

- FINISHES: PAINT COLOR AND SELECTION TO BE COORDINATED WITH OWNER.
- INTERIOR WALLS:  
PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)  
TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
  - CEILING:  
PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)  
TOPCOAT - 2 COATS SHERWIN WILLIAMS 400 ZERO FLAT
  - CEILING ABOVE SHOWER ENCLOSURE:  
PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)  
TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
  - TRIM AND DOORS:  
PRIMER: SHWER WILLIAMS PRO-CLASSIC ALKYD SEMI-GLOSS ENAMEL  
TOPCOAT - 2 COATS SHERWIN WILLIAMS A-100 SATIN ACRYLIC HOUSE AND TRIM PAINT

GENERAL NOTES - PAINT

- ALL BEDROOM CLOSETS TO RECEIVE HANGING ROD AND UPPER WOODEN SHELF. SHOULD THE CLOSET ALLOW FOR A 2 SIDED INSTALL. PROVIDED ROD AND SHELF ON 2 SIDES.
- ALL PANTRIES TO BE PROVIDED WITH 4 WOOD SHELVES ON ADJUSTABLE SHELF BRACKETS RUNNING THE VERTICAL DIMENSION OF THE REAR WALL
- PROVIDED WOOD BLOCKING OR METAL SHEETING FOR INSTALLATION OF FUTURE GRAB BARS AS SHOWN IN THE MOUNTING HEIGHT AND BLOCKING DIAGRAMS FOR BATHROOMS.

GENERAL NOTES - MISC WOOD

- CONSTRUCT ALL FRAMING TRUE AND SQUARE USING #2 SYP OR SPRUCE MATERIALS. PROVIDE PRESSURE TREATED FRAMING AT INTERIOR WET AREAS AND EXTERIOR DECK & PORCH LUMBER EXPOSED TO THE ELEMENTS.
- TREATED MATERIALS SHALL BE OF GRADE AS REQUIRED BY CONDITION AND KILN DRIED AFTER TREATMENT.
- SET ALL EXTERIOR BASE PLATES IN 2 LINES OF WATERPROOF CAULKING @ INSTALLATION. CAULK BUILDING EXTERIOR FOR A COMPLETELY WATERPROOFED INSTALLATION. CAULK ALL PENETRATIONS, MATERIAL TRANSITIONS AND SEAMS INCLUDING UNDERSIDE OF LAP SIDING WITH GE MAX 3500 (OR EQUAL).
- SEAL ALL ROUGH OPENINGS INTERIOR CAVITY VOIDS (DOORS, WINDOWS AND PENETRATIONS) WITH EXPANDABLE FOAM SEALANT PRIOR TO ENCLOSING WITH FINISH TRIM.

