

**DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN KEY NOTES:**

- ◇ SEDIMENT (SILT) FENCE. PROVIDE REMOVABLE SECTION(S) FOR ACCESS TO SITE (TO BE DETERMINED BY CONTRACTOR.) - TYP., SEE DEMOLITION NOTES AND 2/CO.2 AND 2A/CO.2.
- ◇ SAWCUT EXIST. PAVING AND MAINTAIN STRAIGHT EDGE. SEE 6/CO.2 FOR SIDEWALK SAWCUT.
- ◇ DEMOLISHED AND REMOVED EXIST. SIDEWALK PAVING FROM SITE - TYP.
- ◇ EXIST. ASPHALT PAVING STREET REPAIR FOR INSTALLATION OF NEW UTILITIES, SEE 10/C2.0.
- ◇ PROTECT EXIST. TREE, PROVIDE TREE PROTECTION FENCE. SEE ARCH. - TYP.
- ◇ PROVIDE SEDIMENT CONTROL AT EXISTING CATCH BASINS. SEDIMENT PROTECTION TO REMAIN IN PLACE AND BE MAINTAINED THROUGHOUT CONSTRUCTION - TYP., SEE 3/CO.2 AND 4/CO.2.
- ◇ EXIST. UTILITY POLE SHALL BE PROTECTED AT ALL TIMES DURING CONSTRUCTION.
- ◇ REMOVE EXIST. TREE, SEE ARCH. - TYP.
- ◇ RELOCATE EXIST. UTILITY POLE IN CONFLICT WITH NEW DRIVEWAY LOCATION. CONTRACTOR SHALL COORDINATE RELOCATION WITH LOCAL UTILITY COMPANY (ENTERGY).
- ◇ FIELD ADJUST TOP OF CAST ELEVATION OF EXIST. UTILITY STRUCTURES, SHALL MATCH FINISHED GRADE OF NEW PAVING OR GRASSY AREA - TYP.
- ◇ EXIST. PARKING SIGN AND PARKING KIOSK TO REMAIN AND BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. - TYP.
- ◇ DEMOLISH AND REMOVED EXIST. CONCRETE PAVING FROM SITE - TYP.
- ◇ DEMOLISH AND REMOVE EXISTING FENCE AND FENCE FOUNDATION. - TYP.
- ◇ EXIST. BRICK WALL TO REMAIN AND BE PROTECTED AT ALL TIMES DURING CONSTRUCTION.

**DEMOLITION NOTES:**

- CONTRACTOR SHALL DAILY INSPECT ROADWAYS ADJACENT TO THE SITE. SWEEP OR VACUUM TO REMOVE VISIBLE ACCUMULATED SEDIMENT. REMOVE ALL SEDIMENT DEPOSITED ON ROADWAY WITHIN 24 HOURS.
- ALL DEMOLISHED, REMOVED MATERIAL, AND DEBRIS REMOVED AS SHOWN ON THE PLANS SHALL BE HAULED OFF THE SITE AND DISPOSED IN REQUIREMENTS AND COMPLIANCE WITH ALL LOCAL AND STATE LAWS AND ORDINANCES.
- CASTING OF ALL EXISTING STRUCTURES INVOLVED IN THE SCOPE OF CIVIL WORK SHALL BE FIELD ADJUSTED, CASTING TO BE FLUSHED WITH NEW PAVING, FINISHED GRADE.
- PROVIDE SEDIMENT CONTROL AT ALL STRUCTURES TO PREVENT SEDIMENT/DEBRIS FROM ENTERING INTO UNDERGROUND STRUCTURES. SEDIMENT CONTROL SHALL REMAIN IN SERVICE AND BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION - TYP.
- SIDEWALK AND PAVING TO BE REMOVED IN THE RIGHT-OF-WAY SHALL BE SCHEDULED AND COORDINATED WITH NEW PAVING. THIS WILL MINIMIZE ANY CONSTRUCTION INCONVENIENCE TO PEDESTRIAN AND VEHICULAR TRAFFIC.
- UPON COMPLETION OF PROJECT, CONTRACTOR SHALL CLEAN ALL PERIMETER CATCH BASINS AND DRAIN INLETS AND RESTORE SERVICES.

**DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN**

- EXISTING CONCRETE PAVING TO BE DEMOLISHED AND REMOVED FROM SITE
- EXISTING SIDEWALK PAVING TO BE REMOVED AND REPLACED
- ASPHALTIC CONCRETE PAVING STREET REPAIR FOR INSTALLATION OF NEW UTILITIES, SEE 10/C2.0
- SEDIMENT (SILT) FENCE SEE 2/CO.2 & 2A/CO.2
- DRAIN INLET AND VERTICAL CATCH BASIN SEDIMENT CONTROL, SEE 3/CO.2 & 4/CO.2

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY PERSONAL SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL CITY REQUIREMENTS. I AM GENERALLY ADMINISTERING THE WORK.

ENGINEER REG. NO. 06-10-22

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NOT FOR CONSTRUCTION

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NO DATE ISSUE

SHEET TITLE:  
Demolition and Erosion and Sediment Control Plan

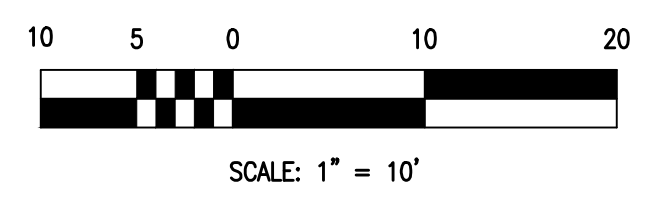
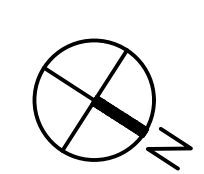
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1 DEMOLITION AND EROSION AND SEDIMENT CONTROL PLAN 1"=10'





1  
C0.2 EROSION AND SEDIMENT  
CONTROL PLAN TYPICAL NOTES

GENERAL

1. THE PURPOSE OF THIS EROSION AND SEDIMENT CONTROL PLAN (ESCP) IS TO COMMUNICATE A REASONABLE STARTING POINT FOR TENDERING AND DEVELOPMENT OF A SITE SPECIFIC STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE SWPPP AND ALL DRAINAGE, EROSION AND SEDIMENT CONTROL (ESC) MEASURES TAKEN. THE INFORMATION SHOWN HEREIN IS PROVIDED BASED ON MM'S EXPERIENCE AND IS FOR THE CONTRACTOR'S CONSIDERATION ONLY. THIS ESCP IS NOT INTENDED TO BE COMPLETE OR COMPREHENSIVE.
2. THE SWPPP SHALL BE DEVELOPED BY THE CONTRACTOR TO SUPPORT THE ACTUAL CONSTRUCTION SEQUENCING, CONSTRUCTION METHODOLOGIES, LOCAL SITE CONDITIONS, AND DETAIL ACTUAL REQUIRED ESC MEASURES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE ADEQUACY OF THE ACTUAL ESC MEASURES AND ACHIEVING LEGAL REQUIREMENTS.
4. ADDITIONAL ESC MEASURES MUST BE IMPLEMENTED IN THE EVENT THAT SITE CONDITIONS CHANGE SIGNIFICANTLY FROM THOSE ORIGINALLY CONSIDERED.
5. WHERE THERE IS A HIGH PROBABILITY THAT SERIOUS OR MATERIAL ENVIRONMENTAL HARM MAY OCCUR AS A RESULT OF SEDIMENT LEAVING THE SITE, APPROPRIATE ADDITIONAL ESC MEASURES MUST BE IMPLEMENTED SUCH THAT ALL REASONABLE AND PRACTICABLE MEASURES ARE TAKEN TO PREVENT OR MINIMIZE SUCH HARM.
6. NO ESC MEASURES SHALL BE INSTALLED OR CONSTRUCTED ON ADJACENT PROPERTIES.

SITE ACCESS

1. PRIOR TO THE COMMENCEMENT OF SITE WORK, THE LOCATION OF THE SITE ACCESS POINT(S) SHALL BE RESTRICTED TO THE MINIMUM PRACTICAL NUMBER OF LOCATIONS.
2. THE SITE ACCESS POINT(S) MUST BE APPROPRIATELY MANAGED TO MINIMIZE THE RISK OF SEDIMENT BEING TRACKED ONTO SEALED, PUBLIC ROADWAYS.
3. STORMWATER RUNOFF FROM ACCESS ROADS AND THE SITE ACCESS POINT(S) MUST DRAIN TO AN APPROPRIATE SEDIMENT CONTROL DEVICE.

SITE MANAGEMENT

1. ALL OFFICE FACILITIES AND OPERATIONAL ACTIVITIES MUST BE LOCATED SUCH THAT ANY LIQUID EFFLUENT (E.G. PROCESS WATER, WASH-DOWN WATER, EFFLUENT FROM EQUIPMENT CLEANING, OR PLANT WATERING), CAN BE TOTALLY CONTAINED AND TREATED WITHIN THE SITE.
2. THE CONSTRUCTION SCHEDULE MUST AIM TO MINIMIZE THE DURATION THAT ANY AND ALL AREAS OF SOIL ARE EXPOSED TO THE EROSION EFFECTS OF WIND, RAIN AND SURFACE WATER.
3. SEDIMENT DEPOSITED OFF THE SITE AS A DIRECT RESULT OF AN ON-SITE ACTIVITY, MUST BE COLLECTED AND THE AREA APPROPRIATELY CLEANED/REHABILITATED AS SOON AS REASONABLE AND PRACTICABLE, AND IN A MANNER THAT GIVES APPROPRIATE CONSIDERATION TO THE SAFETY AND ENVIRONMENTAL RISKS ASSOCIATED WITH THE SEDIMENT DEPOSITION.
4. ADEQUATE WASTE COLLECTION BINS MUST BE PROVIDED ON-SITE AND MAINTAINED SUCH THAT POTENTIAL AND ACTUAL ENVIRONMENTAL HARM RESULTING FROM SUCH MATERIAL WASTE IS MINIMIZED.
5. CONCRETE WASTE AND CHEMICAL PRODUCTS, INCLUDING PETROLEUM AND OIL-BASED PRODUCTS, MUST BE PREVENTED FROM ENTERING ANY STORMWATER SYSTEM.
6. ALL FLAMMABLE AND COMBUSTIBLE LIQUIDS, INCLUDING ALL LIQUID CHEMICALS IF SUCH CHEMICALS COULD POTENTIALLY BE WASHED OR DISCHARGED FROM THE SITE, ARE STORED AND HANDLED ON-SITE IN ACCORDANCE WITH RELEVANT STANDARDS.
7. SITE SPOIL MUST BE LAWFULLY DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ONGOING SOIL EROSION OR ENVIRONMENTAL HARM.

DRAINAGE CONTROL

1. ALL DRAINAGE CONTROL MEASURES MUST BE APPLIED AND MAINTAINED IN ACCORDANCE WITH THE LADOTD EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS.
2. DURING THE CONSTRUCTION PERIOD, ALL REASONABLE AND PRACTICABLE MEASURES MUST BE IMPLEMENTED TO CONTROL FLOW VELOCITIES IN SUCH A MANNER THAN PREVENTS SOIL EROSION ALONG DRAINAGE PATHS AND AT THE ENTRANCE AND EXIT OF ALL DRAINS AND DRAINAGE PIPES.
3. DURING THE CONSTRUCTION PERIOD, ROOF WATER MUST BE MANAGED IN A MANNER THAT MINIMIZES SOIL EROSION THROUGHOUT THE SITE, AND SITE WEENESS WITHIN ACTIVE WORK AREAS.

SEDIMENT CONTROL

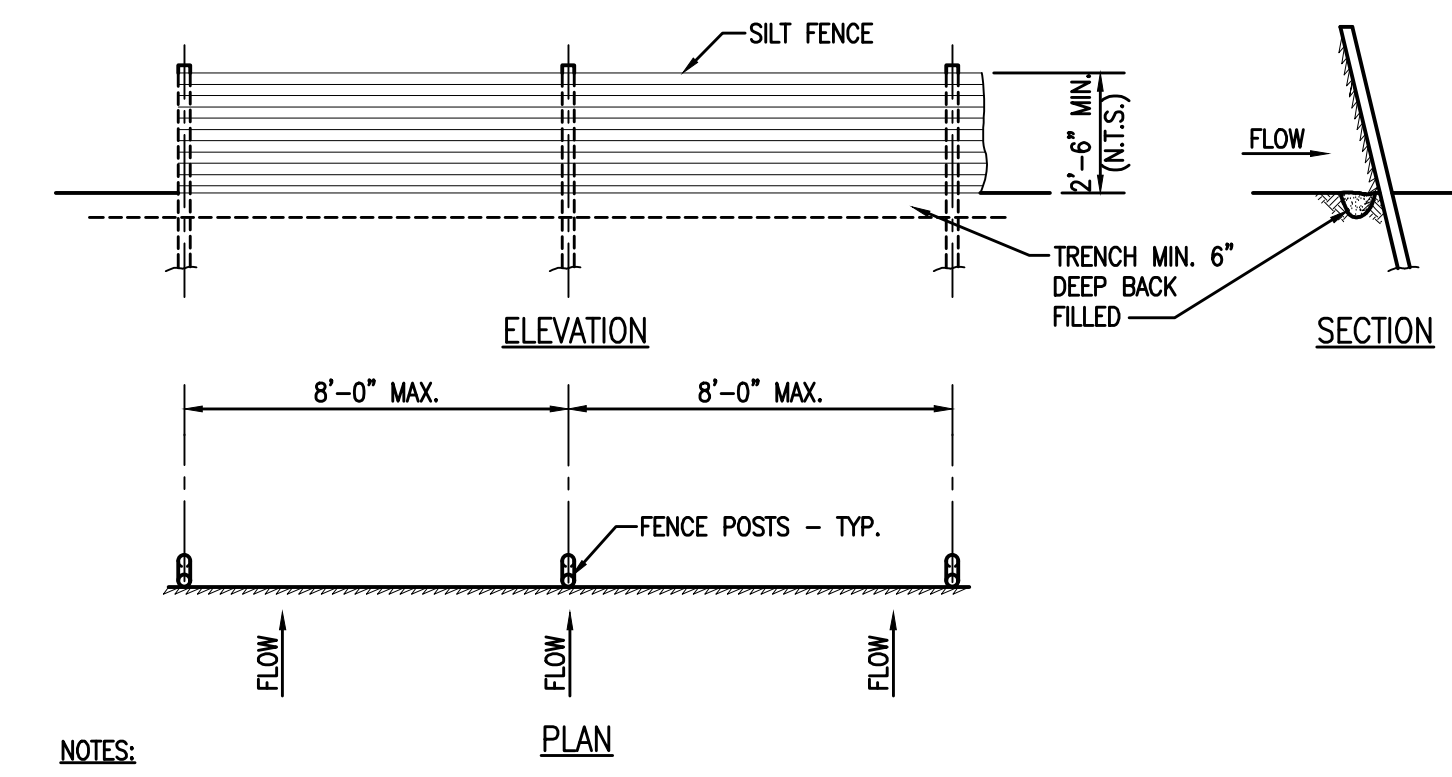
1. ALL SEDIMENT CONTROL MEASURES MUST BE APPLIED AND MAINTAINED IN ACCORDANCE WITH THE LADOTD EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS.
2. OPTIMUM BENEFIT MUST BE MADE OF EVERY OPPORTUNITY TO TRAP SEDIMENT WITHIN THE WORK SITE, AND AS CLOSE AS PRACTICABLE TO ITS SOURCE.
3. SEDIMENT TRAPS MUST BE INSTALLED AND OPERATED TO BOTH COLLECT AND RETAIN SEDIMENT.
4. THE POTENTIAL SAFETY RISK OF A PROPOSED SEDIMENT TRAP TO SITE WORKERS AND THE PUBLIC MUST BE GIVEN APPROPRIATE CONSIDERATION, ESPECIALLY THOSE DEVICES LOCATED WITHIN PUBLICLY ACCESSIBLE AREAS.
5. ALL REASONABLE AND PRACTICABLE MEASURES MUST BE TAKEN TO PREVENT, OR AT LEAST MINIMIZE, THE RELEASE OF SEDIMENT FROM THE SITE.
6. SUITABLE ALL-WEATHER MAINTENANCE ACCESS MUST BE PROVIDED TO ALL SEDIMENT CONTROL DEVICES.
7. SEDIMENT CONTROL DEVICES MUST BE DE-SILTED AND MADE FULLY OPERATIONAL AS SOON AS REASONABLE AND PRACTICABLE AFTER A SEDIMENT-PRODUCING EVENT, WHETHER NATURAL OR ARTIFICIAL, IF THE DEVICE'S SEDIMENT RETENTION CAPACITY FALLS BELOW 75% OF ITS DESIGN RETENTION CAPACITY.
8. MATERIALS, WHETHER LIQUID OR SOLID, REMOVED FROM SEDIMENT CONTROL DEVICES DURING MAINTENANCE OR DECOMMISSIONING, MUST BE DISPOSED OF IN A MANNER THAT DOES NOT CAUSE ONGOING SOIL EROSION OR ENVIRONMENTAL HARM.

SITE MAINTENANCE

1. ALL ESC MEASURES, INCLUDING DRAINAGE CONTROL MEASURES, MUST BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES DURING THEIR OPERATIONAL LIVES.
2. ALL TEMPORARY ESC MEASURES, INCLUDING DRAINAGE CONTROL MEASURES, MUST BE FULLY OPERATIONAL AND MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES DURING THE MAINTENANCE PERIOD.
3. ALL TEMPORARY ESC MEASURES, INCLUDING DRAINAGE CONTROL MEASURES, MUST BE REMOVED AFTER ACHIEVING A SATISFACTORY "OFF-MAINTENANCE INSPECTION".
4. ALL DRAINAGE AND ESC MEASURES MUST BE INSPECTED:
  - A. AT LEAST DAILY (WHEN WORK IS OCCURRING ON-SITE);
  - B. AT LEAST WEEKLY (WHEN WORK IS NOT OCCURRING ON-SITE);
  - C. WITHIN 24 HOURS OF EXPECTED RAINFALL; AND
  - D. WITHIN 18 HOURS OF A RAINFALL EVENT OF SUFFICIENT INTENSITY AND DURATION TO CAUSE RUNOFF ON-SITE.
5. WASHING/FLUSHING OF SEALED ROADWAYS MUST ONLY OCCUR WHERE SWEEPING HAS FAILED TO REMOVE SUFFICIENT SEDIMENT AND THERE IS A COMPELLING NEED TO REMOVE THE REMAINING SEDIMENT (E.G. FOR SAFETY REASONS). IN SUCH CIRCUMSTANCES, ALL REASONABLE AND PRACTICABLE SEDIMENT CONTROL MEASURES MUST BE USED TO PREVENT, OR AT LEAST MINIMIZE, THE RELEASE OF SEDIMENT INTO RECEIVING WATERS. ONLY THOSE MEASURES THAT WILL NOT CAUSE SAFETY AND PROPERTY FLOODING ISSUES SHALL BE EMPLOYED. SEDIMENT REMOVED FROM ROADWAYS MUST BE DISPOSED OF IN A LAWFUL MANNER THAT DOES NOT CAUSE ONGOING SOIL EROSION OR ENVIRONMENTAL HARM.
6. SEDIMENT REMOVED FROM SEDIMENT TRAPS AND PLACES OF SEDIMENT DEPOSITION MUST BE DISPOSED OF IN A LAWFUL MANNER THAT DOES NOT CAUSE ONGOING SOIL EROSION OR ENVIRONMENTAL HARM.

RELATED DOCUMENTS

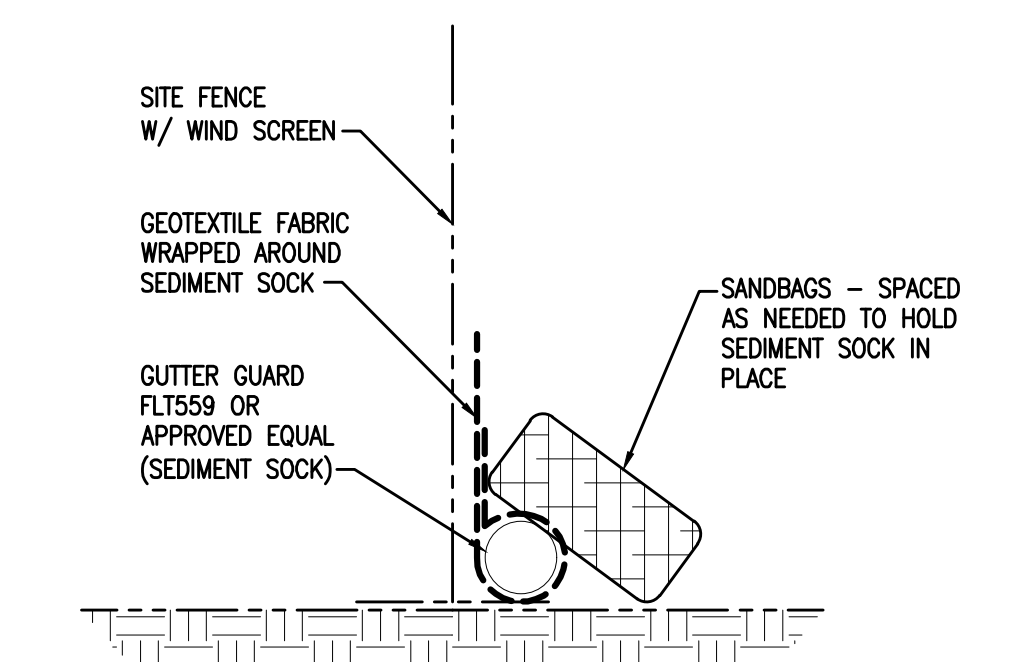
1. THE CONTRACTOR SHALL HAVE APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND COPY OF THE LADOTD EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS ON-SITE.



