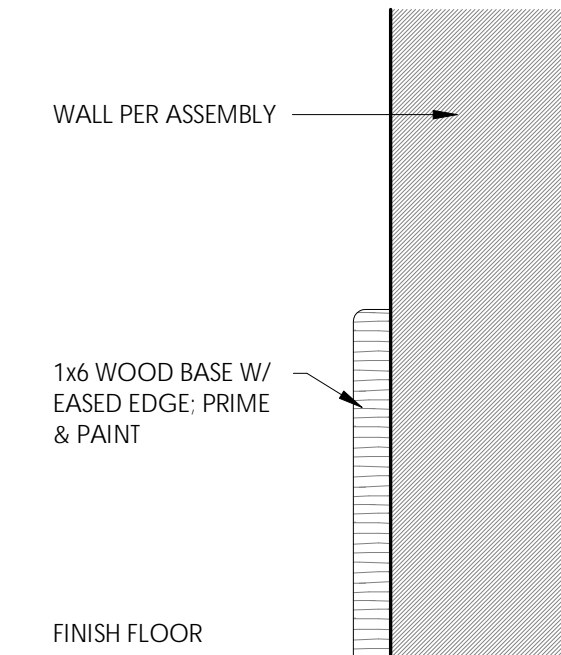
4 TYPICAL FLOOR DRAIN
3" = 1'-0"



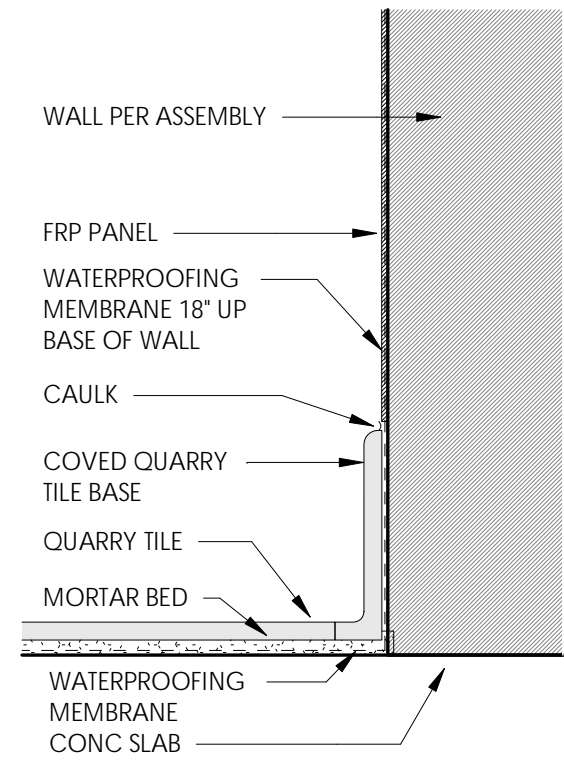
11 TYPICAL MOUNTING LOCATIONS
1/4" = 1'-0"



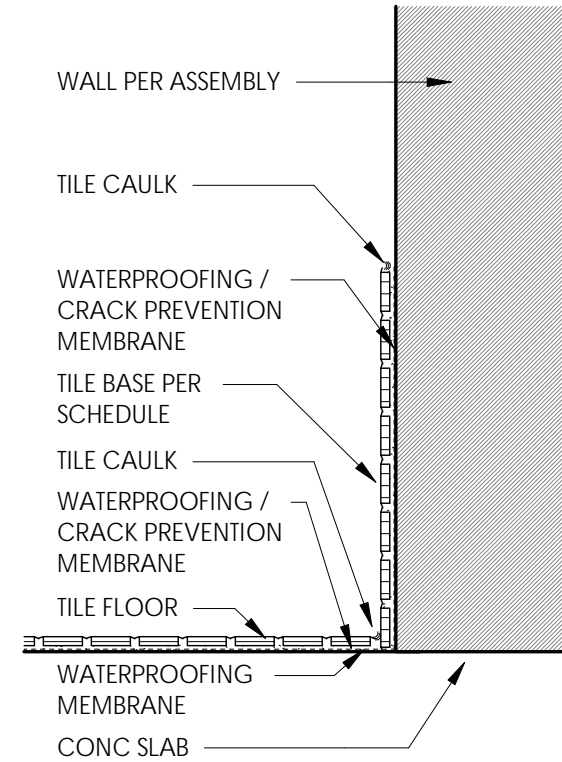
14 FLOOR TRANSITIONS - TILE TO CONCRETE
3" = 1'-0"



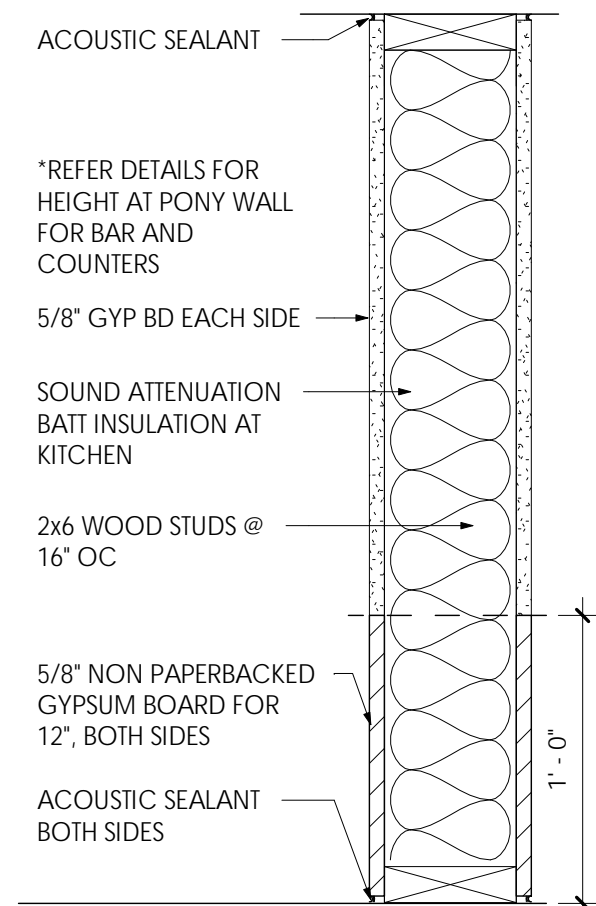
2 BASE DETAIL - WOOD
3" = 1'-0"



