



City of New Orleans City Planning Commission

BZA Waiver Final Approval Synopsis + Sign-Off

Docket Number: BZA013-22
Property Location: 412 New Orleans-Hammond Highway

Project Synopsis:

Request: This request is for variances from the provisions of Article 22, Section 22.11.B.1 of the Comprehensive Zoning Ordinance to permit a circular drive with a parking space located in the required minimum front yard on a lot with insufficient width and more than one curb cut.

Requested Waivers:

Article 22, Section 22.11.B.1 – Curb Cuts

Permitted: 1 curb cut Proposed: 2 curb cuts Waiver: 1 curb cut

Article 22, Section 22.11.B.1.2 – Circular Driveway

Required: No circular driveway

Proposed: Circular driveway

Waiver: Circular driveway

Article 22, Section 22.11.B.1.a.i. – Curb Cuts (Circular Drive – Parking Space in Front Yard)

Permitted: No circular drive in front yard

Proposed: Circular drive in front yard

Waiver: Circular drive in front yard

Article 22, Section 22.11.B.1.a.iii. – Curb Cuts (Circular Drive – Lot Width)

Required: 50 ft

Proposed: 40 ft

Waiver: 10 ft

Provisos:

1. Prior to the issuance of a building permit by the Department of Safety and Permits, the applicant shall submit revised site, floor, and architectural elevation plans of the subject site to the Board of Zoning Adjustments staff for review and approval. These plans shall be the plans for which the building permit is issued. *This proviso is met.*
2. The applicant shall provide a site plan approved by the Department of Public Works indicating the following:
 - o All necessary or otherwise proposed sidewalk repairs or modifications
 - o Removal of all abandoned or nonconforming driveways and/or curb cuts in the adjacent public right-of-way, per City Ordinance Sec. 146-153.
 - ☐ Note: Curb cuts shall be restored with curbing matching predominant curb along the block face, subject to the approval of the Department of Public Works

[docket number]



City of New Orleans

City Planning Commission

- ☐ Note: Sidewalk material, dimensions, and style, including landscaping strips (where present) should generally conform to the style along the same block face, subject to the approval of the Department of Public Works *This proviso is met.*
3. The applicant shall plant one (1) street tree in the public right-of-way adjacent to the site for every thirty (30) feet or fraction thereof, of street frontage, subject to the review and approval of the Department of Parks and Parkways. *This proviso is met.*

Valerie Goines via email

8/9/2022

Reviewed by Planner (signature)

Date

Reviewed by Planning Administrator (signature)

Date

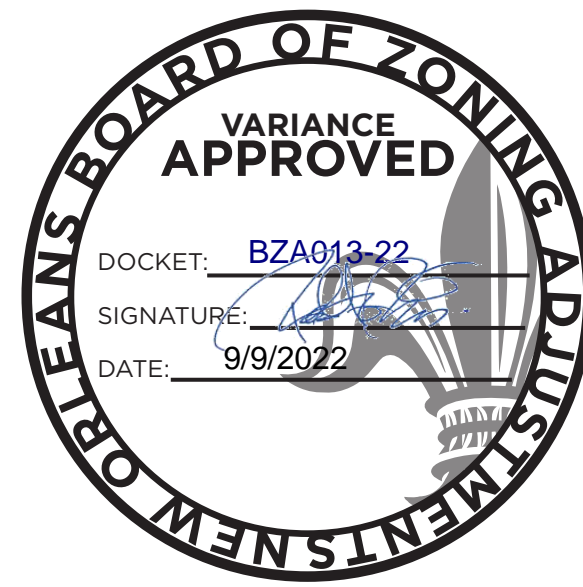
9/9/2022

Reviewed by Executive Director (signature)

Date

WIND SPEED 130 MPH.

1. THE 2015 INTERNATIONAL RESIDENTIAL CODE.
2. WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS. (WFCM).
3. INTERNATIONAL CODE COUNCIL (ICC) STANDARD FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS (ICC600).

