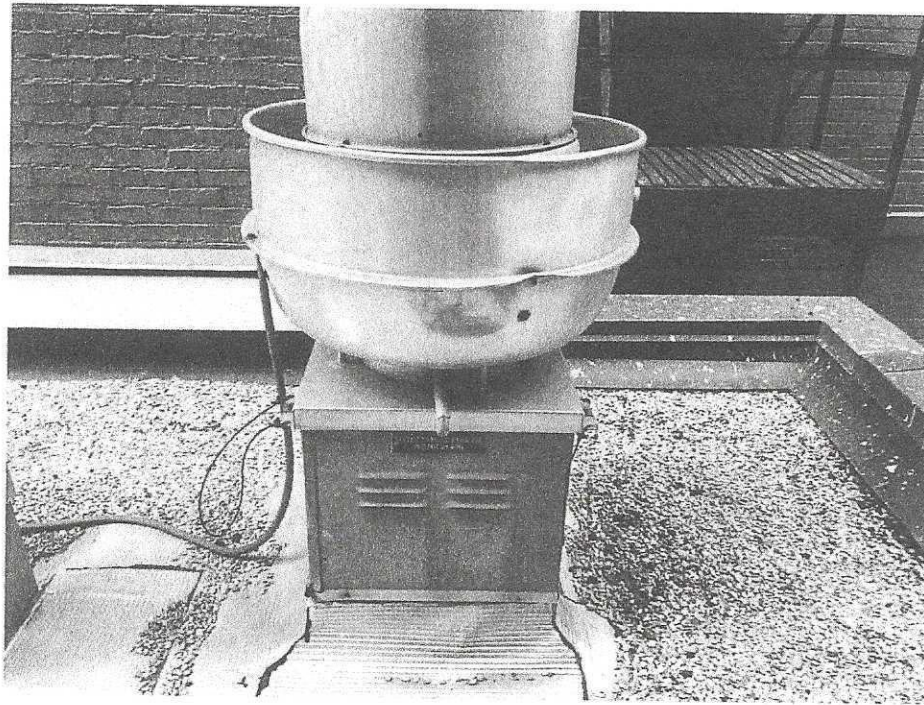


## EXHIBIT "A"



We believe that this equipment can be reworked without alteration of the curb configuration. Electrical, mechanical, and related items are excluded from this Proposal. Please note that if we cannot properly perform the installation of sheet metal or other flashings at the point where the metal housing meets the curb, additional work may be required, such as the raising of the equipment.

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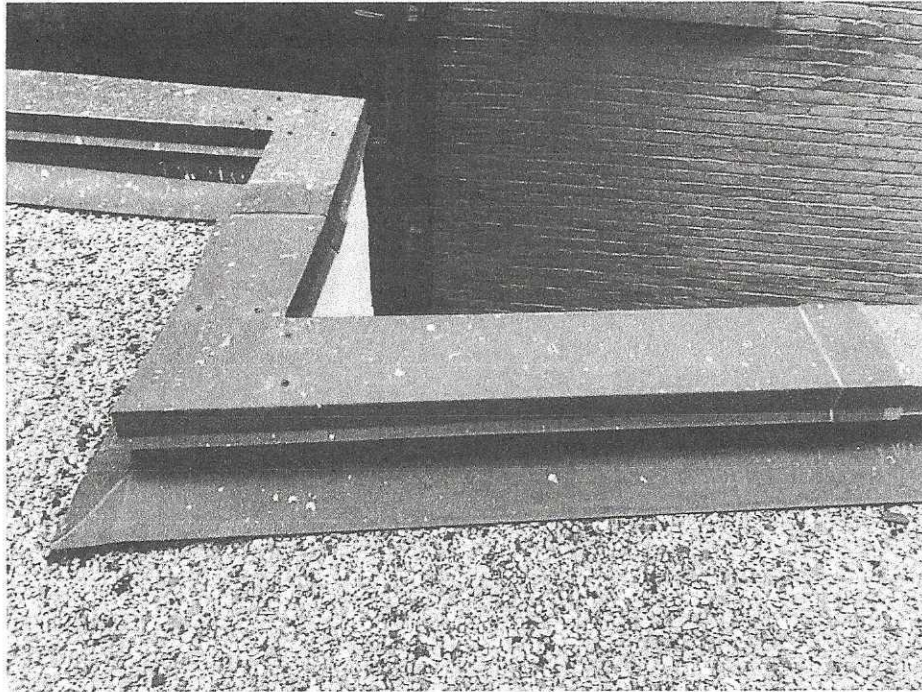
Client Initials

MH

Contractor Initials

JB

## EXHIBIT "A"



The sheet metal cap flashing located near the Hampton's exterior stairs will be removed and replaced with a new stainless-steel. The inside face will be secured with stainless-steel gasketed fasteners. The existing sheet metal installed beneath the cap flashing and along the cant will be removed and discarded as it will not be a functional component of the new roof system. The new roof membrane along this area of parapet will extend across the top of parapet and over what we assume is existing wood blocking. If wood blocking does not exist, additional charges may apply.

