

PROJECT ADDRESS 3030-32 ST CLAUDE AVENUE NEW ORLEANS, LA 70117

PROJECT DESCRIPTION
RENOVATION OF TWO-FAMILY RESIDENCE

<u>LEGAL DESCRIPTION</u> SQ 363 LOT 10 PT 9 ST CLAUDE

SITE SURVEY

BOUNDING STREETS
ST CLAUDE AVENUE, CLOUET STREET (SIDE), N RAMPART STREET (SIDE), MONTEGUT STREET (SIDE) RENOVATION 2,030 SF 2,030 SF

MAJOR APPLICABLE CODES AND REGULATIONS (NOT LIMITED TO THE FOLLOWING)

INTERNATIONAL RESIDENTIAL CODE 2015 NATIONAL ELECTRICAL CODE 2014 INTERNATIONAL ENERGY CONSERVATION CODE

ZONING CLASSIFICATION ZONING DISTRICT HMC-2, HISTORIC MARIGNY/ TREME/BYWATER COMMERCIAL

DISTRICT

HMR-3, HISTORIC MARIGNY/ TREME/BYWATER RESIDENTIAL DISTRICT FUTURE LAND USE MU-HC, MIXED-USE HISTORIC CORE

OVERLAY DISTRICT

EC, ENHANCEMENT CORRIDOR DESIGN OVERLAY DISTRICT HUC, HISTORIC URBAN CORE USE RESTRICTION OVERLAY DISTRICT SMALL MULTI-FAMILY AFFORDABLE SHORT TERM RENTAL INTERIM ZONING DISTRICT

BYWATER HISTORIC DISTRICT

AC-3, ARTS AND CULTURE DIVERSITY

<u>SITE AREA</u> TOTAL SITE AREA 7,552 SF FRONT YARD: 0'-4" SIDE YARD: 2'-8 3/8" SIDE YARD: 3'-1"