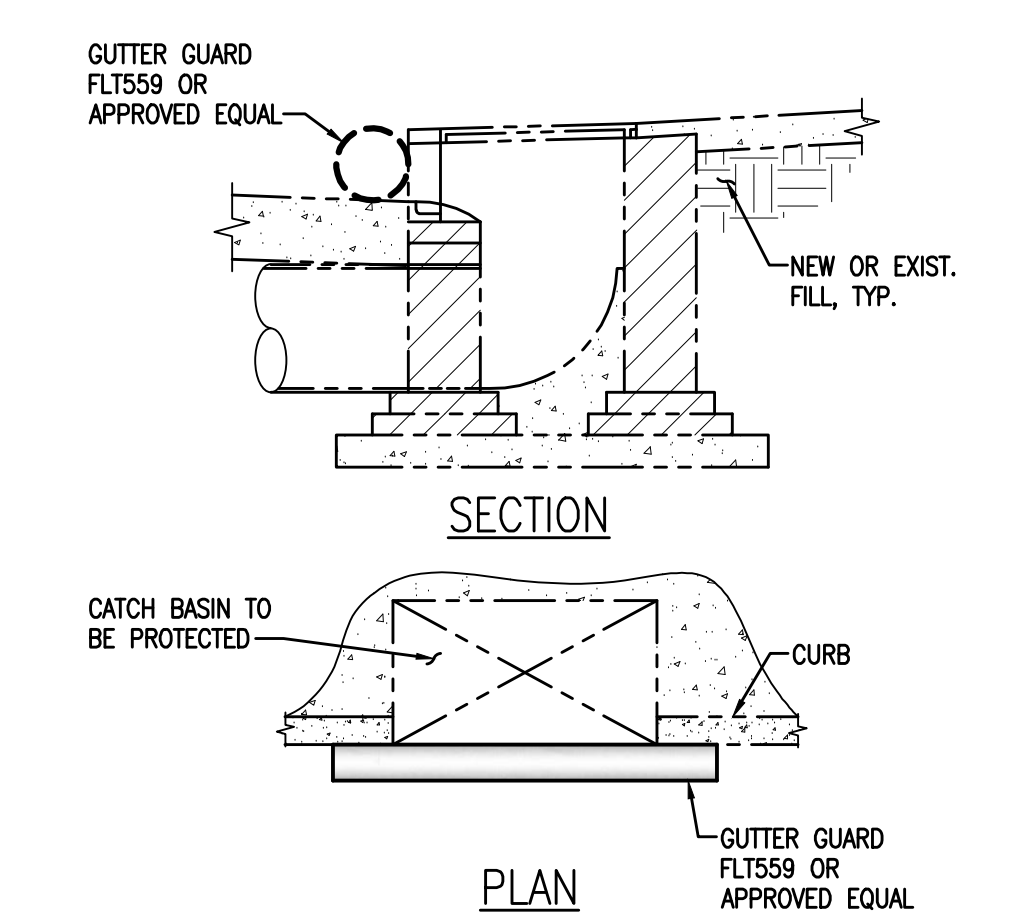
NOTES:

1. SILT FENCES SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR AS SHOWN ON THE PLANS AND AS DIRECTED BY THE ENGINEER UNTIL THE DISTURBED AREAS ARE PERMANENTLY STABILIZED. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
2. ACCUMULATED SILT/SEDIMENT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6" AND DISPOSED OF IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO FURTHER SILTATION.
3. MATERIALS:
  - A. POSTS SHALL BE STEEL OR WOODEN FENCE POSTS.
  - B. SILT FENCE SHALL BE BURIAL WEIGHTING 7-1/2 OUNCES PER SQUARE YARD, APPROVED JUTE FABRIC OR GEOTEXTILE FABRIC. SILT FENCE SHALL BE SECURELY FASTENED TO EACH POST OR TO WOVEN WIRE WHICH IN TURN SHALL BE FASTENED TO EACH POST.
4. SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE.
5. CONTRACTOR SHALL PROVIDE A REMOVABLE SECTION FOR SITE ACCESS.
6. SILT FENCE LOCATIONS SHOWN ON PLAN ARE INDICATIVE AND ARE NOT INTENDED TO BE COMPLETE OR COMPREHENSIVE.

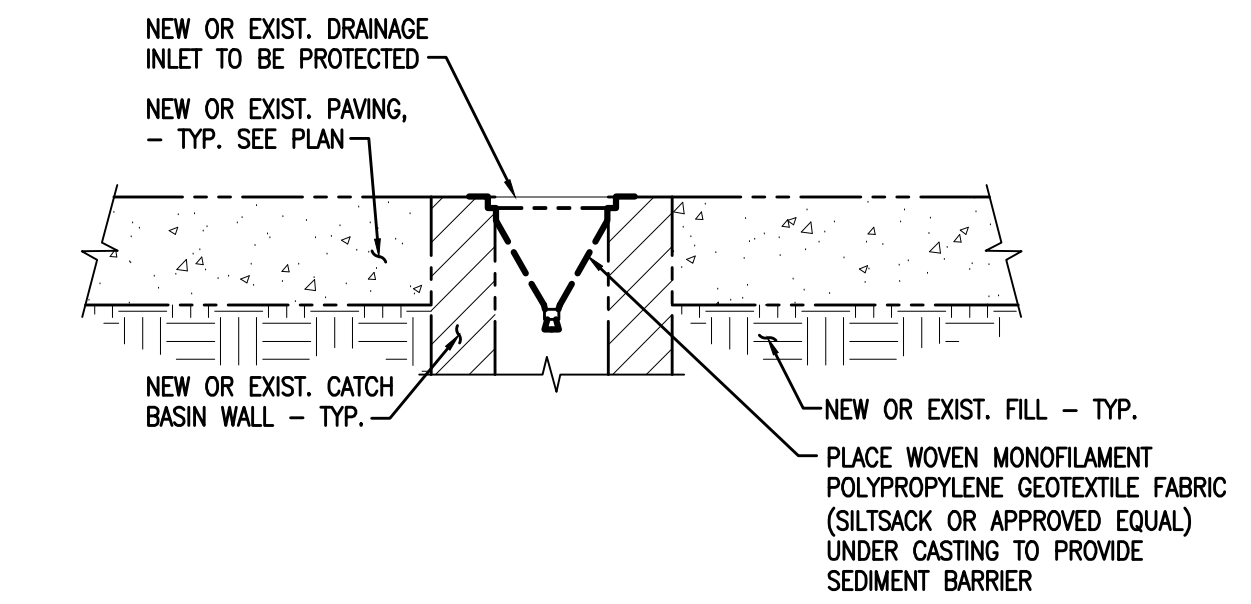
2  
C0.2 DETAIL - SILT (SEDIMENT) FENCE  
1/4"=1'-0"



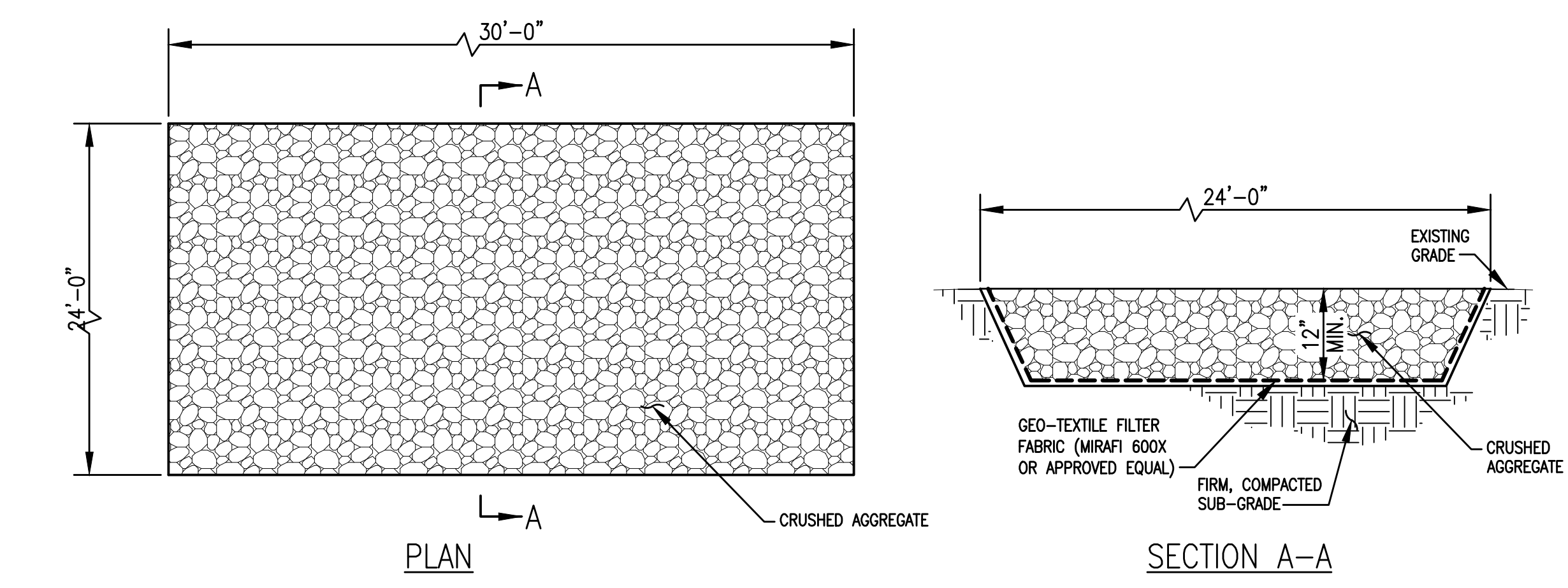
2A  
C0.2 DETAIL - SEDIMENT CONTROL AT CONSTRUCTION/SITE FENCE  
1/2"=1'-0"



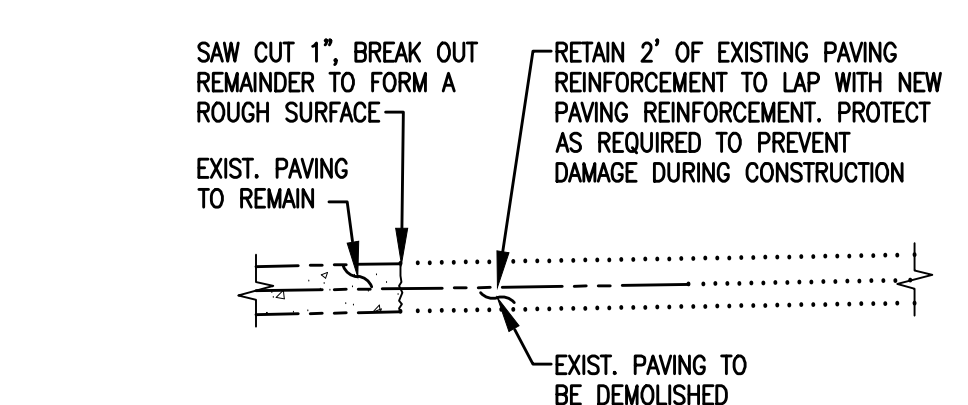
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C0.2 DETAIL - SEDIMENT CONTROL AT VERTICAL CATCH BASIN  
N.T.S.



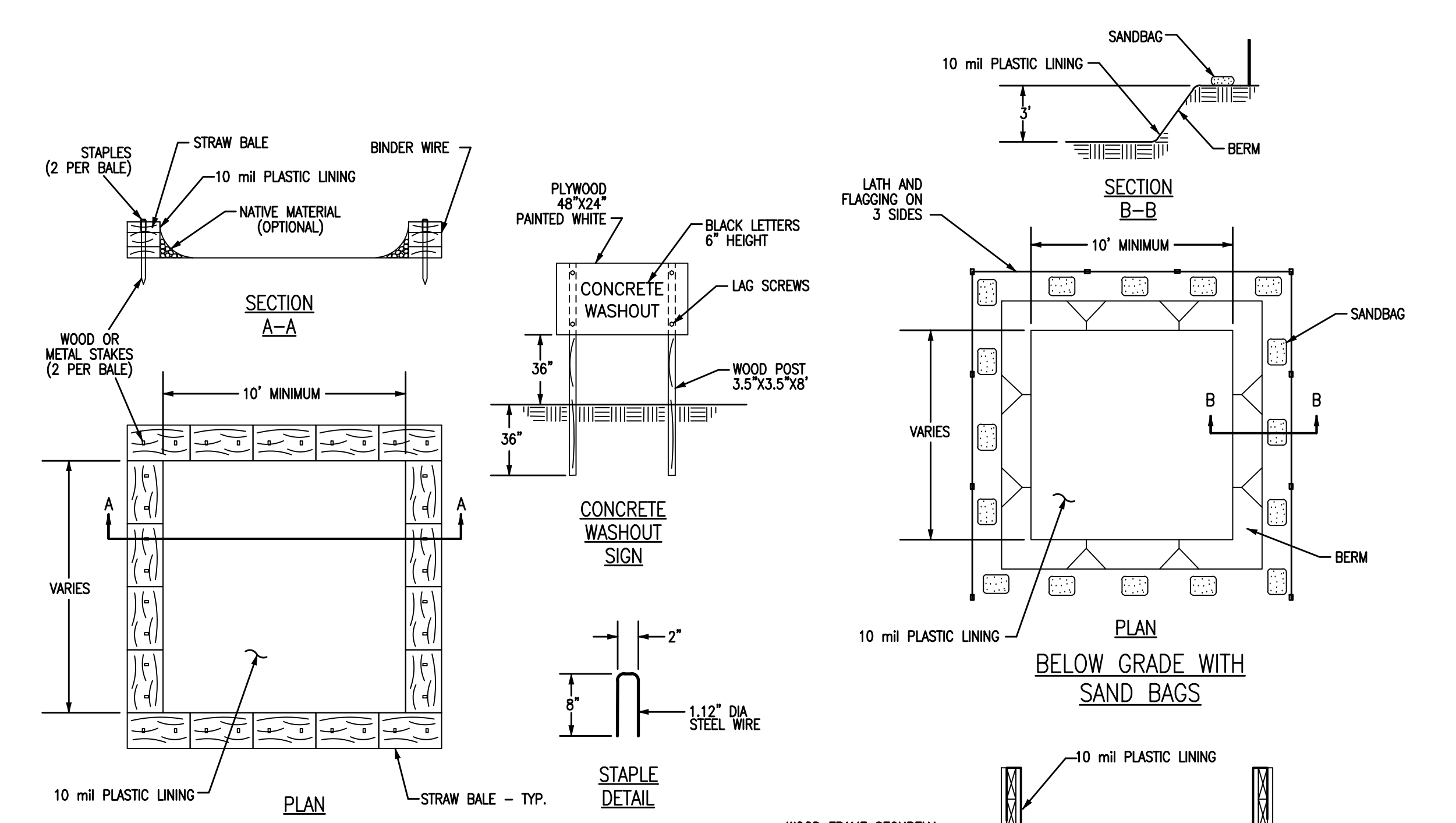
4  
C0.2 DETAIL - SEDIMENT CONTROL AT DRAIN INLET  
N.T.S.



5  
C0.2 TYPICAL SECTION - STABILIZED CONSTRUCTION ENTRANCE/EXIT  
N.T.S.



6  
C0.2 DETAIL - SAWCUT  
3/4"=1'-0"



ABOVE GRADE WITH STRAW BALES

- NOTES:
1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
  2. A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
  3. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
  4. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.

7  
C0.2 DETAIL - CONCRETE WASHOUT (SCHEMATIC)  
N.T.S.

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CIVIL ENGINEERING  
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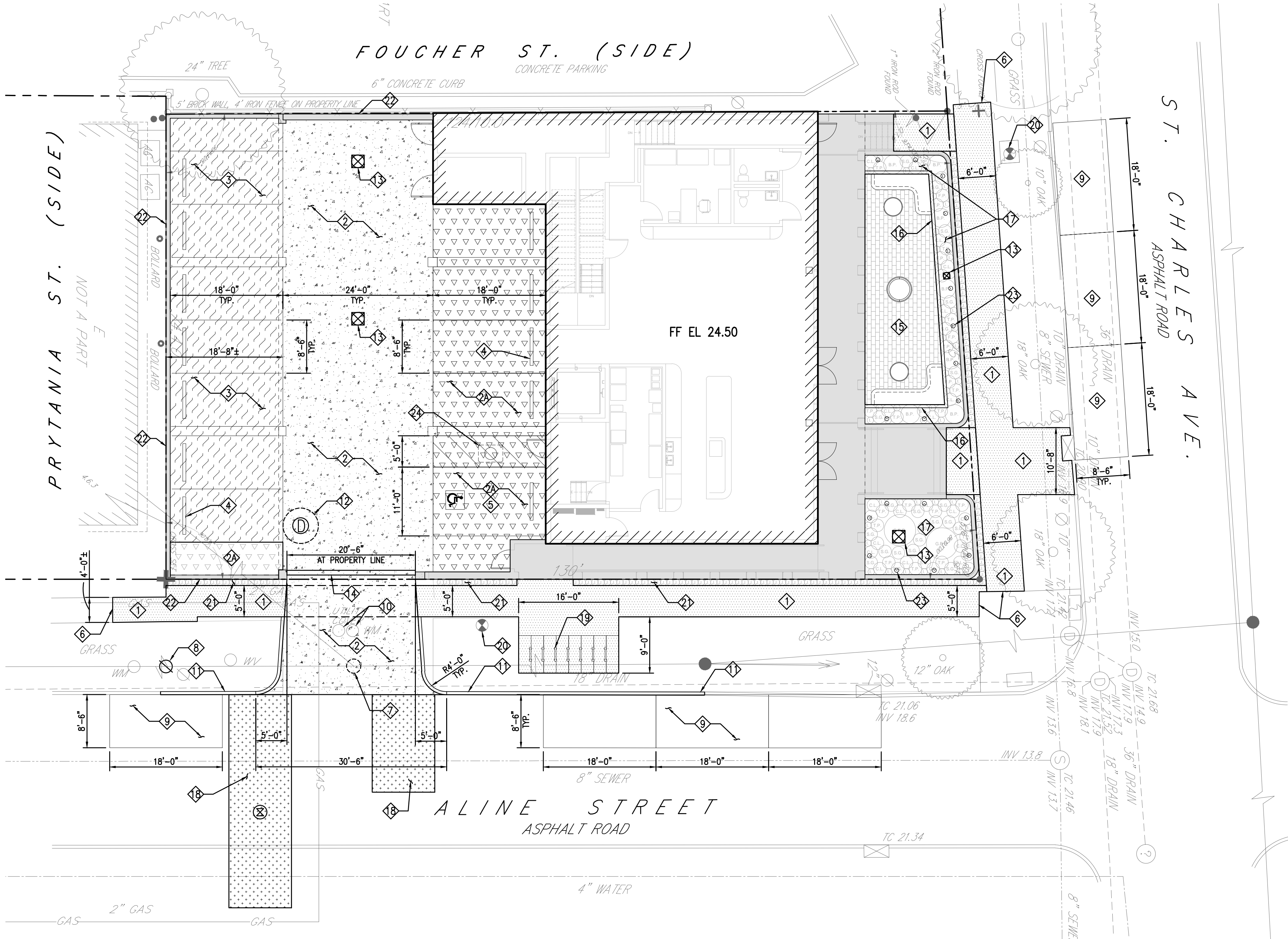
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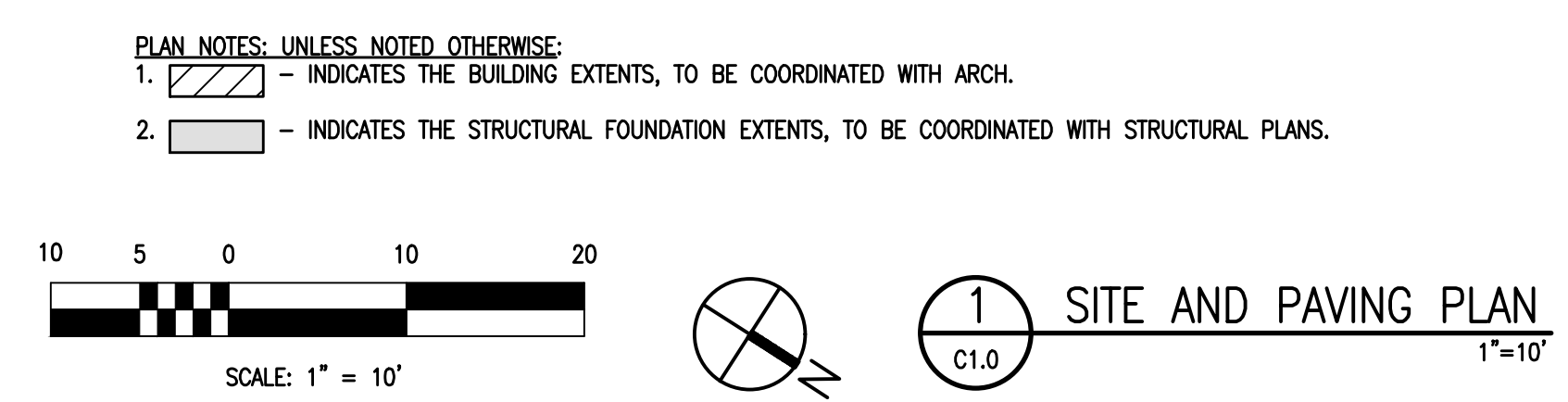


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JOB NO.: 21241





- SITE PLAN KEY NOTES:**
- 1. NEW CONCRETE SIDEWALK PAVEMENT - TYP., SEE 2/C2.0.
  - 2. NEW CONCRETE DRIVEWAY PAVEMENT, SEE 4/C2.0 AND C3.2.
  - 3. NEW CONCRETE PARKING PAVEMENT, SEE 4/C2.0.
  - 4. NEW PERMEABLE TRUEGRID PAVEMENT SYSTEM AT PARKING AREA WITH "SUPERSPOTS" PARKING MARKERS, SEE 1/C2.1.
  - 5. NEW CONCRETE WHEELSTOP, SEE 8/C2.0.
  - 6. NEW ADA HANDICAP PARKING WITH ADA SYMBOL, HANDICAP PARKING SIGN (MOUNTED TO WALL, SEE 5/C2.0 AND 6/C2.0).
  - 7. DOWEL NEW SIDEWALK CONCRETE PAVEMENT INTO EXISTING SIDEWALK PAVEMENT, SEE 3/C2.0.
  - 8. EXIST. UTILITY POLE IN CONFLICT WITH NEW DRIVEWAY LOCATION TO BE RELOCATED. CONTRACTOR SHALL COORDINATE RELOCATION WITH LOCAL UTILITY COMPANY (ENTERGY).
  - 9. LOCATION OF RELOCATED UTILITY POLE SHOWN HEREON FOR REFERENCE PURPOSE ONLY. FINAL LOCATION SHALL BE DETERMINED BY LOCAL UTILITY COMPANY (ENTERGY).
  - 10. ON-STREET PARKING SPACE - TYP., SEE 5/C2.0 FOR STRIPING NOTES.
  - 11. TOP OF CAST ELEVATION OF EXIST. UTILITY STRUCTURES SHALL BE FIELD ADJUSTED TO MATCH FINISHED GRADE OF NEW PAVING OR GRASSY AREA.
  - 12. NEW VERTICAL CURB PER DPW STANDARD STANDARDS AND REQUIREMENTS, SEE C3.2.
  - 13. NEW DRAINAGE MANHOLE, SEE C1.2.
  - 14. NEW DRAIN INLET, SEE C1.2.
  - 15. NEW TRENCH DRAIN, SEE C1.2.
  - 16. NEW PERMEABLE PAVERS SEE C1.2 FOR DRAINAGE AND LANDSCAPE FOR PAVERS.
  - 17. NEW PERMEABLE PAVEMENT RETAINING CURB, SEE 3/C2.1 - TYP.
  - 18. NEW PLANTER, SEE C1.2 FOR DRAINAGE AND ARCH. FOR PLANTINGS.
  - 19. EXIST. ASPHALT PAVING STREET REPAIR FOR INSTALLATION OF NEW UTILITIES, SAWCUT ALL AROUND, SEE 10/C2.0.
  - 20. NEW BICYCLE PARKING, SEE ARCH. FOR RACK DETAILS.
  - 21. EXISTING PARKING KIOSK, SEE ARCH. - TYP.
  - 22. NEW LANDSCAPING, SEE ARCH. - TYP.
  - 23. NEW CMU WALL, SEE STRUC. - TYP.
  - 24. NEW LANDSCAPE LIGHTING, SEE ARCH. - TYP.
  - 25. NEW GREASE TRAP, SEE PLUMBING FOR TRAP AND 11/C2.1 FOR FOUNDATION.



