



Phoenix Catastrophe Services

5417 County Highway 30A,
Santa Rosa Beach, FL.

Sales Representative

Chad Cress
(651) 491-2616



ALL MECHANICAL EQUIPMENT TO REMAIN IN EXISTING LOCATIONS. ANY NEW SCREENING MUST NOT BE VISIBLE FROM THE PUBLIC RIGHT OF WAY. IF SCREENING WILL BE VISIBLE, IT MUST BE SUBMITTED TO THE HDLC FOR APPROVAL BEFORE INSTALLATION.

NEW VENTS AND DRAINS TO BE INSTALLED IN EXISTING LOCATIONS.

FLASHING AND COPING TO BE INSTALLED TO MATCH EXISTING - SHOULD NOT BE VISIBLE FROM THE PUBLIC RIGHT OF WAY

PARAPET WALLS TO REMAIN AS EXISTING.

ALL REPAIR/REPLACE SHALL MATCH EXISTING IN MATERIAL, EXPOSURE, DIMENSION, SIZE, OPERATION, CONFIGURATION, AND TYPE, UNLESS OTHERWISE SPECIFIED.

ANY CHANGES MUST BE APPROVED BY THE HDLC.

Measurement Report

Location

Club Wyndham Labelle Masion
209 Magazine Street
New Orleans, LA 70130



Measurement Date:
09/15/2021

Address: 209 MAGAZINE ST, NEW ORLEANS, LA 70130

Powered By AccuLynx