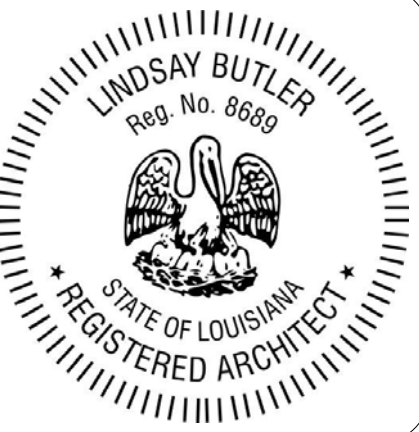
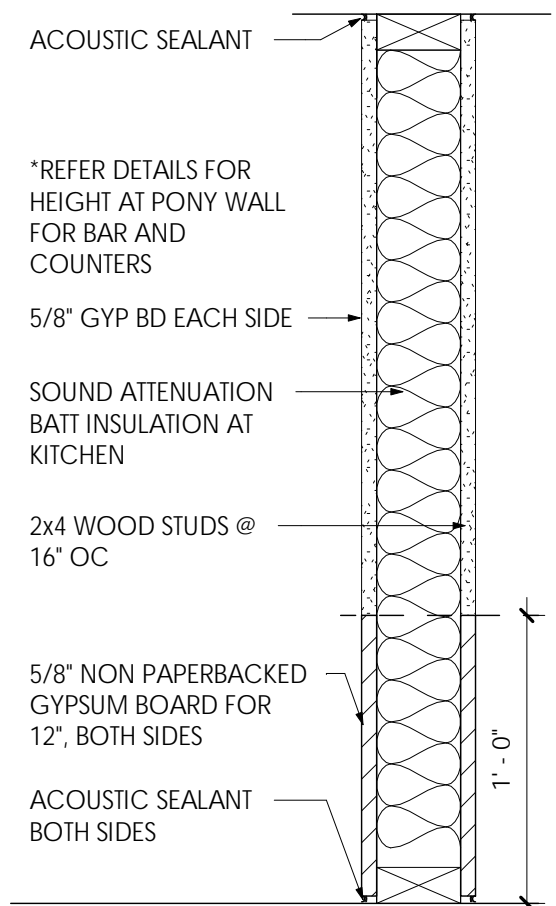
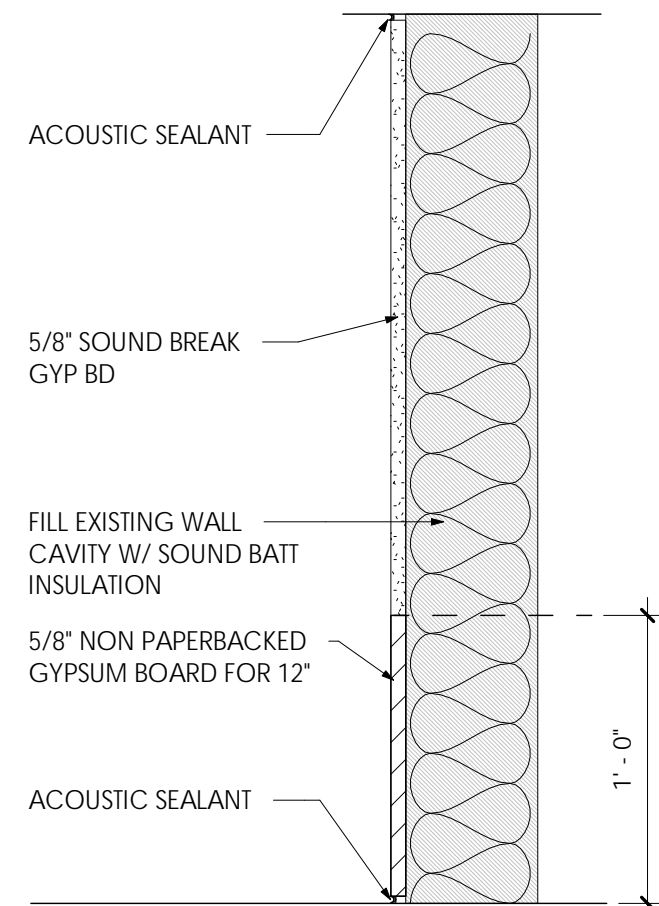
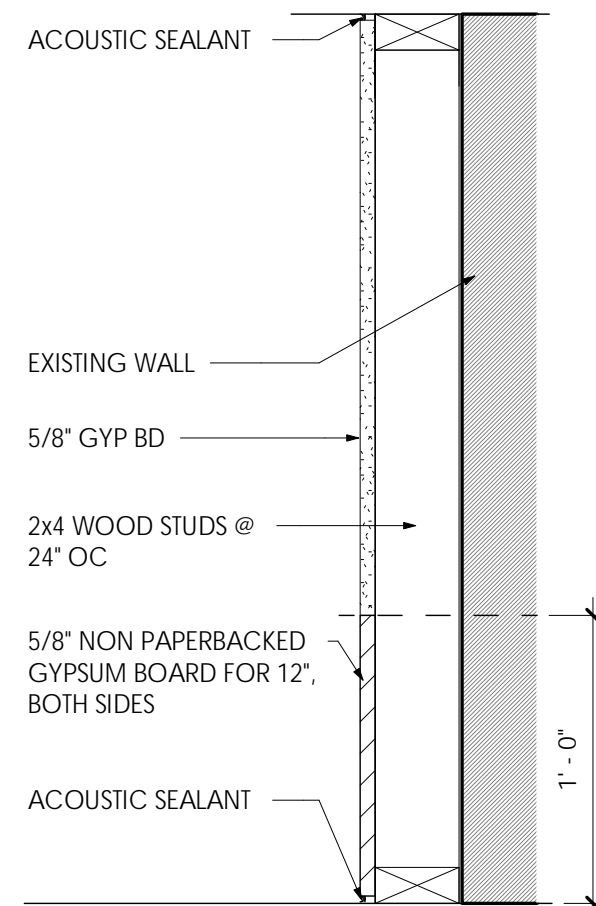
1 BASE DETAIL- COVED QUARRY TILE
3" = 1'-0"



7 BASE- TILE
3" = 1'-0"



5 WALL TYPES
1 1/2" = 1'-0"



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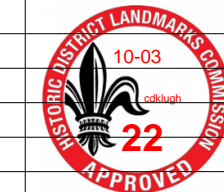
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ASSEMBLIES /
TYPICAL DETAILS

A500

All new exterior doors to be submitted for HDLC review and approval prior to purchase and installation.

| EXTERIOR DOOR SCHEDULE | | | | | | | | |
|------------------------|-----------------|---------|--------------|-------------|----------|------------|------------|----------|
| MARK | STYLE | WIDTH | HEIGHT | FIRE RATING | HARDWARE | MATERIAL | FINISH | COMMENTS |
| D01 | SNGL STOREFRONT | 3' - 0" | 6' - 11" | -- | HW01 | GLASS/ALUM | | EXTERIOR |
| D02 | SNGL STOREFRONT | 3' - 0" | 6' - 11" | -- | HW01 | GLASS/ALUM | | EXTERIOR |
| D03 | SNGL STOREFRONT | 3' - 0" | 7' - 10 1/2" | -- | HW01 | GLASS/ALUM | | EXTERIOR |
| D04 | FLUSH | 3' - 4" | 7' - 0" | -- | HW02 | MTL | PAINT, TBD | EXTERIOR |

| INTERIOR OPENING SCHEDULE | | | | | | | | |
|---------------------------|---------------|---------|---------|-------|----------|----------|------------------------|----------|
| MARK | STYLE | HEIGHT | WIDTH | MANF. | HARDWARE | MATERIAL | NOTES | Comments |
| AC1 | ACCESS PANEL | 6' - 0" | 2' - 2" | | | MTL | FLUSH RECESSED PLYWOOD | |
| D05 | TRAFFIC DOOR | 7' - 0" | 3' - 0" | | FROM MFG | PLAM | VISION LITE | |
| O.1 | CASED OPENING | 6' - 7" | 3' - 0" | | | MTL | | |
| O.2 | CASED OPENING | 6' - 7" | 3' - 0" | | | MTL | | |

DOOR D.06 IS EXISTING TO REMAIN. MODIFY AS REQUIRED W/ NEW TOPPING SLAB.
OPENING O.2 HAS EXISTING OPENING, HOWEVER HEAD HEIGHT WILL LIKELY NEED TO BE MODIFIED WITH NEW TOPPING SLAB.

All new windows to be submitted for HDLC review and approval prior to purchase and installation.

| WINDOWS SCHEDULE | | | | | | | | | |
|------------------|------|----------|--------------|-------------|-----------------------|-----------------------|------------------------|---|-------|
| TYPE | MARK | HEIGHT | WIDTH | Sill Height | Exterior Frame Finish | Interior Frame Finish | MANF. | STYLE | NOTES |
| WA | 101 | 2' - 0" | 3' - 3" | 7' - 6" | | | SIERRA PACIFIC WINDOWS | Clad Feel Safe Direct Set | |
| WB | 102 | 2' - 0" | 2' - 3" | 7' - 6" | | | SIERRA PACIFIC WINDOWS | Clad Feel Safe Direct Set | |
| WB | 103 | 2' - 0" | 2' - 3" | 7' - 6" | | | SIERRA PACIFIC WINDOWS | Clad Feel Safe Direct Set | |
| WB | 104 | 2' - 0" | 2' - 3" | 7' - 6" | | | SIERRA PACIFIC WINDOWS | Clad Feel Safe Direct Set | |
| WC | 105 | 6' - 10" | 3' - 3" | 0' - 2 1/2" | | | SIERRA PACIFIC WINDOWS | Clad Feel Safe Direct Set | |
| WC | 106 | 6' - 10" | 3' - 3" | 0' - 2 1/2" | | | SIERRA PACIFIC WINDOWS | Clad Feel Safe Direct Set | |
| WD | 107 | 2' - 0" | 2' - 10 3/4" | 7' - 6" | | | SIERRA PACIFIC WINDOWS | Clad Feel Safe Direct Set | |
| WD | 108 | 2' - 0" | 2' - 10 3/4" | 7' - 6" | | | SIERRA PACIFIC WINDOWS | Clad Feel Safe Direct Set | |
| WD | 109 | 2' - 0" | 2' - 10 3/4" | 7' - 6" | | | SIERRA PACIFIC WINDOWS | Clad Feel Safe Direct Set | |
| WA | 110 | 2' - 0" | 3' - 3" | 7' - 6" | | | SIERRA PACIFIC WINDOWS | Clad Feel Safe Direct Set | |
| WE | 111 | 5' - 5" | 4' - 2" | 1' - 7 1/4" | | | SIERRA PACIFIC WINDOWS | Clad Feel Safe French Push-Out Casement | |
| WE | 112 | 5' - 5" | 4' - 2" | 1' - 7 1/4" | | | SIERRA PACIFIC WINDOWS | Clad Feel Safe French Push-Out Casement | |