REAR YARD: 154'-2 3/4" PERMEABLE OPEN SPACE: MIN 15% OF LOT AREA INDEX OF DRAWINGS

G041 INFORMATION SHEET

SITE PLAN

TOTAL NUMBER OF SHEETS: 5

ROOF & FLOOR PLAN

A442 EAST & WEST EXTERIOR ELEVATIONS

NORTH & SOUTH EXTERIOR ELEVATIONS

A041

BUILDING HEIGHT 22' - 6" PROPOSED USES
TWO FAMILY RESIDENCE FLOOD ZONES

0.2 PCT ANNUAL CHANCE FLOOD HAZARD +4.2

FIRM PANEL: 22071C0233F OCCUPANCY CLASSIFICATION IRC WIND SPEED CRITERIA TABLE 301.2(4)
EXPOSURE CATEGORY B

WIND SPEED 130 MPH

PROJECT DIRECTORY

OWNER 3000-3032 ST CLAUDE AVE., LLC 1520 SPRICE STREET, #101 PHILADELPHIA, PA 19102

GIULIANO PIGNATARO gp@sprucestreetcommons.com **BEN JACOBSON**

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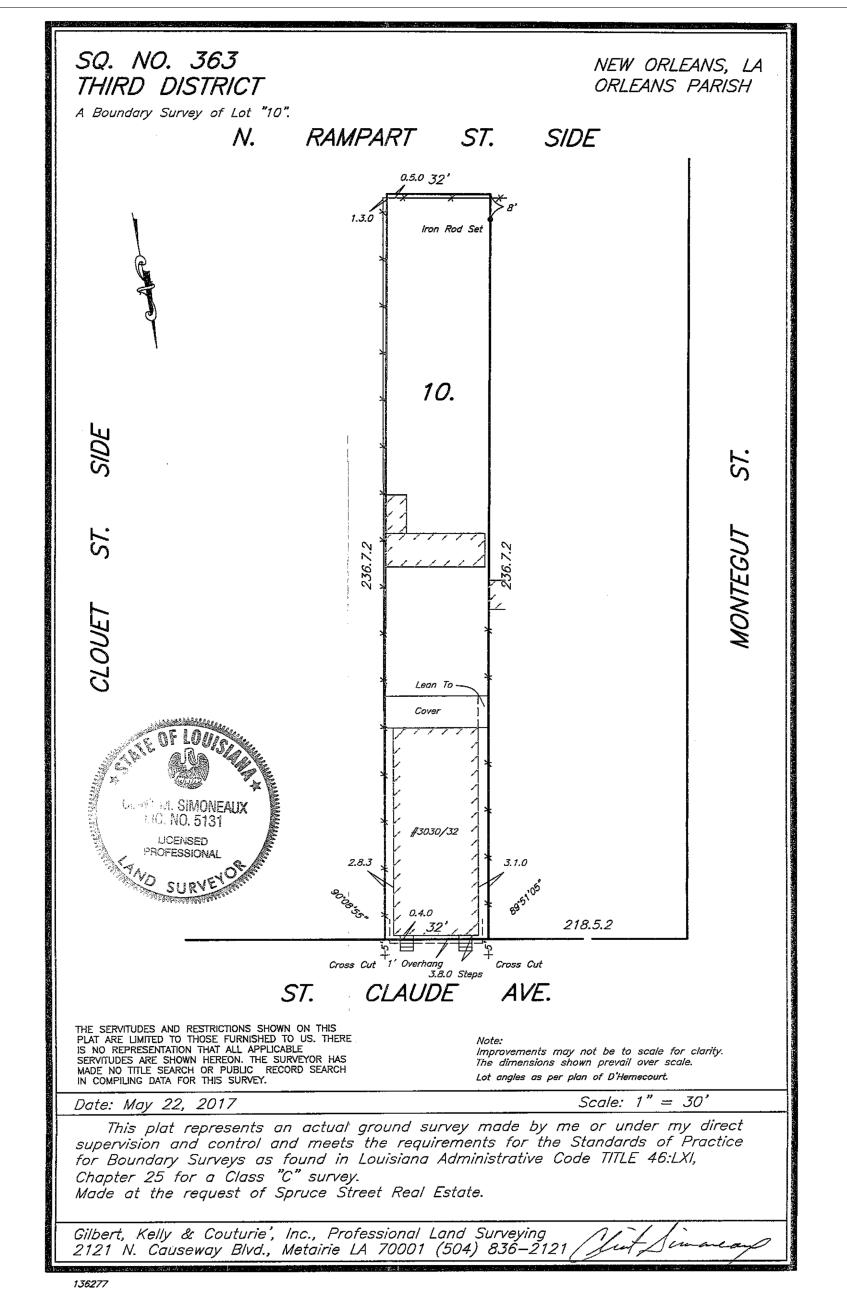
ARCHITECT
STUDIO WEST DESIGN & ARCHITECTURE 2340 DAUPHINE STREET NEW ORLEANS, LA 70117 TEL: 504.909.1580

JENNIE CANNON WEST, OWNER jennie@studiowest.design

CONTRACTOR

ADDRESS CONTACT **EMAIL** LICENSE#

LOCATION MAP



NOTE: THIS SURVEY WAS FURNISHED BY THE OWNER FOR USE ON THIS PROJECT AND WAS NOT PREPARED BY THE ARCHITECT WHO IS THEREFORE NOT RESPONSIBLE FOR ITS CONTENT.