705 3rd St. Suite 380 Beloit Wisconsin 53511 US

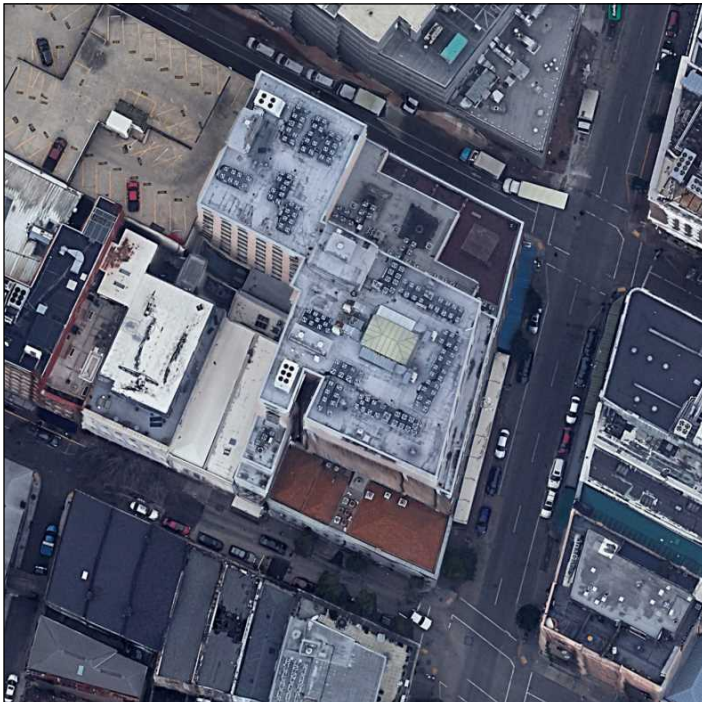
Order Information

Report Date 09-15-2021

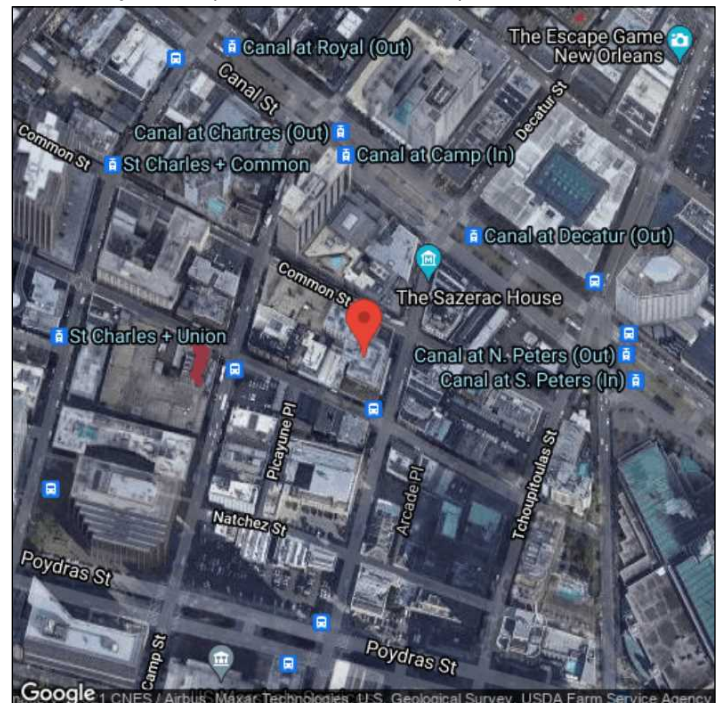
| Roof Dimensions | | (See notes below table) | |
|--------------------------------|--------|-------------------------|----------|
| Total Number of Squares | 280.92 | Ridges | 44 ft. |
| Pitched Roof Area (Sq) | 27.31 | Hips | 230 ft. |
| Flat Roof Area (Sq) * | 223.29 | Valleys | 0 ft. |
| Parapet Area (Sq) | 30.33 | Rakes | 28 ft. |
| Primary Pitch | 0 : 12 | Eaves | 486 ft. |
| Number of Protrusions | 200 | Rakes + Eaves | 514 ft. |
| Protrusion Area | 2032 | Total Parapet Length | 1517 ft. |
| Protrusion Perimeter | 2251 | Avg. Parapet Width | 1.00 ft. |
| Number of Facets | 30 | Avg. Parapet Height | 1.00 ft. |
| Number of Structures on Report | 1 | Apron Flashing | 2633 ft. |
| | | Step Flashing | 7 ft. |
| | | Gutters | 486 ft. |

* Flat roof area includes roof facets with 0:12, 1:12, and 2:12 pitches.