DOOR HARDWARE

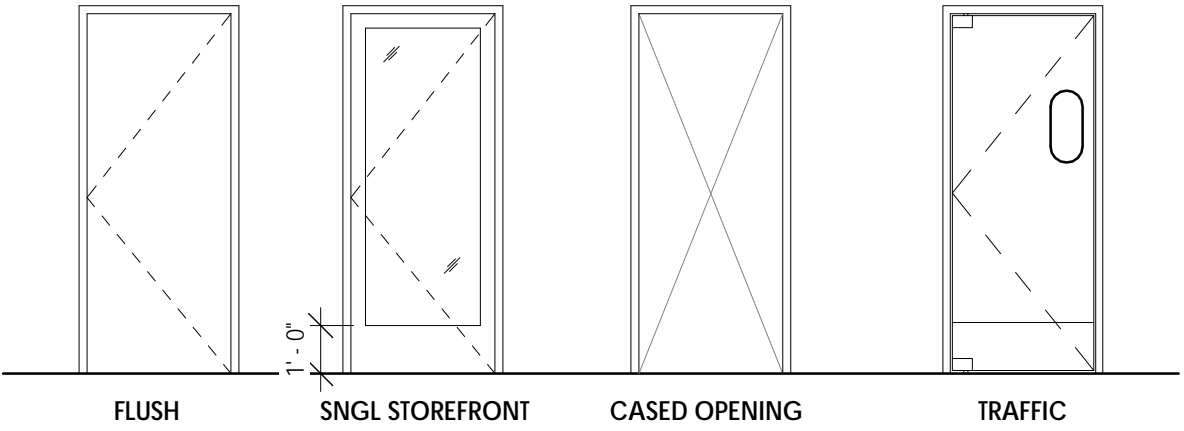
HW01- STOREFRONT ENTRANCE

| QTY | ITEM | NUMBER | FINISH | MANUFACTURER |
|-----|------------------------------|-----------|------------------------------|--------------|
| 1 | PULL | RM4160 | TBD | Rockwood |
| 1 | PUSH | RM4160 | TBD | Rockwood |
| 1 | Keyed Deadlatch w/ Thumbturn | | MATCH DOOR BY STOREFRONT MFG | |
| 1 | Closer | 4031T-H | TBD | LCN |
| 1 | Threshold | 566-V3-NH | ALUM | Zero |

HW02- SERVICE ENTRANCE

*TEMPLATE DOOR FOR 180DEG SWING

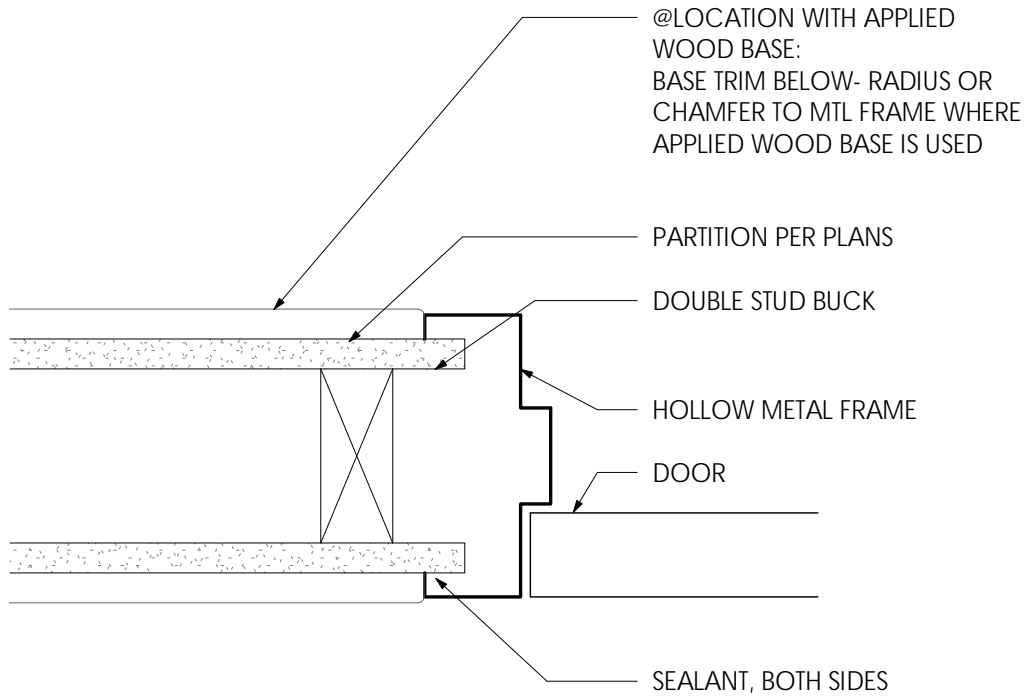
| QTY | ITEM | NUMBER | FINISH | MANUFACTURER |
|-----|--------------------|--------------|--------|--------------|
| 2 | Spring Hinge | 1552 4.5x4.5 | 630 | McKinney |
| 1 | Butt Hinge | 1A386-030 | 630 | McKinney |
| 1 | Entrance Lockset | CR CN 8809 | 630 | Yale |
| 1 | Gasketing | 29310DV | grey | Pemko |
| 1 | Threshold | 566-V3-NH | ALUM | Zero |
| 1 | Door Holder / Stop | 490 | 630 | Rockwood |



① DOOR STYLES
1/4" = 1'-0"

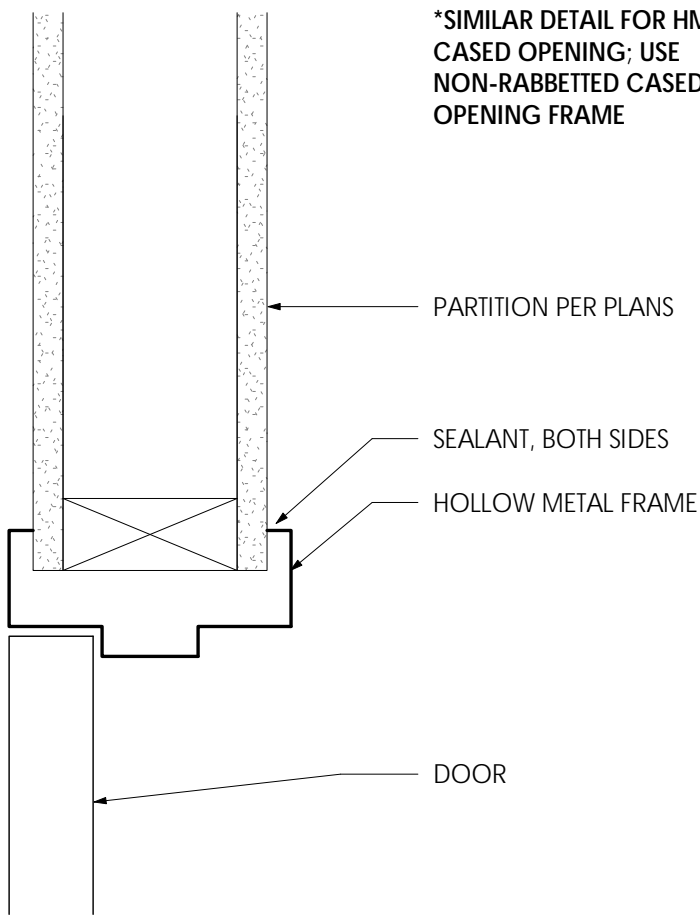
*SIMILAR DETAIL FOR HM CASED OPENING; USE NON-RABBETTED CASED OPENING FRAME

ALL WINDOWS TO GYPSUM RETURN AT JAMB, HEAD, AND SILL; NO TRIM.

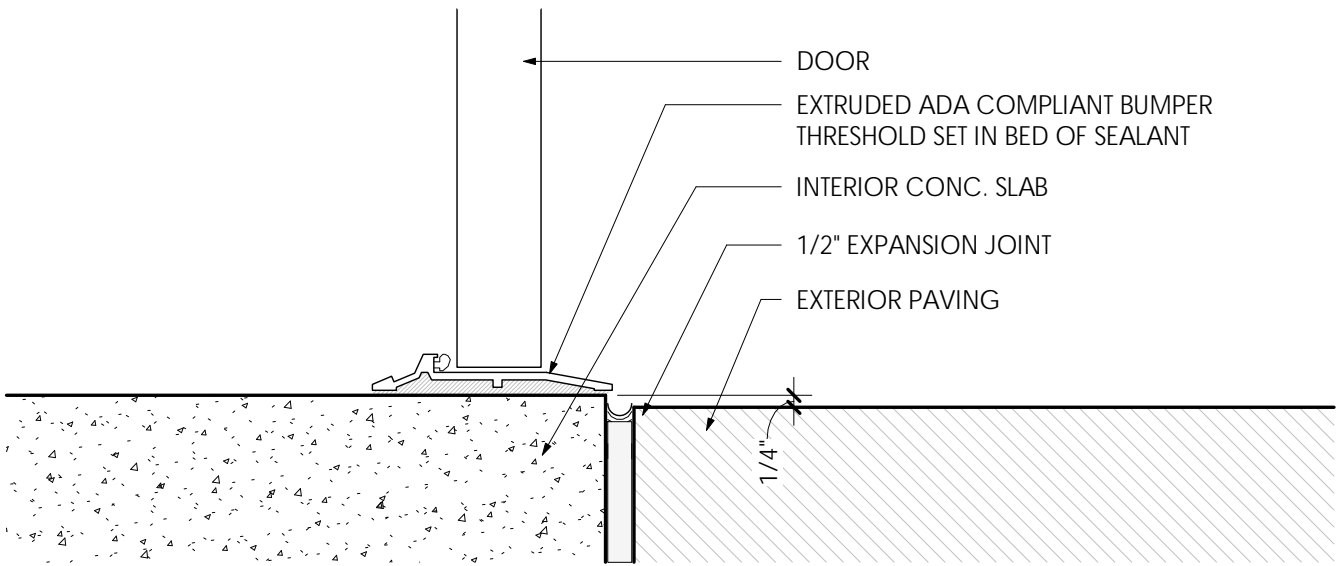


⑧ HM JAMB TYP @ WOOD STUD
3" = 1'-0"