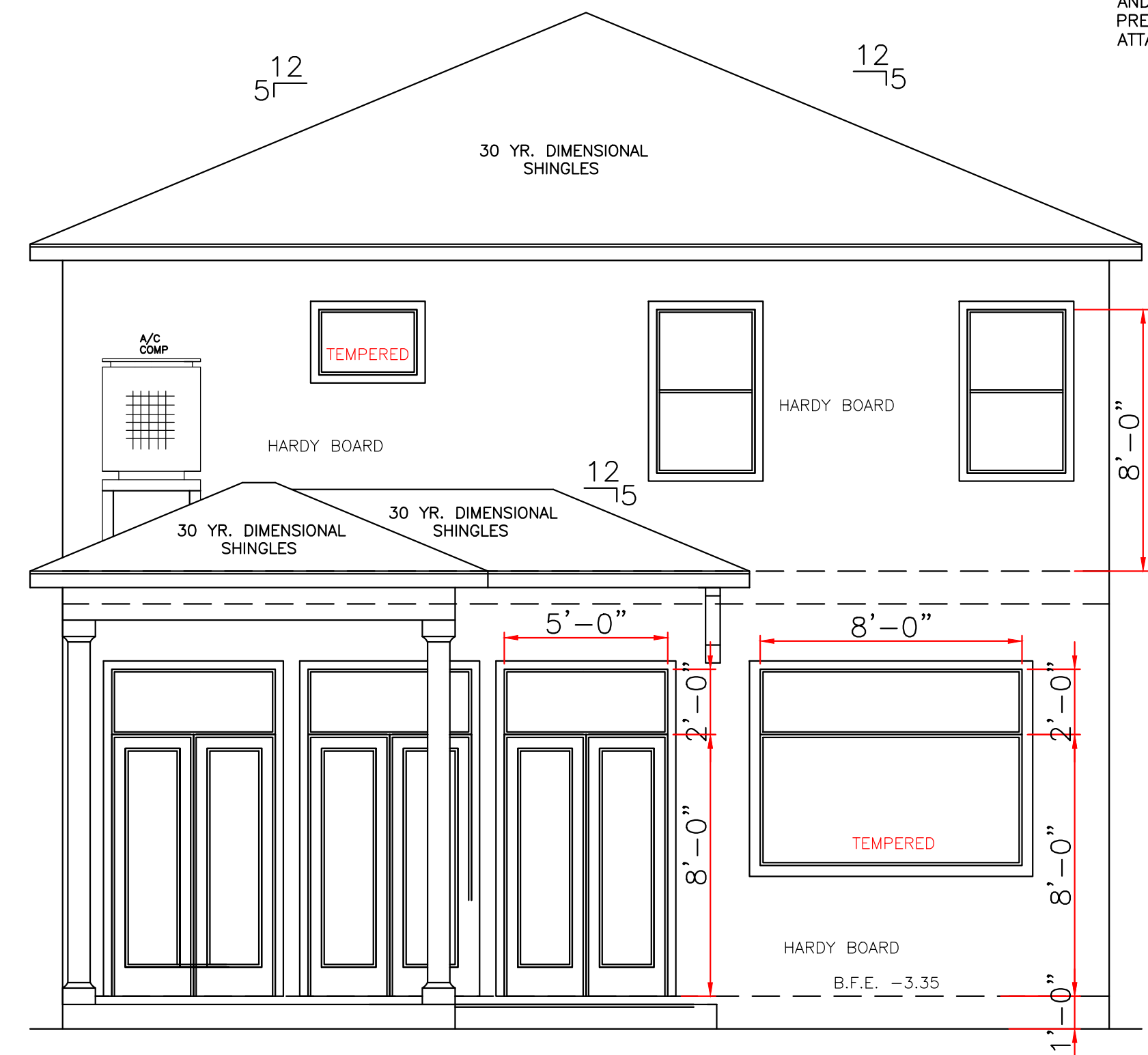


Any deviation from these plans shall require re-review by the Board of Zoning Adjustments staff, an authorized signature, and shall be subject to a review fee. All changes must be reviewed and approved prior to the change being made or construction having commenced. Changes in conflict with the Comprehensive Zoning Ordinance, or the original terms of approval, may require the review and approval of the Board of Zoning Adjustments.

DPW SITE PLAN APPROVAL



PERMIABLE & NON-PERMIABLE	
TOTAL AREA	4000 SQ. FT.
PERMEABLE AREA	2200 SQ. FT.
NON-PERMEABLE AREA	1800 SQ. FT.



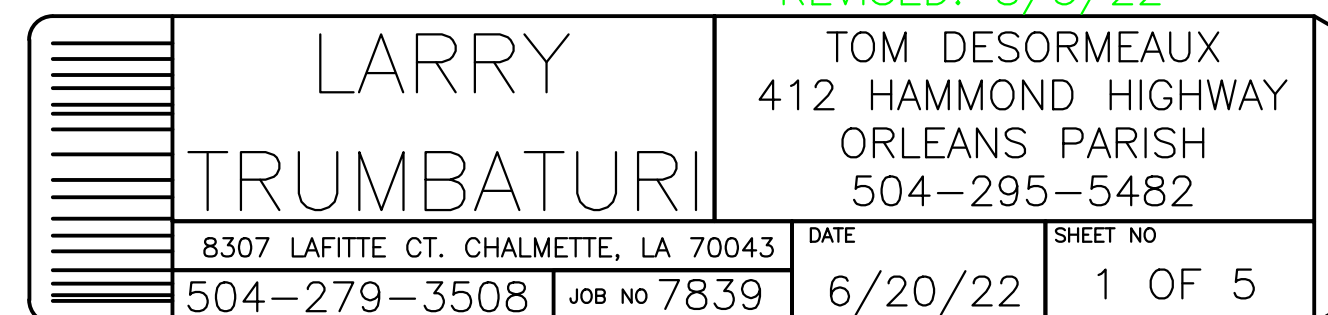
REAR ELEVATION
SCALE: 1/4" = 1'-0"