3030-32 ST CLAUDE

NEW ORLEANS

NEW ORLEANS, LOUISIANA 70117

2340 DAUPHINE STREET

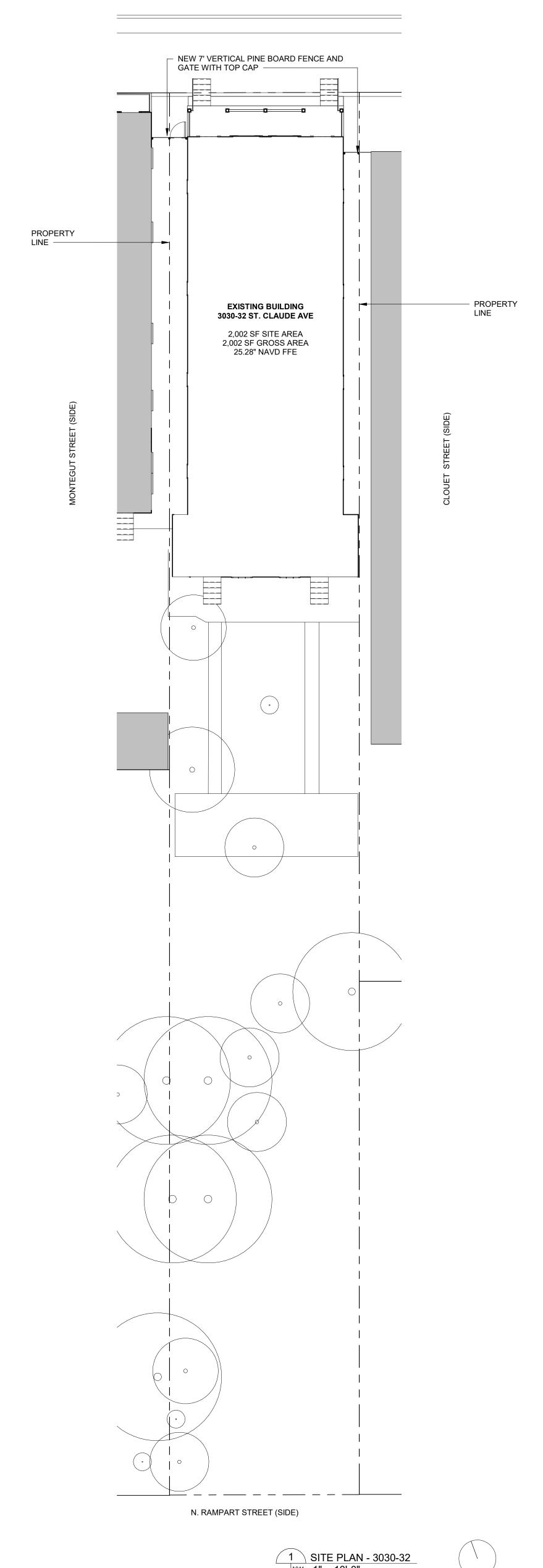
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ISSUE DATE | 23 SEPTEMBER 2022 EXTERIOR REPAIR REVISIONS