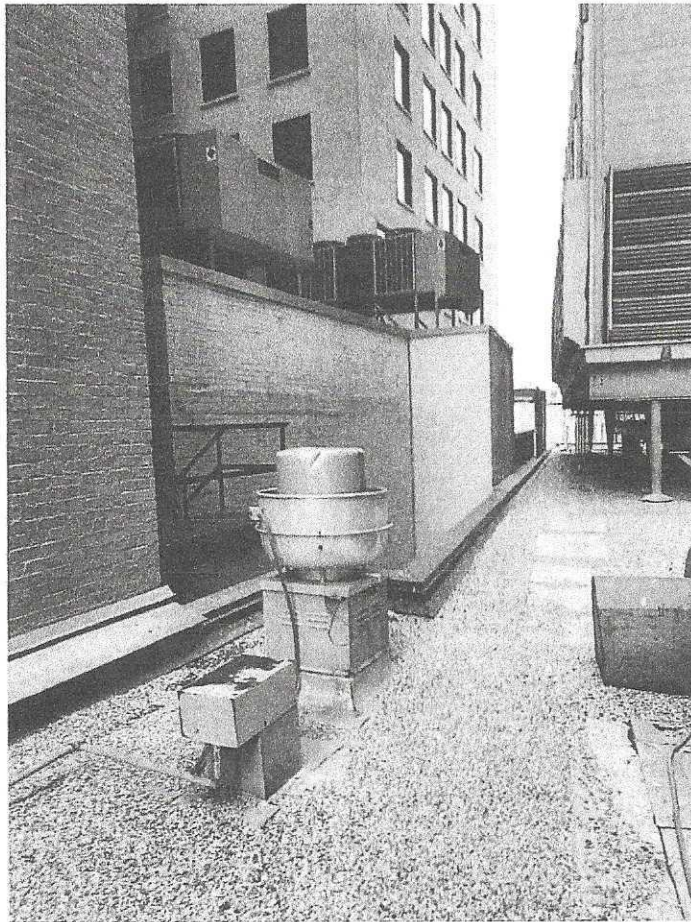
31 | Page

Client Initials   AH  

Contractor Initials   JS



## EXHIBIT "A"



Another view of the cap flashing noted in the previous picture which is proposed to be removed and replaced with new. The wall/ledge flashings which tie-in to the adjacent Hampton walls will also be removed and replaced with new. These ledge/wall conditions exist along the upper wall of the Hampton as well as the wall to the left of the cooling tower in the picture above.

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Client Initials ML

Contractor Initials JP

## EXHIBIT "A"



Existing conduit supports such as these will be re-used, while existing wood supports will be replaced with supports similar to the one shown in this image. Roof protection pads will be installed beneath all supports. Electrical, mechanical, and related items are excluded from this Proposal. The window counter-flashing will be removed and discarded for the new roofing flashing materials. A new stainless-steel counter flashing will be fabricated and installed beneath the receiver flashing. Proposal does not include any work to the windows.

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Client Initials NY

Contractor Initials JS



## EXHIBIT "A"



At the three ladder/stair locations on this roof area, none of these penetrate the existing roof system. Assuming space exists, we propose to install Siplast's Paratread walk pad beneath each footing. On top of the walk pads at each stair/ladder support, we will then install an aluminum plate in order to more evenly distribute the load if pressure is placed on the roof system while these items are in use or if they settle over time. The size and thickness of the plates are to be determined.

Client Initials                      Contractor Initials

## EXHIBIT "A"



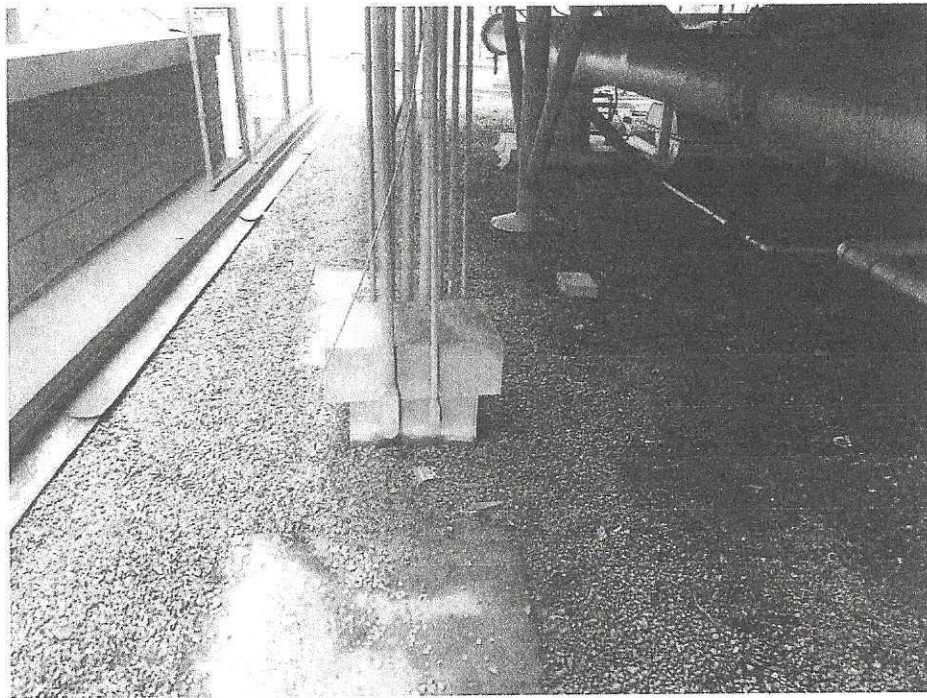
This currently unused support can be re-flashed or removed from the roof system. Please advise.

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Client Initials AK Contractor Initials Jm



## EXHIBIT "A"



This flashing will be replaced with a new stainless-steel flashing with a stainless-steel top. The stainless-steel base will also receive Siplast's Parapro Flashing. Electrical, mechanical, and related items are excluded from this Proposal, and some of these penetrations may require adjustment.

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Client Initials MY

Contractor Initials JS

## EXHIBIT "A"



At least two flashing penetration boxes, such as the one shown above, exist. These will be replaced with new stainless-steel flashings with tops, or these can be eliminated. Electrical, mechanical, and related items are excluded from this Proposal.