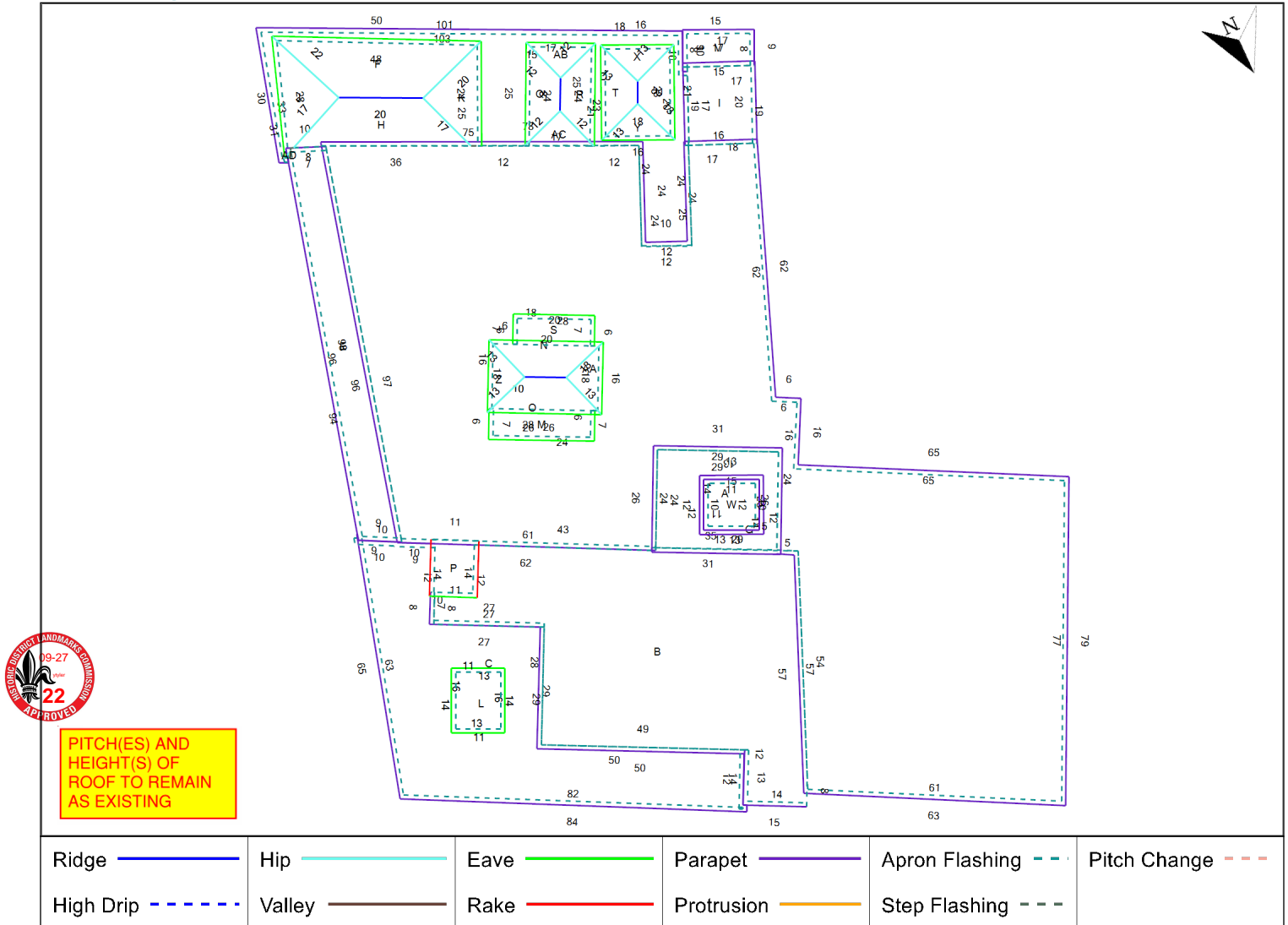
View From Above



Proximity view (roof at pin location)



Plan Diagram



To improve readability the lengths displayed in this diagram are rounded to the nearest whole number. Lengths under 4 feet are omitted for clarity.