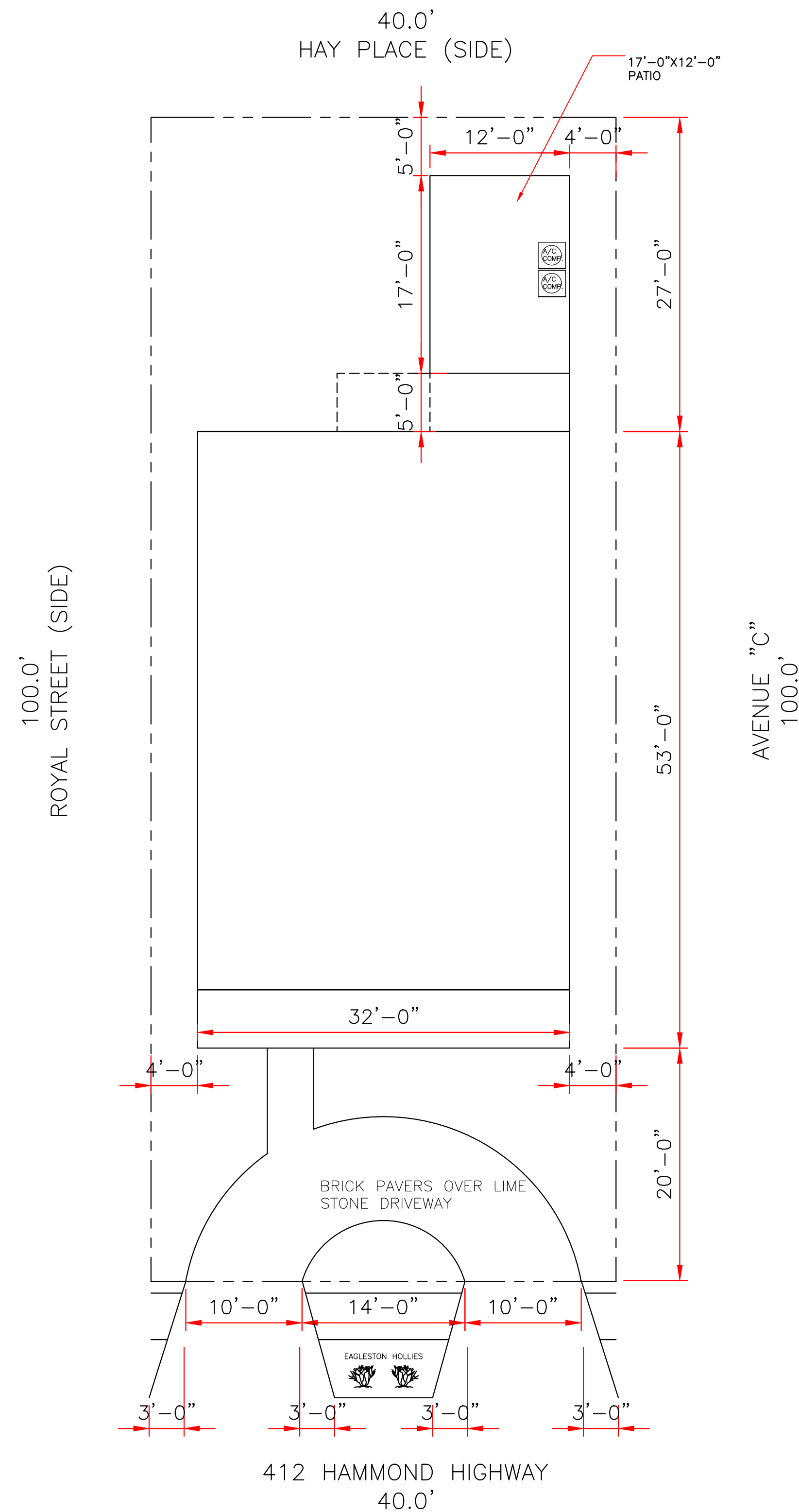
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

THESE PLANS HAVE BEEN PROPERLY EXAMINED BY THE UNDERSIGNED. I HAVE DETERMINED THAT THEY COMPLY WITH THE FOLLOWING EXISTING STATE AND LOCAL BUILDING CODES FOR THE JURISDICTION IN WHICH THE RESIDENCE IS TO BE LOCATED.

REVISÉ: 8/3/22



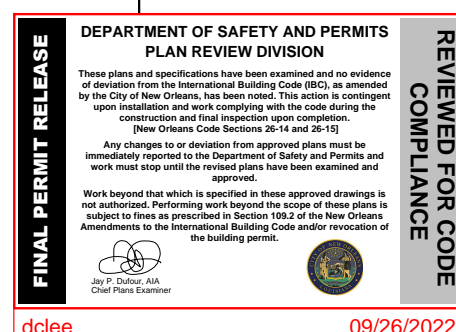
IN THE EVENT THAT A DIMENSIONAL DISCREPANCY IN THE DRAWINGS IS DISCOVERED BY THE GENERAL CONTRACTOR, SUBCONTRACTORS, ENGINEER, CONSULTANT, OR A SUPPLIER, SAID PARTY SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND SUSPEND ALL ASSOCIATED WORK UNTIL SUCH TIME THAT A PROPER DETERMINATION HAS BEEN MADE BY THE ARCHITECT, WITH APPROPRIATE INSTRUCTIONS FOR RESOLUTION OF THE ISSUE. FAILURE TO REPORT KNOWN DISCREPANCIES AND CONTINUING WITH THE WORK WITHOUT NOTIFYING THE ARCHITECT SHALL RESULT IN AN ASSUMPTION OF RESPONSIBILITY FOR CORRECTIVE WORK TO ACHIEVE THE INTENDED DESIGN.



SITE PLAN

SCALE: 1/8" = 1'-0"

LOT# F, SQ. 25
WEST END PARK SUBDIVISION
SEVENTH DISTRICT
ORLEANS PARISH, LA



CODE COMPLIANCE:

WIND SPEED 130 MPH.

1. THE 2015 INTERNATIONAL RESIDENTIAL CODE.
2. WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS. (WFCM).
3. INTERNATIONAL CODE COUNCIL (ICC) STANDARD FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS (ICC600).

GENERAL NOTES:

ATTIC VENTILATION WILL BE CONTINUOUS RIDGE VENTS AND PERFORATED SOFFITS. OR EQUAL

TERMITE SHIELDS WILL BE 26 GA GALVANIZED AT EACH PIER UNDER SILLS

#2 PINE LUMBER WILL BE USED FOR FRAMING LUMBER

CONTRACTOR TO REMOVE DEBRIS FROM PROPERTY

ENCLOSED AREAS BELOW FLOOD GRADE SHALL HAVE A MINIMUM OF 1 SQ. IN. PER 1 SQ. FT. OF WATER FLOW VENTING.