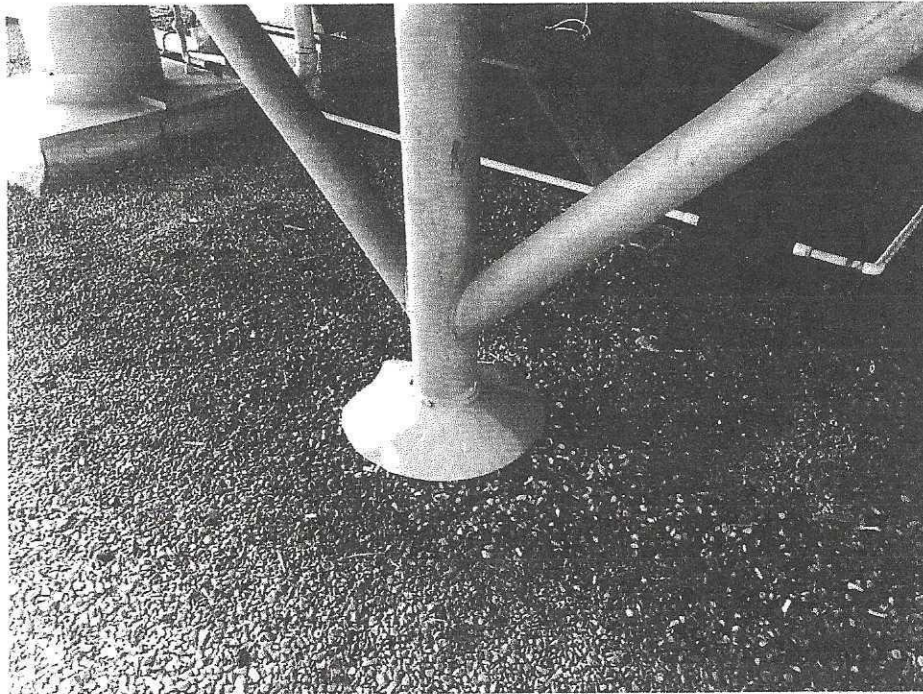
37 | Page

Client Initials   *NY*  

Contractor Initials   *JS*



## EXHIBIT "A"



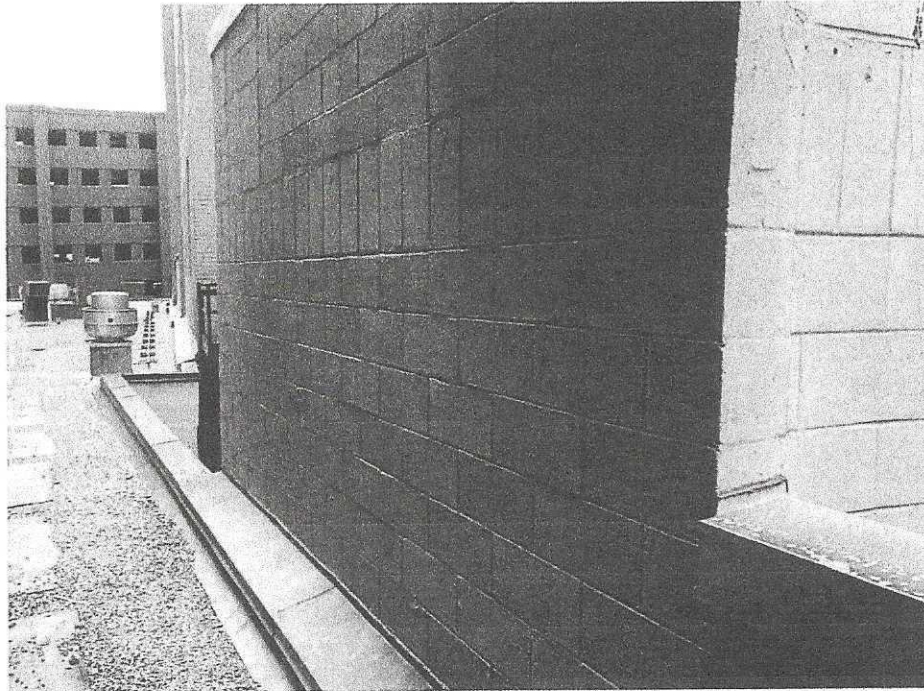
These cooling tower supports will be flashed with Siplast's Parapro Flashing. The bonnets will be eliminated.

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Client Initials   MH  

Contractor Initials   JF

## EXHIBIT "A"



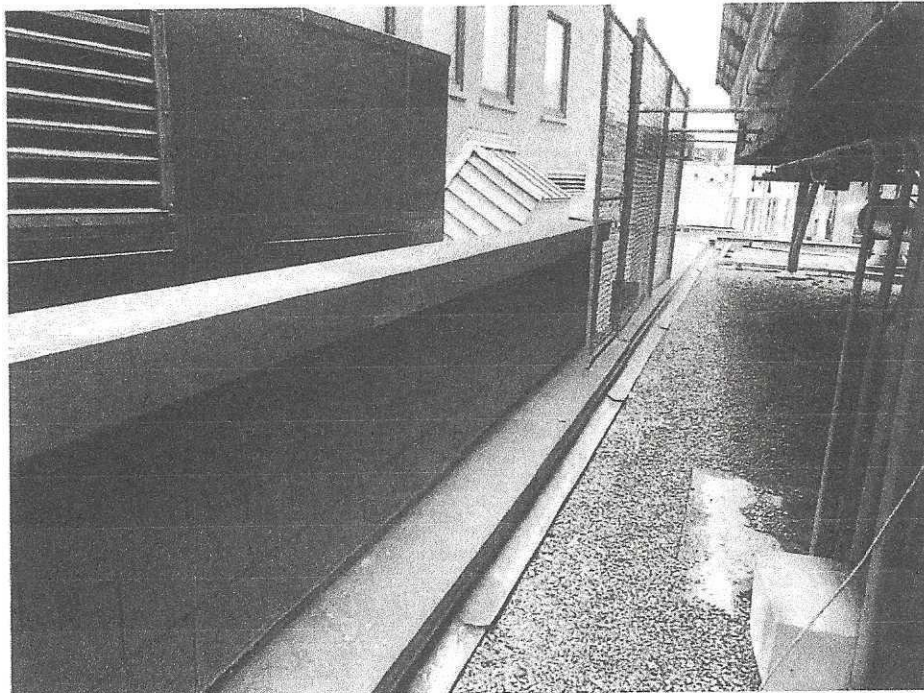
New sheet metal wall flashings will be installed. No work is proposed to the cinder block wall.