**PAVING PLAN LEGEND**

[Symbol]	PORTLAND CEMENT CONCRETE SIDEWALK - 4" THK., SEE 2/C2.0
[Symbol]	PORTLAND CEMENT CONCRETE HEAVY DUTY DRIVEWAY ZONE PAVING, 8" THK., SEE 4/C2.0
[Symbol]	PORTLAND CEMENT CONCRETE PARKING ZONE PAVING - 6" THK. SEE 4/C2.0
[Symbol]	STREET CUT AND REPAIR FOR INSTALLATION OF NEW UTILITIES, SEE 10/C2.0
[Symbol]	PERMEABLE PAVING - TRUEGRID PAVEMENT SYSTEM (AT PARKING) WITH 1/2" AGGREGATE STONE SUB-BASE, PROVIDE "SUPERSPOTS" PARKING MARKERS, SEE 1/C2.1
[Symbol]	PERMEABLE PAVERS WITH AGGREGATE STONE BEDDING, BASE AND SUB-BASE. SEE 3/C2.1

FINISH GRADE AT PERMEABLE PAVERS:  
ALL NEW PROPOSED GRADES SHOWN ON GRADING PLAN FOR THE AREA WHERE PAVERS TO BE INSTALLED ARE FINISHED ELEVATIONS. CONTRACTOR SHALL COORDINATE THICKNESS OF PAVERS AND INSTALL AGGREGATE STONE BEDDING, BASE AND SUB-BASE COURSE UNDERNEATH IT TO ACHIEVE FINAL FINISH GRADES NOTED ON PLAN.



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NOT FOR CONSTRUCTION

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY PERSONAL SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL CITY REQUIREMENTS. I AM GENERALLY ADMINISTERING THE WORK.

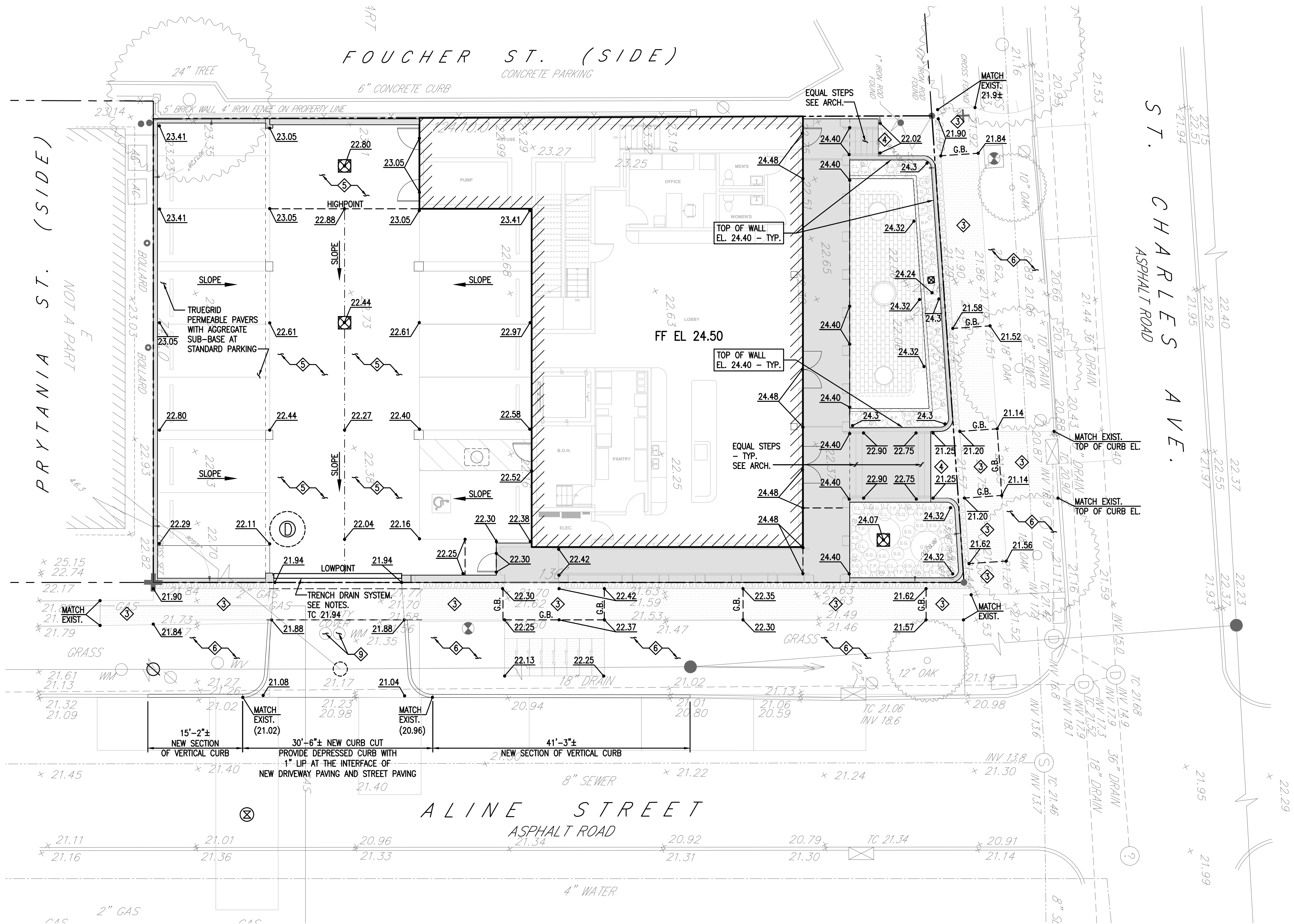
ENGINEER  
REG. NO. [Signature]  
JONATHAN A. SOFRONKO  
REGISTERED PROFESSIONAL ENGINEER  
IN CIVIL ENGINEERING  
06-10-22

1 06/10/22 ISSUED FOR PERMIT  
NO DATE ISSUE

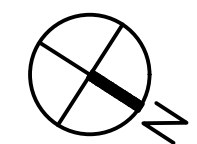
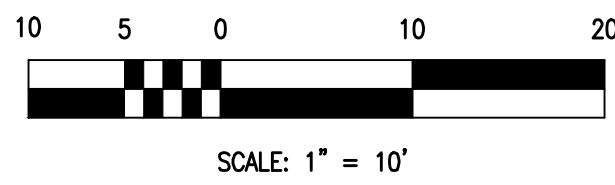
SHEET TITLE:  
Site and Paving Plan

SHEET NUMBER:  
**C1.0**





- PLAN NOTES: UNLESS NOTED OTHERWISE:
1. - INDICATES THE BUILDING EXTENTS, TO BE COORDINATED WITH ARCH.
  2. - INDICATES THE STRUCTURAL FOUNDATION EXTENTS, TO BE COORDINATED WITH STRUCTURAL PLANS.
  3. - INDICATES THE GRADING NOTE TO REFERENCE FOR DESIGN REQUIREMENTS IN THAT AREA, SEE GRADING PLAN NOTES.



1 GRADING PLAN  
C1.1  
1"=10'

#### GRADING PLAN LEGEND

- 24.40 PROPOSED FINISHED GRADE ELEVATION  
 H.P. HIGH POINT  
 G.B. GRADE BREAK

#### GRADING PLAN NOTES:

1. CONTRACTOR SHALL VERIFY ALL EXISTING GRADES PRIOR TO CONSTRUCTION. NOTIFY A/E IMMEDIATELY IF ANY GRADE CONFLICT IS ENCOUNTERED WHEN MATCHING OR TIE-INTO EXISTING GRADES.
2. CONTRACTOR SHALL NOTIFY A/E IMMEDIATELY IF ANY CONFLICT OR DISCREPANCY IS IDENTIFIED WITH NEW FINISHED GRADES.
3. PAVEMENT AND SIDEWALK RUNNING SLOPE AND CROSS SLOPE SHALL BE IN COMPLIANCE WITH ADA STANDARDS FOR ACCESSIBLE DESIGN AND DPW STANDARDS. RUNNING SLOPE NOT TO EXCEED 1 IN 20 (5%) AND CROSS SLOPE NOT TO EXCEED 1 IN 50 (2%).
4. CONTRACTOR SHALL PROVIDE MINIMUM OF 5' LANDING AT DOORS, ADA RAMPS AND FENCE GATES ACCORDING WITH ADA REQUIREMENTS. SLOPE FOR LANDING SHALL BE IN COMPLIANCE WITH ADA STANDARDS FOR ACCESSIBLE DESIGN. HANDICAP PARKING SPACE SLOPE NOT TO EXCEED 1 IN 50 (2%) IN ALL DIRECTIONS.
5. SLOPE PAVING UNIFORMLY TOWARDS PERMEABLE PAVING OR DRAIN INLETS AS NOTED ON PLANS. ENSURE POSITIVE SLOPE AND DRAINAGE IS MAINTAINED.
6. RE-GRADE OR SLOPE GRASSY AREA UNIFORMLY TO MATCH EXIST. GRADE OR TOP OF CURB ELEVATION.
7. PROVIDE DEPRESSED CURB WITH 1" LIP AT THE INTERFACE OF NEW DRIVEWAY PAVING AND EXIST. STREET.
8. PROVIDE 5 FEET TRANSITION FROM VERTICAL CURB TO ZERO (0) CURB.
9. CASTING OR GRATE ELEVATION OF ALL EXISTING STRUCTURES INVOLVED IN THE SCOPE OF CIVIL WORK TO BE FIELD ADJUSTED, TOP CASTING SHALL BE FLUSHED WITH NEW PAVING OR FINISHED GRADE OF GRASSY AREAS.
10. ALL NEW PAVING AND STREET REPAIRS IN THE RIGHT-OF-WAY SHALL BE IN COMPLIANCE AND REQUIREMENTS WITH CITY OF NEW ORLEANS DPW STANDARDS.
11. PROVIDE DRAINAGE STRUCTURES AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE LATEST STANDARDS OF CITY OF NEW ORLEANS DEPARTMENT OF PUBLIC WORKS AND/OR THE NEW ORLEANS SEWERAGE AND WATER BOARD AND/OR THE LOUISIANA DOTD.

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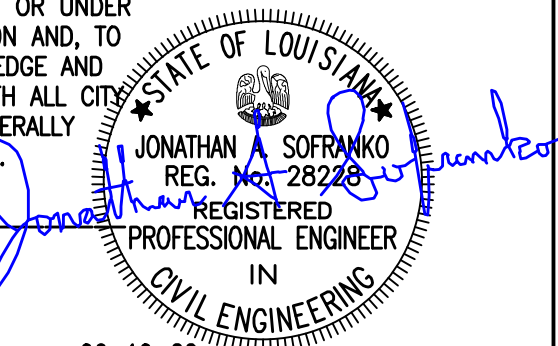
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NO DATE ISSUE

SHEET TITLE:  
Grading Plan

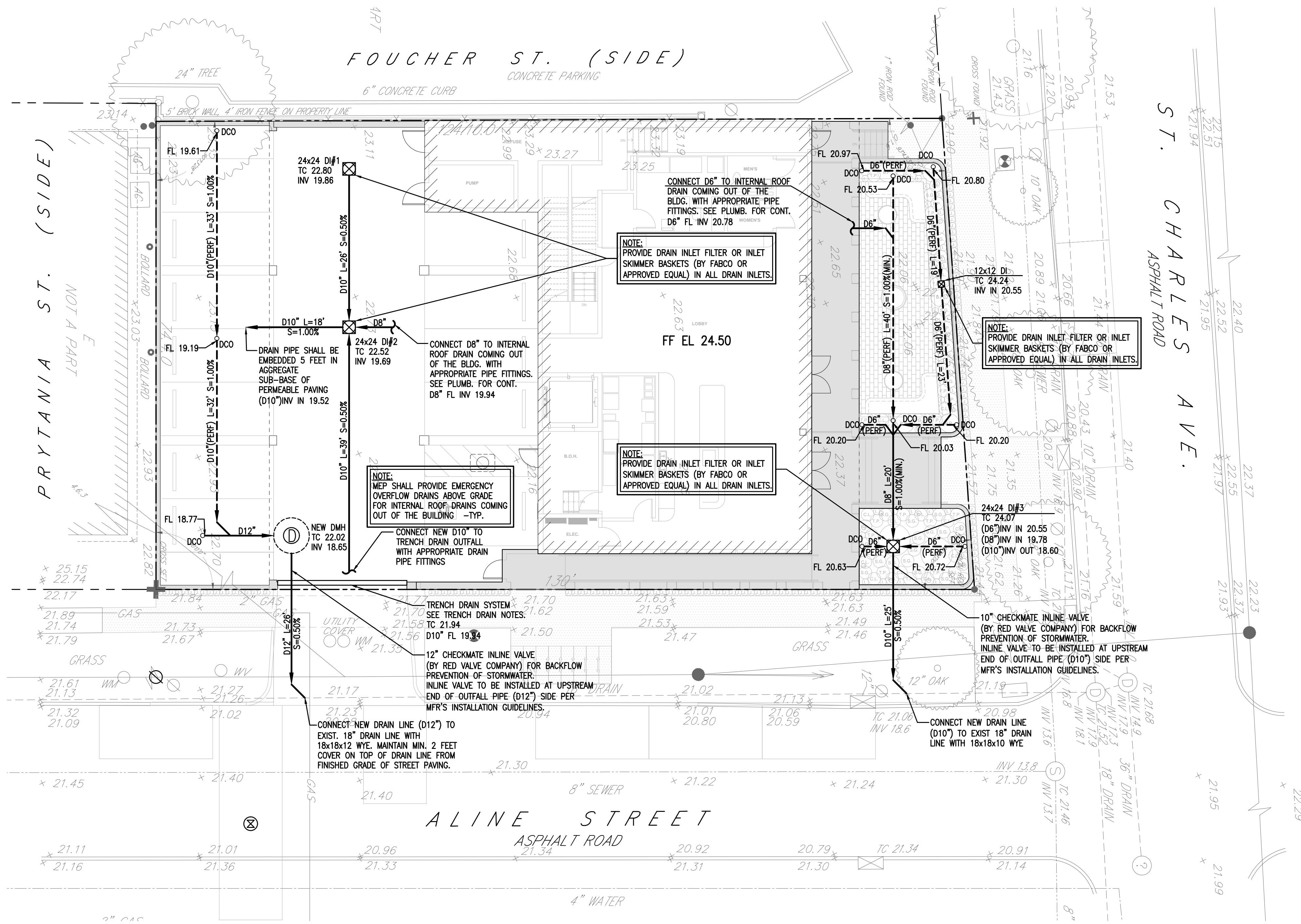
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**C1.1**

ISSUE DATE: 06/10/22  
SCALE: AS NOTED  
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JOB NO.: 21241

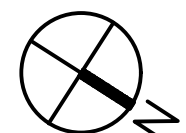
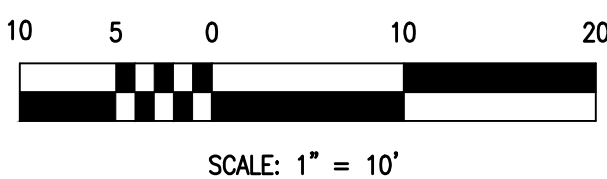






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1. - INDICATES THE BUILDING EXTENTS, TO BE COORDINATED WITH ARCH.
2. - INDICATES THE STRUCTURAL FOUNDATION EXTENTS, TO BE COORDINATED WITH STRUCTURAL PLANS.



1  
C1.2  
DRAINAGE PLAN  
1"=10'

DRAINAGE PLAN LEGEND

- D10" L=30' S=0.50% → NEW DRAIN, SIZE, LENGTH, SLOPE
- D8" (PERF) L=40' S=1.00% (MIN.) → NEW PERFORATED DRAIN, SIZE, LENGTH, SLOPE
- NEW TRENCH DRAIN, SEE 6/C2.1
- NEW DRAIN MANHOLE NO.1 PER S&WB STANDARDS, SEE C3.0
- ⊗ NEW 24x24 DRAIN INLET (GRATE AND FRAME) ACTUAL SIZE VARIES SEE 7/C2.1
- DCO DRAIN CLEANOUT, SEE 5/C2.1

DRAINAGE PLAN NOTES:

1. PROVIDE DRAINAGE STRUCTURES AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE LATEST STANDARDS OF CITY OF NEW ORLEANS DEPARTMENT OF PUBLIC WORKS AND/OR THE NEW ORLEANS SEWERAGE AND WATER BOARD AND/OR THE LOUISIANA DOTD.
2. DIRECT DRAINAGE OF ALL PAVEMENT UNIFORMITY TO DRAIN STRUCTURES AND PERMEABLE PAVING AS NOTED ON DRAWINGS. NOTIFY A/E IF ANY DISCREPANCY WITH FINISHED GRADES TO ENSURE POSITIVE FLOW AND DRAINAGE IS MAINTAINED.
3. DRAIN LINES SHALL HAVE A MINIMUM OF 1'-0" COVER FROM THE TOP OF PIPE TO TOP OF PAVEMENT OR GRASSY AREAS.
4. ALL DRAIN PIPE MATERIAL SHALL BE A-2000 PVC (SOLID WALL) OR A-2000 PVC PERFORATED AS NOTED ON PLANS. DRAIN PIPE FITTINGS SHALL CONFORM TO ASTM 949 PER MFR'S REQUIREMENTS. ALL JOINTS SHALL BE MADE WITH INTEGRALLY FORMED BELL AND SPOUT GASKETED CONNECTIONS. ELASTOMERIC SEALS (GASKETS) SHALL CONFORM TO ASTM F477.
5. DRAIN PIPE CONNECTION TO DRAIN MANHOLE/DRAIN INLETS AT PIPE INTERFACE SHALL BE GROUTED WITH NON-SHRINK GROUT FOR AN AIR-TIGHT SEAL.
6. PROVIDE DRAIN INLET FILTER OR INLET SKIMMER BASKETS (BY FABCO OR APPROVED EQUAL) IN ALL DRAIN INLETS.
7. UPON COMPLETION OF PROJECT, CONTRACTOR SHALL CLEAN ALL NEW STORM DRAIN LINES, DRAIN INLETS AND EXISTING CATCH BASINS, DRAIN LINES, DRAIN MANHOLES - S&WB STORM DRAINAGE INFRASTRUCTURE IN ALL PERIMETER STREETS & RIGHT-OF-WAY TO MAINTAIN POSITIVE FLOW AND RESTORE SERVICES. SUBMIT REPORTS TO A/E.
8. CONTRACTOR SHALL VERIFY LOCATION (HORIZONTAL AND VERTICAL, WHEREVER POSSIBLE) OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL TAKE EXTREME PRECAUTIONS WHEN WORKING IN THE VICINITY OF EXISTING GAS, ELECTRICITY, ETC SO AS NOT TO CAUSE DAMAGE.
9. CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF ALL EXISTING DRAIN LINES PRIOR TO MAKING ANY CONNECTIONS/INSTALLATIONS. NOTIFY A/E IMMEDIATELY IF ANY CONFLICT IS ENCOUNTERED BETWEEN FLOW LINE INV. ELEVATION OF NEW DRAIN LINE AND INVERT ELEVATION OF EXISTING DRAIN.
10. NOTIFY A/E IMMEDIATELY IF GRADE CONFLICT IS ENCOUNTERED BETWEEN NEW DRAIN LINE AND STRUCTURAL FOUNDATION.
11. CONTRACTOR SHALL NOTIFY A/E IF ANY GRADE CONFLICT IS ENCOUNTERED BETWEEN NEW DRAIN LINE AND NEW/EXISTING UNDERGROUND UTILITIES (SANITARY SEWER, DOMESTIC AND FIRE WATER, GAS, ELECTRICAL, ETC.).
12. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITIES COMPANY PRIOR TO OFFSETTING EXISTING UTILITIES IF ANY GRADE/INVERT CONFLICT IS ENCOUNTERED WITH NEW DRAIN LINE.