MINIMUM INSULATION REQUIRED

FLOORS- R-19

WALL- R-13

CEILING- R-38

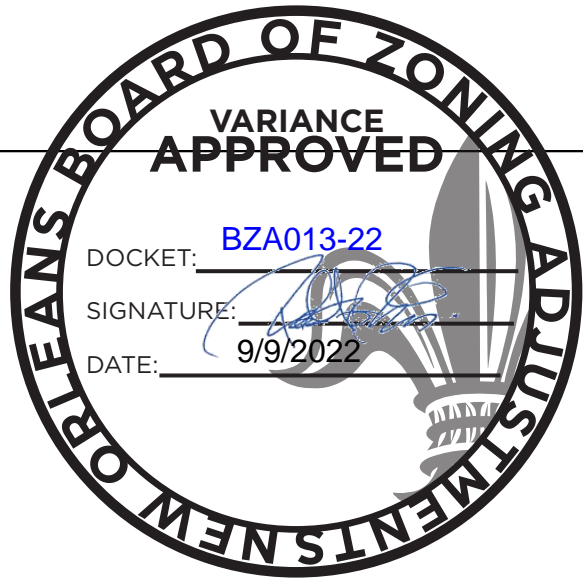
BUILDING MATERIAL USED BELOW DESIGN FLOOD ELEVATION MUST BE WATER RESISTANT

WINDOWS INSTALLED IN BATHTUB ENCLOSURES LESS THAN 60" F.F.F. REQUIRE SAFETY GLAZING AND WINDOWS WITHIN 2' OF DOORS AND WITHIN 5' OF STAIRS

FLOOD VENTS WHERE APPLICABLE SHALL BE 1'-0" OR LESS ABOVE GRADE.

WINDOWS WHERE BOTTOM EDGE IS LESS THAN 18" REQUIRES SAFETY

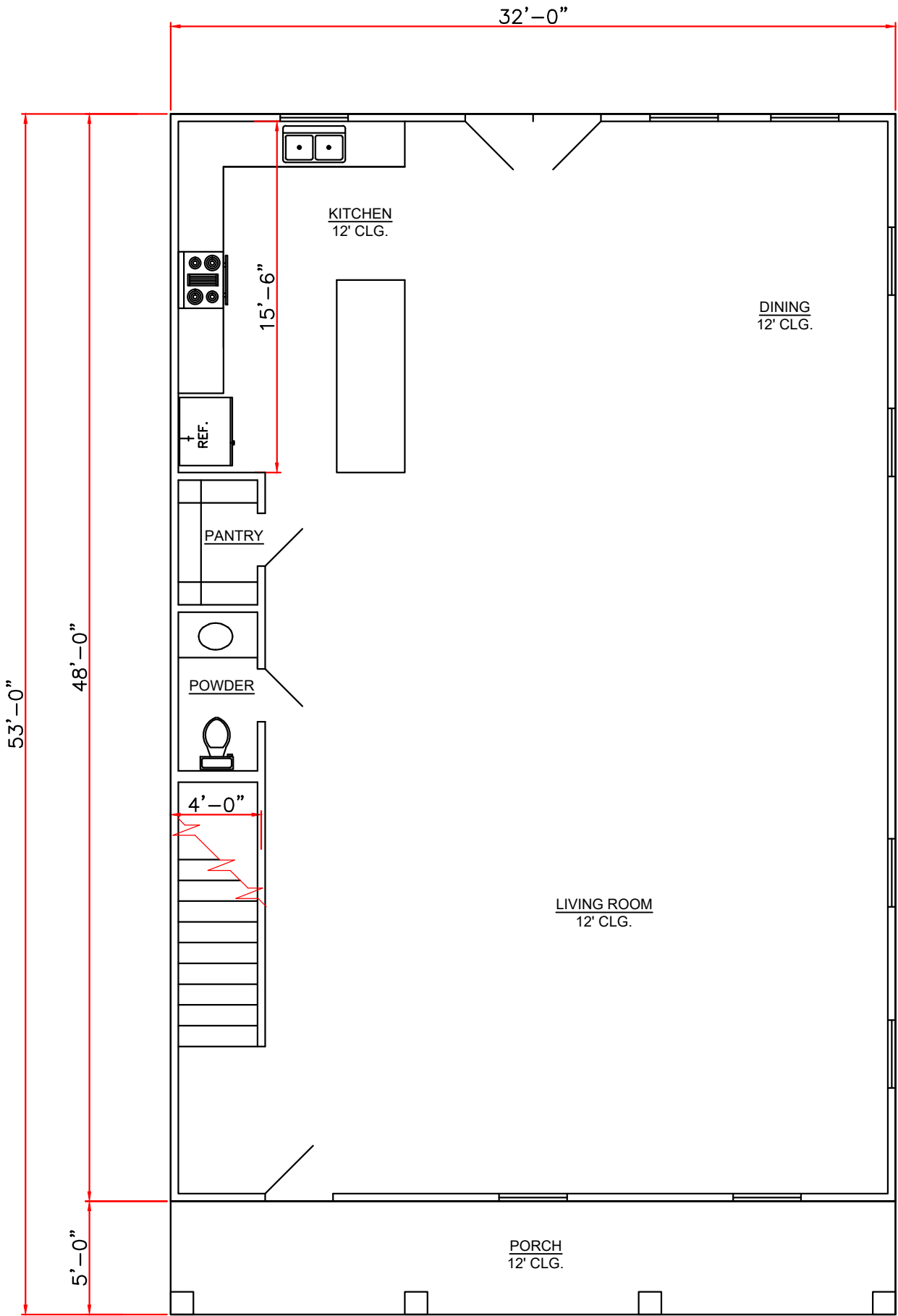
SQUARE FOOTAGE	
1ST FLOOR LIVING	1536
2NF FLOOR LIVING	1536
PORCH	160
BALCONY	160
TOTAL	3392