INFORMATION SHEET





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2340 DAUPHINE STREET
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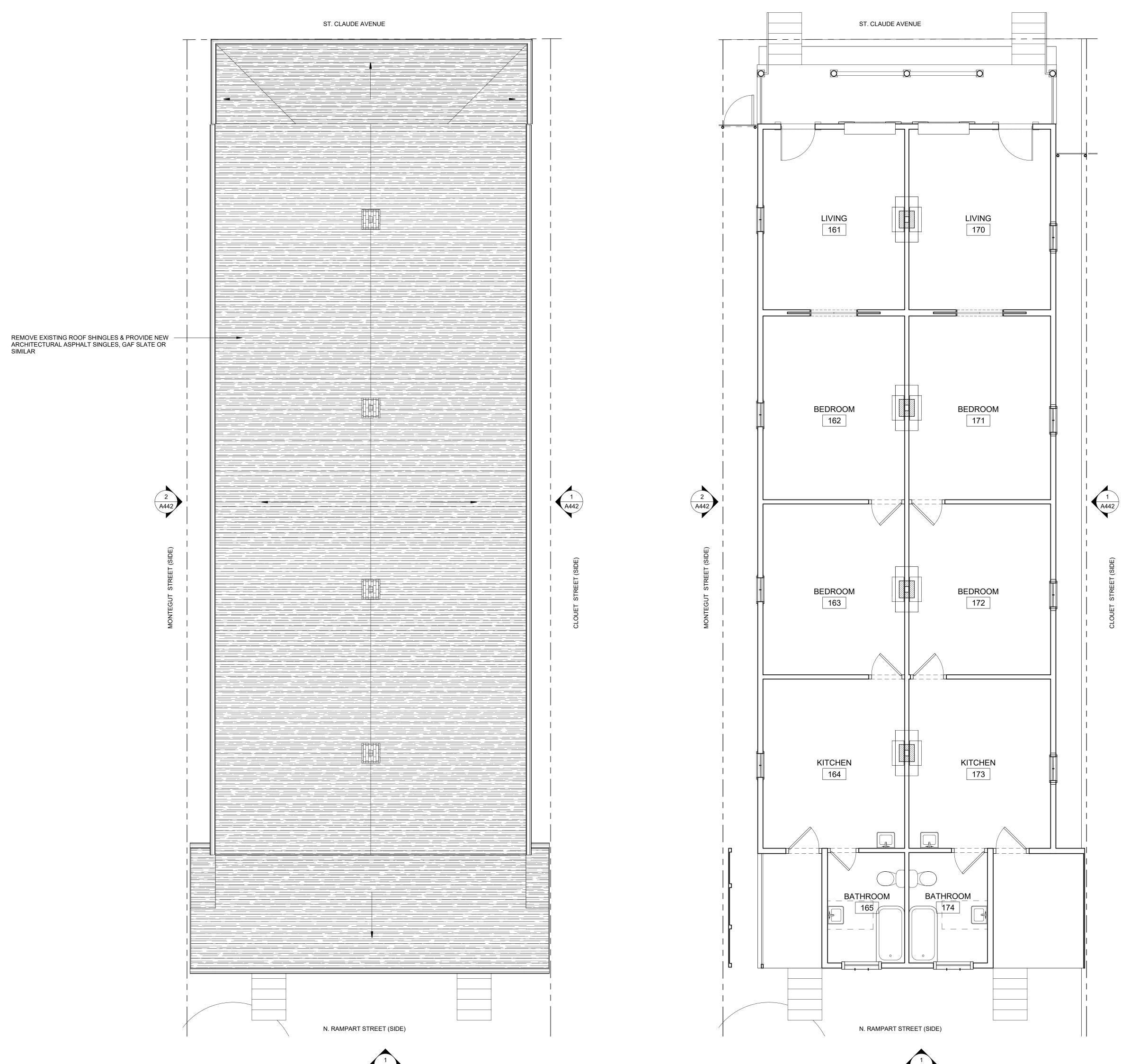


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SITE PLAN



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2 EXISTING ROOF PLAN - 3030-32 A241 1/4" = 1'-0"

3030-32 ST CLAUDE

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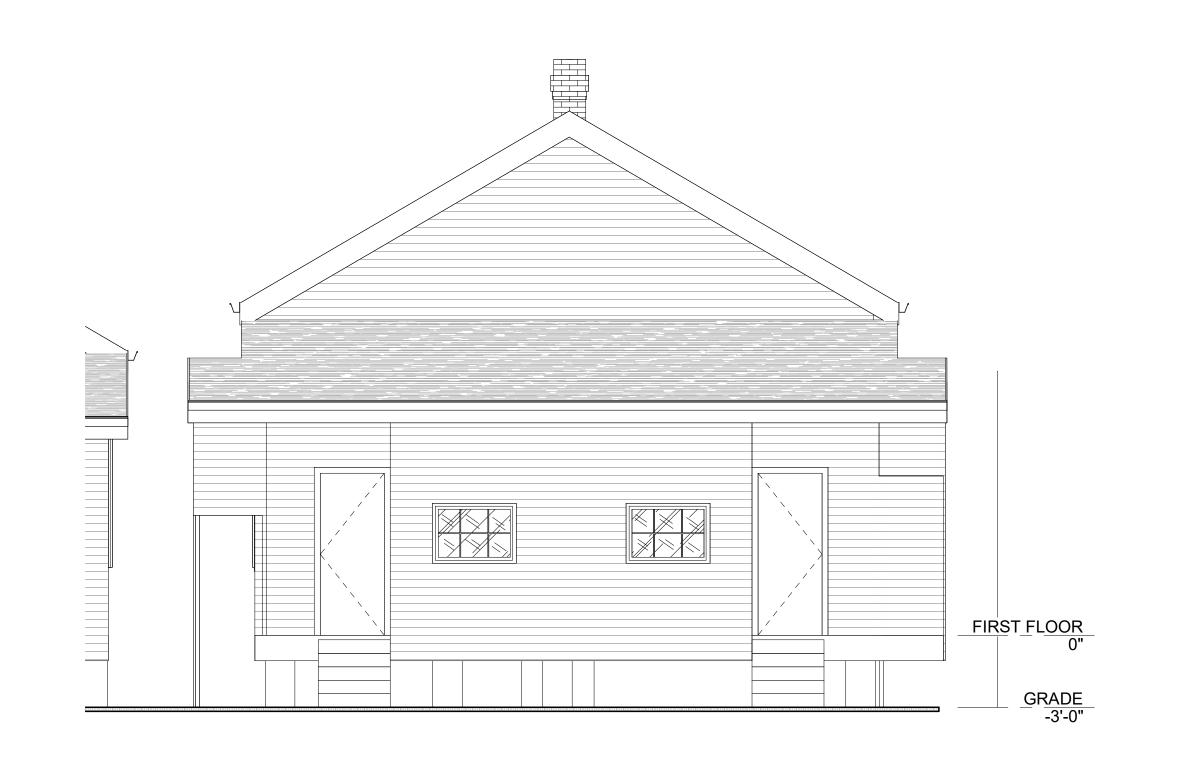
ISSUE DATE | 23 SEPTEMBER 2022 EXTERIOR REPAIR **REVISIONS**

