

# CONSTRUCTION DOCUMENTS

738-40-42 ROYAL ST - ROOF REPLACEMENT CD SET

740 ROYAL ST  
NEW ORLEANS LA 70116

## OWNER:

HALF JAMES LLC, R&R RENTAL PROPERTIES, JAMES LENARD CAHN TRUST, RICHARD M CAHN TRUST, MICHELLE CAHN WOLFSON TRUST  
740 ROYAL ST  
NEW ORLEANS, LA 70116

## PROJECT DESCRIPTION

RE-ROOF ENTIRE STRUCTURE. REPLACEMENT ROOF: SLATE.  
APPROX 3,500 SF.

**ZONING DISTRICT:** VCC-2 VIEUX CARRÉ COMMERCIAL DISTRICT

**OVERLAY DISTRICT:** VIEUX CARRÉ HEIGHT INTERIM ZONING DISTRICT

**HDLC DISTRICT:** VIEUX CARRÉ

**NO. OF STORIES:** 3

**PROJECT ON FLOOR:** 3

1ST FLOOR: 2,385 SF

2ND FLOOR: 2,686 SF

3RD FLOOR: 2,686 SF

BUILDING SQUARE FOOTAGE (TOTAL): 7,757 SF

## CONSTRUCTION TYPE:

IBC: IFC: NFA: COMMON TERMINOLOGY:  
TYPE III-B III (200) UNPROTECTED ORDINARY

## OCCUPANCY TYPE:

IBC: RESIDENTIAL (R-2)  
MERCANTILE (M)