*SIMILAR DETAIL FOR HM CASED OPENING; USE NON-RABBETTED CASED OPENING FRAME



⑦ HM HEAD TYP @ WOOD STUD
3" = 1'-0"



② DOOR THRESHOLD
3" = 1'-0"

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OPENING
SCHEDULE / DW
DETAILS

A600

| ROOM FINISH SCHEDULE | | | | | | | | | | | |
|----------------------|--------------|-------------|--------------------|------|------------|------|-----------|------|------------|------|-----------------------|
| NO. | NAME | FLOOR | NORTH | | SOUTH | | EAST | | WEST | | CEILING |
| | | | WALL | BASE | WALL | BASE | WALL | BASE | WALL | BASE | |
| 1 | RETAIL | PCONC | PT16/ PT13 | WOOD | PT16/ PT15 | NA | PT16/PT13 | WOOD | PT16/ PT15 | NA | GYPSUM, PT02, PLST |
| 2 | DISH | TI03 | FRP2 | TI03 | FRP2 | TI03 | FRP2 | TI03 | FRP2 | TI03 | LAY-IN VINYL, WHITE |
| 3 | RESTROOM | TI01 | TI02/ WC1 | TI02 | TI02/ PT12 | TI02 | TI02/ WC1 | TI02 | TI02/ WC1 | TI02 | LAY-IN ACRYLIC MIRROR |
| 4 | HALL | PCONC | PT18 | WOOD | PT18 | WOOD | PT18 | WOOD | PT18 | WOOD | LAY-IN ACRYLIC MIRROR |
| 5 | DINING AREA | PCONC | PT05/PT01/ PLST | WOOD | PT01/ PT04 | WOOD | PT01 | WOOD | PT06 | WOOD | GYPSUM, PT13 |
| 6 | KITCHEN | TI03 | PT07/ PT08 | TI03 | FRP1 | TI03 | PT08 | TI03 | FRP1 | TI03 | LAY-IN VINYL, BLACK |
| 7 | SERVICE HALL | TI03 / TI05 | PT18 | WOOD | TI04/ PLST | NA | PT08 | NONE | PT01 | WOOD | LAY-IN VINYL, BLACK |
| 8 | HVAC | PCONC | PT01 | WOOD | PT01 | WOOD | PT01 | WOOD | PT01 | WOOD | NA |

FINISH SCHEDULE NOTES:

- REFER TO RCP AND CEILING ASSEMBLIES FOR EXACT CEILING FINISH
- FOR AREAS WITH MULTIPLE FINISHES OR PAINTS, REFER TO INTERIOR ELEVATIONS AND DETAILS

BASE TRIM NOTES:

- *WOOD INDICATES APPLIED 1x TRIM; PAINTED WITH TRIM ENAMEL TO MATCH WALL AT LOCATIONS OF GYPSUM WALLS MEETING THE FLOOR. NO WOOD TRIM AT LOCATIONS OF CMU / MASONRY WALLS MEETING THE FLOOR

FINISHES

*REFER RCP FOR CEILING FINISHES; ALL LAY IN CEILING FINISHES NOTED BY ASSEMBLY TYPE. PAINT FINISHES TAGGED ON RCP

CONCRETE

PCONC POLISHED CONCRETE- PUBLIC FACING AREAS

FRP

FRP1 FRP- PONY WALLS- COLOR TBD
FRP2 FRP- DISH AREA- COLOR TBD

TILE

TI01 RR FLOOR TILE
TI02 RR WALL TILE
TI03 QUARRY TILE
TI04 SERVER STATION WALL TILE
TI05 DINING COUNTER TILE

PAINT

PT01 PAINT- RESTAURANT UPPER WALL- LOW SHEEN
PT02 PAINT - CLG TO MATCH PT01 - FLAT
PT03 PAINT - RR TRIM - SEMI GLOSS
PT04 PAINT - RESTAURANT LOWER WALL - LOW SHEEN
PT05 PAINT - RESTAURANT- CMU/CONC ENTRY WALL
PT06 PAINT - RESTAURANT- GYP ENTRY WALL
PT07 PAINT- KITCHEN GYPSUM WALL- EPOXY
PT08 PAINT- KITCHEN CMU WALL- EPOXY
PT09 PAINT - EXTERIOR LIGHT - LOW SHEEN
PT10 PAINT - EXTERIOR DARK- LOW SHEEN
PT11 PAINT - BACK OF HOUSE HM DOORS - SEMI GLOSS
PT12 PAINT- RR ACCENT COLOR FLAT
PT13 PAINT- RETAIL UPPER WALL & CLG- FLAT
PT14 PAINT- RETAIL TRIM- LOW SHEEN
PT15 PAINT- RETAIL CMU / CONCRETE STRUCTURE- LOW SHEEN
PT16 PAINT- RETAIL LOWER GYP WALL- LOW SHEEN
PT17 PAINT- RESTAURANT BANQUETTE ACCENT
PT18 PAINT- HALL 4
PT19 PAINT- SERVICE HALL PONY WALL

WALL COVERING

PLST PLASTER WALL COATING
WC1 WALLCOVERING- RR

ACRYLIC

ACR1 ACRYLIC MIRROR- SILVER

WOOD

WD1 WOOD- COUNTER
WD2 TRIM TO MATCH DINING COUNTER
WD3 BUTCHER BLOCK
WD4 PLYWOOD - FLOWER SHOP
WD5 BUTCHER BLOCK FLOWER SHOP
WD6 CABINETS- TO MATCH DINING COUNTER

MISCELLANEOUS TRIM

CG CORNER GUARD AT GYP WALL

UPHOLSTERY

UP1 RESTAURANT BANQUETTE FABRIC
UP2 RETAIL BANQUETTE FABRIC
UP3 FLOWER SHOP BANQUETTE FABRIC

ELECTRICAL- SPECIALTY

EL01 DECORATIVE OUTLET- DINING COUNTER

PLUMBING FIXTURES

PF01 ADA RR SINK & FAUCET
PF02 TOILET
PF03 RETAIL SINK

TOILET ACCESSORIES

AO1 TOWEL HOLDER
AO2 SOAP HOLDER
AO3 TOILET ROLL HOLDER
AO4 ADA VINYL TRAP COVER

GLAZING SPECIALTY

GL01 REEDED GLASS
GL02 SILVER MIRROR- RR

SIGNAGE

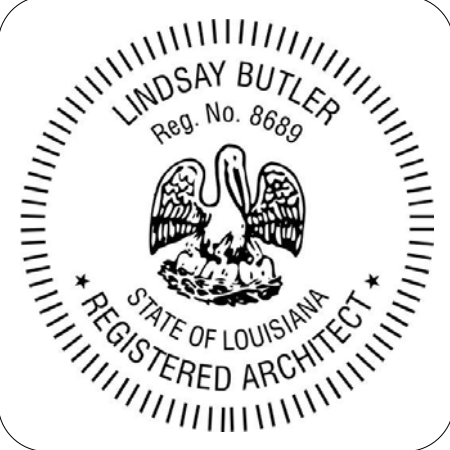
SN01 RR SIGNAGE

MISCELLANEOUS

MSC01 MELAMINE EDGE BAND- BLACK
MSC02 CABINET PULLS
MSC03 CABINET LOCKS
MSC04 WIRE GROMMET
MSC05 TRASH GROMMET
MSC06 COUNTER WALL MOUNT BRACKETS
MSC07 UNDER COUNTER HOOK
MSC08 ROPE HOOK
MSC09 FLOWER SHOP CABINET PULL
MSC10 CHROME REVEAL

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10-03
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APPROVED