TRENCH DRAIN NOTES:

1. TRENCH DRAIN SYSTEM LOCATED WITHIN VEHICULAR DRIVEWAY AREAS SHALL BE POWERDRAIN S200K BY ACO OR APPROVED EQUAL. MINIMUM (STARTING) DEPTH OF THE CHANNEL SHALL BE 12". GRATE AND FRAME SHALL BE HEAVY DUTY, DUCTILE IRON, LOAD CLASS E, HS20 LOAD RATED.
2. TRENCH DRAIN SYSTEM SHALL BE INSTALLED INSIDE THE PROPERTY LINE.
3. CONTRACTOR SHALL SELECT APPROPRIATE SLOPED AND NEUTRAL CHANNELS TO ACHIEVE LENGTH.
4. INSTALL APPROPRIATE CATCH BASIN AND CHANNEL ACCESSORIES (PLUGS, END CAPS, BOTTOM OUTLET ADAPTER, ETC.) TO ACHIEVE DESIRED FLOW LINE ELEVATION OF THE CONNECTING DRAIN PIPE.
5. AT THE OUTFALL LOCATION, PROVIDE DEBRIS STRAINER TO PREVENT LITTER/DEBRIS FROM ENTERING STORMWATER DRAINAGE SYSTEM.
6. SEE 6/C2.1 FOR TRENCH DRAIN DETAIL.
7. SUBMIT SHOP DRAWINGS TO A/E FOR REVIEW PRIOR TO MAKING ANY CONNECTIONS AND INSTALLATION.
8. CONTRACTOR TO FOLLOW MANUFACTURERS GUIDELINES AND INSTALLATION RECOMMENDATIONS.

STORMWATER MANAGEMENT PLAN - SWPPP NOTE:

1. PURSUANT TO BUILDING CODE SECTION 121.13(E); PRIOR TO RELEASE FOR CONSTRUCTION THE CONTRACTOR SHALL EXECUTE THE CONSTRUCTION SWPPP SUBMITTED WITH APPLICATION AND IN COMPLIANCE WITH BUILDING CODE SECTION 121.5 AND 121.6 AND MODELED ON OPEN STANDARD SPECIFICATION SECTION C204. INCLUDE CONTACT INFORMATION [NAME, PHONE, EMAIL] FOR THE ON-SITE PERSON OR PERSONS TO BE CONTACTED IN THE EVENT OF A VIOLATION OR COMPLAINT.
2. THE CONTRACTOR SHALL PREPARE AND MAINTAIN A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) ON-SITE, WHICH DESCRIBES IN DETAIL THE CONTRACTORS RESPONSIBILITY TO PREVENT CONTAMINATION OF THE STORMWATER COLLECTION SYSTEM. CONTRACTOR SHALL IMPLEMENT, MAINTAIN, INSPECT ALL EROSION AND SEDIMENT CONTROLS IDENTIFIED IN THE SWPPP. THE PROGRAM SHALL COVER ALL CONSTRUCTION ACTIVITIES AND EXTRAORDINARY EVENTS.

STORMWATER MANAGEMENT PLAN - ACKNOWLEDGEMENT NOTE:

PURSUANT TO BUILDING CODE SECTION 121.17, PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, POST-CONSTRUCTION CERTIFICATION INCLUDING AS-BUILT DRAWINGS, AFFIDAVIT FROM DESIGNER/S, AND PERFORMANCE BOND (BY OWNER), BASED UPON THE ACTUAL COST OF CONSTRUCTION MUST BE SUBMITTED FOR APPROVAL. AFTER FINAL INSPECTION THESE DOCUMENTS MUST BE RECORDED WITH THE CIVIL DISTRICT CLERK COURT. THIS TAKES TIME AND MONEY.

NOTE:

IN ORDER TO ENCOURAGE INFILTRATION OF STORMWATER TO MINIMIZE MIGRATION OF SEDIMENTS, THE FINISHED GRADE FOR ALL LANDSCAPE AREAS SHALL BE SET BELOW HARDSCAPE CONTAINMENTS (CURBS, SIDEWALK, BUILDING, FOUNDATION ETC.). CONTRACTOR SHALL INSTALL DIFFERENT SECTIONS OF LANDSCAPING (SAND SUB-BASE, TOP SOIL, SOD/TURF, ETC. SO AS TO ACCOMPLISH FINAL GRADES AS INDICATED. TOP OF SOD/TURF ELEVATION SHALL BE 1/2"-2" BELOW ADJACENT HARDSCAPE.

STORMWATER MANAGEMENT PLAN - PERMEABLE PAVING TESTING:

ALL PERMEABLE PAVING INSTALLATIONS SHALL BE SUBJECT TO INFILTRATION TESTING AFTER INSTALLATION. TESTING SHALL BE CONDUCTED ACCORDING TO THE ASTM INTERNATIONAL C1701 OR C1781 STANDARDS, AS APPROPRIATE. ALL TYPES OF PERMEABLE PAVEMENT SHALL MAINTAIN A MINIMUM INFILTRATION RATE OF 200 INCHES PER HOUR.

MAINTENANCE FOR LANDSCAPE PLANTERS:

1. MOWING AND LAWN CARE: LAWN MOWING SHOULD BE PERFORMED ROUTINELY, AS NEEDED, THROUGHOUT THE GROWING SEASON. GRASS HEIGHT SHOULD BE MAINTAINED ADEQUATELY. GRASS CUTTINGS SHOULD BE COLLECTED AND DISPOSED OFFSITE, OR A MULCHING MOWER CAN BE USED. REGULAR MOWING SHOULD ALSO INCLUDE WEED CONTROL PRACTICES, HOWEVER HERBICIDE USE SHOULD BE KEPT TO A MINIMUM. WATERING MAY BE NECESSARY, PARTICULARLY IN THE FIRST FEW MONTHS AFTER ESTABLISHMENT, OR DURING TIMES OF DROUGHT.
2. INSPECTION: MONTHLY INSPECTIONS OF LANDSCAPE AREAS IS RECOMMENDED. HOWEVER, ADDITIONAL INSPECTION AFTER PERIODS OF HEAVY RAINFALL IS MOST DESIRABLE. LANDSCAPE AREAS SHOULD BE CHECKED FOR UNIFORMITY OF GRASS COVER, DEBRIS AND LITTER, AND AREAS OF SEDIMENT ACCUMULATION.
3. CONTROL OF WEEDS: UNDESIRABLE PLANTS SHALL BE REMOVED THROUGH MECHANICAL OR CHEMICAL MEANS. IF CHEMICAL MEANS ARE USED, THE CHEMICAL SHOULD BE USED AS DIRECTED AND LEFTOVER CHEMICALS DISPOSED OF PROPERLY.
4. ELIMINATION OF MOSQUITO BREEDING HABITATS: LOCAL MOSQUITO CONTROL PROGRAMS SHALL BE CONTACTED FOR ASSISTANCE AND ADVICE ON MINIMIZING MOSQUITO PROBLEMS.
5. EMBANKMENT AND SLOPE REPAIRS: DAMAGE TO EMBANKMENT, AND SLOPES MUST BE REPAIRED IMMEDIATELY. TYPICAL PROBLEMS INCLUDE: SETTLEMENT, SCOURING, CRACKING, SLIDING, AND RUTTING.
6. EROSION REPAIR: WHERE A RE-SEEDING PROGRAM HAS BEEN INEFFECTIVE, OR WHERE OTHER FACTORS HAVE CREATED EROSION CONDITIONS, CORRECTIVE STEPS SHOULD BE TAKEN TO PREVENT FURTHER LOSS OF SOIL AND ANY SUBSEQUENT DANGER TO THE PERFORMANCE OF THE PLANTER BEDS. CORRECTIVE ACTION SHALL BE TAKEN BY INCLUSION OF EROSION CONTROL BLANKETS OR SODDING. LOCAL EXPERTS SHOULD BE CONSULTED TO ADDRESS EROSION PROBLEMS IF THE SOLUTION IS NOT EVIDENT.
7. DEBRIS AND LITTER REMOVAL.
8. SEDIMENT REMOVAL.
9. GRASS RE-SEEDING AND MULCHING.

MAINTENANCE OF PERMEABLE PAVING (PERVIOUS CONCRETE):

SOME KEY ACTIONS HELP ENSURE THE LONG-TERM PERFORMANCE OF PERMEABLE PAVEMENT DURING ITS OPERATION LIFE. THE MOST FREQUENTLY CITED MAINTENANCE PROBLEM IS SURFACE CLOGGING CAUSED BY ORGANIC MATTER AND SEDIMENT, WHICH CAN BE REDUCED BY THE FOLLOWING MEASURES:

1. ROUTINE MAINTENANCE: REGULAR DRY-SWEEPING TO REMOVE SEDIMENT PARTICLES BEFORE THEY CAN INFILTRATE DEEPLY INTO THE PERVIOUS CONCRETE.
2. PERIODIC VACUUMING: USE A VACUUM SWEEPER AT LEAST TWICE PER YEAR TO REMOVE SEDIMENT AND DEBRIS.
3. REMOVE LEAVES FROM SURFACE DURING THE FALL. MANUALLY REMOVE WEEDS AND VEGETATION GROWING IN THE POROUS SURFACE.
4. TRY A MORE POWERFUL VACUUM OR PRESSURE WASHING IF POROUS SURFACE STILL NOT DRAINING WATER.

ALL PERMEABLE PAVING INSTALLATIONS SHALL BE SUBJECTED TO INFILTRATION TESTING. TESTING SHALL BE CONDUCTED ACCORDING TO THE ASTM INTERNATIONAL C1701 OR C1781 STANDARDS, AS APPROPRIATE. ALL TYPES OF PERMEABLE PAVEMENT SHALL MAINTAIN A MINIMUM INFILTRATION RATE OF 200 INCHES PER HOUR.

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ENGINEER

REG. NO.

06-10-22

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SHEET TITLE:  
Drainage Plan

SHEET NUMBER:

C1.2



ISSUE DATE: 06/10/22  
SCALE: AS NOTED  
PROJ NUMBER: 059  
FORMAT: ARCH E1 (30" X 42")







1 GENERAL NOTES  
C2.0

CIVIL GENERAL NOTES:  
1. DIMENSIONS AND CONDITIONS TYING INTO OR COVERED BY EXISTING CONSTRUCTION ARE APPROXIMATE AND ARE NOT PURPORTED TO BE PRECISE. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL SURFACE AND SUBSURFACE STRUCTURES, UTILITIES, DEPTHS AND INVERTS PRIOR TO COMMENCING WORK. NOTIFY THE A/E IF CONDITIONS VARY FROM THOSE SHOWN.  
2. CONTRACTOR SHALL VERIFY BUILDING AND SIDEWALK LAYOUT WITH ARCHITECT PRIOR TO FORMING BUILDING, SIDEWALKS  
3. ELEVATIONS ARE IN FEET. SEE SURVEY FOR ELEVATION DATUM AND REFERENCE BENCH MARK.  
4. OBTAIN AND PAY FOR INSPECTIONS, LICENSES, PERMITS AND APPROVALS REQUIRED BY GOVERNING AUTHORITIES AND INSTALL ALL WORK IN COMPLIANCE THERE WITH.  
5. DRAIN, SEWER AND WATER LINES ARE SHOWN IN SCHEMATIC DETAIL ONLY. EVERY OFFSET, ELBOW, TEE, WYE, ETC., THAT MAY BE REQUIRED ARE NOT SHOWN FOR CLARITY, HOWEVER, CONTRACTOR SHALL SUPPLY EACH AND EVERY SUCH ITEM AS IF SHOWN. PROVIDE COMPLETE WORKING UTILITY SYSTEMS.  
6. SEE ARCHITECTURAL AND PLUMBING DRAWINGS FOR CONTINUATION OF UTILITIES WITHIN BUILDINGS.  
7. WHERE NOTED, REFERENCED STANDARD SPECIFICATION SHALL BE THE CITY OF NEW ORLEANS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS AND/OR THE NEW ORLEANS SEWERAGE AND WATER BOARD (S&WB) STANDARD SPECIFICATIONS, LATEST EDITION, OR THE LOUISIANA DOTD STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, LATEST EDITION, WHICHEVER IS THE MORE STRINGENT.  
8. ANY UTILITY LINE OR SERVICE LINE ENCOUNTERED DURING CONSTRUCTION, WHETHER OR NOT SHOWN ON THE CONSTRUCTION PLANS, SHALL BE PROTECTED BY THE CONTRACTOR AND ANY REPAIRS NECESSARY DUE TO DAMAGE TO SAME BY THE CONTRACTOR SHALL BE AT NO ADDITIONAL COST TO THE OWNER.  
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ACTUAL LOCATIONS OF ALL EXISTING UTILITIES AND STRUCTURES ON THE PROJECT SITE. LOCATIONS OF EXISTING UTILITIES AND STRUCTURES INDICATED ON DRAWINGS APPROXIMATE ONLY, AND THOSE INDICATED ARE NOT NECESSARILY ALL THAT MAY EXIST ON THE PROJECT SITE. THE CONTRACTOR SHALL VERIFY THE LOCATION (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES (POWER, TELEPHONE, GAS, WATER, SEWER, ETC.) WITH THE APPROPRIATE UTILITY COMPANY BEFORE CONSTRUCTION BEGINS.  
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL UTILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICITY, SEWER, AND WATER TIE-INS, CONNECTIONS AND DISCONNECTIONS) WITH THE APPROPRIATE UTILITY PROVIDER AT NO COST OF THE OWNER.  
11. ALL EXISTING AND NEW UTILITY STRUCTURES - SANITARY SEWER MANHOLE TOPS, WATER VALVES BOXES, METERS, STORM SEWERS, OR OTHER RELATED APPURTENANCES SHALL BE ADJUSTED TO FINISH GRADE BY CONTRACTOR AS AN ABSORBED COST OF WORK.  
12. PROVIDE CONSTRUCTION ZONE TRAFFIC CONTROL PER LOUISIANA DOTD STANDARD PLANS.  
13. PROVIDE DETECTABLE WARNING SURFACE WHERE PEDESTRIAN AND VEHICULAR AREAS ARE NOT OTHERWISE SEPARATED BY A CURB, RAILING OR OTHER STRUCTURAL ELEMENT. DETECTABLE WARNING SURFACE SHALL BE A MINIMUM 36 INCHES WIDE AND SHALL BE CONTINUOUS BETWEEN PEDESTRIAN AND VEHICULAR AREAS.  
14. DETECTABLE WARNING SURFACE SHALL CONSIST OF RAISED TRUNCATED DOMES, 0.9 INCHES IN NOMINAL DIAMETER, 0.2 INCHES IN NOMINAL HEIGHT, CENTERED 2.35 INCHES APART.  
15. CONTRACTOR SHALL ENSURE THAT ALL NATURAL DRAINAGE ROUTES ARE MAINTAINED AND PRESERVED THROUGHOUT THE COURSE OF PROJECT.  
16. THE CONTRACTOR SHALL PROVIDE, ACCURATE AS-BUILT DRAWINGS UPON SUBSTANTIAL COMPLETION OF THE PROJECT.

DRAINAGE:  
SEE SPECIFICATIONS FOR STORM DRAINAGE (SECTION 334100) AND SHEET C1.2 FOR STORM DRAINAGE NOTES  
EARTHWORK:  
SEE SPECIFICATIONS FOR EARTHWORK (SECTION 312000)

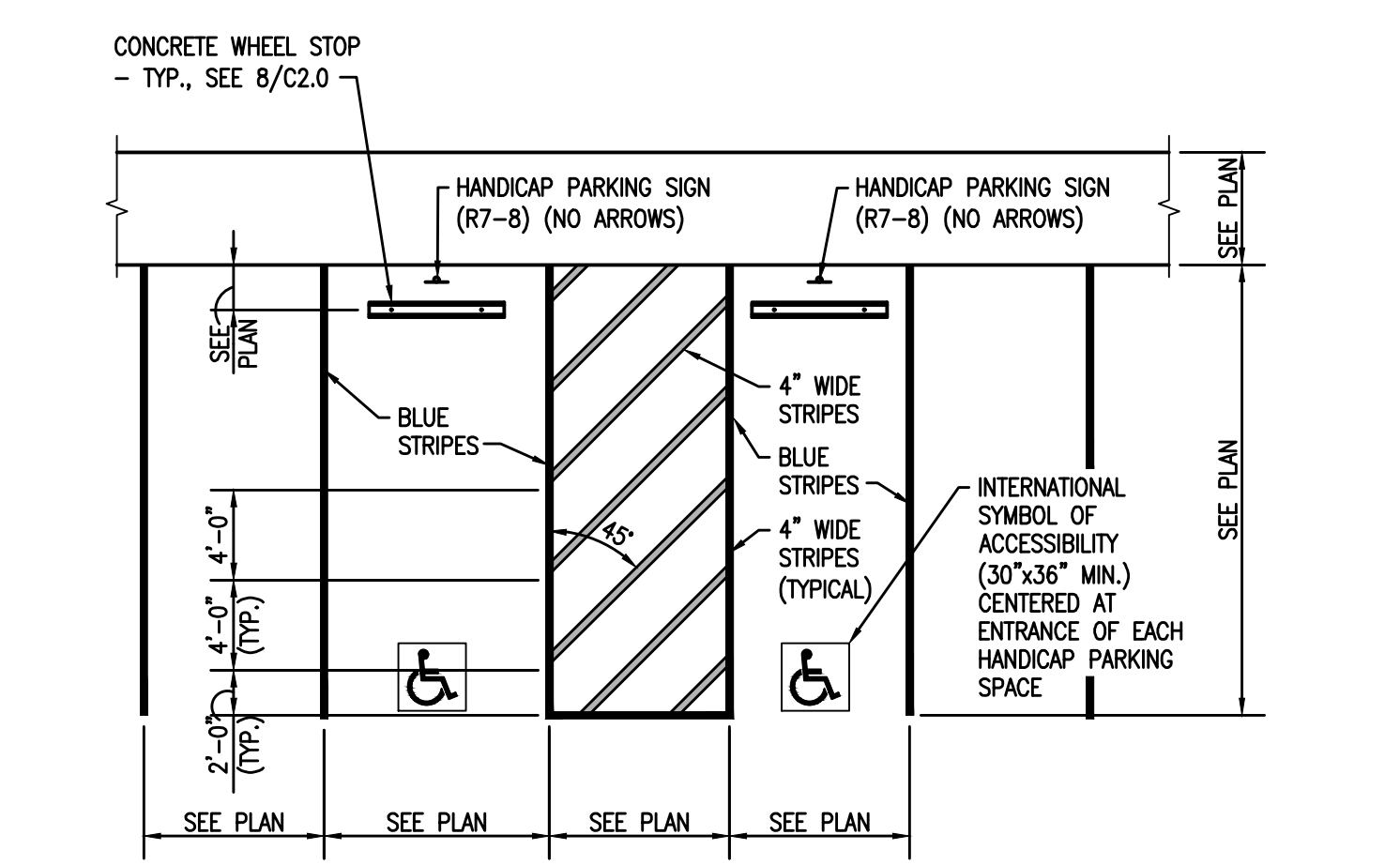
PORTLAND CEMENT CONCRETE PAVING:  
1. WHERE NEW PAVING IS TO MEET EXISTING, PROVIDE A SAW CUT TO ENSURE A STRAIGHT JOINT. SAW CUT A MINIMUM 1" DEEP. BREAK THE REMAINDER OF CONCRETE BY CONVENTIONAL MEANS WITHOUT DAMAGING CONCRETE TO REMAIN.  
2. PORTLAND CEMENT CONCRETE PAVEMENT SHALL CONFORM TO SECTION 601 OF THE LOUISIANA STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, 2008 EDITION, AND SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.  
3. FORM WEAKENED PLANES IN SIDEWALK BY A JOINTING TOOL OR OTHER ACCEPTABLE MEANS. SPACE WEAKENED PLANES EQUAL TO THE WIDTH OF THE SIDEWALK, ALONG EXPANSION JOINTS IN SIDEWALK WITH JOINTS IN CURB.  
4. DEFORMED STEEL BARS SHALL BE GRADE 60 AND SHALL CONFORM TO ASTM A615. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. DOWEL BARS SHALL BE PLAIN BARS CONFORMING TO ASTM A615. PAINT FOR DOWEL BARS SHALL CONFORM TO AASHTO DESIGNATION M22.  
5. PROVIDE HANDICAPPED RAMPS ACCORDING TO CITY OF NEW ORLEANS DEPARTMENT OF PUBLIC WORKS STANDARD PLANS. COORDINATE LOCATION OF RAMPS WITH THE CITY OF NEW ORLEANS DEPARTMENT OF PUBLIC WORKS.  
6. SEE SPECIFICATIONS FOR RIGID PAVEMENT (SECTION 321313)

ASPHALT PAVING:  
1. ASPHALT MIXTURES, HANDLING, AND INSTALLATION SHALL BE IN ACCORDANCE WITH PART V "ASPHALT PAVEMENTS" OF THE LOUISIANA DOTD STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, LATEST EDITION.