NFA: RESIDENTIAL  
MERCANTILE

## SPRINKLERED / FIRE ALARM:

NO / NO

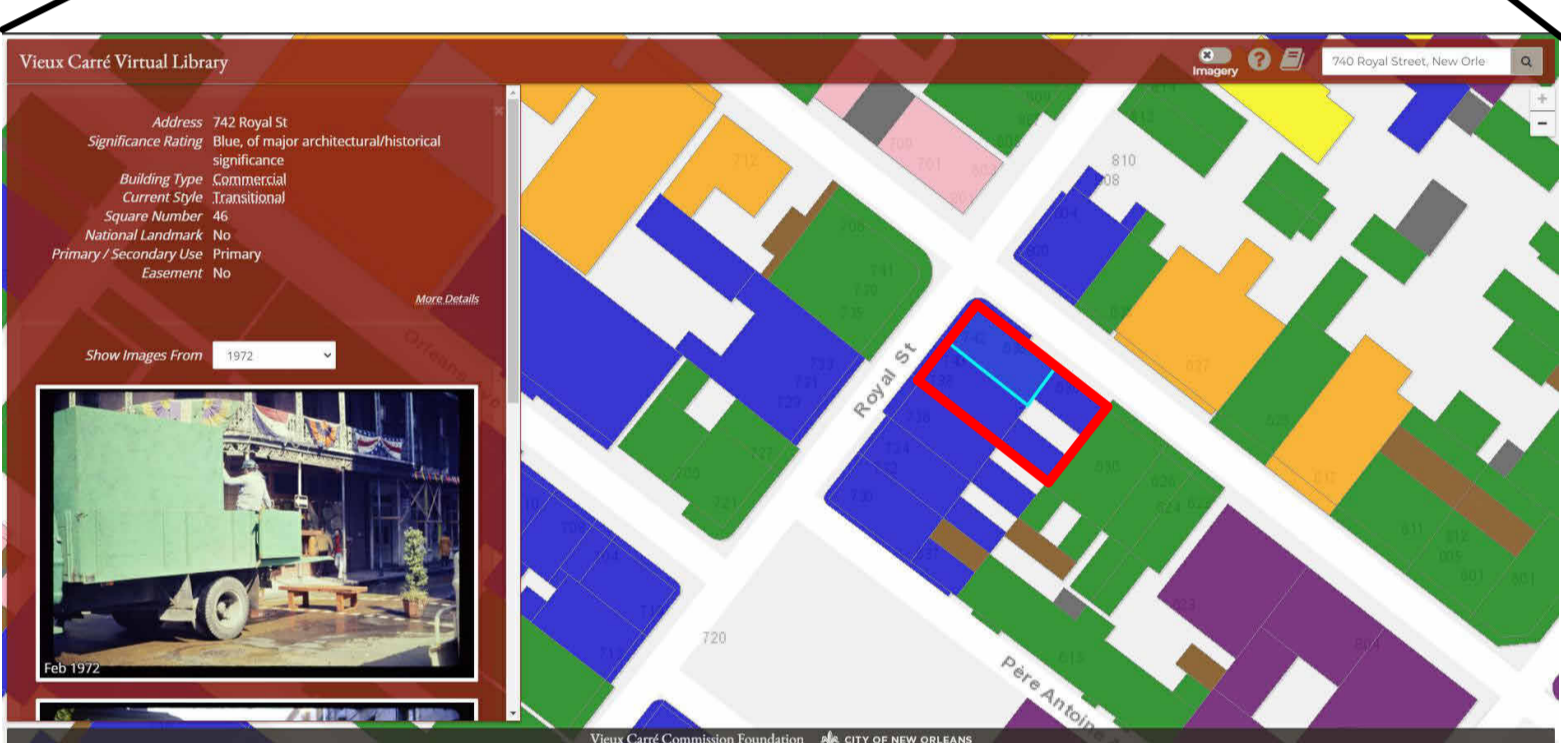
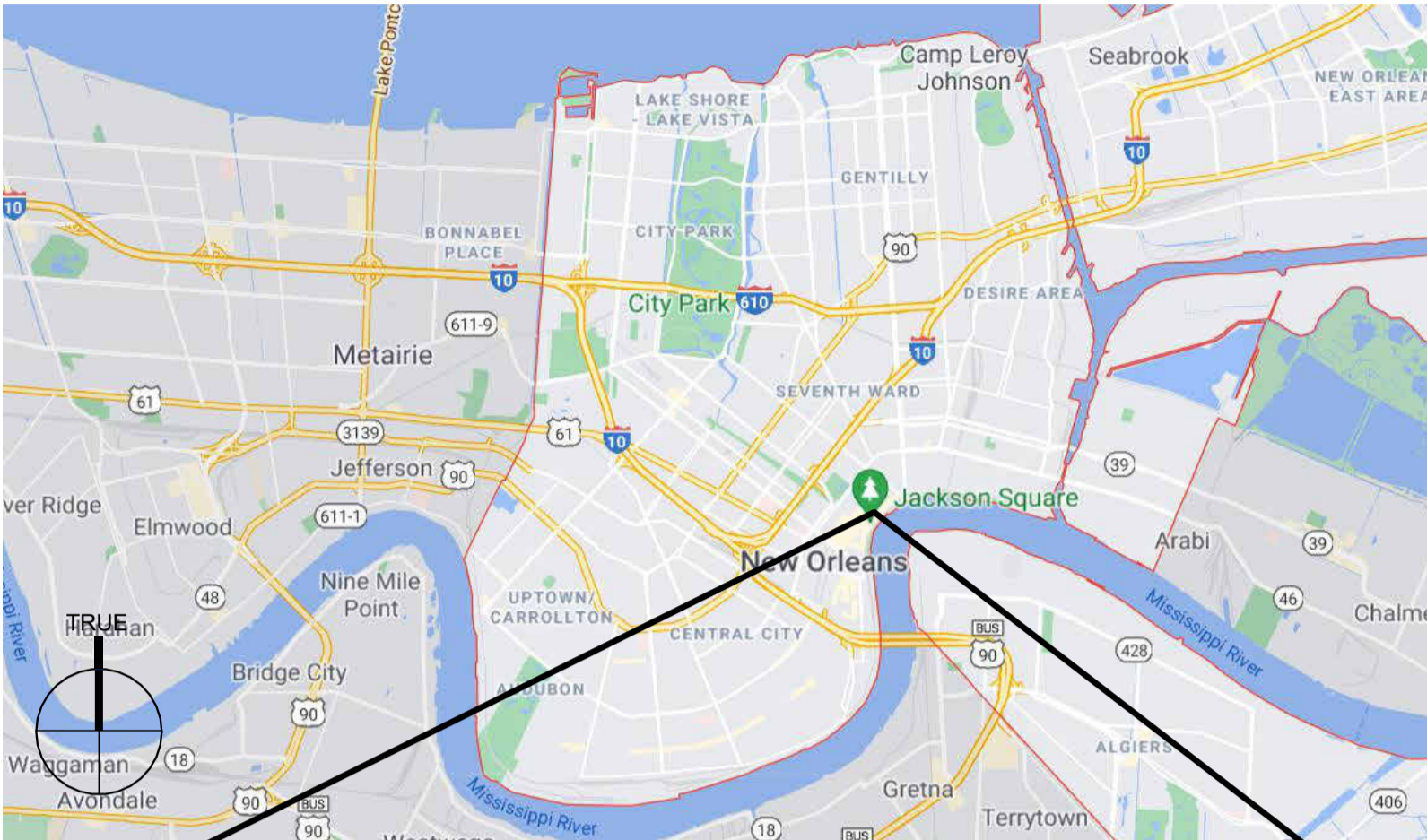
## APPLICABLE CODES:

2015 IBC WITH NEW ORLEANS CODE ADOPTIONS  
2015 INTERNATIONAL MECHANICAL CODE  
2013 LOUISIANA STATE PLUMBING CODE  
2014 NATIONAL ELECTRIC CODE  
2015 ADA ADDA GUIDELINES

## ARCHITECT:

M3 DESIGN GROUP LLC  
3328 BANKS ST.  
NEW ORLEANS, LA 70119  
MYLES M MARTIN LIC#7597  
MYLES@M3-DESIGN-GROUP.COM  
504-345-8950

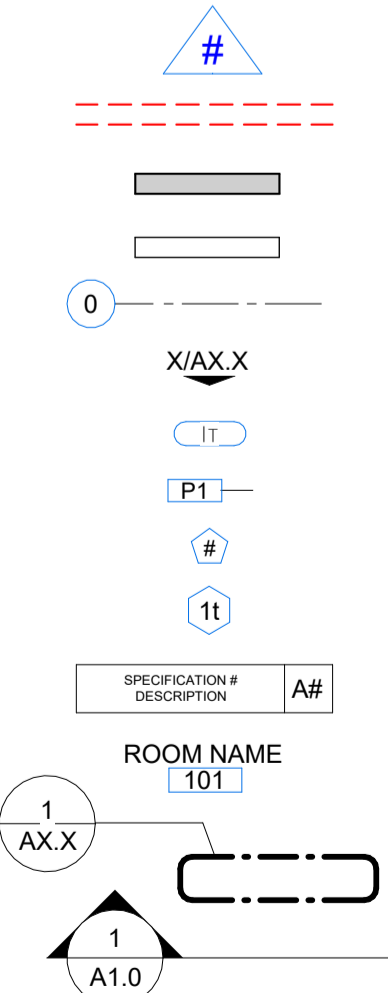
## PROJECT INFORMATION



SHEET LIST					
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
1.0	TITLE SHEET	08/01/22			
1.1	ROOF PHOTOS	08/01/22			
2.0	ROOF PLAN	08/01/22	1	09/07/22	VCC UPDATES

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS: ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
- ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, CENTER OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
- THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING THE GENERAL CONTRACTOR FOR ALL WALL HUNG ITEMS TO BE INSTALLED THAT ARE NOT ON THE DRAWINGS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
- PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
- COORDINATE WITH OWNER'S REPRESENTATIVE THE LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE.
- THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
- ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