FINISH SCHEDULE

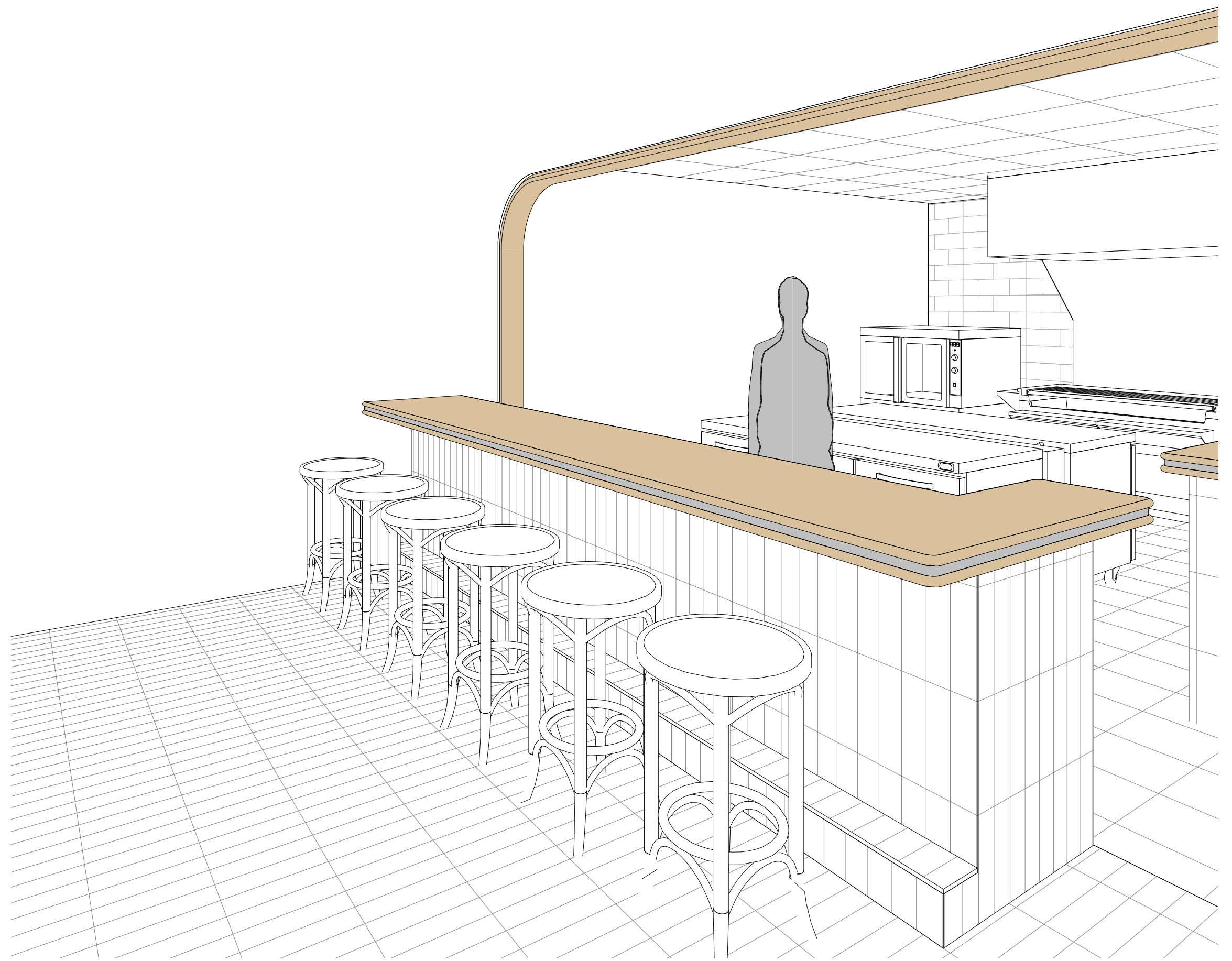
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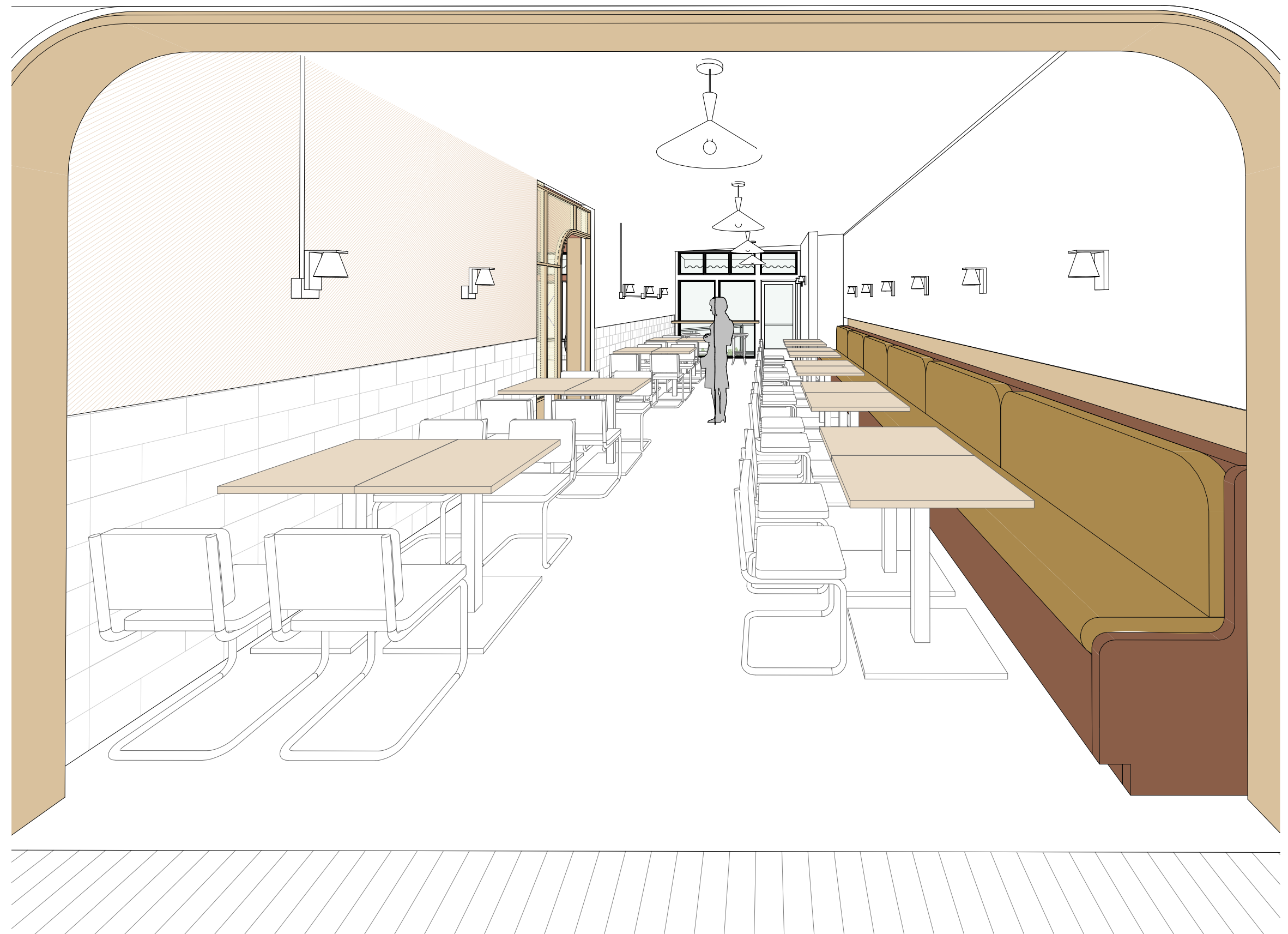
7 FRONT - EXTERIOR