GENERAL NOTES - FRAMING

- USE ONLY STAINLESS STEEL, COATED, OR HOT DIPPED GALVANIZED FASTENERS FOR EXTERIOR CONNECTIONS OR TREATED WOOD CONNECTIONS.
- SECURE WIND ANCHORS IN COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS FOR LOADS GENERATED BY 144 MPH WIND SPEED.
- SOLID SHEATH ALL EXTERIOR WALLS WITH 1/2" WINDSTORM FULL HEIGHT SHEATHING PANELS TO SPAN FRAMING CONNECTIONS SECURING CAP AND BOTTOM PLATES.
- INSTALL BLOCKING AT ALL PANEL EDGES.
- ECURE PLYWOOD WITH BOSTITCH HURRIQUAKE 2.5" HQ SHANK LARGE HEAD COMMON NAILS (OR EQUAL) @ 6" @ EACH SIDE, 3" STAGGERED @ ENDS & 12" @ INTERMEDIATE FRAMING.
- JOIST TO BAND JOIST - FACE NAIL 3-16P COMMON
- JOIST TO SILL - TOE NAIL 3-8P RING SHANK COMMON
- BRIDGING TO JOIST - TOE NAIL 3-8P COMMON
- BOTTOM PLATE TO JOIST OR BLOCKING - FACE NAIL 16P RING SHANK COMMON @ 8" STAGGERED.
- TOP OR BOTTOM PLATE TO STUD - END NAIL 2-16P COMMON
- STUD TO BOTTOM PLATE - TOE NAIL 4-8P COMMON
- DOUBLE STUDS - FACE NAIL 10P COMMON @ 16"
- CAP PLATE - FACE NAIL 2-10P COMMON @ 16"
- TOP PLATE LAPS AND INTERSECTIONS - FACE NAIL 3-10P COMMON
- CEILING JOISTRAFTERS TO CAP PLATE - TOE NAIL 3-8P COMMON
- CEILING JOIST LAPS OVER PARTITIONS - FACE NAIL 4-12P COMMON
- RAFTER LAPS OVER BEARING - FACE NAIL 4-12P COMMON EACH END
- BUILT-UP CORNERS & T'S - FACE NAIL 16P COMMON @ 16"
- BUILT-UP HEADERS OF 3 MEMBERS - FACE NAIL 20P @ 16" EACH FACE STAGGERED & 2 EACH SPLICE
- 3/4" PLYWOOD FLOOR DECK - FACE NAIL 8P COMMON RING SHANK - 6" @ SIDES, ENDS AND INTERMEDIATE FRAMING.
- 5/8" PLYWOOD ROOF SHEATHING - INCORPORATE SPACING CLIPS @ 24", FACE NAIL WITH BOSTITCH HURRIQUAKE 2.5" HQ SHANK LARGE HEAD COMMON NAILS @ 6" @ PERIMETER SIDES, & 12" @ INTERMEDIATE FRAMING.
- ROOFING SHINGLES - 6 GALV. 1.25" ROOFING NAILS PER SHINGLE (DADE PATTERN).

GENERAL NOTES - FRAMING CONNECTORS

FINISH SCHEDULE							
NUMBER	NAME	FLOOR	WALL	BASE	CEILING	COMMENTS	
1	FOYER						
2	DINING						
3	KITCHEN						
4	TV ROOM						
5	BATH						
6	LIVING						
7	HANG OUT ROOM						
8	CLOSET						
9	HALLWAY						
10	MASTER BEDROOM						
11	CLOSET						
12	MASTER BATH						
13	CLOSET						
14	BED 2						
15	CLOSET						
16	BATH						
17	CLOSET						
18	BED 1						

- CONTRACTOR SHALL PROVIDE BLOCKING IN WALL AS REQUIRED FOR ALL WALL MOUNTED ACCESSORIES AND FIXTURES. RE: EQUIPMENT PLAN & MECHANICAL
- ALL MOUNTING HEIGHTS AND LOCATIONS TO BE VERIFIED IN FIELD BY ARCHITECT PRIOR TO IN-WALL BLOCKING INSTALLATION.
- TYPICAL: WALL MOUNTED TOILET ACCESSORIES ARE INTENDED TO ALIGN WITH TILE JOINTS WHERE POSSIBLE. SEE INTERIOR ELEVATIONS FOR LOCATIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION.
- REFER TO INTERIOR ELEVATIONS & EQUIPMENT PLANS FOR WALL MOUNTED ACCESSORIES AND FIXTURES NOT INCLUDED IN PLAN.
- REFER TO ENLARGED PLANS FOR ADDITIONAL PARTITION TAGS, DETAIL TAGS, INTERIOR ELEVATION TAGS AND SPECIFIC NOTES IF NOT VISIBLY TO PRIMARY SCALED PLANS.
- REFER TO ENLARGED EQUIPMENT PLANS AND EQUIPMENT SCHEDULE FOR ITEMS THAT ARE OWNER FURNISHED AND OWNER INSTALLED VERSUS ITEMS WHICH WILL BE CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED. THE CONTRACTOR SHALL PROVIDE ADEQUATE SPACE AND REQUIRED PLUMBING AND ELECTRICAL SERVICES FOR SUCH ITEMS. THE GENERAL CONTRACTOR SHALL COORDINATE THESE ITEMS AND THEIR DELIVERY TO THE SITE WITH OWNER'S REPRESENTATIVE.