## GENERAL NOTES



## LEGEND - PLAN

## NEW SCOPE OF WORK TAG

## SCHEDULED FOR REMOVAL

## NEW WALL, SEE WALL TAG

## EXISTING WALL TO REMAIN

## COLUMN LINE

## ELEVATION TAG

## DOOR TAG, SEE DOOR SCHEDULE

## WALL TAG, SEE WALL SCHEDULE

## SPECIFIC NOTE

## WINDOW TAG, SEE WINDOW SCHEDULE

## ITEM TAG

## ROOM TAG

## DETAIL TAG

## SECTION TAG

## ROOF DEMO NOTES:

- REMOVE EXISTING ROOF AND ICE/WATER SHIELD (IF PRESENT) DOWN TO ROOF SHEATHING.
- INSPECT CONDITION OF ROOF SHEATHING. IF GAPS ARE PRESENT OR SHEATHING IS IN A STATE OF FAILURE; REPLACE WITH 5/8" TONGUE AND GROOVE ROOF DECKING, ALTERNATIVELY CLAD OVER WITH MIN 3/8" DECKING TO CREATE A SOLID SUBSTRATE

## HAZARDOUS MATERIALS:

- ALL DEMOLITION WORK IS TO BE PERFORMED IN ACCORDANCE WITH AN APPROVED ASBESTOS WORK PLAN FROM THE STATE OF LOUISIANA & OSHA SAFETY REQUIREMENTS.
- CURRENT AREA(S) HAVE NOT BEEN TESTED AND HAVE NOT BEEN IDENTIFIED FOR ABATEMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO TEST FOR HAZARDOUS MATERIALS AND REPORT TO THE OWNER IF ANYTHING IS "HOT".

## NEW ROOF NOTES:

- CONTRACT DRAWINGS MAY VARY FROM ACTUAL FIELD CONDITIONS. CONTRACTOR SHALL CORRECT DIMENSIONS OF ALL MATERIALS TO CARRY OUT THE INTENT OF HTE CONTRACT DRAWINGS. VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD BEFORE ORDERING ANY MATERIALS. CONTRACTOR SHALL NOTIFY ARCHITECT PROMPTLY OF ANY CRITICAL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- THE REPLACEMENT OF THE ROOF SHALL BE CONDUCTED IN SUCH A MANNER AS TO PROTECT THE EXISTING BUILDING AND ALL OF ITS CONTENTS IN THEIR ENTIRETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED DURING THE PERFORMANCE OF THEIR CONTRACTED WORK.
- FIELD VERIFY SIZE AND LOCATION OF ALL EXISTING ROOF PENETRATIONS OR ROOF ACCESSORIES AND INSTALL NEW ROOF AS REQUIRED TO ACCOMMODATE ACCESSORIES AND CREATE A WATER TIGHT SEAL OVER ENTIRE ROOF.
- LOCATIONS OF NEW ROOFING AND CRICKETING ARE SHOWN FOR DESIGN INTENT ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PRECISE LOCATION AND PROVIDE THESE ELEMENTS AS REQUIRED TO PROVIDE A PROPERLY SLOPED AND WATER TIGHT SYSTEM IN WHICH WATER IS NOT RETAINED ON THE ROOF.
- FIELD VERIFY LOCATION AND QUANTITY OF EXISTING DOWNSPOUTS AND ROOF DRAINS. PROVIDE DOWN SPOUTS AT ALL EXISTING LOCATIONS AND AT ALL OVERFLOW SCUPPERS.
- CONFIRM THAT ALL ROOF DRAINS ARE IN WORKING ORDER AND DRAINING AT AN APPROPRIATE FLOW RATE. REPAIR AND CLEAR ANY OBSTRUCTED, DAMAGED OR LEAKY DRAINAGE. PROVIDE NEW ROOF DRAIN STRAINERS.