1 ARCH FOOD COUNTER Copy 1



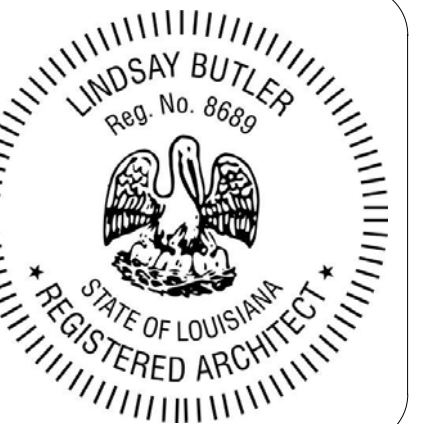
2 FOOD COUNTER Copy 1



3 3D View 9 Copy 1

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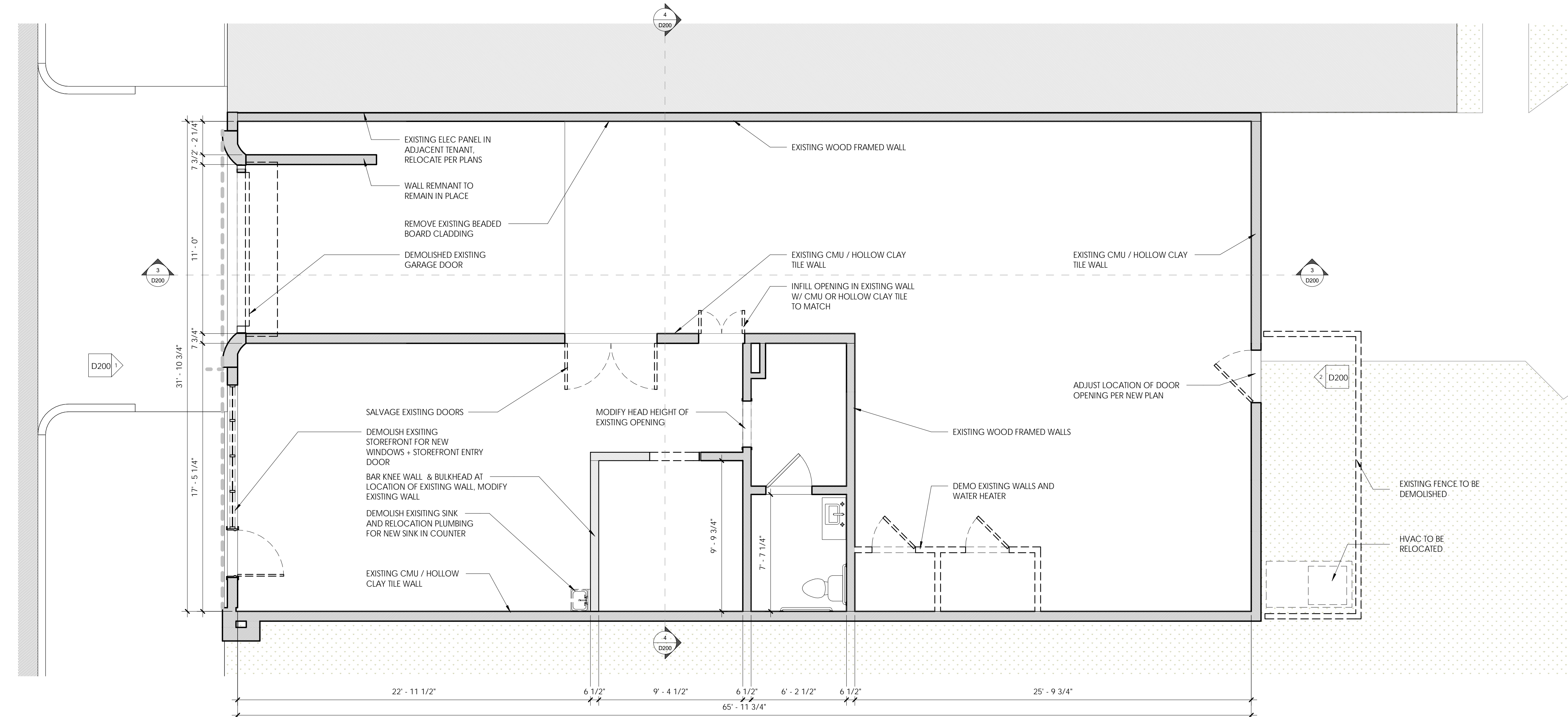
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3D

A900

Please note that only the amount of demolition indicated in the HDLC approved drawings is authorized. Please contact chase.klugh@nola.gov directly should existing conditions necessitate review of additional demolition or re-framing work. Demolishing additional square footage without the proper approvals can result in costly fines and delays.



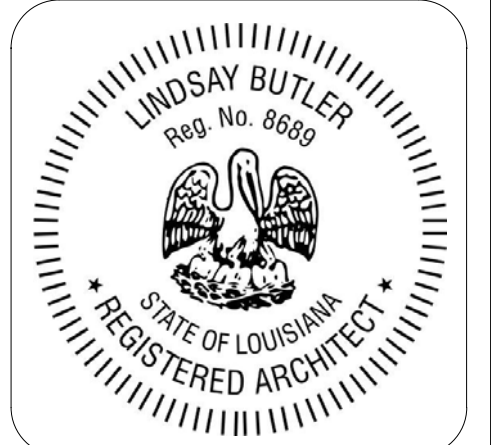
01 PLAN- EXISTING
1/4" = 1'-0"

DEMO NOTES

1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL CONDITIONS PRIOR TO DEMOLITION.
2. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER OR ARCHITECT ANY MATERIALS, EQUIPMENT OR FURNISHING IN THE EXISTING SPACE TO BE STORED, SALVAGED, OR OTHERWISE NOT DISCARDED.
3. ADEQUATELY PROTECT EQUIPMENT, FINISHES, AND FURNISHINGS TO REMAIN IN THE SPACE DURING DEMOLITION AND CONSTRUCTION.
4. ALL WALLS NOTED AS EXISTING TO REMAIN SHALL BE CONSERVED TO GREATEST EXTENT FEASIBLE. LOCALIZED DEMO MAY BE REQUIRED TO RUN ADDITIONAL PLUMBING, ELECTRICAL, OR DATA. ALL OTHER PARTITION WALLS TO BE DEMOLISHED.
5. ELECTRICAL, PLUMBING, AND MECHANICAL TO REMAIN OR TO BE RELOCATED OR REUSED SHALL BE CAPPED OR OTHERWISE TEMPORARILY PULLED BACK IN A MANNER TO ACCOMMODATE NEW WORK. ALL TEMPORARY ACCOMMODATIONS FOR MEP SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND CONSIDERED PART OF THIS CONTRACT.
6. REPLACE HVAC FILTERS WITH CONSTRUCTION GRADE FILTERS TO PREVENT DAMAGE TO UNITS.
7. PROVIDE COVER OR CAPS FOR ALL OPEN SANITARY WASTE LINES DURING DEMOLITION AND UNTIL COMPLETED WORK IS TIED IN.
8. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN PERMISSIONS AND TO COORDINATE WITH ALL UTILITIES, BUILDING OWNER, FACILITY MANAGEMENT AND OTHER ENTITIES HAVING AUTHORITY OR JURISDICTION RELATED TO THIS PROJECT.
9. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DEMOLITION WASTE AND DEBRIS. ALL DEMOLITION SHALL BE DISPOSED OF IN A MANNER APPROVED BY LOCAL JURISDICTIONS. IN THE ABSENCE OF AN AUTHORITY JURISDICTION, THE CONTRACTOR SHALL PROVIDE A TEMPORARY DUMPSTER FOR DEMOLITION DEBRIS. IF DEBRIS IS TO BE HAULED FROM THE SITE IN LIEU OF AN AVAILABLE DUMPSTER LOCATION, ALL LOOSE MATERIAL SHALL BE BAGGED.
10. ALL DEBRIS AND WASTE FROM DEMOLITION SHALL BE COLLECTED, SWEEPED, AND REMOVED FROM THE JOBSITE ON A DAILY BASIS.
11. ITEMS INDICATED TO BE REUSED SHALL BE DISCONNECTED, CLEANED, AND STORED FOR REINSTALLATION.