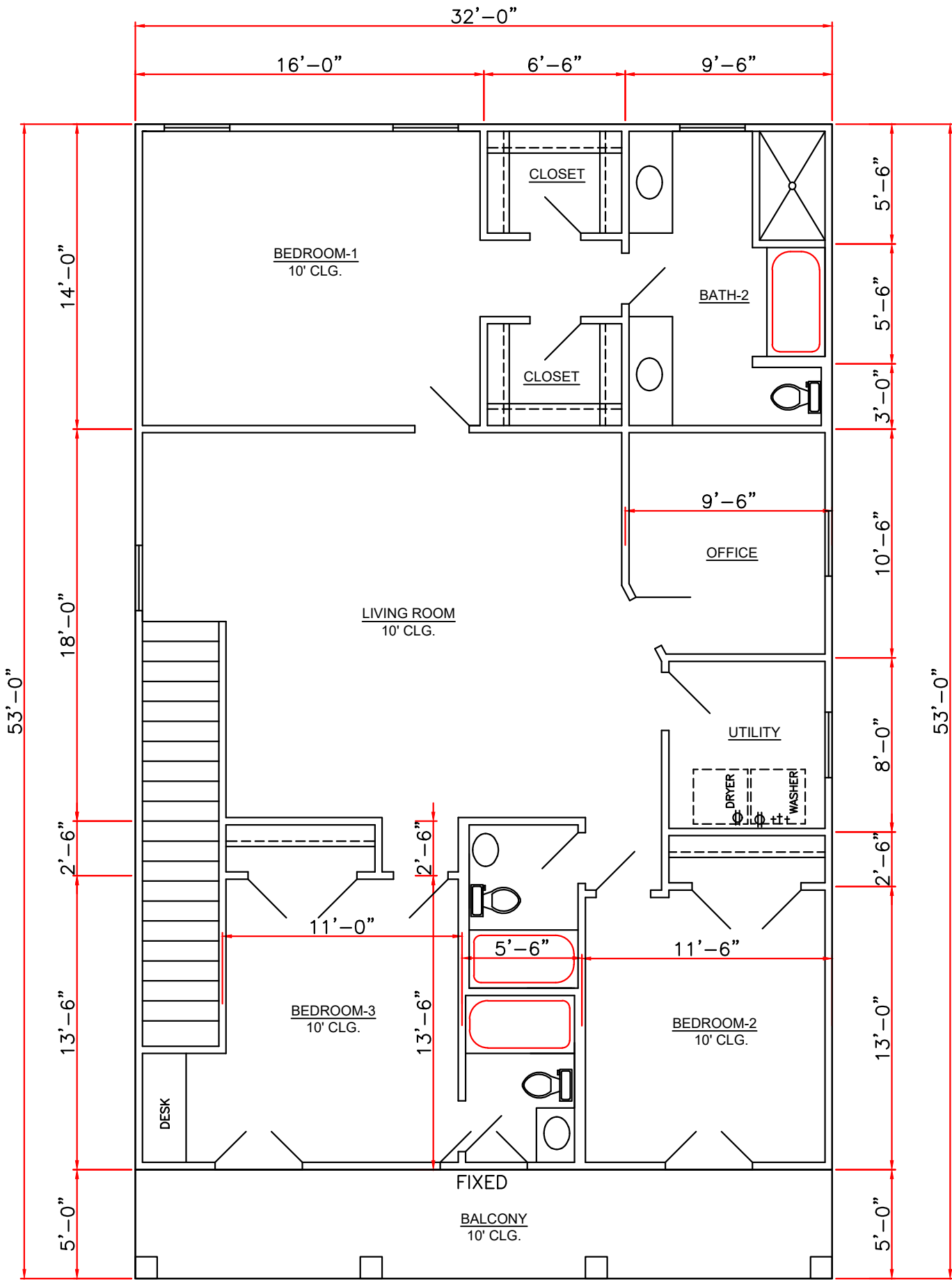
Any deviation from these plans shall require re-review by the Board of Zoning Adjustments staff, an authorized signature, and shall be subject to a review fee. All changes must be reviewed and approved prior to the change being made or construction having commenced. Changes in conflict with the Comprehensive Zoning Ordinance, or the original terms of approval, may require the review and approval of the Board of Zoning Adjustments.

WIND BORNE DEBRIS PROTECTION

WINDOWS IN BUILDING LOCATED IN WIND BORNE DEBRIS REGIONS SHALL HAVE GLAZED OPENINGS PROTECTED FROM WIND BORNE DEBRIS. WOOD STRUCTURAL PANELS WITH A MIN. THICKNESS OF 1/2" AND A MAX. SPAN OF 8 FEET SHALL BE PERMITTED FOR OPENING PROTECTION IN ONE AND TWO STORY BUILDINGS. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED.



FIRST LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



FIRST LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

THESE PLANS HAVE BEEN PROPERLY EXAMINED BY THE UNDERSIGNED. I HAVE DETERMINED THAT THEY COMPLY WITH THE FOLLOWING EXISTING STATE AND LOCAL BUILDING CODES FOR THE JURISDICTION IN WHICH THE RESIDENCE IS TO BE LOCATED.