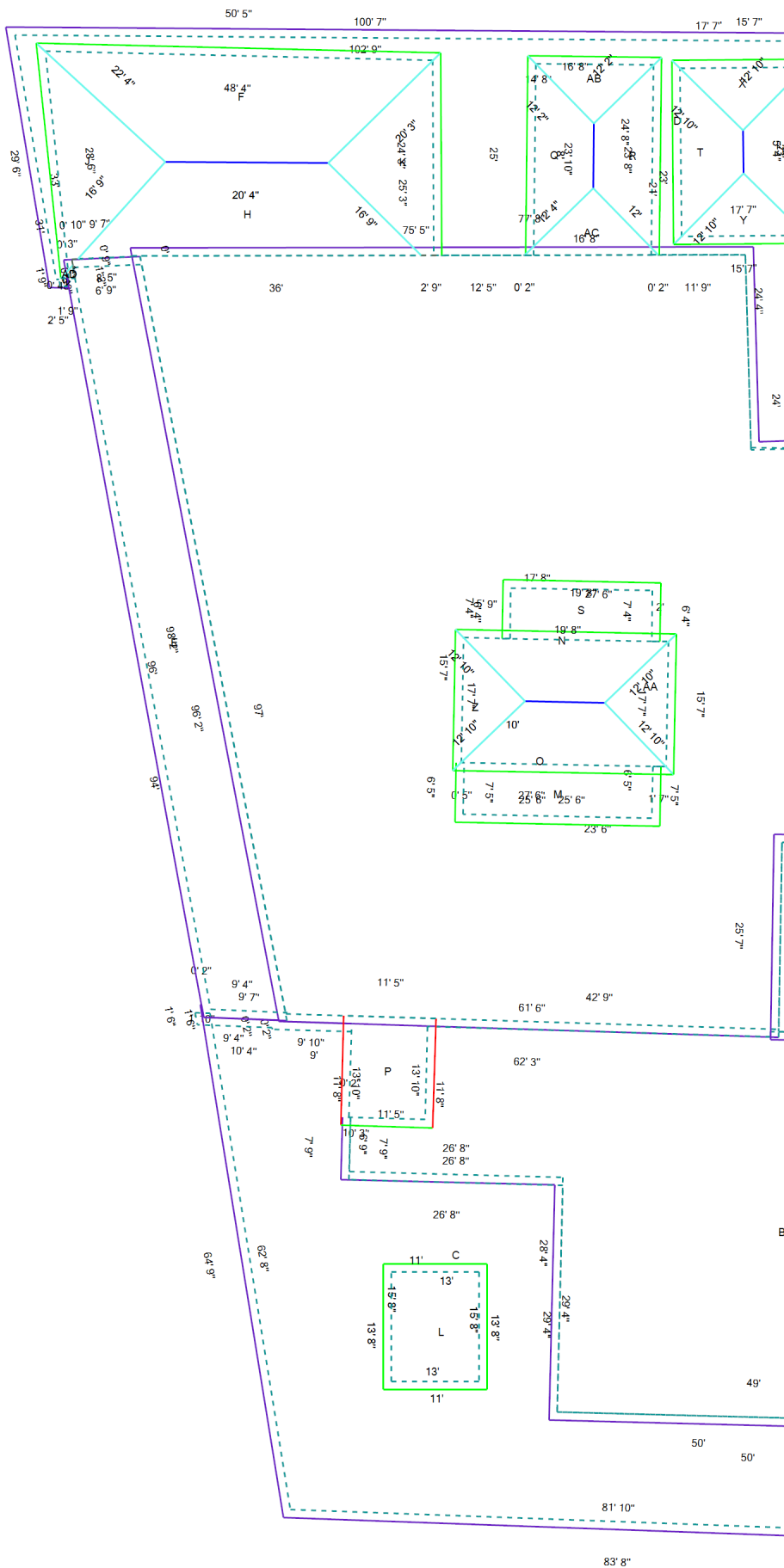
| Facet | Sq.Ft. | Pitch | Facet | Sq.Ft. | Pitch | Facet | Sq.Ft. | Pitch | Facet | Sq.Ft. | Pitch |
|-------|--------|-------|-------|--------|-------|-------|--------|-------|-------|--------|-------|
| A | 12741 | 0:12 | I | 290 | 0:12 | Q | 146 | 4:12 | Y | 83 | 4:12 |
| B | 3541 | 0:12 | J | 225 | 4:12 | R | 146 | 4:12 | Z | 83 | 4:12 |
| C | 2342 | 0:12 | K | 204 | 4:12 | S | 144 | 0:12 | AA | 83 | 4:12 |
| D | 1129 | 0:12 | L | 203 | 0:12 | T | 133 | 4:12 | AB | 74 | 4:12 |
| E | 834 | 0:12 | M | 190 | 0:12 | U | 133 | 4:12 | AC | 74 | 4:12 |
| F | 533 | 4:12 | N | 176 | 4:12 | V | 120 | 0:12 | AD | 2 | 4:12 |
| G | 523 | 0:12 | O | 176 | 4:12 | W | 117 | 0:12 | | | |
| H | 385 | 4:12 | P | 159 | 2:12 | X | 83 | 4:12 | | | |

| AREA BY PITCH (in squares) | | |
|----------------------------|--------|--------|
| 0 : 12 | 2 : 12 | 4 : 12 |
| 221.7 | 1.6 | 27.4 |