ROOF & FLOOR PLAN









1 EXISTING SOUTH ELEVATION - 3030-32
A241 A441 1/4" = 1'-0"

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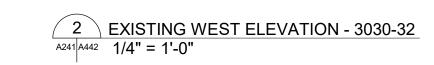
EXTERIOR REPAIR

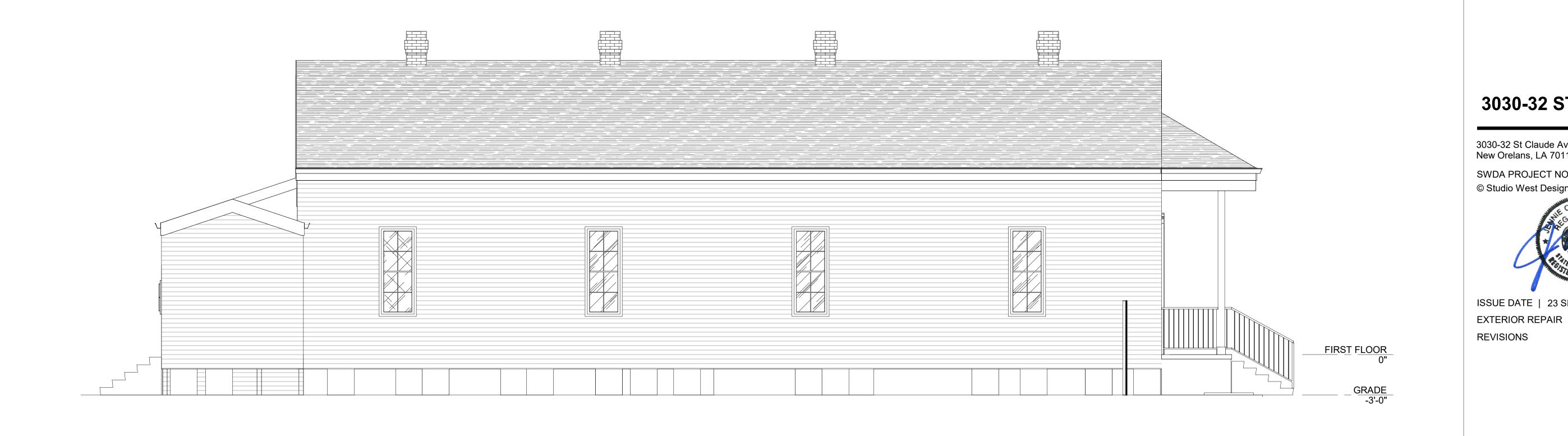
REVISIONS

NORTH & SOUTH EXTERIOR ELEVATIONS









1 EXISTING EAST ELEVATION - 3030-32
A241 A442 1/4" = 1'-0"

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EAST & WEST EXTERIOR ELEVATIONS