PERMEABLE (PERVIOUS CONCRETE) PAVING:  
SEE SPECIFICATIONS FOR PERVIOUS CONCRETE PAVING

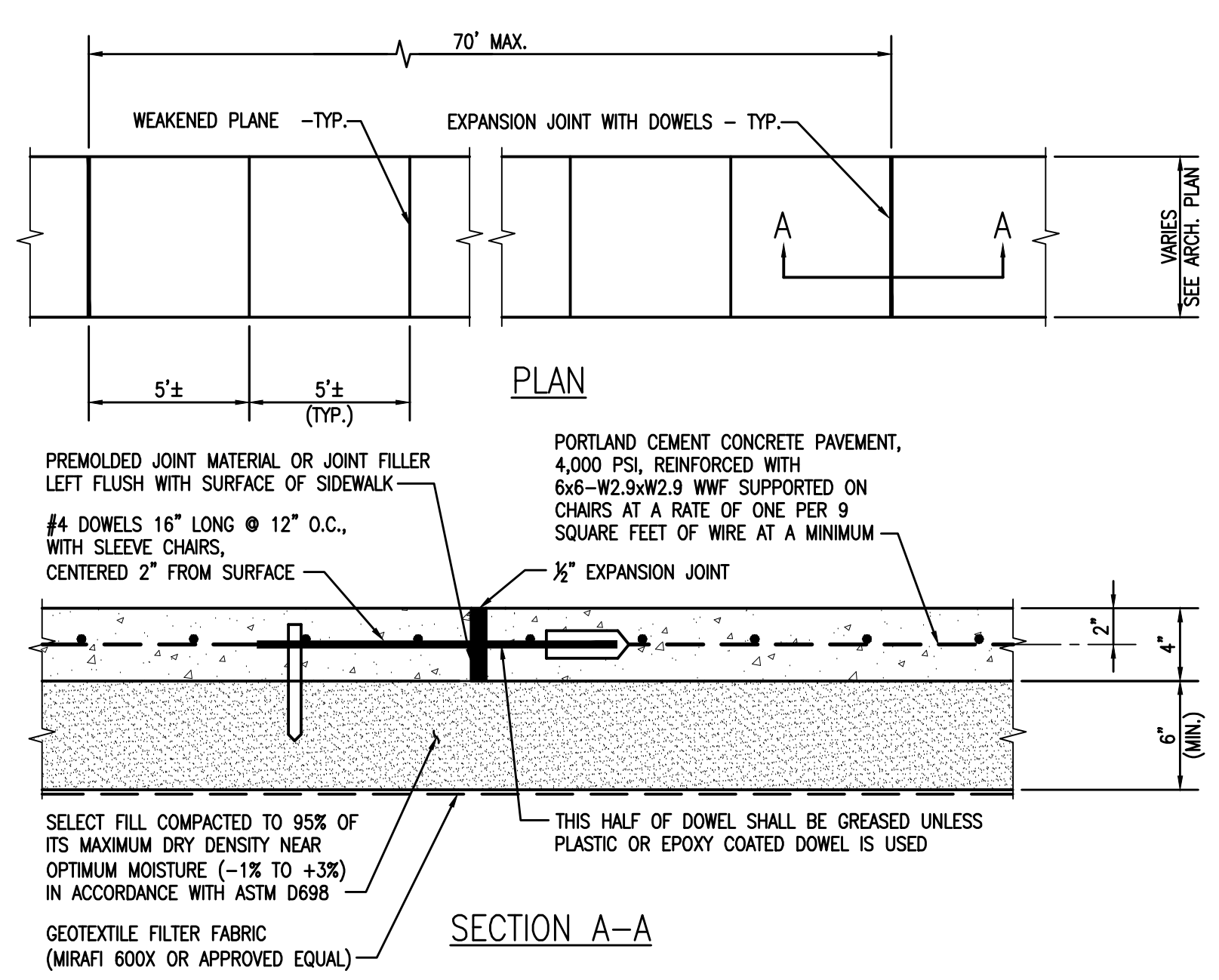
DOMESTIC WATER AND FIRE WATER:  
SEE SPECIFICATIONS FOR WATER DISTRIBUTION AND SHEET C1.3 FOR NOTES

SANITARY SEWER:  
SEE SPECIFICATIONS FOR SANITARY SEWERAGE AND SHEET C1.3 FOR NOTES

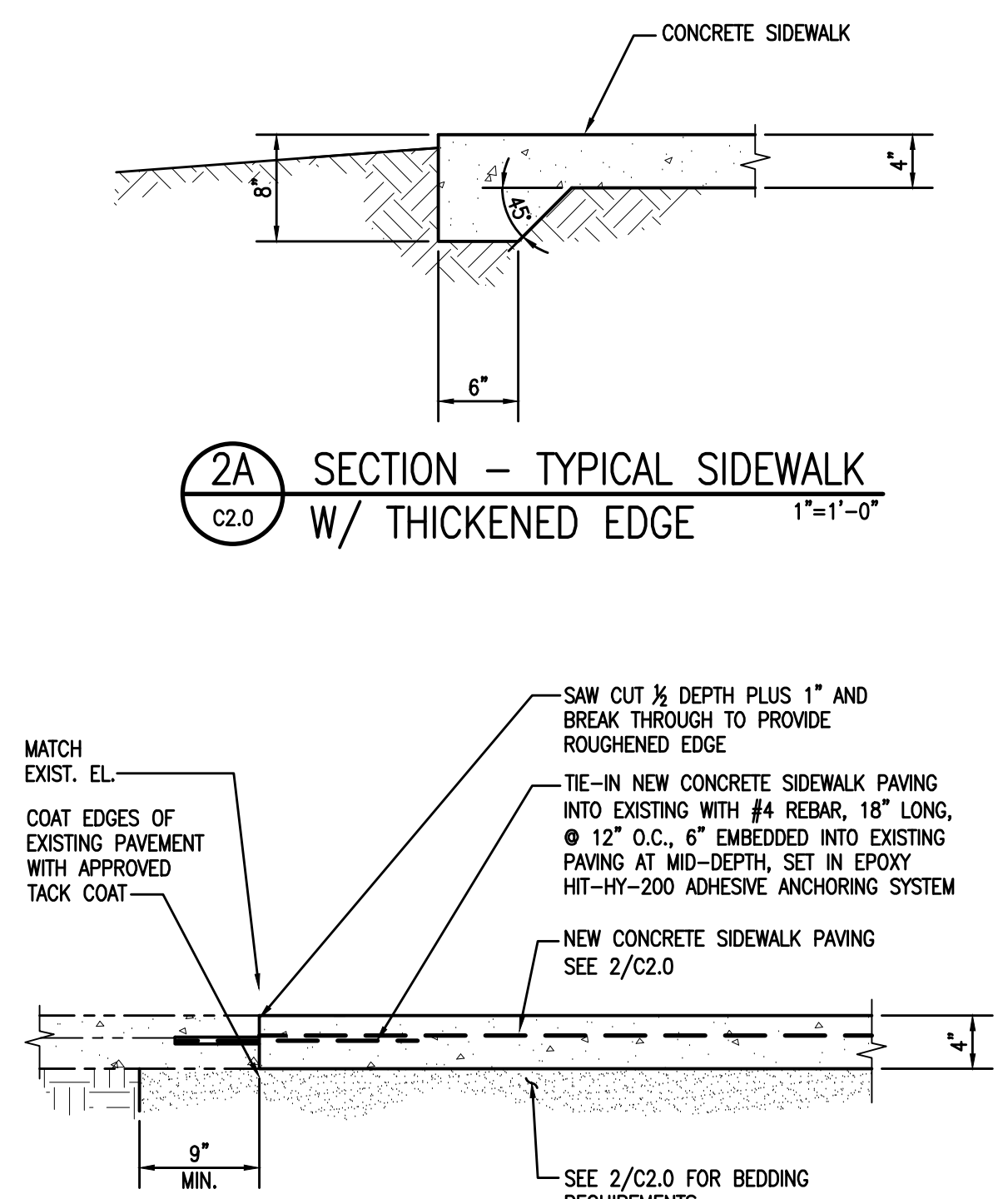


STRIPING NOTES:  
1. PARKING STRIPES SHALL BE PAINTED 4" WIDE. DIMENSIONS SHOWN ARE CENTER TO CENTER.  
2. PAVEMENT MARKINGS SHALL BE PAINTED WHITE ON ASPHALTIC CONCRETE PAVEMENT AND YELLOW ON PORTLAND CEMENT CONCRETE PAVEMENT.  
3. PAVEMENT MARKINGS FOR HANDICAPPED PARKING STALLS SHALL BE PAINTED BLUE. SUBMIT FOR APPROVAL.  
4. WHEEL STOPS SHALL BE PAINTED TO MATCH STRIPING.  
5. PAINT SHALL BE HOTLINE WHITE (BP-12243) OR HOTLINE YELLOW (BP-12242) AS MANUFACTURED BY THE SHERWIN-WILLIAMS COMPANY.  
6. THE CONTRACTOR SHALL PROVIDE AND INSTALL ACCESSIBILITY PAVEMENT MARKINGS AND SIGNS IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, ACCESSIBILITY GUIDELINES.  
7. STRIPING DIMENSIONS SHOWN ABOVE ARE "TYPICAL" DETAILS. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS.

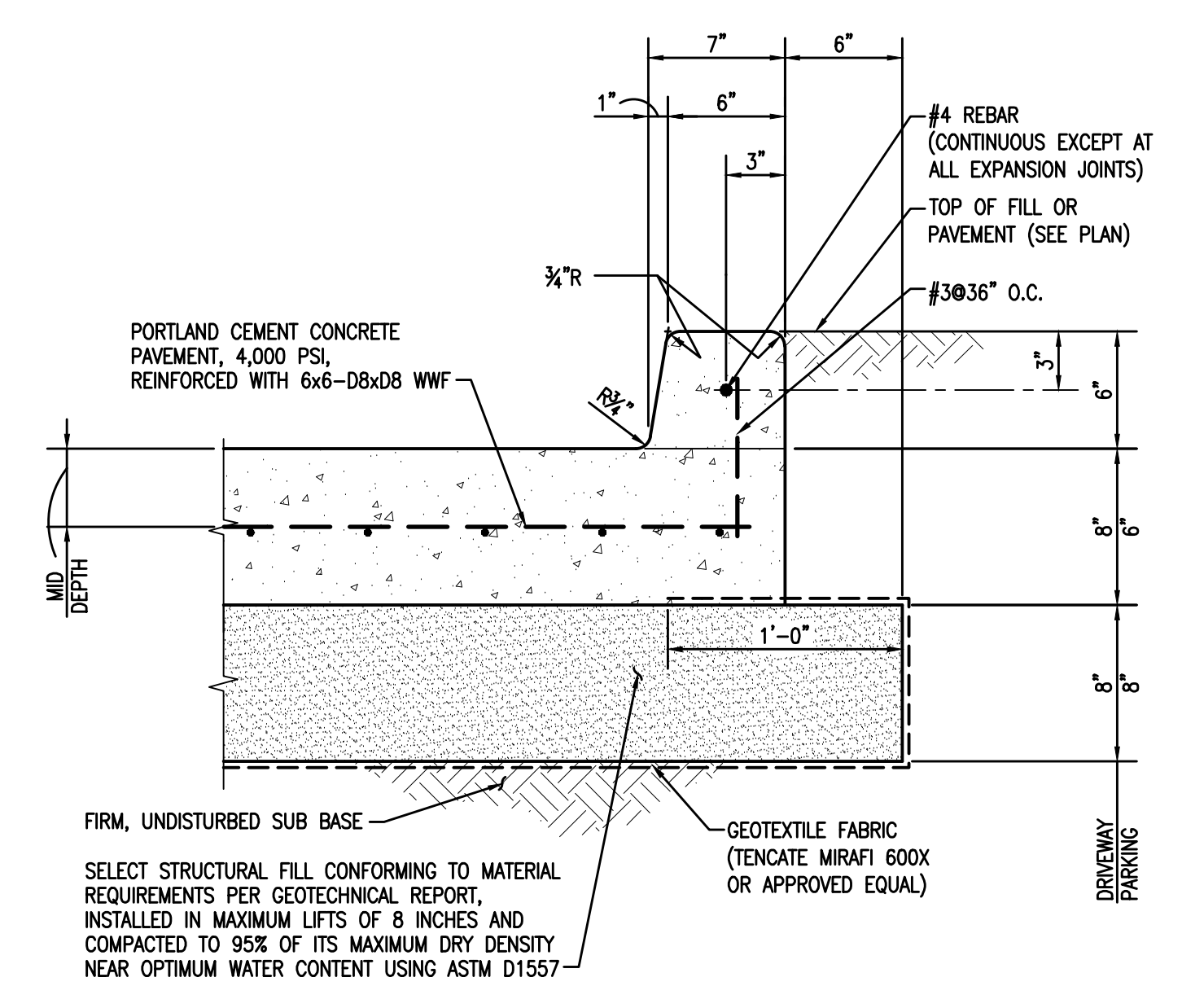
5 DETAIL - STANDARD AND HANDICAP PARKING STRIPING (SCHEMATIC)  
C2.0 N.T.S.



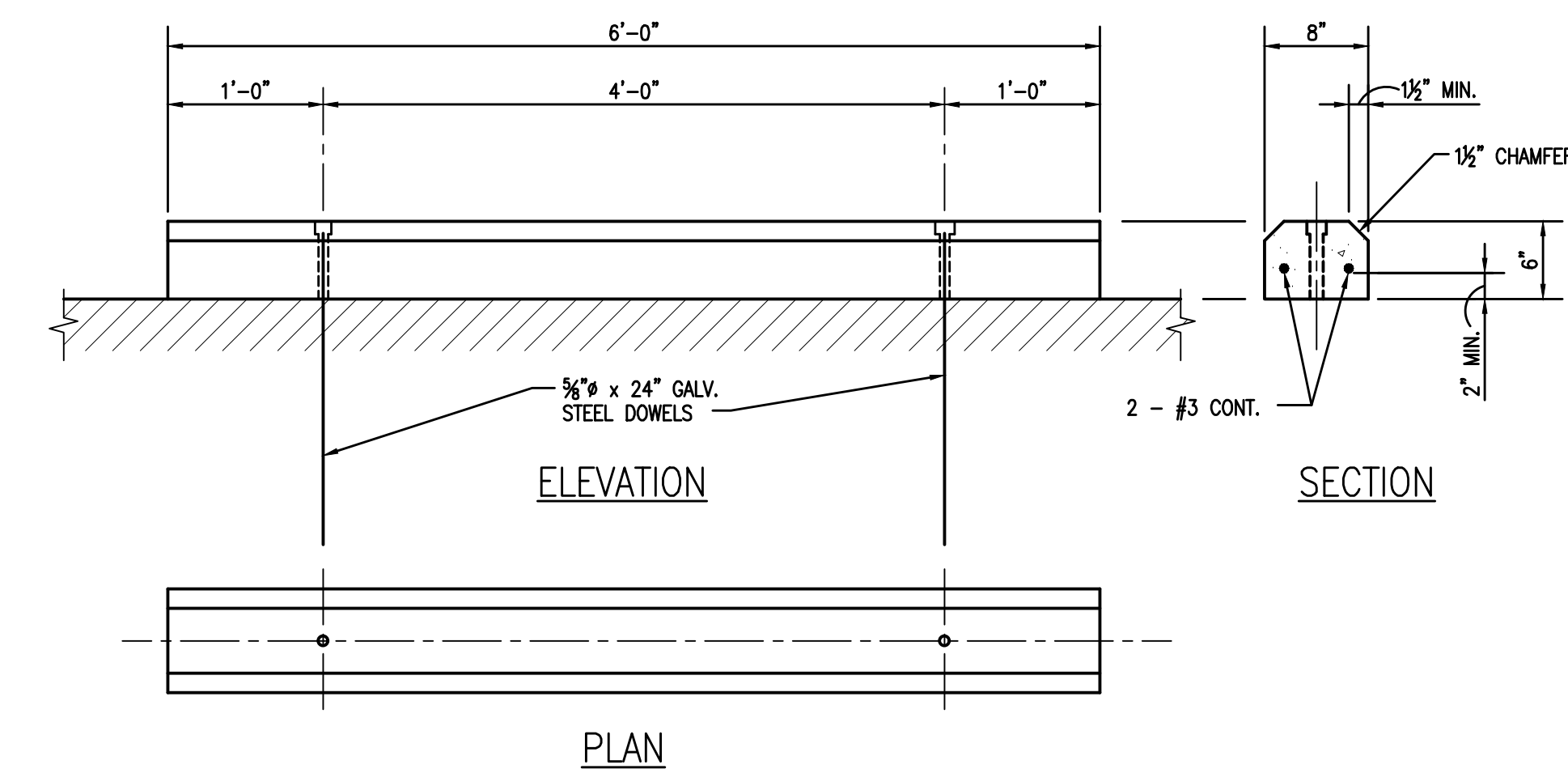
2 DETAIL - PORTLAND CEMENT CONCRETE SIDEWALK PAVEMENT  
C2.0 1-1/2\"/>



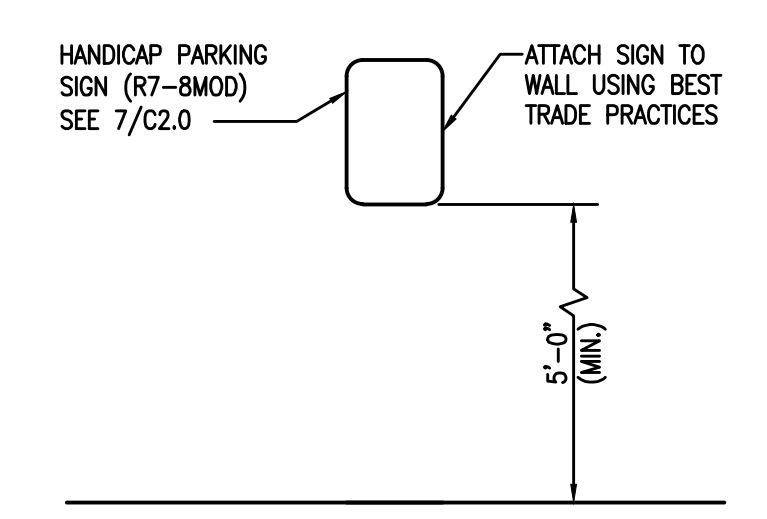
3 DETAIL - NEW CONCRETE SIDEWALK PAVEMENT DOWELED INTO EXISTING  
C2.0 N.T.S.



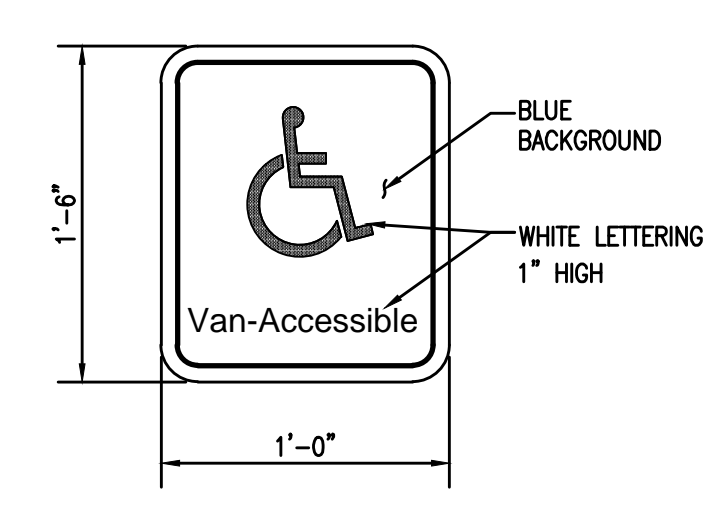
4 DETAIL - TYPICAL CONCRETE PAVEMENT SECTION W/ CURB  
C2.0 N.T.S.