Client Initials MT

Contractor Initials JN



## EXHIBIT "A"



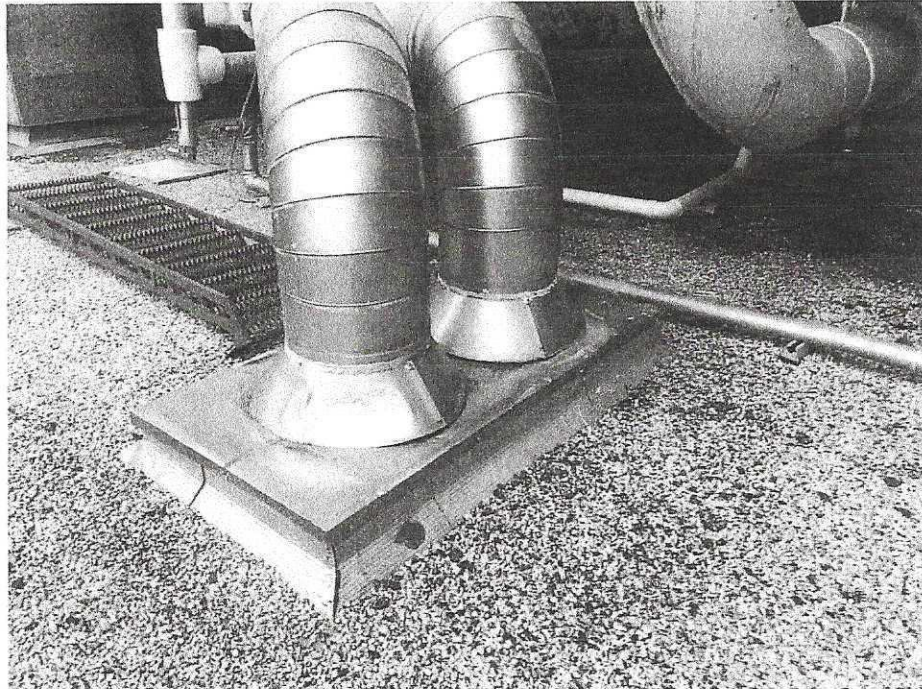
New sheet metal wall flashings will be installed. No work is proposed to the cinder block wall or the existing cap flashing on top of the cinder block wall.

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Client Initials MF

Contractor Initials JS

## EXHIBIT "A"



The cap flashing on this curb is damaged and will be removed and replaced with a new stainless-steel cap flashing and bonnets. Assuming space exists, the curb top will receive supporting members and plywood in order to eliminate the existing sagging condition seen above.

Electrical, mechanical, and related items are excluded from this Proposal.

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Client Initials   AH  

Contractor Initials   JG



## EXHIBIT "A"



These curbs will receive new stainless steel cap flashings. The existing curb hood will be re-used.

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Client Initials MT

Contractor Initials CP

## EXHIBIT "A"



This fence will remain in place as this cap flashing will remain in place. The fence post bases will be cleaned and resealed. The skirt flashing will be removed and discarded. The wall area beneath the existing cap flashing will be prepared and flashed with new roofing materials. A stainless-steel counter flashing will be installed.

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Client Initials

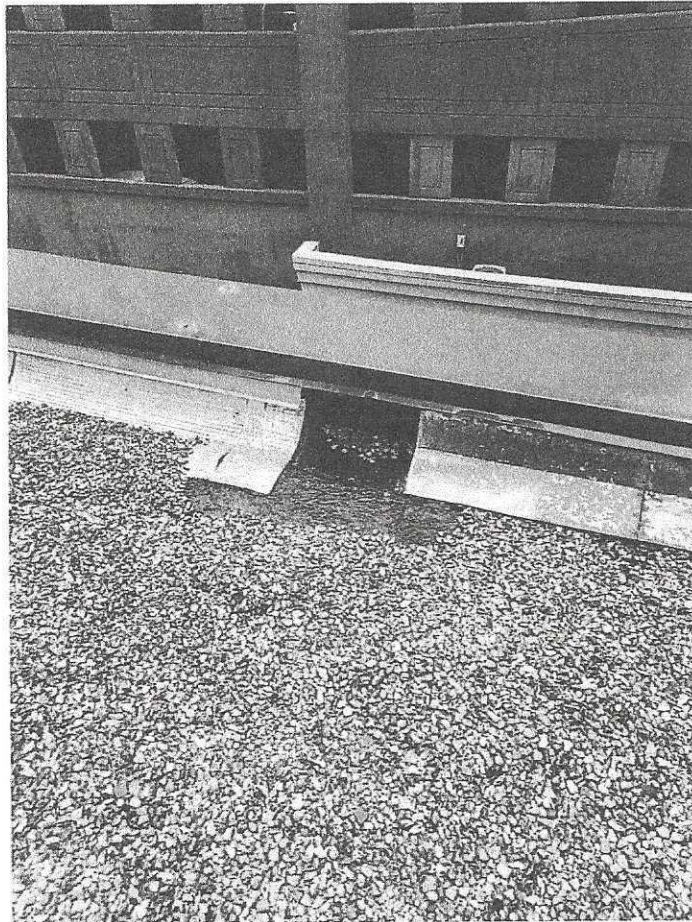
*SH*

Contractor Initials

*JS*



## EXHIBIT "A"



This cap flashing on Gravier Street will remain in place as will the cap flashing facing Common Street. These are the same cap flashings that exist on the upper roofs. The skirt flashing seen above to the right of the overflow scupper will be removed and discarded. The walls will be prepared and flashed with new roofing materials. A stainless-steel counter flashing will be installed and will be similar to the one installed to the left of the scupper seen above. The overflow scupper will remain in place and will be flashed with Parapro Flashing. It is our intent to leave in place the existing cap flashings which are visible from the two streets bordering the roof area.