GENERAL NOTES - EQUIPMENT

INSULATION SCHEDULE	
AREA	VALUE
FLOORS, 6" UNFACED FIBERGLASS	R19
EXTERIOR WALLS, UPSTAIRS	R13
ATTIC, BLOWN	R30
WINDOWS	SHGC .25 MAX
WINDOWS	U-FACTOR .4 MAX
EXTERIOR WALLS, DOWNSTAIRS	R19

R-VALUE - RESI

DEMO

MEP

- ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR AND SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES. CONTRACTOR SHALL PULL ALL PERMITS RELATED TO WORK AND AS REQUIRED BY THE CITY OF NEW ORLEANS.
- CONTRACTOR TO VISIT SITE/STRUCTURE WITH OWNER PRIOR TO ACCEPTANCE OF BID TO VERIFY ALL FIELD CONDITIONS AS DEPICTED IN DRAWINGS.
- WATER SUPPLY LINE TO EXTERIOR WATER HEATER MUST BE COPPER (AND ANY DISTRIBUTION LINES EXPOSED TO EXTERIOR MUST BE COPPER). WATER LINES WITHIN ATTACHED TO UNDERSIDE OF STRUCTURE SHALL BE PEX. EXTEND 3/4" WATER LINE FROM EACH PLUMBING FIXTURE GROUP TO EXISTING MAIN WATER DISTRIBUTION LINE. HOT WATER SUPPLY LINES TO BE 3/4" PEX.
- PRESSURE TEST SYSTEM TO 150 PSI PRIOR TO CLOSE-UP. SECURE ALL WATER LINES & PROTECT FROM INCOMPATIBLE MATERIALS.
- SOIL LINES SHALL BE SCHEDULE 40 PVC. SOLVENT WELD ALL JOINTS USING PROPER CLEANER AND GLUE. PROVIDE HANGERS AS REQUIRED TO PROPERLY SUPPORT LINE RUNS BELOW STRUCTURE. THE MINIMUM SLOPE OF ANY SOIL LINE SHALL BE 1/4" PER FOOT. TEST ALL SOIL LINES WITH 10' HEAD PRESSURE PRIOR TO COVER-UP. PROVIDE CLEAN-OUT (SYMBOL 'CO') AS INDICATED ON PLAN.
- FURNISH ALL FITTINGS & ALL ACCESSORIES AS REQUIRED FOR COMPLETE PLUMBING INSTALLATION (SANS FIXTURES). PROVIDE SUPPLY STOPS FOR ALL FIXTURES, DISHWASHERS, AND ICE MAKERS. PROVIDE HEAVY DUTY PVC P-TRAPS AT ALL LAVATORIES AND SINKS. OWNER TO PROVIDE ALL PLUMBING FIXTURES.
- PROVIDE NATURAL GAS SERVICE TO WATER HEATER, WASHER/DRYER, AND REAR OF STRUCTURE AS SHOWN ON PLANS (SYMBOL 'GAS'). REFER TO MANUFACTURER'S PRODUCT INFO FOR SIZE OF SERVICE.
- PROVIDE BRASS HOSE BIBES AS SHOWN ON PLANS (SYMBOL 'HB').