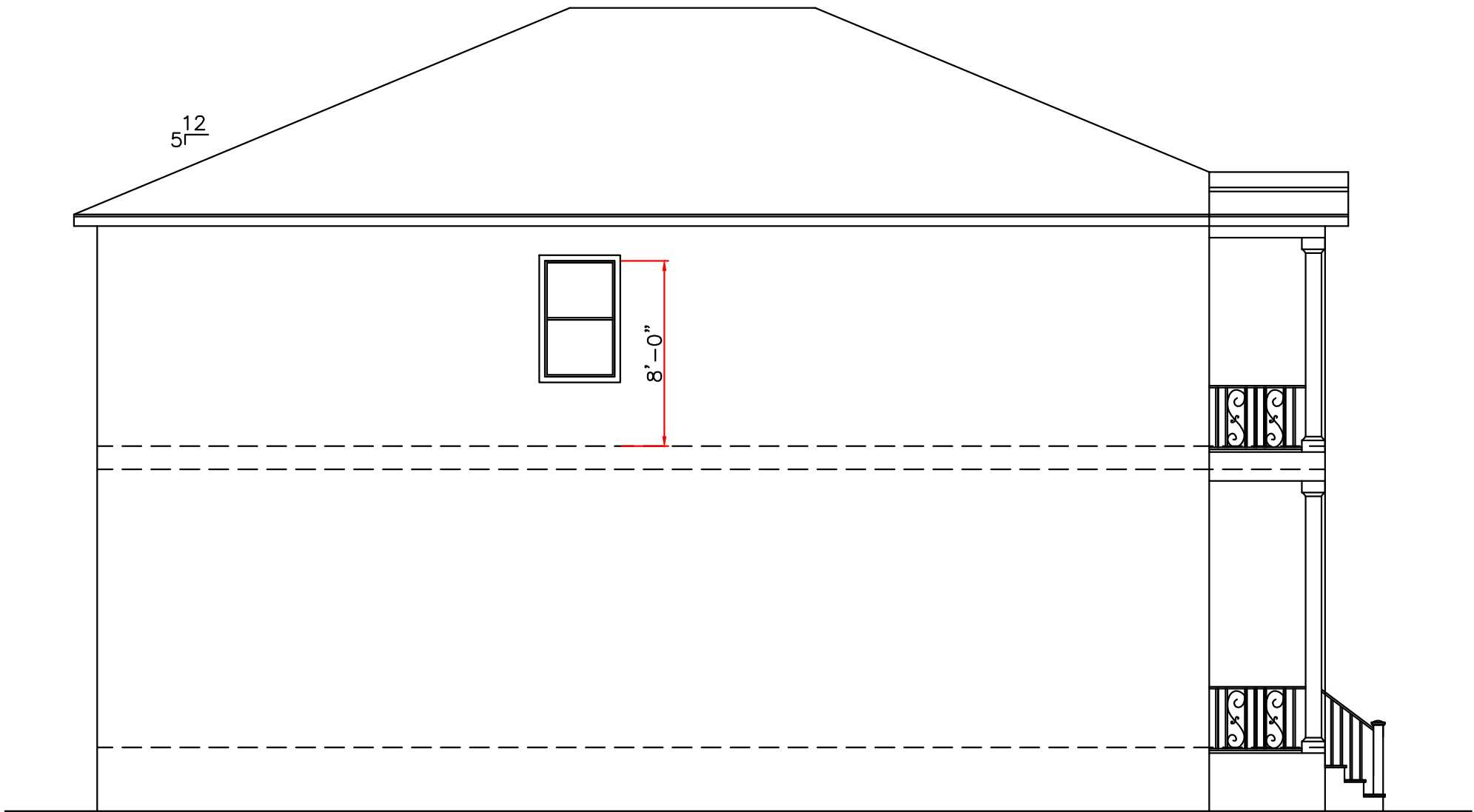
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LARRY TRUMBATUR	TOM DESORMEAUX 412 HAMMOND HIGHWAY	
	8307 LAFITTE CT. CHALMETTE, LA 70043	DATE: 1-13-22
	504-279-3508	SHEET NO: 2 OF 3

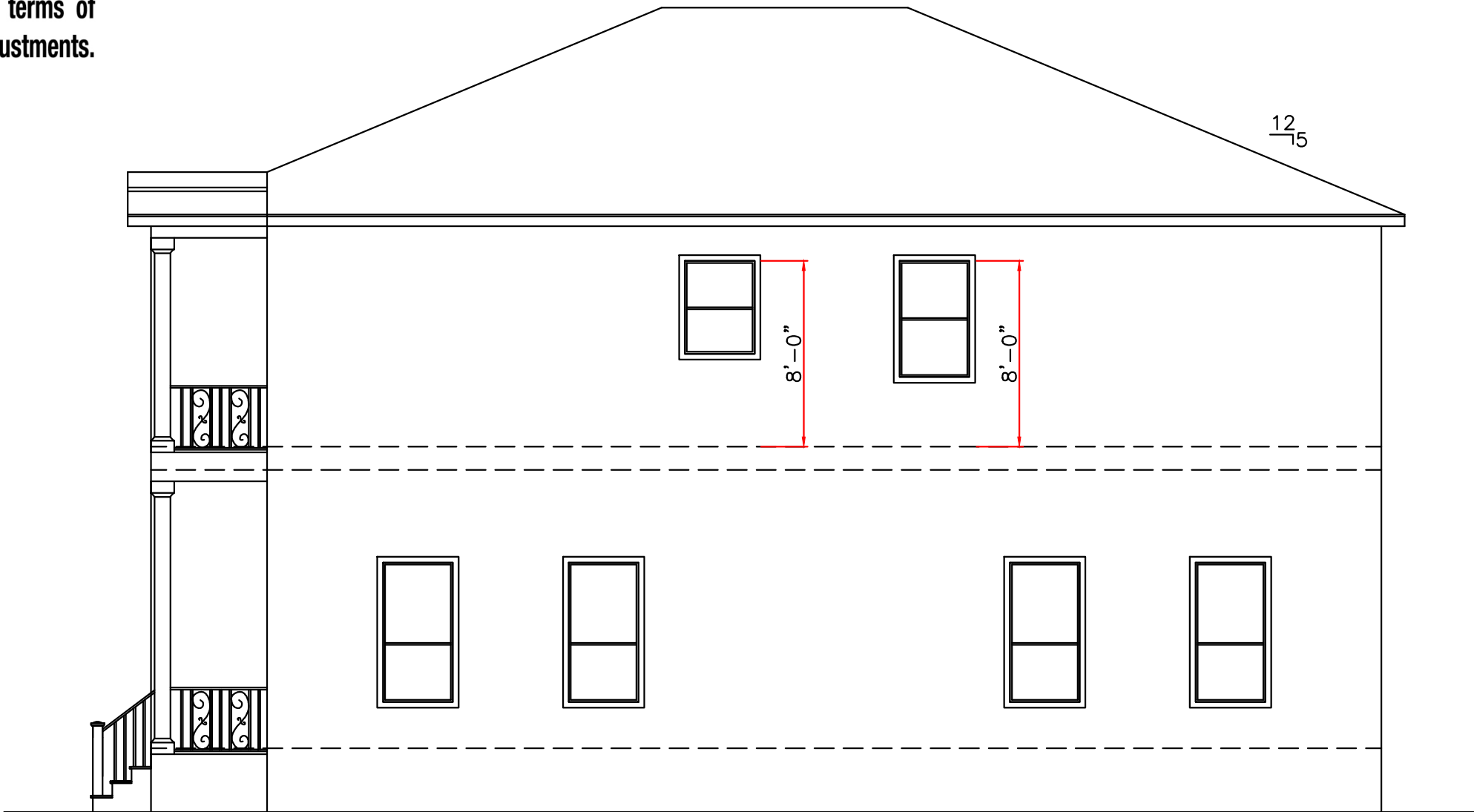
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LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