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Client Initials   MH  

Contractor Initials   JS

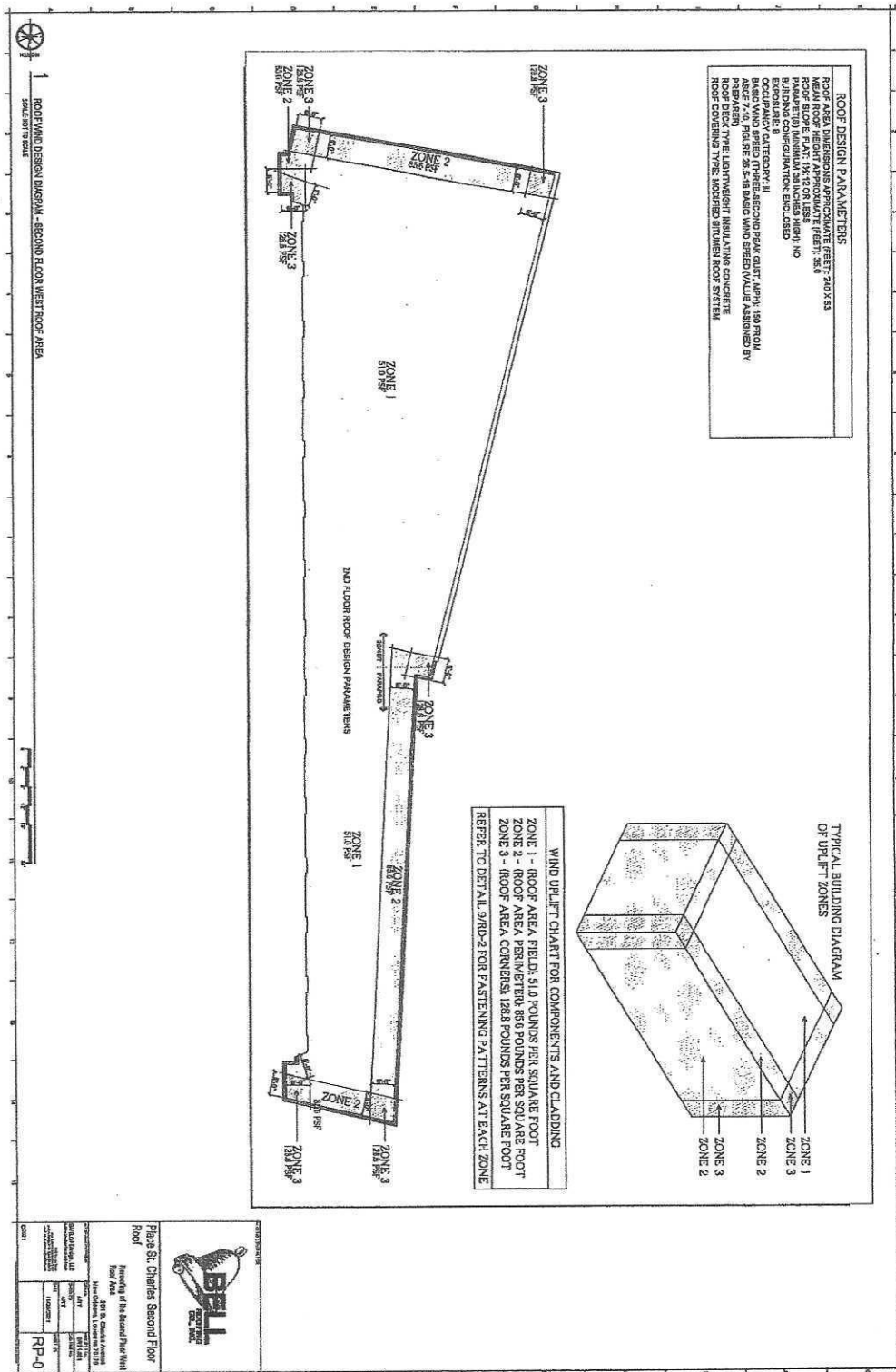
# EXHIBIT "A"

<h2 style="text-align: center;">Place St. Charles Second Floor Roof</h2> <h3 style="text-align: center;">Re-roofing of the Second Floor West Roof Area</h3> <p style="text-align: center;">201 St. Charles Avenue New Orleans, Louisiana 70170</p>		<h4>VICINITY MAP</h4> <p>NORTH ARROW</p>	
<h4>INDEX OF DRAWINGS</h4> <p>CS COVER SHEET AND GENERAL INFORMATION P04 ROOF DESIGN DIAGRAM P05 OVERALL ROOF PLAN P06 ROOF PLAN - SECOND FLOOR WEST ROOF AREA P07 ROOF DETAILS</p>		<h4>PROJECT INFORMATION</h4> <p>PROJECT SITE: Place St. Charles New Orleans, Louisiana 70170 ROOFING CONTRACTOR: Bell Roofing Company, Incorporated P.O. Box 18110 New Orleans, Louisiana 70170 Client: [REDACTED]</p>	
<h4>GENERAL NOTES</h4> <ol style="list-style-type: none"> <li>1. Construction to be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</li> <li>2. All construction shall be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</li> <li>3. All construction shall be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</li> <li>4. All construction shall be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</li> <li>5. All construction shall be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</li> <li>6. All construction shall be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</li> <li>7. All construction shall be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</li> <li>8. All construction shall be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</li> <li>9. All construction shall be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</li> <li>10. All construction shall be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</li> </ol>		<h4>SYMBOLS</h4> <p><b>LEGEND</b></p> <p>1. All construction to be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</p> <p>2. All construction to be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</p> <p>3. All construction to be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</p> <p>4. All construction to be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</p> <p>5. All construction to be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</p> <p>6. All construction to be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</p> <p>7. All construction to be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</p> <p>8. All construction to be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</p> <p>9. All construction to be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</p> <p>10. All construction to be in accordance with the specifications, standards, and codes of the State of Louisiana and the City of New Orleans.</p>	