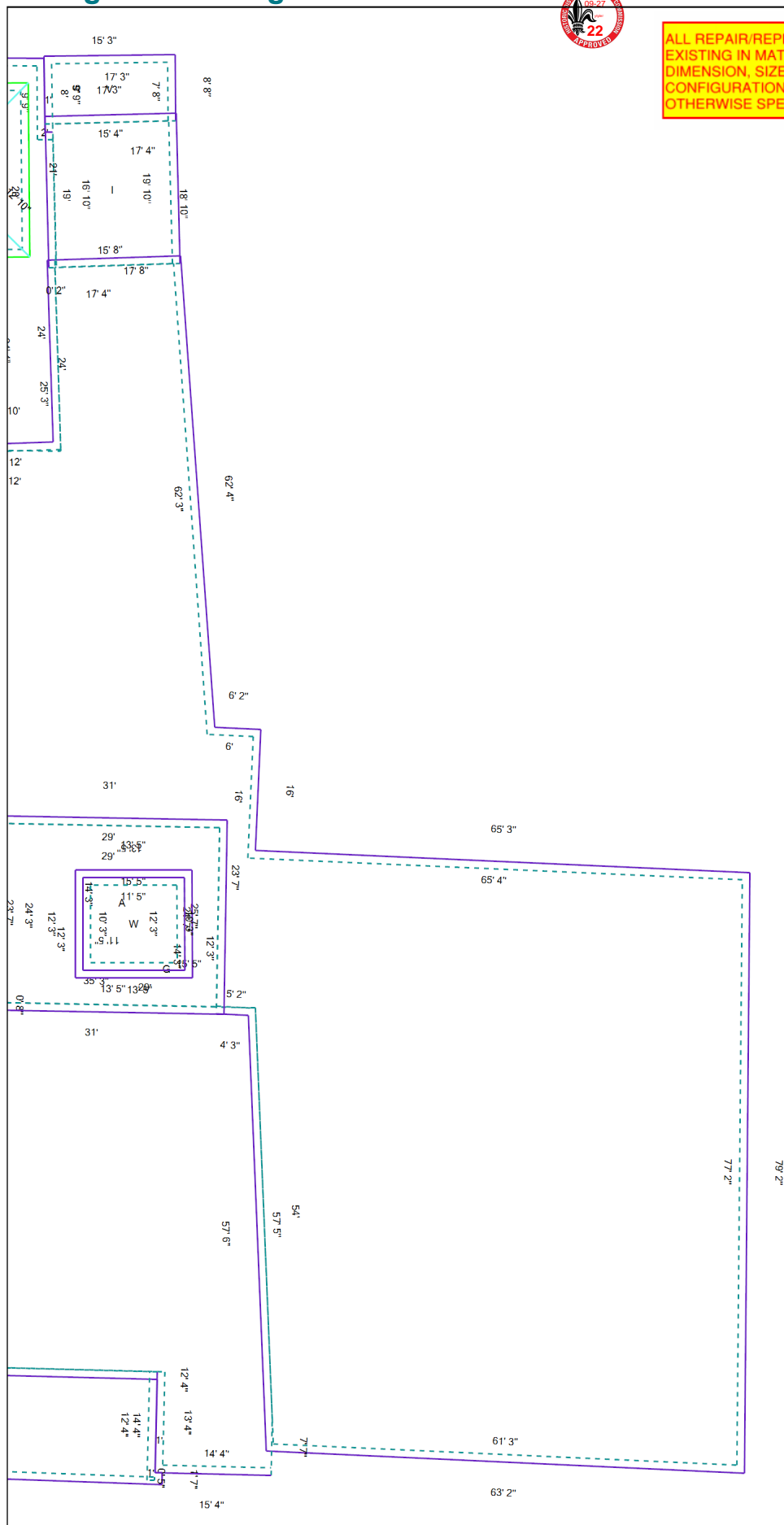
| WASTE FACTOR TABLE (in squares, includes pitched and flat totals) | | | | | |
|---|-------|-------|-------|-------|-------|
| 0% | 5% | 10% | 12% | 15% | 20% |
| 250.6 | 263.2 | 275.7 | 280.7 | 288.2 | 300.8 |

The waste factors presented in the table are simple calculations based on the total area of the roof. They do not include any other roofing elements such as ridge, valley or hips. Use your best judgement and past experience to select the waste factor that works best for this particular roof.