GENERAL NOTES - PLUMBING

- ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (LATEST EDITION), STATE AND PARISH REGULATIONS AND ORDINANCES. ALL WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE LATEST EDITION AS AMENDED BY THE NATIONAL ELECTRICAL CODE (NFPA-70) AND OTHER APPLICABLE SAFETY CODES AS ENFORCED BY THE SAFETY AND PERMITS OF NEW ORLEANS AMENDMENTS TO THE INTERNATIONAL BUILDING CODE 200 EDITION, 2735 BASIC STANDARDS PAGE 47 AND CHAPTER 35 REFERENCE STANDARDS PAGE 48.
- ALL MATERIALS SHALL BE NEW AND U.L. APPROVED, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL APPLY FOR ALL REQUIRED PERMITS AND PAY ALL INSPECTION FEES. NO WORK SHALL BE CONCEALED UNTIL APPROVED BY THE LOCAL INSPECTOR. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL FURNISH CERTIFICATE OF APPROVAL FROM THE DIVISION OF REGULATORY INSPECTION TO THE OWNER.
- ALL WIRING DEVICES SHALL BE OF THE SPECIFICATION GRADE AND BE AS MANUFACTURED BY SIERRA, HUBBELL, LEVITON, SLATER, GENERAL ELECTRIC OR P&S. DEVICE PLATES SHALL BE SIERRA P LINE SMOOTH PLASTIC OR EQUAL. COLOR OF PLATES AND DEVICES SHALL BE OFF-WHITE.
- ELECTRICAL DRAWINGS ARE DIAGRAMMATIC AND OUTLETS ARE SHOWN APPROXIMATELY ONLY.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ALL NECESSARY DIMENSIONS OR MAKE ACTUAL MEASUREMENTS AT THE JOB SITE.
- IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE COMPLETE AND OPERATING ELECTRICAL SYSTEM.
- PROVIDE SMOKE DETECTOR INSIDE ALL BEDROOMS (IF APPLICABLE) AND OUTSIDE DOOR IN HALLWAY. IF GARAGE IS PRESENT UPGRADE TO CARBON MONOXIDE DETECTOR

GENERAL NOTES - ELECTRICAL

- ALL DUCTWORK TO BE INSTALLED IN ACCORDANCE WITH LOCAL CODES, SMACNA STANDARDS, AND TITLE 24 SECTION 4.2.1.J.[M].
- ALL DUCT SIZES SHOWN ARE EXTERIOR DIMENSIONS.
- PROVIDE THERMAL INSULATION AS REQUIRED FOR DUCT PER CALIFORNIA TITLE 24 ENERGY STANDARDS AND CMC SECTION 604. EXTERIOR DUCT WRAP AND INTERNAL DUCT LINER TO HAVE A MINIMUM INSTALLED R VALUE OF MIN. 4.2. EXHAUST DUCTWORK NEED NOT BE INSULATED.
- EXHAUST AIR DUCTWORK SHALL FLEXIBLE DUCTWORK.

GENERAL NOTES - MECHANICAL

- CONTRACTOR TO VERIFY, BEFORE DEMOLITION, ANY EXISTING MECHANICAL OR ELECTRICAL SYSTEMS IN EXISTING WALLS TO BE DEMOLISHED AS REQUIRED IN DRAWINGS AND VERIFY THROUGH ULTRASOUND TESTING ALL EXISTING SLAB CONDITIONS IN THESE AREAS. CONTRACTOR TO COORDINATE COURSE OF ACTION WITH OWNER AND ARCHITECT IN FIELD. CLOSE, CAP, AND DISCONNECT CONNECTION TO EXISTING SERVICE AS REQUIRED. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. REFER TO MEP DEMOLITION SHEETS FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO DEMOLISH AND DISPOSE OF ALL WALLS & ASSOCIATED MATERIALS.
- WHETHER OR NOT IT IS SPECIFICALLY INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL REMOVE AND DEMOLISH ALL EXISTING CONSTRUCTION, INCLUDING UTILITIES, WHICH WILL INTERFERE WITH NEW WORK. CONTRACTOR WILL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.
- EXISTING DRAWINGS HAVE BEEN PROVIDED BY THE OWNER AND MAY NOT ACCURATELY REPRESENT ALL EXISTING CONDITIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WALKING THROUGH AND ADVISING THE ARCHITECT OF READILY APPARENT DISCREPANCIES OR CONDITIONS WHICH ADVERSELY AFFECT CONSTRUCTABILITY OF THE WORK.
- CONTRACTOR TO COORDINATE LOCATION OF DUMPSTERS WITH THE OWNER.
- PRIOR TO SHUT DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE BUILDING REPRESENTATIVE FOR AN APPROPRIATE TIME.
- CONTRACTOR TO REPAIR AS REQUIRED ALL AFFECTED ADJOINING AREAS TO MATCH NEW CONSTRUCTION.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES, AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS. CONTRACTOR SHALL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.