Client Initials   NY   Contractor Initials   JG



EXHIBIT "A"



Client Initials

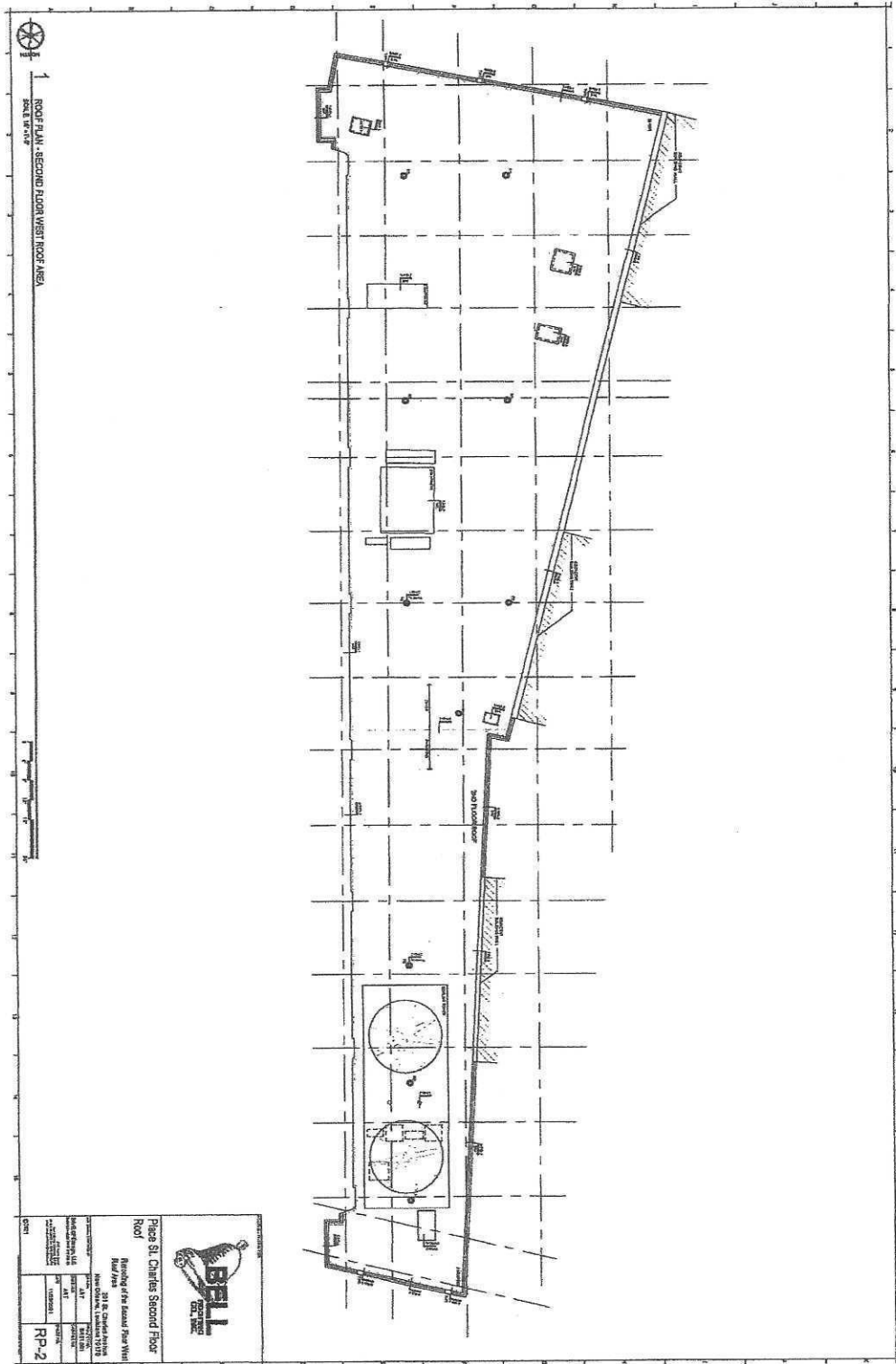
Contractor Initials

AM

85



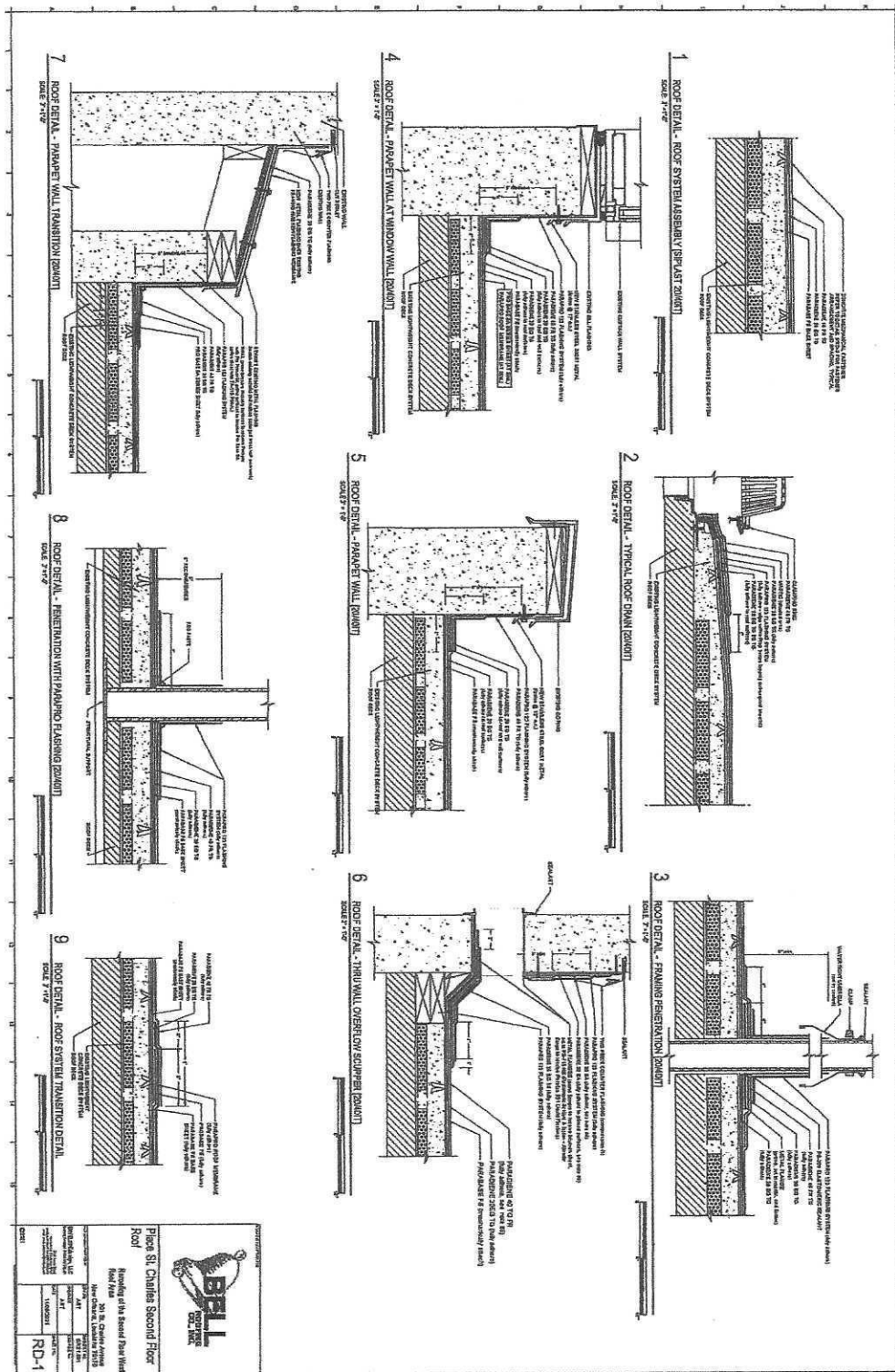
# EXHIBIT "A"