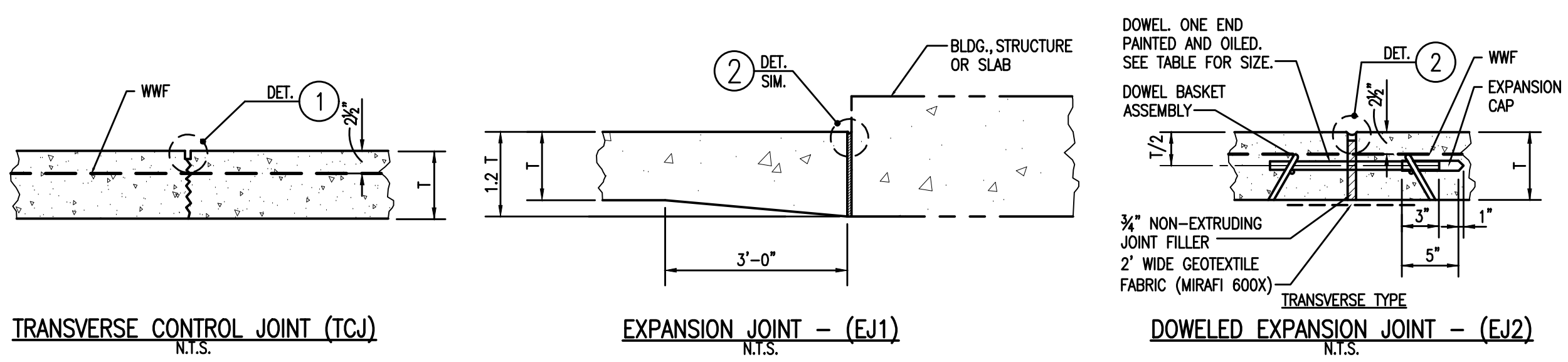
8 DETAIL - PRECAST CONCRETE WHEEL STOP  
C2.0 1\"/>



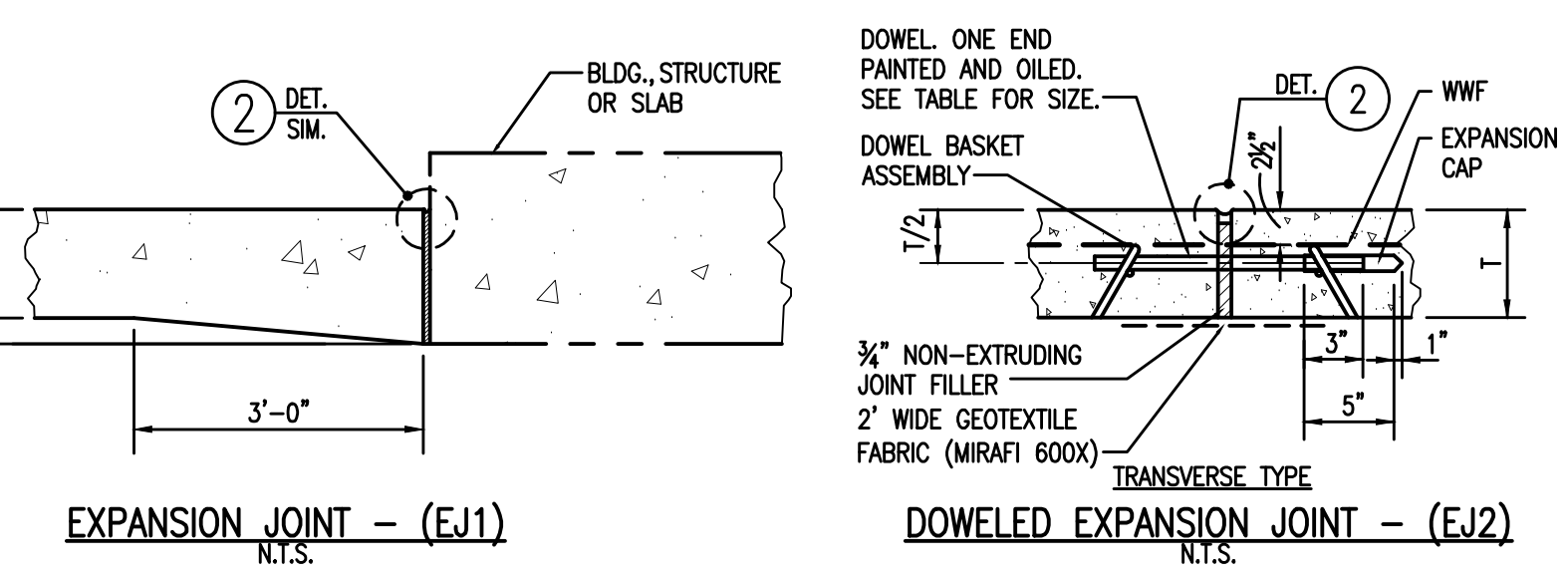
6 DETAIL - HANDICAP PARKING SIGN AND POST  
C2.0 1/2\"/>



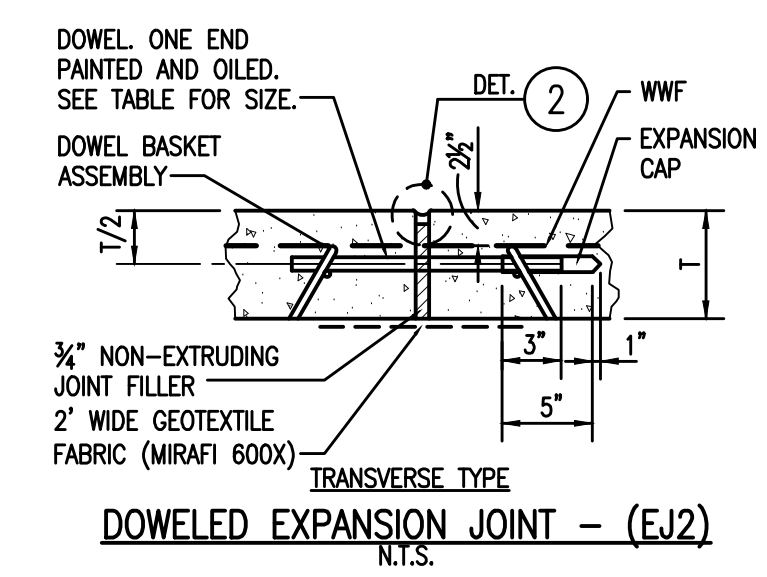
7 DETAIL - HANDICAP SIGN (R7-8MOD)  
C2.0 1/2\"/>



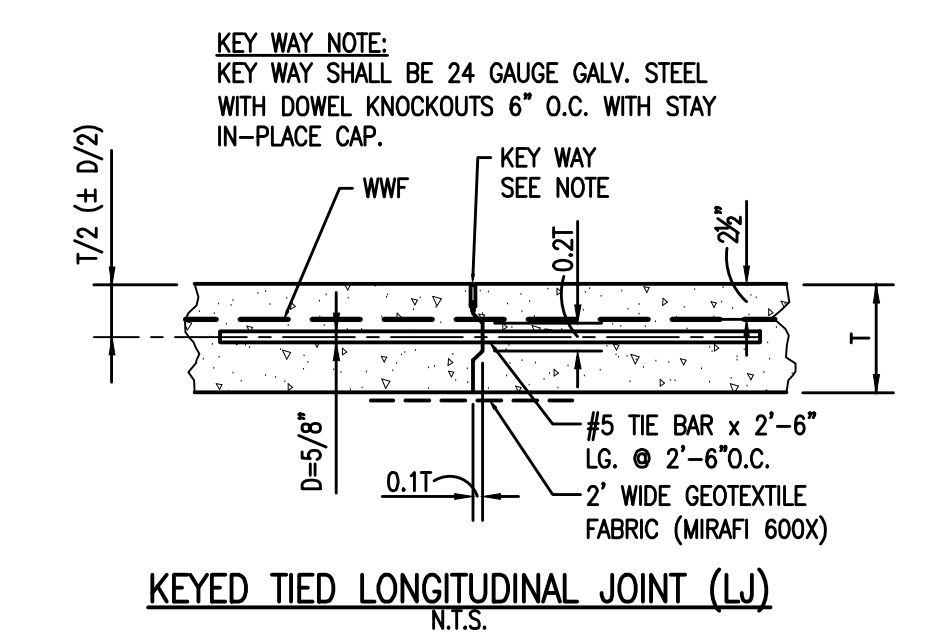
TRANSVERSE CONTROL JOINT (TCJ)  
N.T.S.



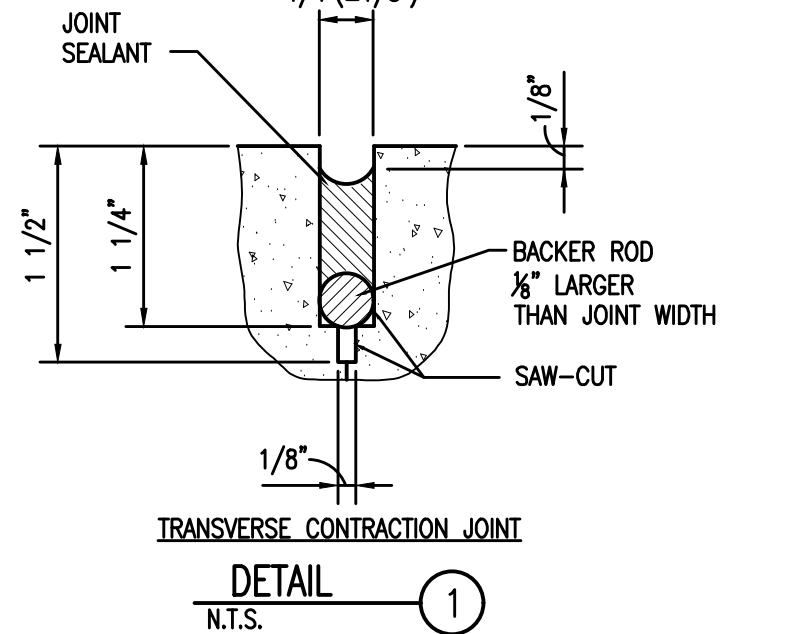
EXPANSION JOINT - (EJ1)  
N.T.S.



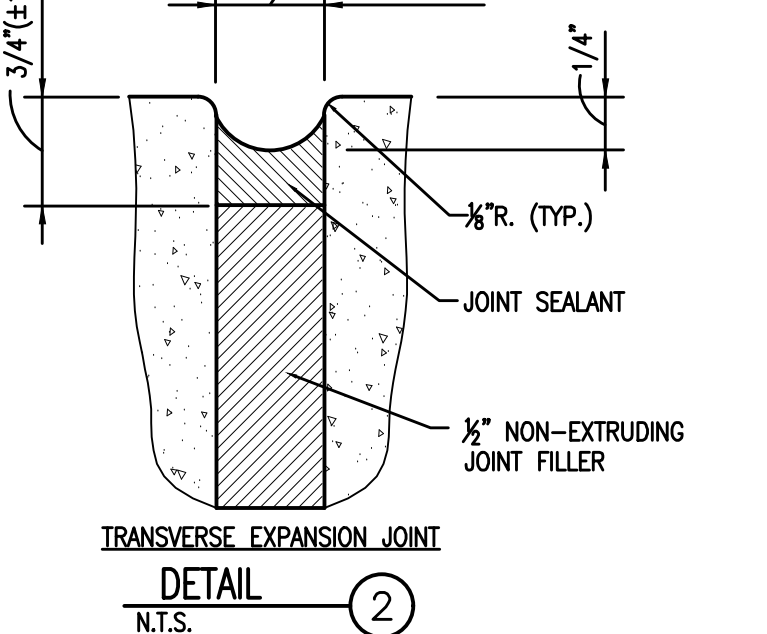
DOWELED EXPANSION JOINT - (EJ2)  
N.T.S.



KEYED TIED LONGITUDINAL JOINT (LJ)  
N.T.S.



TRANSVERSE CONTRACTION JOINT  
DETAIL 1  
N.T.S.

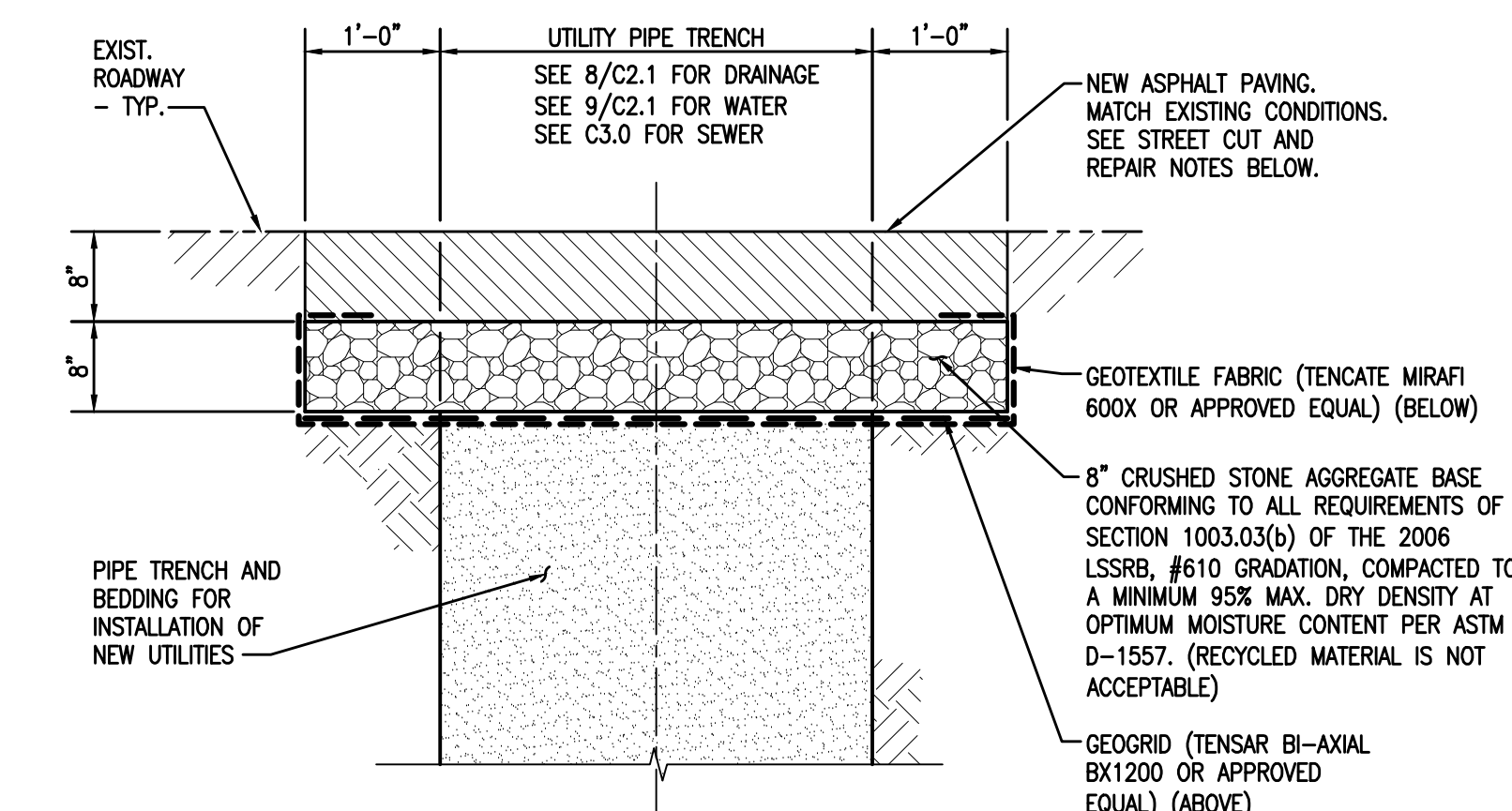


TRANSVERSE EXPANSION JOINT  
DETAIL 2  
N.T.S.

TABLE NO.1 DOWELS (SMOOTH BARS)		
SLAB THICKNESS T (IN.)	BAR DIA. AND LENGTH	AVERAGE SPACING (IN.)
8	1-1/4"x18"	12

NOTES:  
1. THE BARS SHALL BE DEFORMED BARS CONFORMING TO SECTION 1009 OF THE LADOTD STANDARD SPECIFICATIONS.  
2. DOWEL BARS SHALL BE PLAIN (SMOOTH) BARS CONFORMING TO SECTION 1009 OF THE LADOTD STANDARD SPECIFICATIONS.  
3. PREFORMED EXPANSION JOINT FILLER SHALL CONFORM TO SECTION 1005 OF THE LADOTD STANDARD SPECIFICATIONS.  
4. JOINT SEALER SHALL BE EITHER POURED OR EXTRUDED TYPE CONFORMING TO SECTION 1005 OF THE LADOTD STANDARD SPECIFICATIONS.  
5. CONTRACTOR TO SUBMIT HIS RECOMMENDED JOINTING PLAN FOR REVIEW PRIOR TO PLACING CONCRETE. CONTRACTOR'S RECOMMENDATIONS SHALL BE BASED ON ACI GUIDELINES.  
- PROVIDE DOWELED EXPANSION JOINT EVERY 50' TO 70' MAX. SPACING.  
- PROVIDE 3/4\"/>

9 DETAILS - CONCRETE PAVEMENT JOINTING  
C2.0 N.T.S.



STREET CUT AND REPAIR FOR INSTALLATION OF NEW UTILITIES:  
1. SAWCUT EXIST. PAVING TO MAINTAIN STRAIGHT EDGE. REMOVE EXISTING PAVING AND SUB-BASE FOR INSTALLATION OF NEW UTILITIES.  
2. NEW SUB-BASE SHALL BE CRUSHED STONE AGGREGATE BASE (#610 GRADATION), 8\"/>

10 DETAIL - PAVEMENT REPAIR/RESTORATION (FOR INSTALLATION OF NEW UTILITY)  
C2.0 3/4\"/>

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ENGINEER  
REG. NO. 28228  
JONATHAN A. SORIANO  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL ENGINEERING  
06-10-22

3500 ST. CHARLES AVE.

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SHEET TITLE:  
CIVIL GENERAL NOTES AND DETAILS

SHEET NUMBER:

C2.0



ISSUE DATE: 06/10/22  
SCALE: AS NOTED  
PROJ NUMBER: 659  
FORMAT: ARCH E1 (30" X 42")



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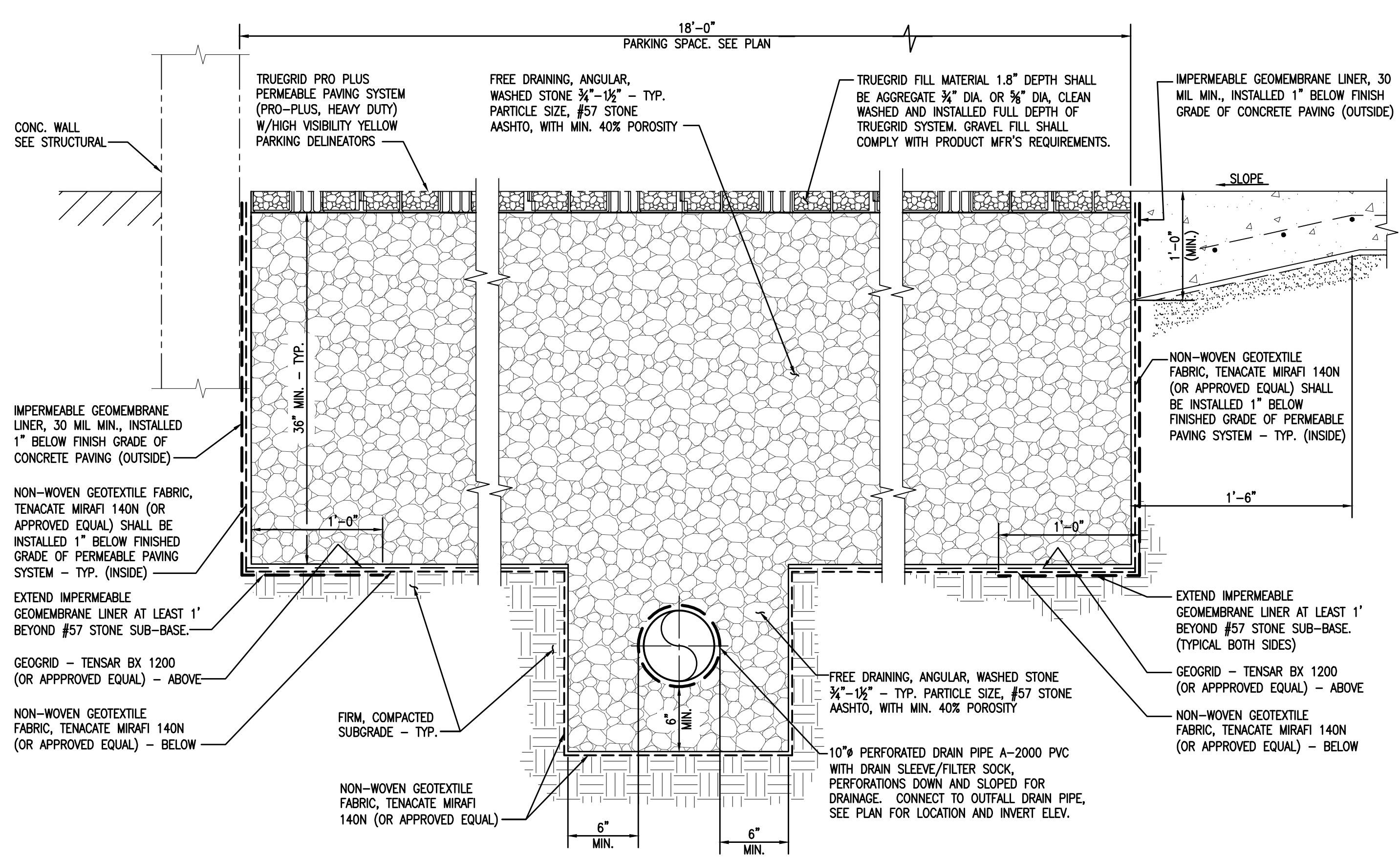
STATE OF LOUISIANA  
JONATHAN A. SOFRONKO  
REG. NO. 28228  
MECHANICAL ENGINEER  
IN  
REG. NO. \_\_\_\_\_  
06-10-22