GENERAL NOTES - DEMO

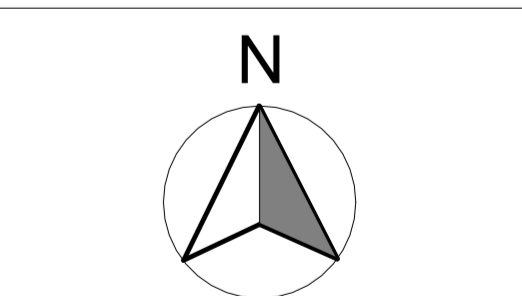


**ZACH SMITH**  
CONSULTING & DESIGN

530 S Norman C Francis Parkway Suite 102  
New Orleans, LA 70119  
zach@zachsmitthconsulting.com  
+1 (504) 383-3748

518 French St  
New Orleans, LA 70124

No.	Description	Date



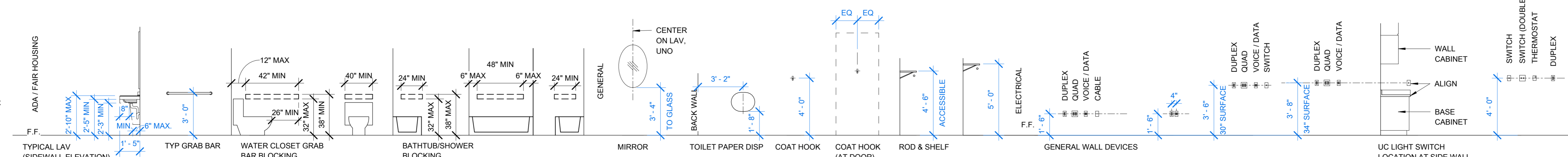
**Notes**

Project name	518 FRENCH ST
Project number	22004
Date	8/3/21
Drawn by	Author
Checked by	Checker

A001

TYPICAL MOUNTING HEIGHTS: MOUNT ITEMS AT HEIGHTS ABOVE FLOOR LEVEL AS SHOWN ON THIS SHEET, UNLESS OTHERWISE NOTED ON INTERIOR ELEVATIONS OR OTHER DRAWINGS. NOTIFY ARCHITECT OF POTENTIAL CONFLICTS PRIOR TO PURCHASE OR INSTALLATION.

MOUNTING HEIGHTS



**PROJECT DATA**

**PROJECT:**  
518 FRENCH ST.  
METARIE, LA 70124

**PROJECT DESCRIPTION:**

- THIS IS AN EXISTING SINGLE FAMILY, 2922 SQ FT 2-STORY DWELLING

**SCOPE OF WORK:**

- COSMETIC REPLACEMENT OF GYP DUE TO HURRICANE IDA DAMAGE.
- THIS SKETCH PROVIDES CLARIFICATION OF THE EXISTING LOCATION OF WALL STUDS WHERE GYP WILL BE ADDED AND PAINTED.
- ALL DETAILS EXISTING TO REMAIN.
- ALL DIMENSIONS ARE APPROXIMATE-FIELD VERIFY.