Client Initials SH

Contractor Initials JS

# EXHIBIT "A"



Client Initials

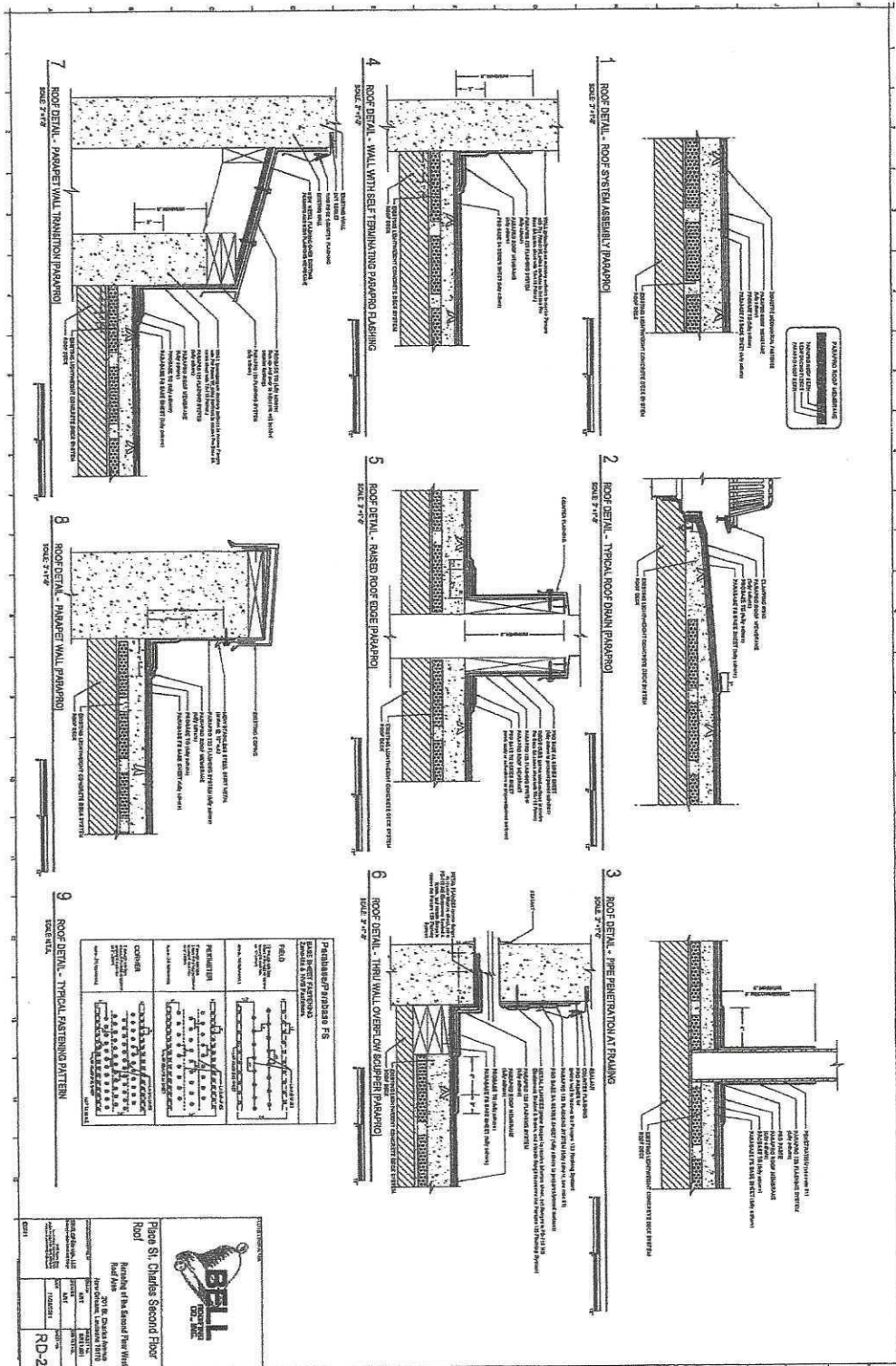
*[Handwritten Initials]*

Contractor Initials

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**EXHIBIT "A"**



Client Initials

Contractor Initials

## EXHIBIT "B"

### SUPPLEMENTAL CONDITIONS IT IS THE CONTRACTOR'S RESPONSIBILITY TO READ AND UNDERSTAND ALL ASPECTS OF THIS CONTRACT PRIOR TO SIGNATURE OF CLIENT AND CONTRACTOR

All capitalized, defined terms used in the Contractor Agreement of which this Exhibit B is a part shall have the same meanings in this Exhibit B unless specifically indicated otherwise herein.

#### CONTRACTOR PERFORMANCE AGREEMENT

1. Contractor is responsible for its personnel's behavior while at, on or in the Place St. Charles property. Contractor is responsible for all subcontractors in its employ. No worker shall annoy, disturb, or otherwise offend property tenants at any time, other than normal, acceptable noise made during the performance of this work. No worker shall destroy, deface or otherwise disturb any tenant's or Client's or any of the Indemnitees' property or possession.
2. Contractor is responsible for scheduling ALL work five (5) days in advance of entering the Place St. Charles property with the property manager of Client. The Contractor shall work with the property manager to give proper notification to occupants (minimum twenty-four (24) hours), (i.e., automobile removal from areas scheduled for work). Contractor will coordinate work with on-site management staff on a DAILY basis. This includes checking in as soon as the office is open or checking out before leaving the Place St. Charles property each day.
3. Request for work delays must be documented with Client which may or may not in its sole discretion grant an extension to compensate for delays.
4. Client is not responsible for insuring work is done correctly or completely. Contractor is solely responsible for formulating punch lists that insure all work is complete and correct in every detail. However, Contractor will complete any punch list Client or its Authorized Agent cares to make concerning the work.
5. Contractor will remove and replace any items covered by this Contract that are found not to be in compliance with Contract Documents or manufacturer's specifications at no cost to Client or the Place St. Charles property.
6. If this Contract is canceled due to poor performance by the Contractor, Client will use whatever portion necessary of monies owed to the Contractor to complete the Work to Client's satisfaction. This may include faulty or unsightly work performed by the Contractor.