ALL MATERIALS BELOW
BASE FLOOD MUST
BE WATER RESISTANT

IN THE EVENT THAT A DIMENSIONAL DISCREPANCY IN THE DRAWINGS IS DISCOVERED BY THE GENERAL CONTRACTOR, SUBCONTRACTORS, ENGINEER, CONSULTANT, OR A SUPPLIER, SAID PARTY SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND SUSPEND ALL ASSOCIATED WORK UNTIL SUCH TIME THAT A PROPER DETERMINATION HAS BEEN MADE BY THE ARCHITECT, WITH APPROPRIATE INSTRUCTIONS FOR RESOLUTION OF THE ISSUE. FAILURE TO REPORT KNOWN DISCREPANCIES AND CONTINUING WITH THE WORK WITHOUT NOTIFYING THE ARCHITECT SHALL RESULT IN AN ASSUMPTION OF RESPONSIBILITY FOR CORRECTIVE WORK TO ACHIEVE THE INTENDED DESIGN.

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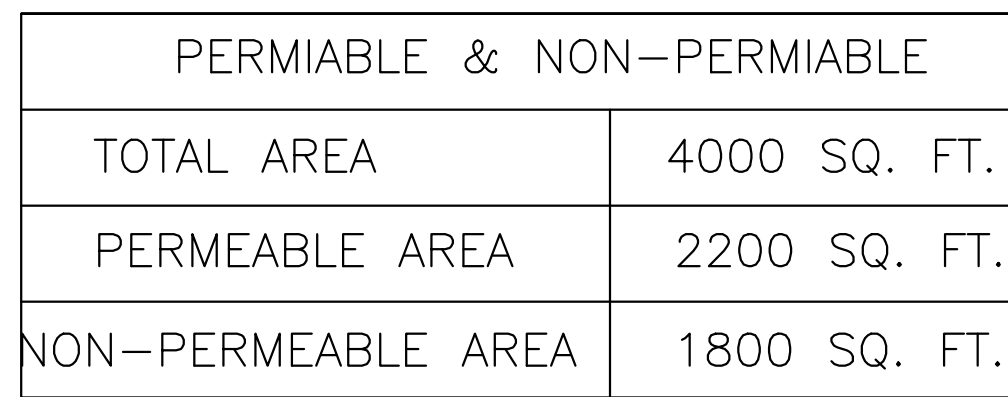
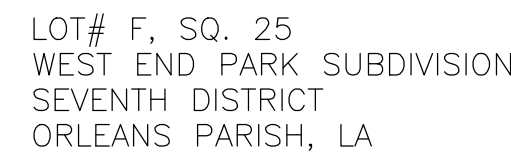
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	LARRY TRUMBATURI		TOM DESORMEAUX 412 HAMMOND HIGHWAY	
	8307 LAFITTE CT. CHALMETTE, LA 70043		DATE	SHEET NO
	504-279-3508		JOB NO	1-13-22 3 OF 3

FINAL PERMIT RELEASE	DEPARTMENT OF SAFETY AND PERMITS PLAN REVIEW DIVISION	REVIEWED FOR CODE COMPLIANCE
	<small>These plans and specifications have been examined and no evidence of deviation from the International Building Code (IBC), as amended by the City of New Orleans, has been noted. This action is contingent upon installation and work complying with the code during the construction and final inspection upon completion. (New Orleans Code Sections 26-14 and 26-15)</small>	
	<small>Any changes to or deviation from approved plans must be immediately reported to the Department of Safety and Permits and work must stop until the revised plans have been examined and approved.</small>	
	<small>Work beyond that which is specified in these approved drawings is not authorized. Performing work beyond the scope of these plans is subject to fines as prescribed in Section 19B of the New Orleans Amendments to the International Building Code and/or revocation of the building permit.</small>	
	City of New Orleans Chief Permit Examiner	
dclee	09/26/2022	


3. INTERNATIONAL CODE COUNCIL (ICC) STANDARD FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS (ICC600).

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DEBRIS REGIONS SHALL HAVE GLAZED OPENINGS
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ATTACHMENT HARDWARE PROVIDED.



