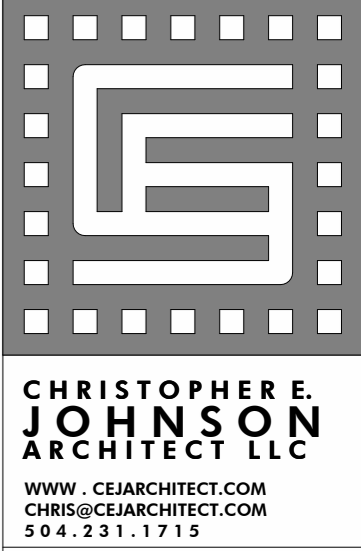
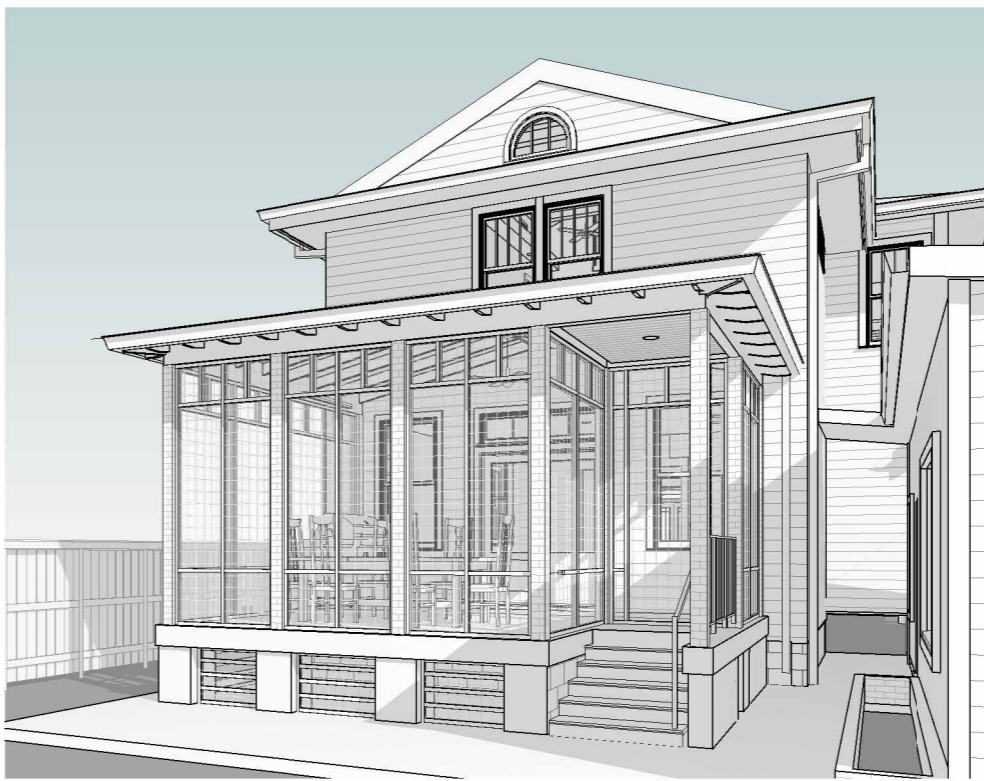