## BASIS OF DESIGN FOR ROOFING SYSTEMS:

ICE AND WATER SHIELD UNDERLAYMENT - GRACE ICE WATER SHIELD OR EQUAL  
SLATE ROOFING TILE - 6x12 SLATE TO BE ATTACHED WITH COPPER NAILS

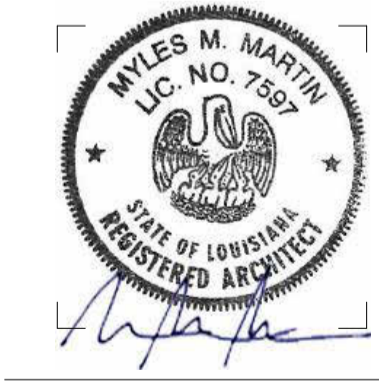
## GENERAL NOTES - RE-ROOF

22\_124

DATE

TYPE (SEE CHANGE LOG)

#



PERMIT SET

ISSUED

08/01/22



1.0

TITLE SHEET

738-40-42 ROYAL ST - ROOF REPLACEMENT CD SET  
740 ROYAL ST  
NEW ORLEANS LA 70116



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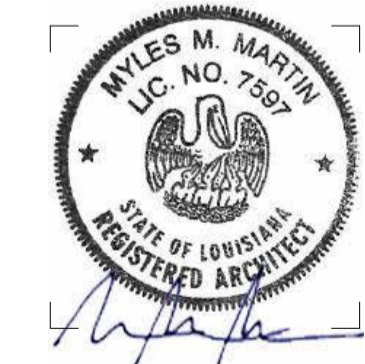
ROYAL ST.

22\_124

DATE

TYPE (SEE CHANGE LOG)

#



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PERMIT SET

ISSUED 08/01/22

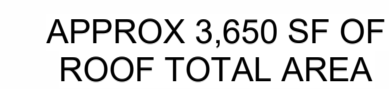
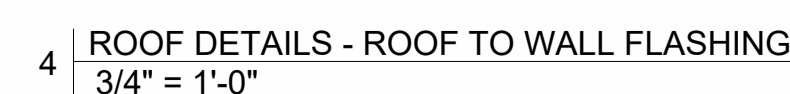
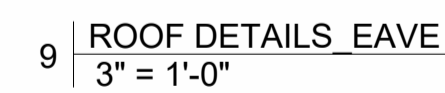


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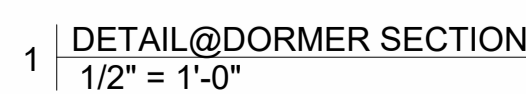
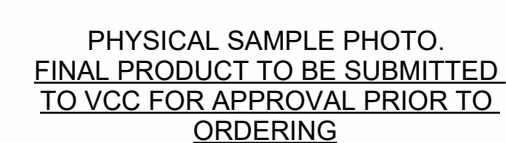
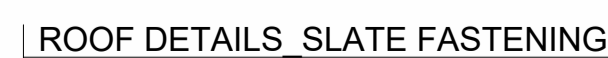
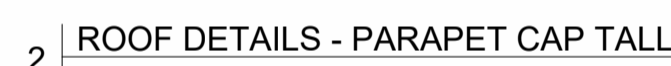
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ROOF PHOTOS



- 9 INTERNAL GUTTER, SEE RELATED DETAIL.
- 8 NEW RED TERRA COTTA RIDGE CAP, TYP.
- 7 -NOT USED-
- 6 ROOF DORMER, NEW SLATE ROOF/SIDEWALLS & TERRA COTTA RIDGE CAP, TYP.
- 5 NEW 1/2 ROUND 6" COPPER GUTTER. TIE INTO ROUND COPPER VERTICAL DOWNSPOUTS.
- 3 EXISTING NON-FUNCTIONAL MASONRY CHIMNEY. REFLASH TOP AND BASE AS PER SECTION DETAIL. INSTALL NEW COPPER TEEPEE CAP. PROVIDE CRICKET AT BACKSIDE OF CHIMNEY.
- 2 STANDING SEAM METAL PANEL ROOF, REPLACE IN KIND.
- 1 SLATE ROOF, REPLACE IN KIND.

| SPECIFIC NOTES - ROOF



471-77

DATE 9/07/22

TYPE (SEE CHANGE LOG)  
VCC:UPDATES

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13 DESIGN GROUP

8 BANKS ST | NO, LA 70019 | [504]345-8950

PERMIT SET

SUED	08/01/22
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## 2.0

## OF PLAN