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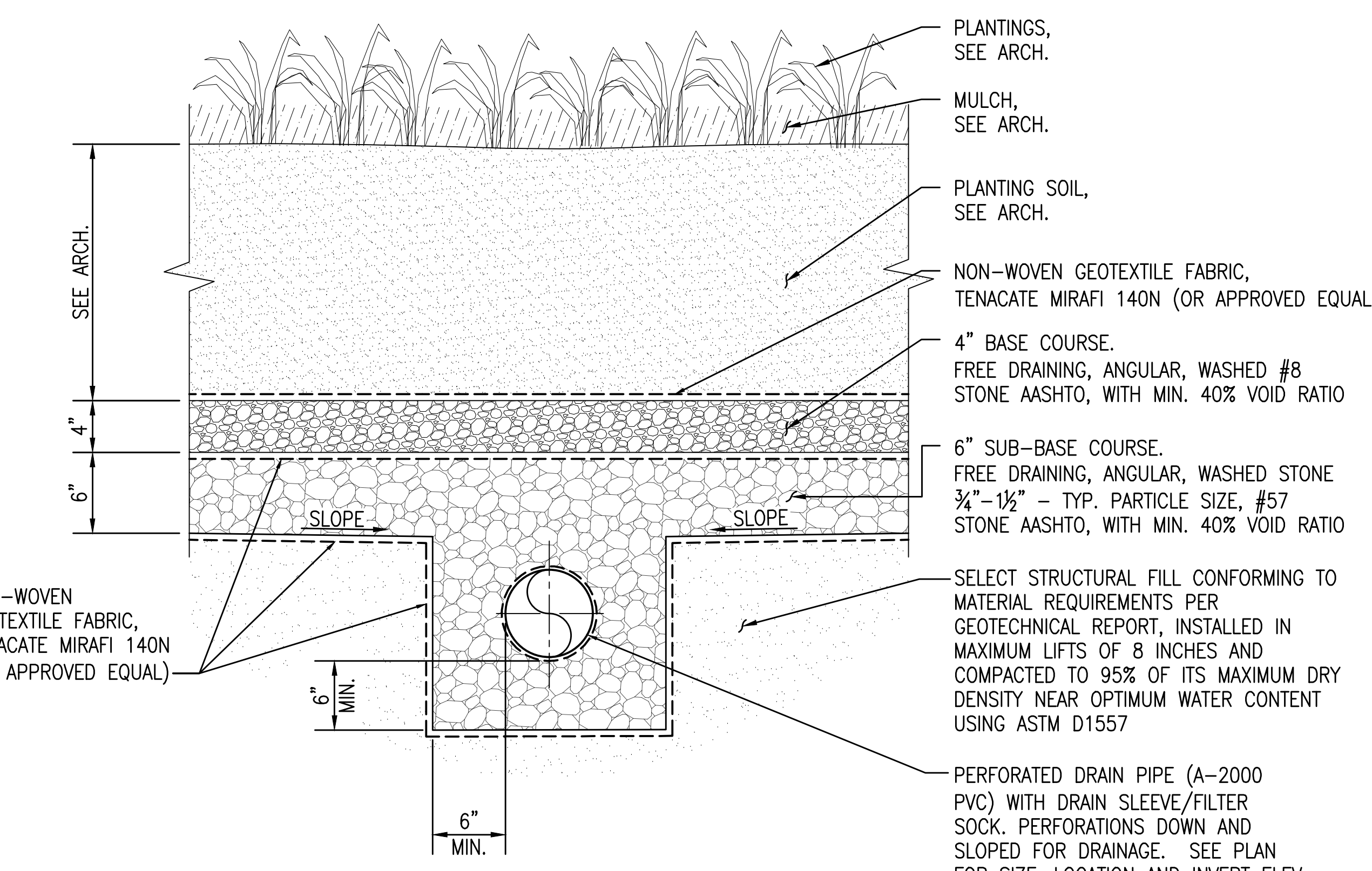
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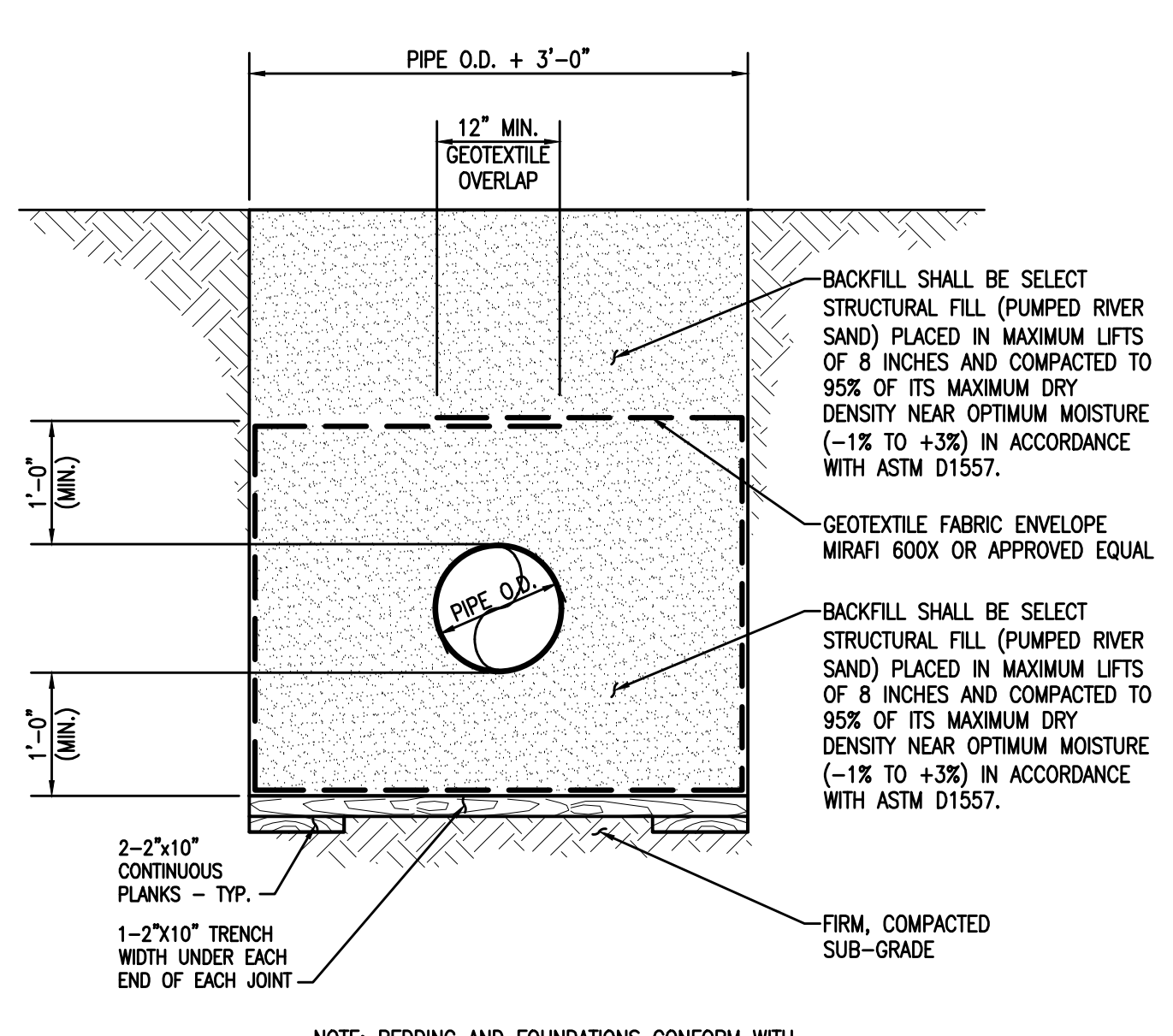
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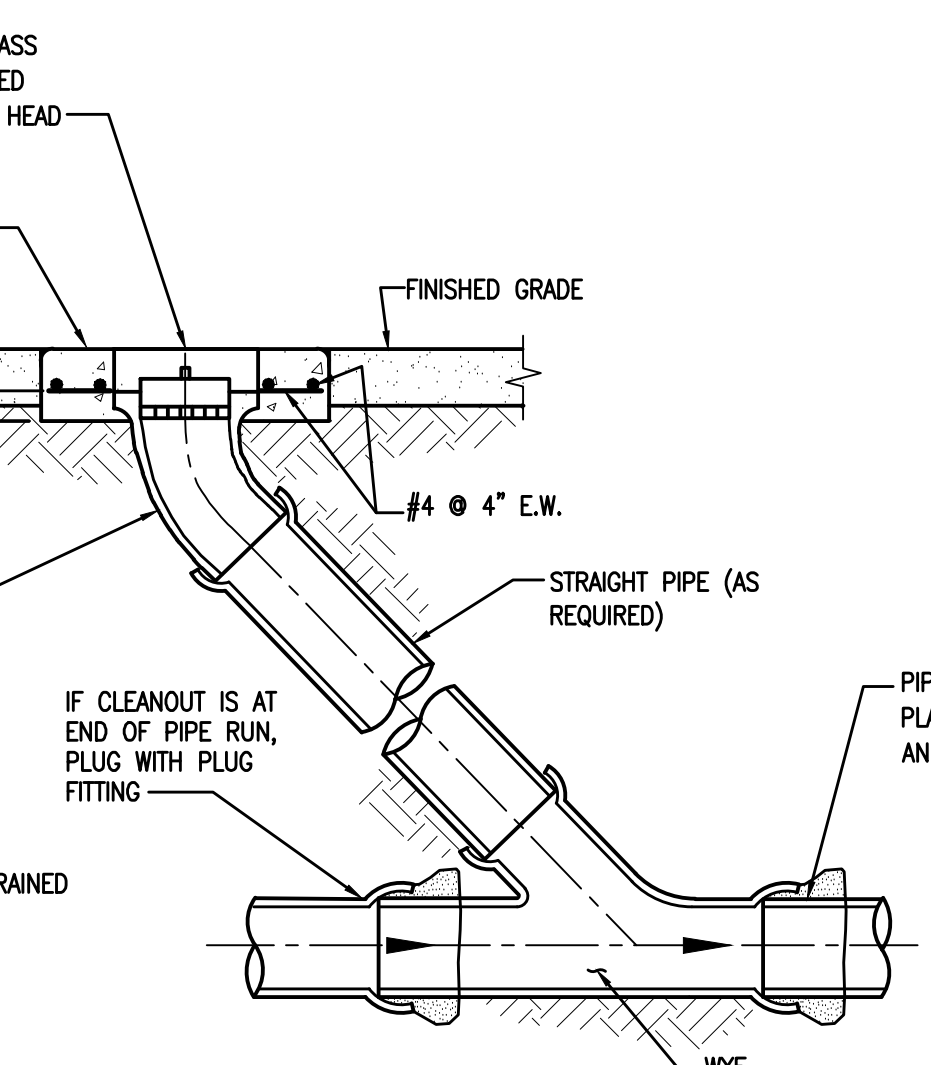
1 SECTION - PERMEABLE PAVING TRUEGRID PAVERS  
WITH PERFORATED DRAINAGE SYSTEM  
C2.1 N.T.S.



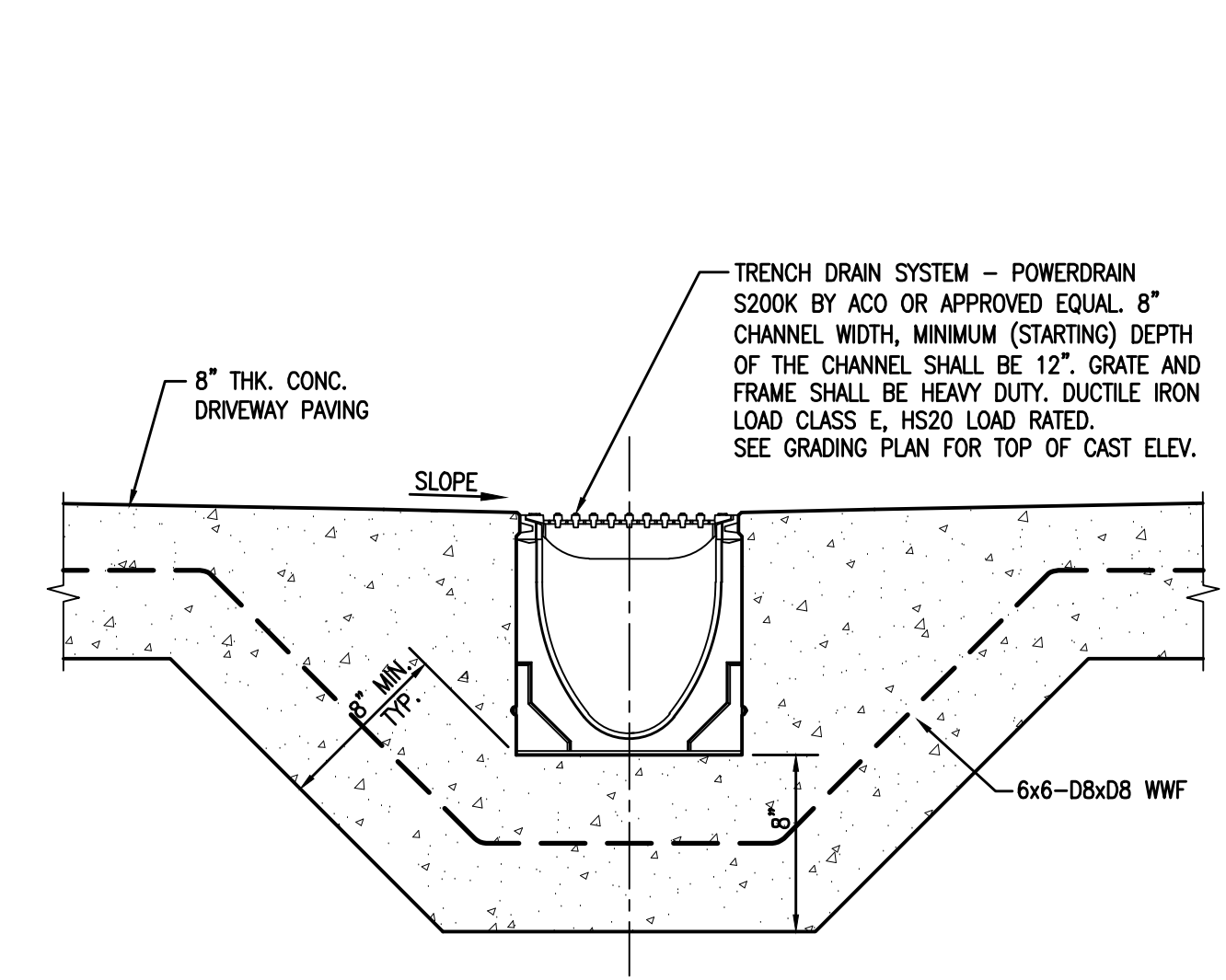
4 SECTION - PERFORATED DRAIN PIPE  
AT BIORETENTION PLANTING BED  
C2.1 N.T.S.



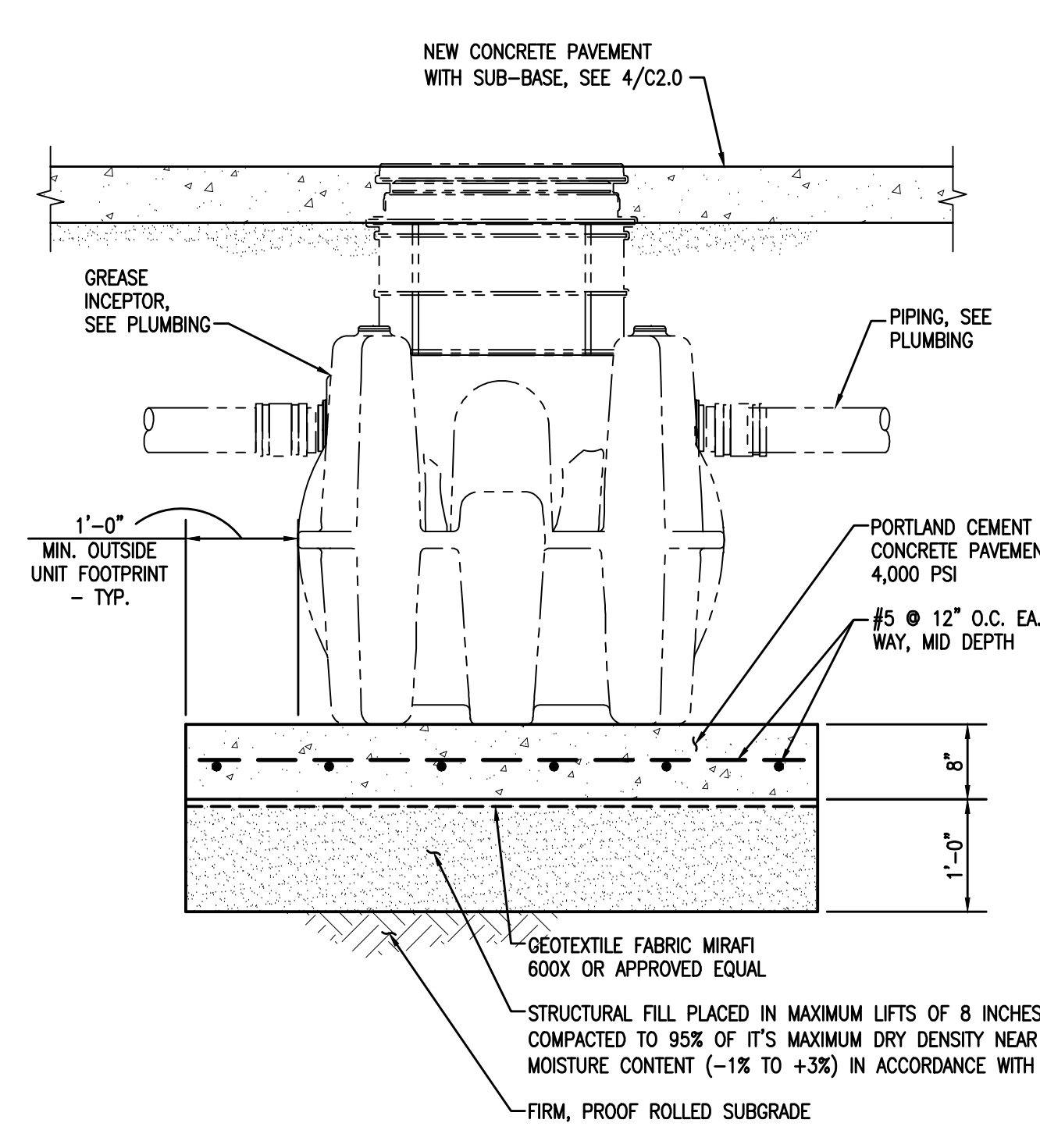
8 DETAIL - DRAINAGE PIPE BEDDING  
(A-2000 PVC PIPE)  
C2.1 3/4"=1'-0"



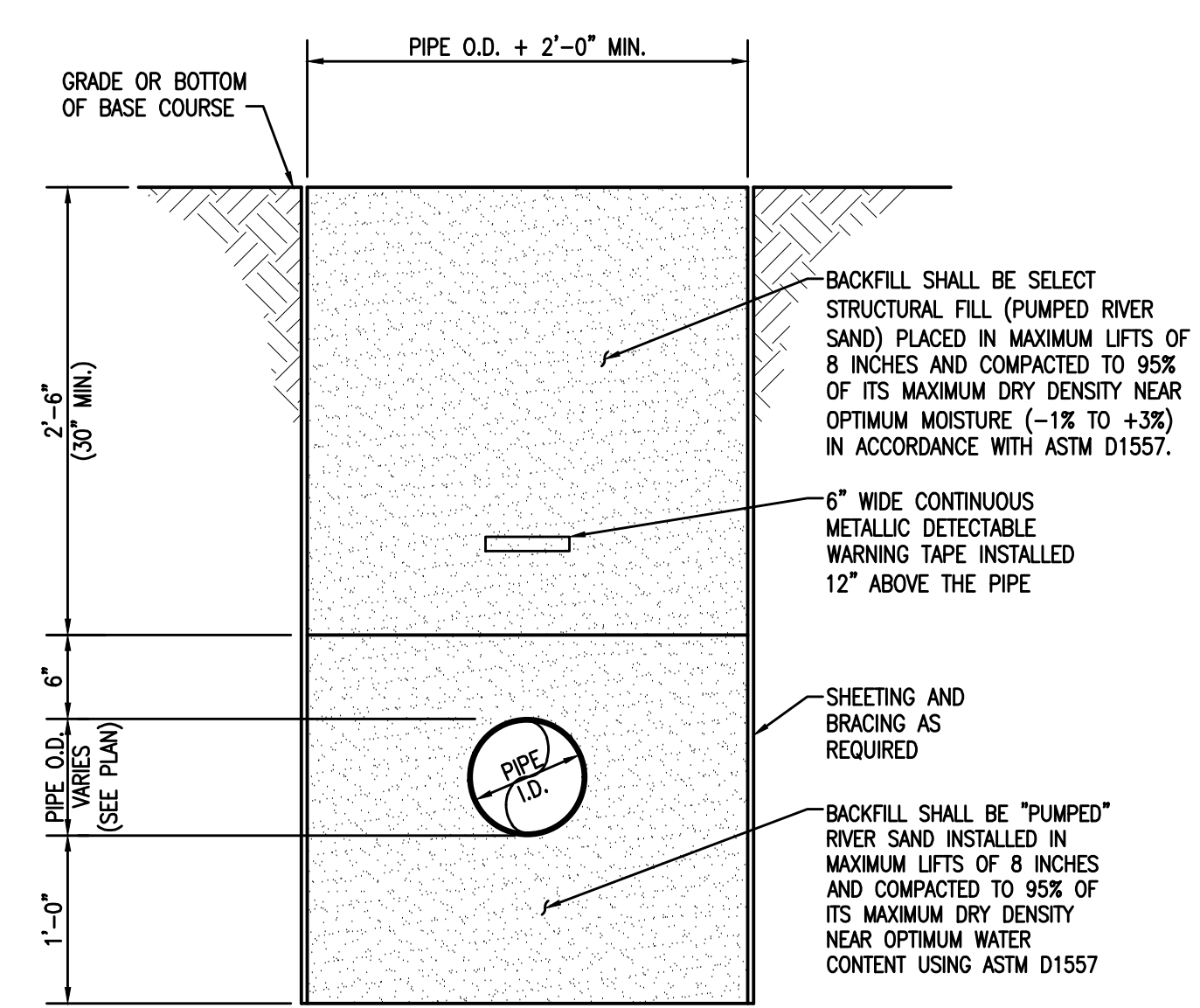
5 DETAIL - SEWER OR DRAIN CLEANOUT  
C2.1 3/4"=1'-0"