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DESIGN + ARCHITECTURE

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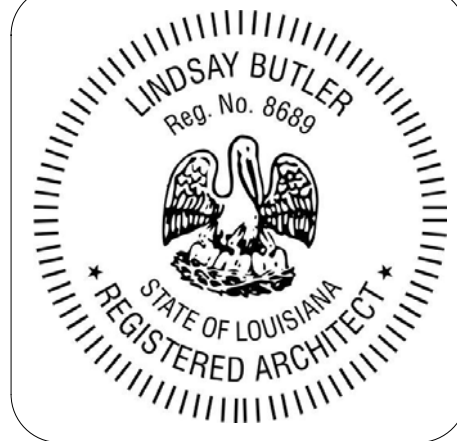
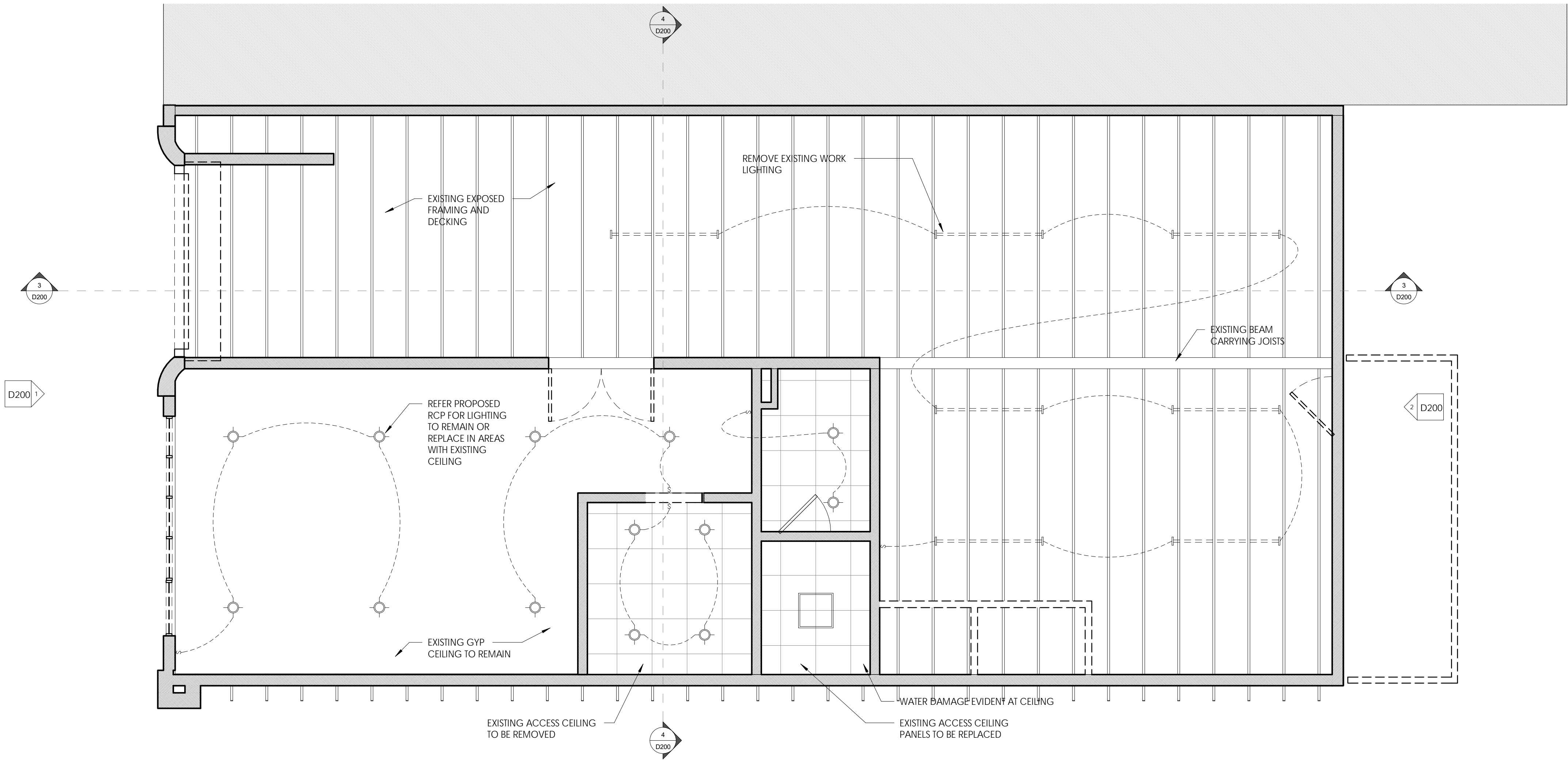
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EXISTING FIRST FLOOR PLAN - DEMO

D101



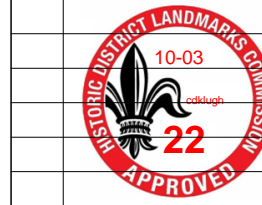
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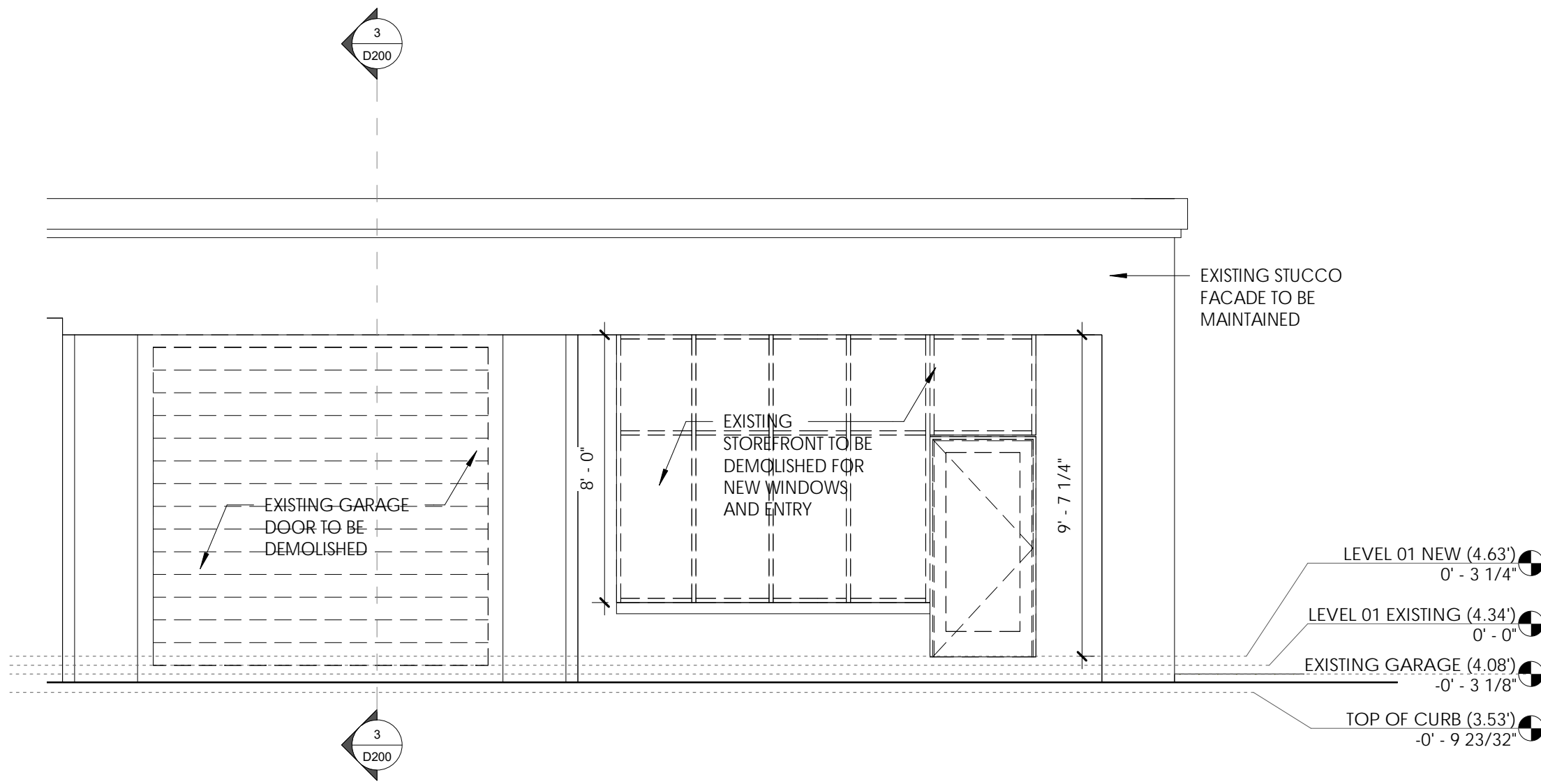
EXISTING FIRST
FLOOR RCP