**SYMBOLS LEGEND**

(SM) Combination Smoke and Carbon Monoxide Detector

**KEYNOTES-SHEET**

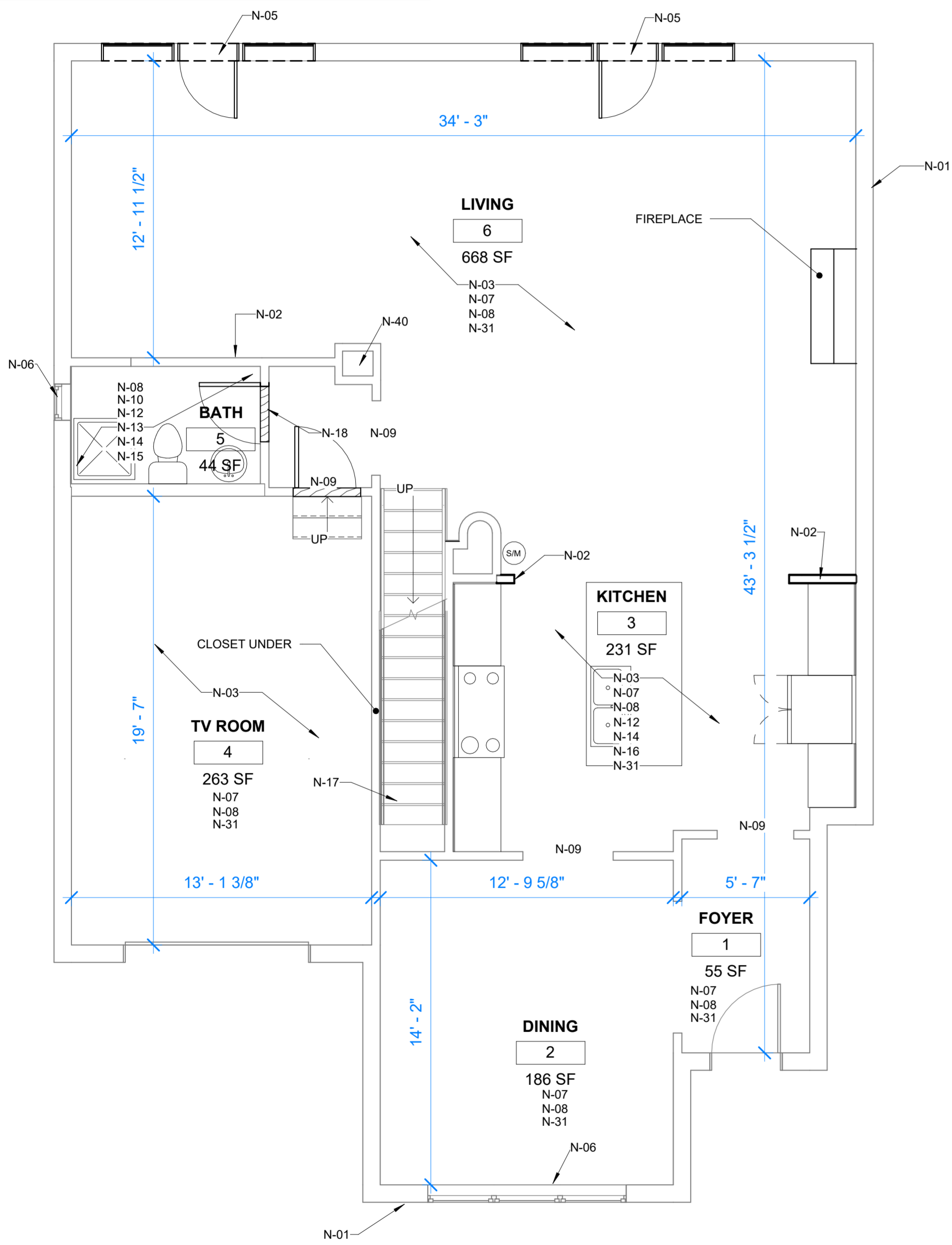
Key Value	Keynote Text
N-01	EXISTING EXTERIOR FRAMED BRICK WALL TO REMAIN. NEW GYP. AT INTERIOR, TYP.
N-02	NEW INTERIOR PARTITION. 2X4 OR 2X6 STUD WALL W/ GYPSUM BOARD. PROVIDE SOUND BATTING WHERE INDICATED IN WALL SCHEDULE.
N-03	EXISTING FRAMING TO REMAIN, UNLESS NOTED OTHERWISE. NEW GYP. AT EXISTING 2X FRAMING, TYP. RE: WALL TYPES.
N-05	NEW DOOR, TYP. RE: SCHEDULES
N-06	EXISTING WINDOW TO REMAIN. NEW WD. CASING AT INTERIOR AS REQ'D.
N-07	NEW ENGINEERED WOOD FLOORING AT EXISTING LOCATION. COORDINATE SELECTION WITH OWNER. RE: ROOM SCHEDULE
N-08	NEW GYP. CLG. AS REQUIRED FOR NEW CONSTRUCTION
N-09	EXISTING OPENINGS TO BE MODIFIED FOR NEW HEAD HEIGHTS. RE: DOOR SCHEDULE. PROVIDE NEW STRUCTURAL HEADER AS REQ'D.
N-10	NEW TILE FLOORS AT THIS LOCATION. CONTRACTOR TO COORDINATE SELECTIONS AND GROUT COLOR WITH OWNER PRIOR TO PURCHASE AND INSTALLATION. PROVIDE CEMENT BD. BACKER AT TILE.