ALL REPAIR/REPLACE SHALL MATCH EXISTING IN MATERIAL, EXPOSURE, DIMENSION, SIZE, OPERATION, CONFIGURATION, AND TYPE, UNLESS OTHERWISE SPECIFIED.



ALL REPAIR/REPLACE SHALL MATCH EXISTING IN MATERIAL, EXPOSURE, DIMENSION, SIZE, OPERATION, CONFIGURATION, AND TYPE, UNLESS OTHERWISE SPECIFIED.



Roof Protusion Diagram



ALL REPAIR/REPLACE SHALL MATCH EXISTING IN MATERIAL, EXPOSURE, DIMENSION, SIZE, OPERATION, CONFIGURATION, AND TYPE, UNLESS OTHERWISE SPECIFIED.

ALL MECHANICAL EQUIPMENT TO REMAIN IN EXISTING LOCATIONS. ANY NEW SCREENING MUST NOT BE VISIBLE FROM THE PUBLIC RIGHT OF WAY. IF SCREENING WILL BE VISIBLE, IT MUST BE SUBMITTED TO THE HDLC FOR APPROVAL BEFORE INSTALLATION.



| Protusion Length Area | | | Protusion Length Area | | | Protusion Length Area | | |
|-----------------------|----|----------------|-----------------------|-----------|----|-----------------------|----|---|
| X1 | 68 | 254 | X11-X14 | 15 | 13 | X64-X76 | 11 | 8 |
| X2 | 62 | 197 | X15 | 14 | 13 | X101-X97 | 11 | 7 |
| X3 | 47 | 124 | X16-X17 | 14 | 12 | X100-X99 | 10 | 7 |
| X4 | 44 | 115 | X18-X31 | 14 | 11 | X107-X146 | 10 | 6 |
| X5 | 18 | 19 | X22-X32 | 13 | 11 | X147-X148 | 9 | 6 |
| X6 | 18 | 18 | X33-X40 | 13 | 10 | X152 | 10 | 5 |
| X7 | 17 | 17 | X41-X44 | 13 | 9 | X149-X190 | 9 | 5 |
| X8 | 16 | 15 | X42-X50 | 12 | 9 | X191-X200 | 8 | 4 |
| Summary | | | | | | | | |
| Protusion Length | | Protusion Area | | Roof Area | | Without Protusions | | |
| 2351 | | 2131 | | 25059 | | 22928 | | |

Property and Hazard Information

| Property Information | | | |
|----------------------|------------------|----------------------------|----------|
| Latitude | 29.950997290813 | APN No. | 06259898 |
| Longitude | -90.067848673107 | Assessed Year | 2020 |
| Number of Structures | 1 | Total Assessed Value | \$1,350 |
| Land Use | SFR | Assessed Improvement Value | \$850 |
| County | TANGIPAHOA | Assessed Land Value | \$500 |
| | | Roof Age | 2 |

| Weather Information | |
|---|---------------|
| Date of last hail event greater than 1.5" | None Reported |
| Date of last wind event greater than 55 MPH | 08-29-2021 |

| Risk Ratings | | | |
|----------------------------------|-------|-------------------------|---------|
| Hail Risk | | Low | |
| Annual Hail Probabilities | | Wind Risks | |
| 0.75" | 5.80% | Tornado Risk | High |
| 1.00" | 2.69% | Straight Line Wind Risk | High |
| 1.5" | 0.36% | Hurricane Wind Risk | Extreme |
| Greater than 2" | 0.05% | | |

No material list is available for this order because a majority of the roof area is flat.