7. Contractor is responsible for cleaning the site prior to leaving for the day; every day.

Client Initials MT

Contractor Initials JS



8. Contractor is responsible for closing all work access opened for the day, by the end of the day; every day.
9. Contractor is responsible for any damages caused by its presence on site.
10. Contractor shall be responsible for the protection of all tenant's property, Property which Indemnitees or one or more of them have an ownership interest in, and any public property as necessary.
11. All work shall be performed according to Client's specifications and industry standards.
12. Contractor shall comply with all "OSHA" Federal regulations concerning worker safety and health in connection with performing the work.
13. Contractor shall progress the work in a clean and orderly process.
14. Contractor shall have supervisory personnel on-site at all times during performance. The name of this person shall be furnished to both Client and its property manager.
15. ( ) This Contract contains "Special Conditions" attached hereto and hereby made a part of this Contract ("X" if applicable.)

#### CHANGE ORDERS

16. This Contract may be modified or amended only by WRITTEN change order issued by Client to Contractor and executed by both parties. Authorized agents are:  

Contractor: Bell Roofing Company, Incorporated Jeffrey F. Bell	Client: 201 Place St. Charles, Corp. Sinclair Haberman Brook Haberman
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17. In the event of an approved change order (+ or -), the draw schedule will be adjusted to include the change order as a separate payment.

Client Initials

HH

Contractor Initials

JH

### PROGRESS PAYMENT SCHEDULE

18. Payment shall be made per the Contract Documents. No more than one (1) draw shall be accepted per month.
- A. Payment Schedule: Invoices are due to Client by the 10<sup>th</sup> of the month.  
(List milestones for progress payments on a contract by contract basis)
- B. This payment schedule is contingent upon the work starting on June 1, 2022 and finishing on August 31, 2022.

In the event the start date and/or complete date changes, the payment schedule will be adjusted proportionately.

### CONSTRUCTION SCHEDULE

19. Construction of the work shall progress in a timely and orderly fashion, in proportion to the time frame set in Section 7A of the Contract. If the progress of the work is determined to be "off schedule" at any time, the Contractor shall request a "time" change order.
20. Liquidated damages shall be levied upon Contractor for late completion of work as described in Section 20 of the Contract.

Client Initials

CH

Contractor Initials

JB