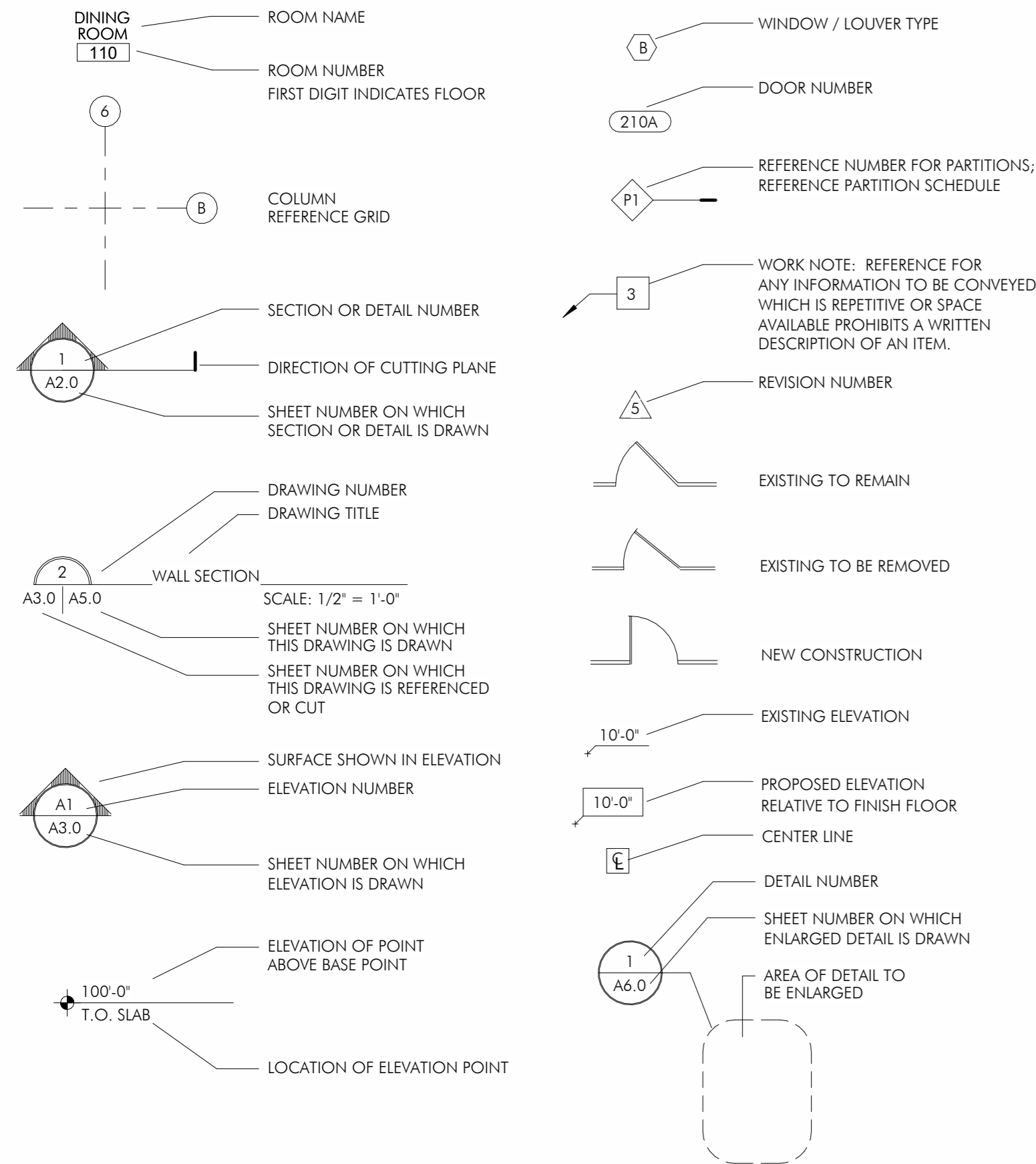
# DREW RESIDENCE

2310 CALHOUN STREET  
NEW ORLEANS, LOUISIANA



CHRISTOPHER E. JOHNSON  
ARCHITECT LLC  
WWW.CEARCHITECT.COM  
CHRIS@CEARCHITECT.COM  
504.231.1715

## GRAPHIC SYMBOLS



## HVAC SCOPE AND NOTES

HVAC SCOPE:  
NO HVAC WORK IN THIS SCOPE.

- ALL HVAC WORK IS COMPLY WITH CURRENT MECHANICAL CODES AS ENFORCED BY THE CITY OF NEW ORLEANS. ALL WORK IS TO BE PERFORMED BY A MECHANICAL CONTRACTOR LICENSED IN THE APPLICABLE JURISDICTION(S). MECHANICAL CONTRACTOR IS RESPONSIBLE FOR DESIGN, INSTALLATION AND CODE COMPLIANCE FOR ALL MECHANICAL WORK.
- INSTALL ALL ITEMS NECESSARY FOR THE INDICATED HVAC FIXTURES. ALL GRILLES, TRIM AND OTHER VISIBLE MATERIALS ARE TO BE SELECTED BY OWNER FROM OPTIONS PROVIDED BY CONTRACTOR.
- LOCATION OF THERMOSTAT TO BE SELECTED BY OWNER.
- REFER TO NOTES, SCHEDULES, AND REFLECTED CEILING PLANS FOR MORE INFORMATION.