Important Legal Notice and Disclaimer

This aerial measurement report is provided for informational purposes only and only for internal use by the initial purchaser/end-user recipient hereof, notwithstanding the foregoing, such purchaser/end-user may share this report with the owner of the property that is the subject of the report. Site conditions should be verified by physical inspection before purchasing materials or providing estimates to customers.

This aerial measurement report is furnished "as is", without warranty of any kind, express or implied, including but not limited to implied warranties of merchantability, fitness for a particular purpose, or non-infringement. Some states do not allow the exclusion of implied warranties, so the above exclusions may not apply to customer. In that event, any implied warranties are limited in duration to ninety (90) days from the date of the report and to the dollar amount of the report.

The contents of this report are protected by applicable copyright and other intellectual property laws and may include proprietary or other content of third persons. No permission is granted to copy, distribute, modify, post or frame any text, graphics, or user interface design or logos included in this report. All users of this report agree to hold harmless Corelogic and its affiliates, equity holders, directors, officers, employees, contractors, agents, representatives and suppliers of third-party content from any use or misuse, misapplication, alteration or unauthorized disclosure of this report.

This notice and disclaimer is intended to function in harmony with the SkyMeasure™ report terms of use. In the event of any conflict between the two documents, the SkyMeasure™ report terms of use shall govern.

This report was generated by SkyMeasure v7.06.0 on 09-15-2021.



SCOPE OF WORK

DEMOLITION AND REMOVAL

- 1.Remove all existing roofing material down to the structural concrete deck.
- 2.Remove all existing wall flashings, curb flashings, pipe jacks and pitch pans.
- 3.Remove all existing termination bars, counter flashings, reglet and coping metal and parapet wall panels.
- 4.Remove all existing drains ,compression rings, screens and hardware.

INSTALLATION

1. Install GAF Energyguard polyiso insulation 2 layers 1.5" thick using Olybond 500 low expansion foam adhesive 4" and 6" ribbons to the entire roof.
2. Install 1/2" Dens Deck brand primed recovery board using Olybond 500 low expansion foam adhesive to engineers specifications 4" and 6" ribbons to the entire roof.
3. Install GAF, heat welded Ruberoid HW25 membrane base ply to the entire roof and roof to wall flashings.
4. Install GAF, heat welded HW Plus Granule membrane to entire roof
5. Install GAF HW Plus Granule membrane flashing to all curbs,parapet wall and roof to wall areas.
6. Install new 26 ga. steel coping metal, counter flashing, and wall panel to all the parapet walls, elevator shafts and penthouse walls
7. Install 186 pitch pans
8. Install 19 omg stainless steel retrofit drains
9. Install 7 scuppers and flash accordingly
10. Install 21 lead pipe jacks
11. install 2 -3x3x3 custom built goose necks
12. Install 17 exhaust vent shrouds
13. Install 16 custom built A/C line shrouds 2x2x2



ALL MECHANICAL EQUIPMENT TO REMAIN IN EXISTING LOCATIONS. ANY NEW SCREENING MUST NOT BE VISIBLE FROM THE PUBLIC RIGHT OF WAY. IF SCREENING WILL BE VISIBLE, IT MUST BE SUBMITTED TO THE HDLC FOR APPROVAL BEFORE INSTALLATION.

NEW VENTS AND DRAINS TO BE INSTALLED IN EXISTING LOCATIONS.

FLASHING AND COPING TO BE INSTALLED TO MATCH EXISTING - SHOULD NOT BE VISIBLE FROM THE PUBLIC RIGHT OF WAY

PARAPET WALLS TO REMAIN AS EXISTING.

ALL REPAIR/REPLACE SHALL MATCH EXISTING IN MATERIAL, EXPOSURE, DIMENSION, SIZE, OPERATION, CONFIGURATION, AND TYPE, UNLESS OTHERWISE SPECIFIED.

ANY CHANGES MUST BE APPROVED BY THE HDLC.