APPROVED
Public Landscape Plan
Date: 28 JULY 2022
By: 
Dept. of Parks & Parkways



	LARRY TRUMBATURI		TOM DESORMEAUX 412 HAMMOND HIGHWAY ORLEANS PARISH 504-295-5482	
	8307 LAFFITE CT. CHALMETTE, LA 70043 504-279-3508 JOB NO 7839		DATE 6/20/22	SHEET NO 1 OF 5

IN THE EVENT THAT A DIMENSIONAL DISCREPANCY IN THE DRAWINGS IS DISCOVERED BY THE GENERAL CONTRACTOR, SUBCONTRACTORS, ENGINEER, CONSULTANT, OR A SUPPLIER, SAID PARTY SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND SUSPEND ALL ASSOCIATED WORK UNTIL SUCH TIME THAT A PROPER DETERMINATION HAS BEEN MADE BY THE ARCHITECT, WITH APPROPRIATE INSTRUCTIONS FOR RESOLUTION OF THE ISSUE. FAILURE TO REPORT KNOWN DISCREPANCIES AND CONTINUING WITH THE WORK WITHOUT NOTIFYING THE ARCHITECT SHALL RESULT IN AN ASSUMPTION OF RESPONSIBILITY FOR CORRECTIVE WORK TO ACHIEVE THE INTENDED DESIGN.



CITY OF NEW ORLEANS

BOARD OF ZONING ADJUSTMENTS

1300 PERDIDO STREET | ROOM 7W03 | NEW ORLEANS, LOUISIANA 70112

NOTICE: DISPOSITION OF ZONING CASE – BZA DOCKET 013-22

This Variance Request Has Been APPROVED

Applicant or Agent: Backyard Makeover LLC, Thomas DesOrmeaux
Property Location: 412 New Orleans-Hammond Highway **Zip:** 70124
Bounding Streets: N.O.-Hammond Hwy., Fleur de Lis Dr., Hay Pl., Roy St.
Zoning District: S-LRS1 Suburban Lakeview Single-Family Residential District
Historic District: N/A **Planning District:** 5
Existing Use: Vacant Lot **Square Number:** 25
Proposed Use: Single-Family Residence **Lot Number:** F

Whereas, the above request was heard by the Board of Zoning Adjustments at its public hearing of **Monday, March 7, 2022**; and

Whereas, the applicant appeared before the Board seeking relief from the Comprehensive Zoning Ordinance, No. 4264 M.C.S., as amended, as it applies to Article 22, Section 22.11.B – Curb Cuts, Article 22, Section 22.11.B.1.2 – Circular Driveway, Article 22, Section 22.11.B.1.a.i. – Curb Cuts (Circular Drive – Parking Space in Front Yard), and Article 22, Section 22.11.B.1.a.iii. – Curb Cuts (Circular Drive – Lot Width) to permit a circular drive with a parking space located in the required minimum front yard on a lot with insufficient width and more than one curb cut, as indicated below:

Requested Waivers:

Article 22, Section 22.11.B.1 – Curb Cuts

Permitted: 1 curb cut Proposed: 2 curb cuts Waiver: 1 curb cut

Article 22, Section 22.11.B.1.2 – Circular Driveway

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Proposed: Circular drive in front yard

Waiver: Circular drive in front yard

Article 22, Section 22.11.B.1.a.iii. – Curb Cuts (Circular Drive – Lot Width)

Required: 50 ft Proposed: 40 ft Waiver: 10 ft

And Whereas, the Board carefully considered the facts and arguments for and against the application at the public hearing, and after considering the Comprehensive Zoning Ordinance, No. 4264 M.C.S., as amended, the Board is of the opinion that the weight of the evidence indicates that the approval standards for variances of **Article 4, Section 4.6.F** of the Comprehensive Zoning Ordinance have been met; therefore, a motion was made by **Todd James** and seconded by **Tamara Agins** for **APPROVAL** of the requested variances, subject to the following provisos:

1. **Prior** to the issuance of a building permit by the Department of Safety and Permits, the applicant shall submit revised site, floor, and architectural elevation plans of the subject site to the Board of Zoning Adjustments staff for review and approval. These plans shall be the plans for which the building permit is issued.
2. The applicant shall provide a site plan approved by the Department of Public Works indicating the following:
 - All necessary or otherwise proposed sidewalk repairs or modifications
 - Removal of all abandoned or nonconforming driveways and/or curb cuts in the adjacent public right-of-way, per City Ordinance Sec. 146-153.
 - Note: Curb cuts shall be restored with curbing matching predominant curb along the block face, subject to the approval of the Department of Public Works
 - Note: Sidewalk material, dimensions, and style, including landscaping strips (where present) should generally conform to the style along the same block face, subject to the approval of the Department of Public Works

3. The applicant shall plant one (1) street tree in the public right-of-way adjacent to the site for every thirty (30) feet or fraction thereof, of street frontage, subject to the review and approval of the Department of Parks and Parkways.

Voting for the Resolution: Candice M. Forest, Todd C. James, Tamara Agins, José Alvarez, Alfonso Gonzalez II, Matthew Rufo
Voting Against the Resolution: None
Abstaining from the Resolution: None
Absent: Jaime Ramiro Diaz

Approved by the Board of Zoning Adjustments,



Appt for Candice Forest

Candice Forest, Chair

Note for approved variance requests: If your resolution has no provisos, you may proceed with the permitting process with the Department of Safety and Permits. If your resolution has provisos, your approval is contingent on the condition that you meet the provisos listed in the resolution, as verified by Board of Zoning Adjustments staff. In accordance with Article 4, Section 4.6.G of the CZO, a variance expires one (1) year from the date of approval unless a building permit is obtained and substantial construction is started or the use is commenced within such period. In the event an extension is necessary, a request shall be submitted prior to the expiration of the variance (i.e., within one (1) year from the date of approval).