N-11	NEW TOILET. COORDINATE SELECTION WITH OWNER.
N-12	NEW SINK/FAUCET
N-13	NEW TUB AND SURROUND. COORDINATE SELECTION WITH OWNER
N-14	NEW STONE TOP. COORDINATE SELECTION WITH OWNER. CONTRACTOR TO VERIFY SIZE BEFORE ORDERING/INSTALLING.
N-15	NEW CABINET OR MILLWORK AT VANITY
N-16	LOWER/UPPER CABINETS. COORDINATE SELECTION WITH OWNER
N-17	EXISTING WOOD STAIR TO REMAIN. CLEAN AND REPAIR AS REQ'D.
N-18	NEW THRESHOLD TO MATCH FLOORS; TYP. FOR ALL INSTANCES.
N-20	NEW BASE, CROWN, DOORS, AND WINDOW AT MASTER BEDROOM WHERE HURRICANE DAMAGE HAD OCCURED. CONTRACTOR TO VERIFY CONDITION AND EXTENT OF REPAIR IN FIELD. COORDINATE SELECTIONS WITH OWNER.
N-21	NEW TILE SHOWER W/ 4" SHOWER CURB AND FRAMELESS GLASS DOORS. TILE TO CEILING. PROVIDE CEMENT BD. BACKER AT TILE. COORDINATE SELECTION WITH OWNER
N-31	NEW PAINT THROUGHOUT INTERIOR, TYP.; CONTRACTOR TO COORDINATE COLOR SELECTIONS WITH OWNER.
N-40	NEW HVAC RE: MECH.
N-41	AIR SUPPLY. RE: MECH
N-42	AIR RETURN. RE: MECH