6 DETAIL - TRENCH DRAIN  
C2.1 N.T.S.



7 DETAIL - PRECAST DRAIN INLET  
(SCHEMATIC)  
C2.1 1/2"=1'-0"



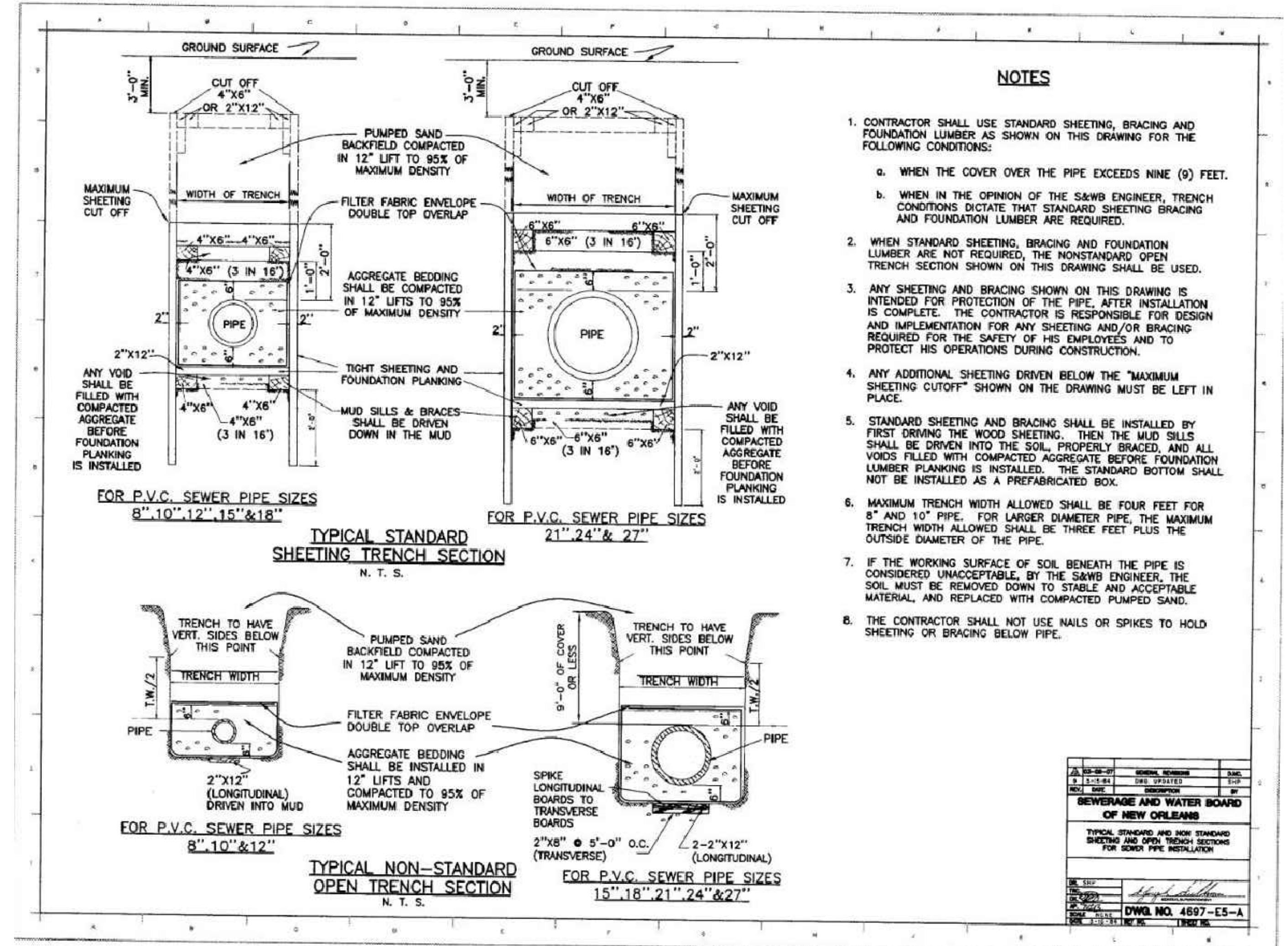
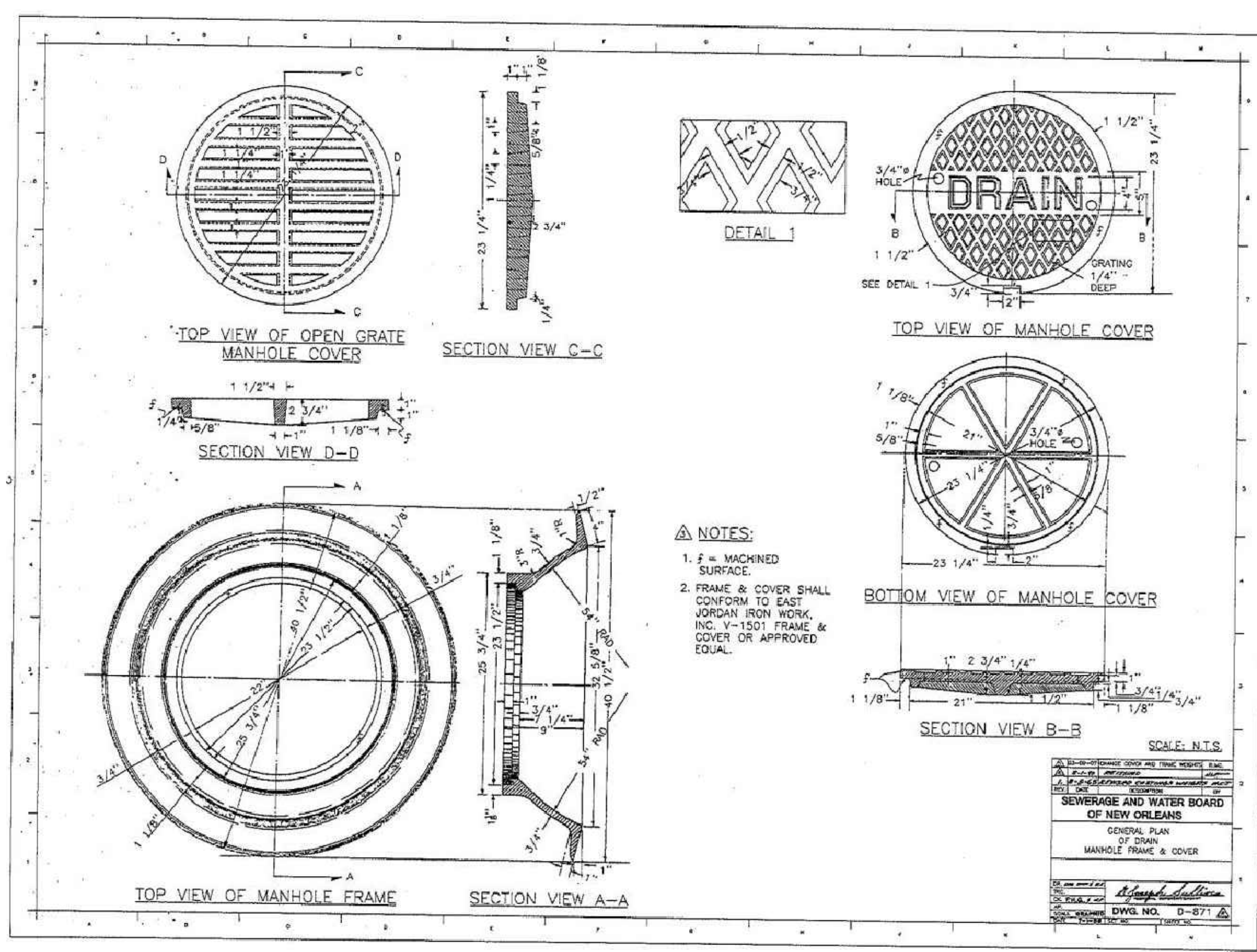
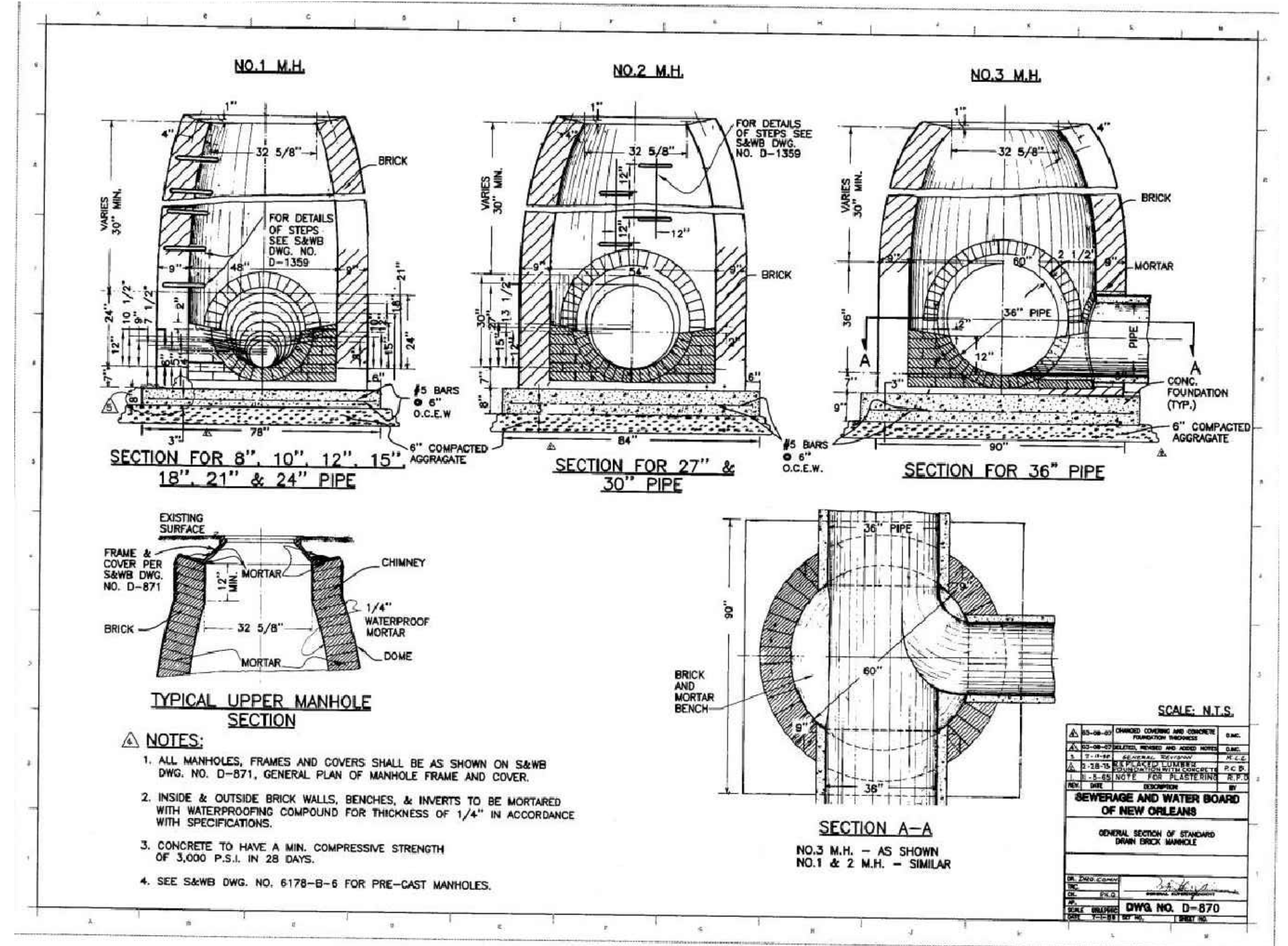
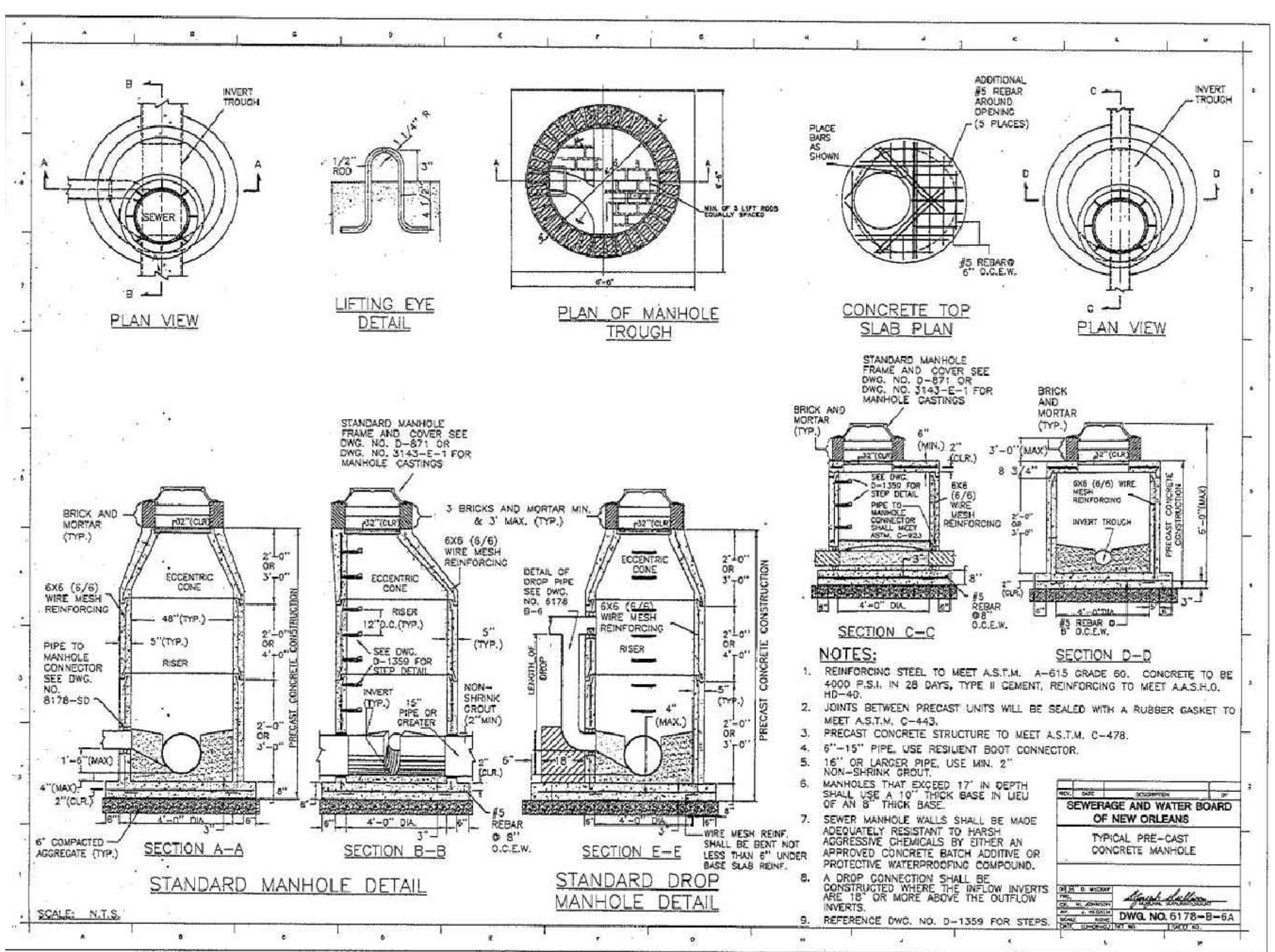
9 DETAIL - TYPICAL PIPE TRENCH AND BEDDING  
FOR DOMESTIC WATER AND FIRE MAIN  
C2.1 1"=1'-0"

11 DETAIL - GREASE INCEPTOR FOUNDATION  
C2.1 3/4"=1'-0"

NOTE: SHEETING AND BRACING SHOWN IS INTENDED FOR PROTECTION OF THE PIPE. AFTER INSTALLATION IS COMPLETE, THE CONTRACTOR IS RESPONSIBLE FOR DESIGN AND IMPLEMENTATION FOR ANY SHEETING AND/OR BRACING REQUIRED FOR THE SAFETY OF HIS EMPLOYEES AND TO PROTECT HIS OPERATIONS DURING CONSTRUCTION

PLAN NOTES: UNLESS NOTED OTHERWISE  
1. PROVIDE STRAPPING TO ANCHOR GREASE INCEPTOR TO FOUNDATION PAD PER MFR'S REQUIREMENTS AND GREASE INCEPTOR INSTALLATION GUIDELINES.  
2. CONNECTION SHALL BE CAPABLE OF RESISTING BUOYANCY FORCES WHILE GREASE INCEPTOR IS EMPTY.





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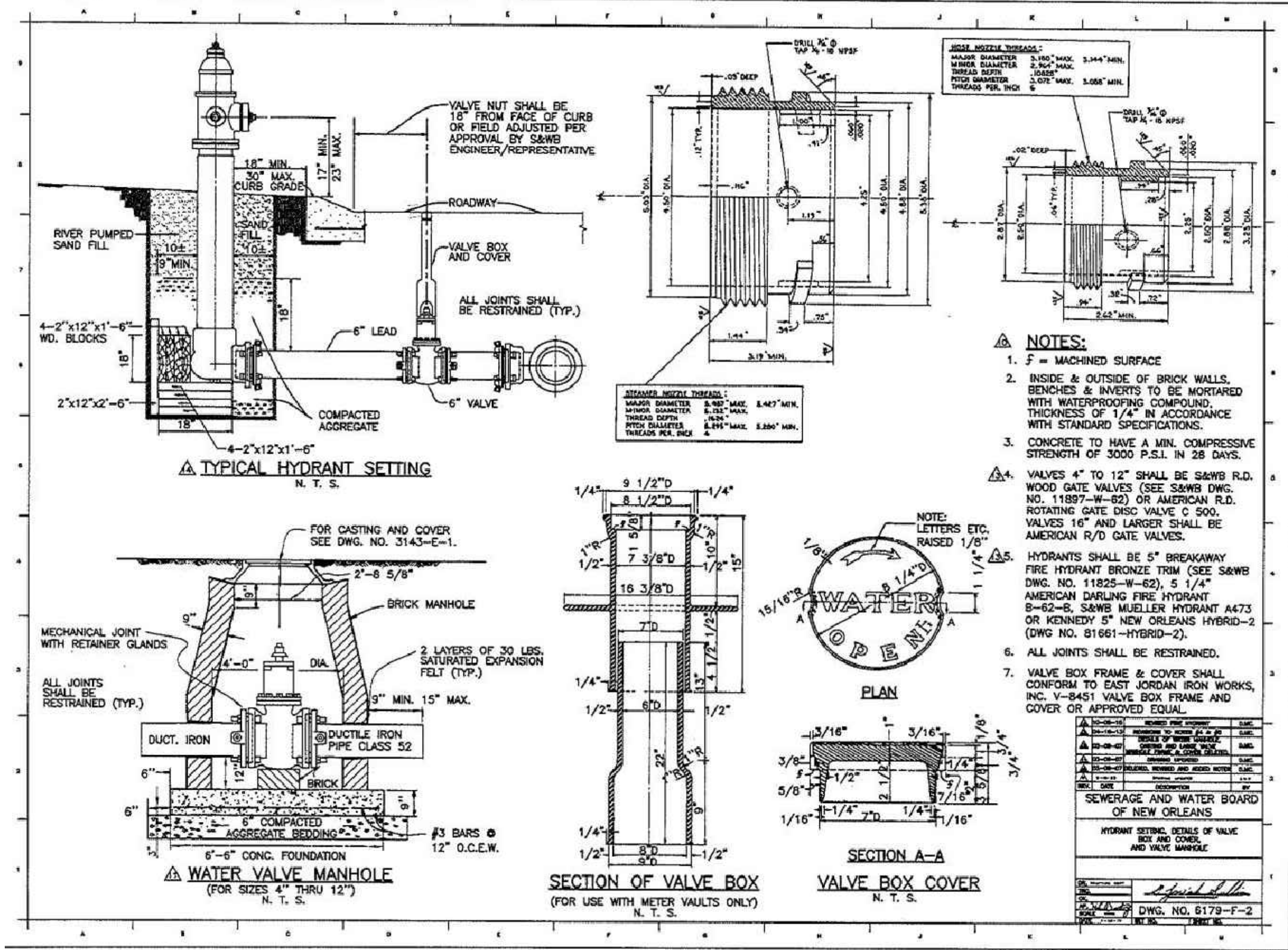
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**S&WB OF NEW ORLEANS STANDARD DRAWINGS**  
SHEET NUMBER:

C3.0



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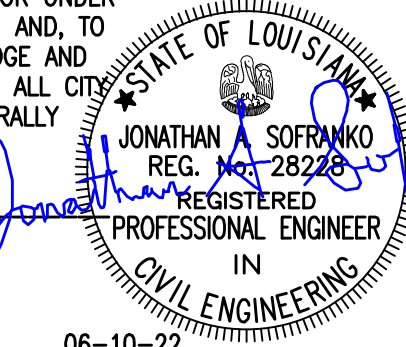
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**S&WB OF NEW  
ORLEANS STANDARD  
DRAWINGS**

SHEET NUMBER:

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