D150

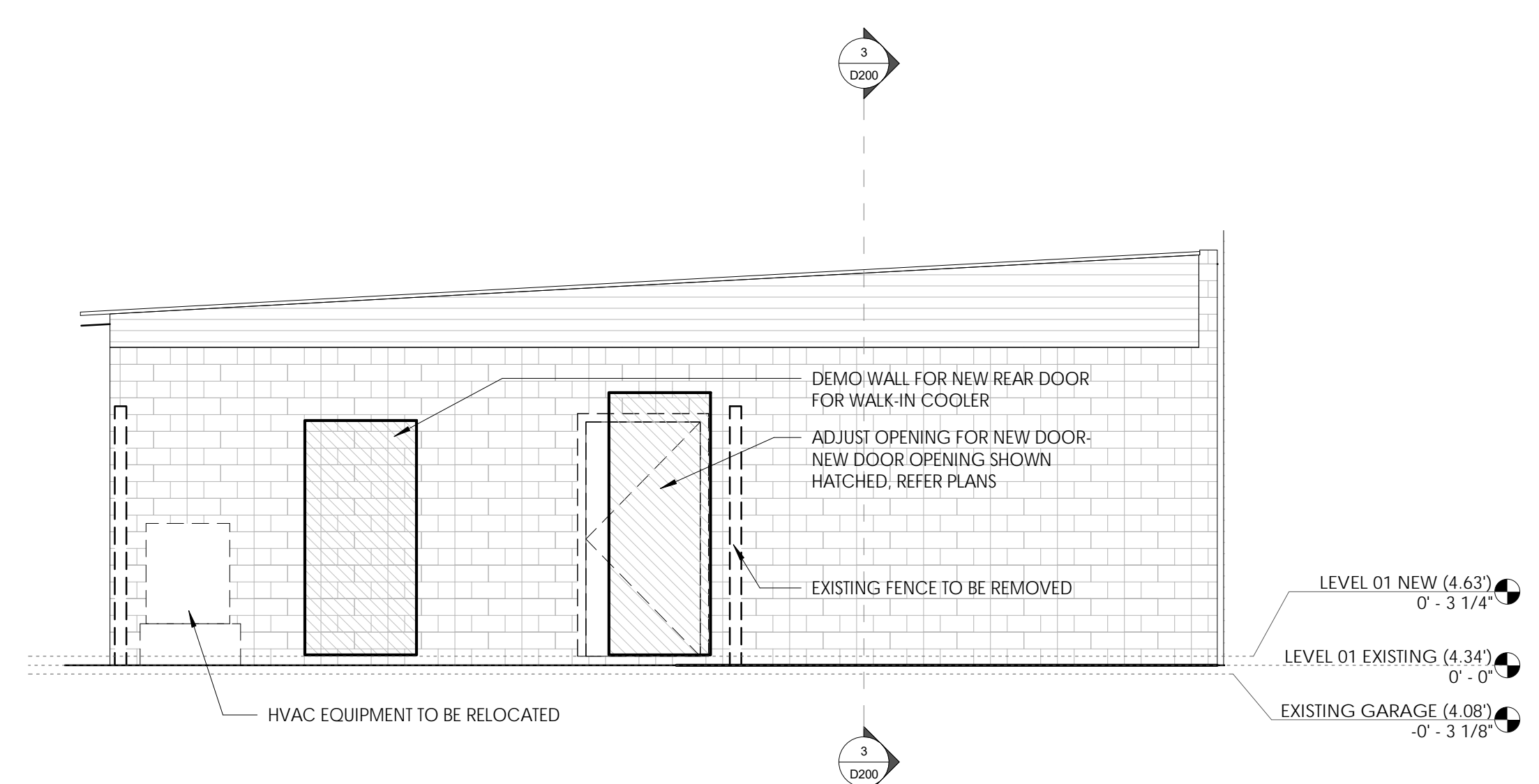
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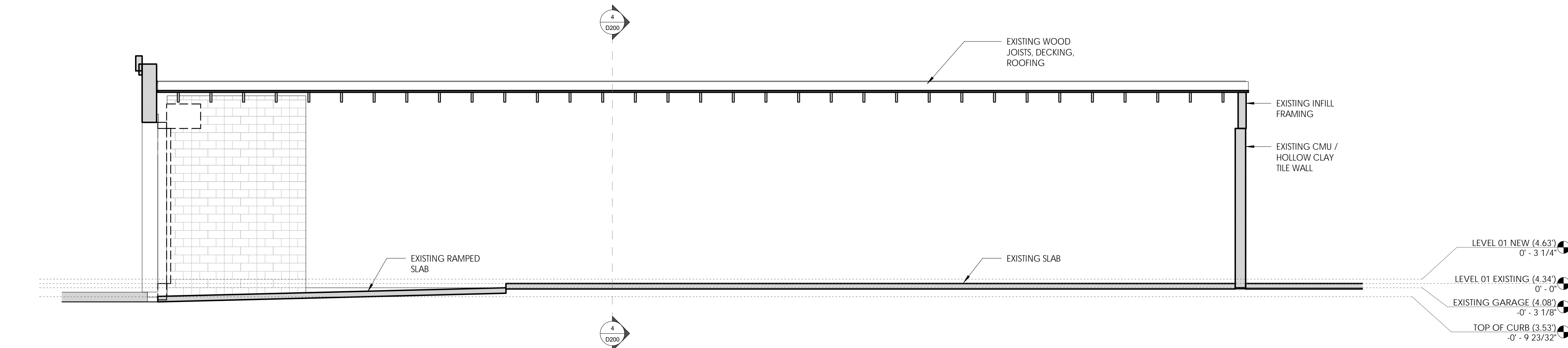
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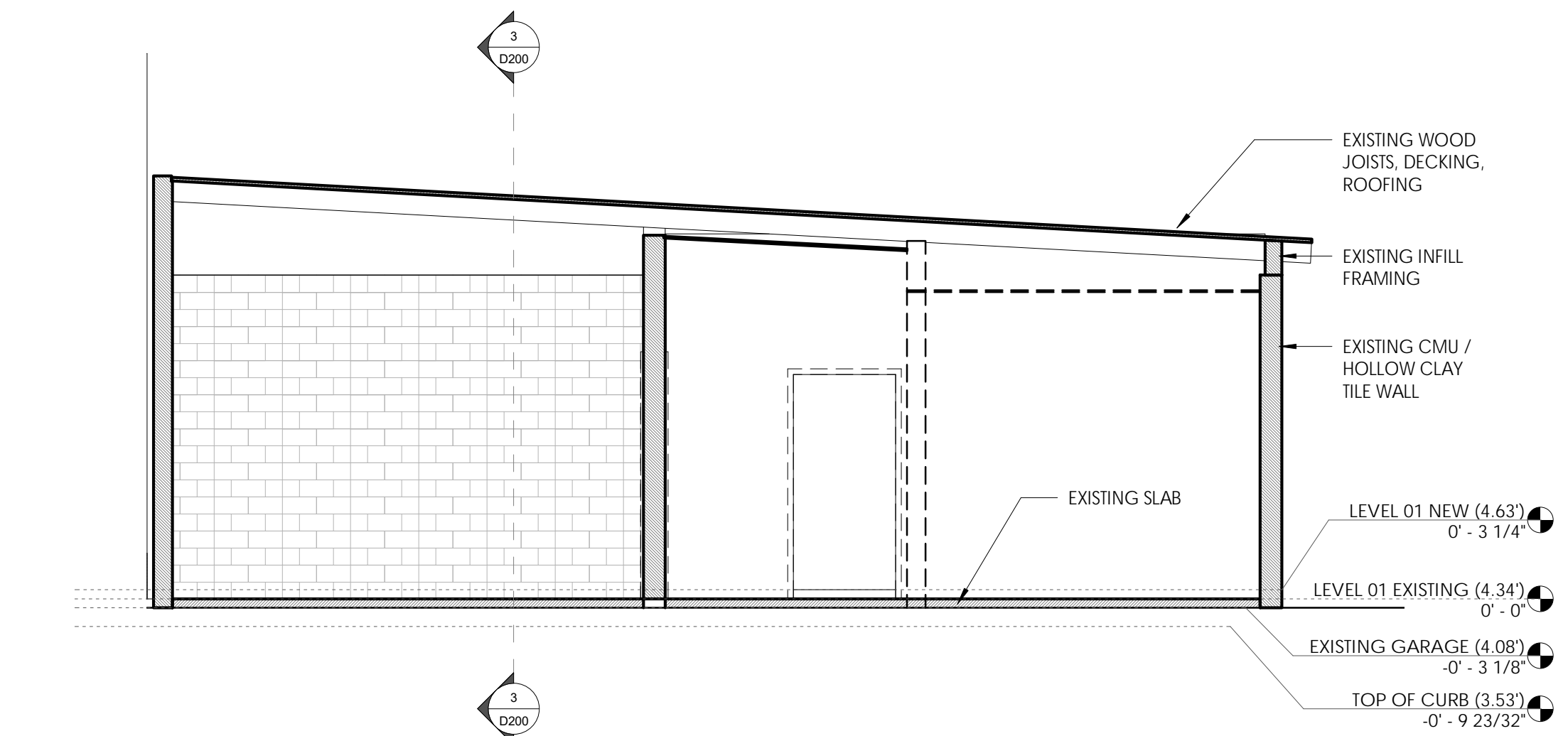
1 MAG ELEVATION - EXISTING
1/4" = 1'-0"



2 REAR ELEV - EXISTING
1/4" = 1'-0"



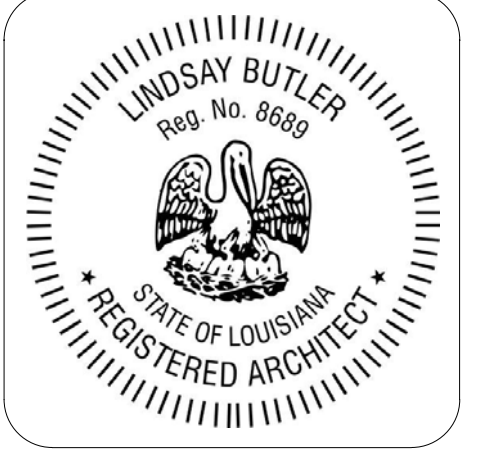
3 SECTION 1- EXISTING
1/4" = 1'-0"



4 SECTION 2- EXISTING
1/4" = 1'-0"

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EXISTING
ELEVATIONS /
SECTIONS

D200