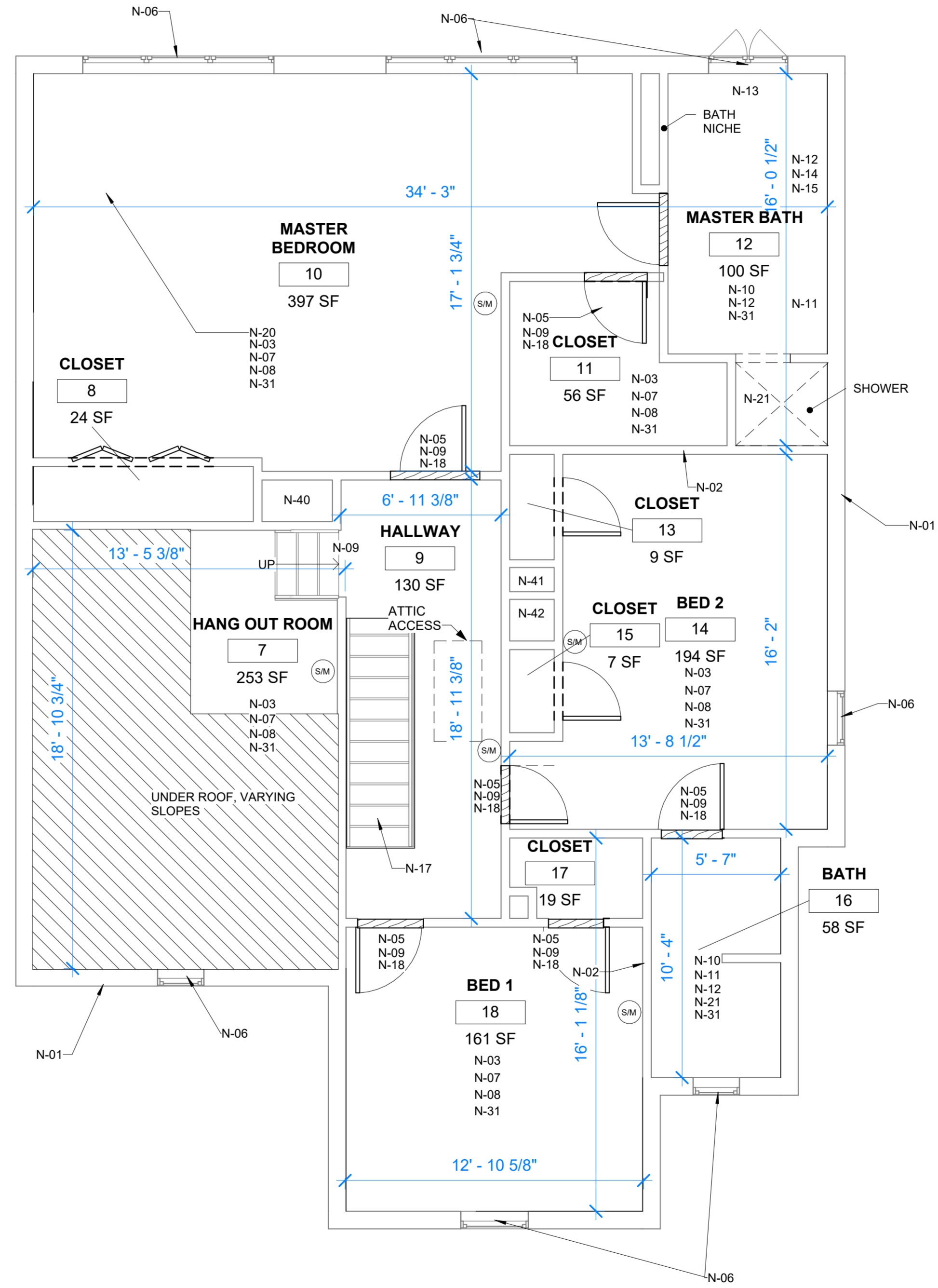
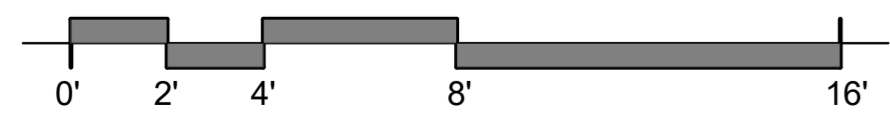
**ZACH SMITH**  
CONSULTING & DESIGN

530 S Norman C Francis Parkway Suite 102  
New Orleans, LA 70119  
zach@zachsmitthconsulting.com  
+1 (504) 383-3748

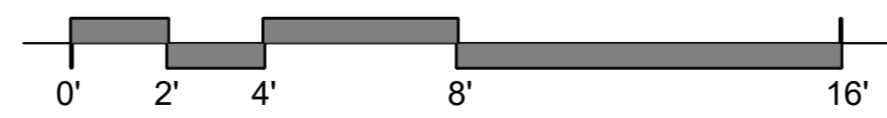
518 French St  
New Orleans, LA 70124



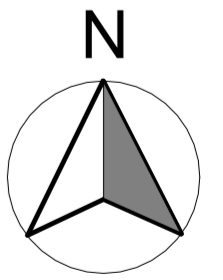
1 First Floor



2 Second Floor



No.	Description	Date



Plans

Project name	518 FRENCH ST
Project number	22004
Date	8/3/21
Drawn by	KS
Checked by	ZS

A100