## PLUMBING SCOPE AND NOTES

PLUMBING SCOPE:  
FURNISH AND INSTALL NEW GAS LINE TO SERVE NEW BARBEQUE

- ALL PLUMBING WORK IS COMPLY WITH CURRENT PLUMBING CODES AS ENFORCED BY THE CITY OF NEW ORLEANS AND THE SEWERAGE AND WATER BOARD OF NEW ORLEANS. ALL WORK IS TO BE PERFORMED BY A PLUMBER LICENSED IN THE APPLICABLE JURISDICTION(S). PLUMBER IS RESPONSIBLE FOR DESIGN, INSTALLATION AND CODE COMPLIANCE FOR ALL PLUMBING WORK.
- INSTALL ALL PLUMBING NECESSARY FOR THE INDICATED PLUMBING FIXTURES. ALL PLUMBING FIXTURES TO BE SELECTED BY OWNER.
- REFER TO NOTES, SCHEDULES, AND REFLECTED CEILING PLANS FOR MORE INFORMATION.

## ELECTRICAL SCOPE AND NOTES

ELECTRICAL SCOPE:  
INSTALL NEW ELECTRICAL FIXTURES WHERE INDICATED.

- ALL ELECTRICAL WORK IS TO COMPLY WITH CURRENT NEC AS ENFORCED BY THE CITY OF NEW ORLEANS. ALL WORK IS TO BE PERFORMED BY AN ELECTRICIAN LICENSED IN THE APPLICABLE JURISDICTION(S). ELECTRICIAN IS RESPONSIBLE FOR DESIGN, INSTALLATION AND CODE COMPLIANCE FOR ALL ELECTRICAL WORK.
- INSTALL ALL ITEMS NECESSARY FOR THE INDICATED ELECTRICAL FIXTURES. ALL ELECTRICAL FIXTURES TO BE SELECTED BY OWNER.
- REFER TO NOTES, SCHEDULES, AND REFLECTED CEILING PLANS FOR MORE INFORMATION.

## GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CITY, STATE, AND NATIONAL CODES AND STANDARDS
- THE CONTRACTOR IS RESPONSIBLE FOR PAYING FOR ALL TAXES AND LICENSES AS A RESULT OF THIS WORK
- THE GENERAL CONTRACTOR, UPON ACCEPTANCE OF DRAWINGS, ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE PROJECT DESCRIBED IN THESE DRAWINGS AND NOTES, AND WILL BE EXPECTED TO COMPLY WITH THE INTENT IN WHICH THEY WERE WRITTEN.
- VERIFY ALL SITE UTILITIES, DIMENSIONS AND PROPERTY LINE LOCATIONS PRIOR TO BEGINNING THE WORK. BRING ALL DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT DEVIATIONS FROM THE DRAWINGS TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
- WORK ONLY FROM THE WRITTEN DIMENSION SHOWN. DO NOT SCALE DRAWINGS. THEY ARE TO CONVEY THE CONCEPT AND OR INTENT OF THE WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF THEIR SUBCONTRACTORS TO ACHIEVE THE INTENT OF THE DRAWINGS. ANY CONFLICTS WITH EQUIPMENT PLACEMENT ARE TO BE RESOLVED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL PROVIDE BUILDING AND AREA SECURITY AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL ERECT ALL SUCH TEMPORARY DOORS AND CLOSURES AS REQUIRED.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND REMOVAL OF ALL DUST AND DEBRIS ON A DAILY BASIS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING FOR THEIR OWN TRASH REMOVAL.
- THE CONTRACTOR SHALL PROTECT ALL ADJOINING PROPERTIES AND THE NEW CONSTRUCTION
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR, REPLACE OR REPAIR, AT THEIR OWN EXPENSE, ANY AND ALL CONSTRUCTION THAT IS DAMAGED BY THEIR WORK. THIS NEW REPAIR OR REPLACEMENT WORK SHALL BE DONE TO THE OWNER'S SATISFACTION, OR THE OWNER SHALL HAVE THE RIGHT TO REPAIR OR REPLACE DAMAGED CONSTRUCTION ON THEIR OWN AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL GUARANTEE ALL THEIR WORK AND THE WORK OF THEIR SUB-CONTRACTORS FOR ONE (1) FULL CALENDAR YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED IN WRITING.
- INSTALL ALL MANUFACTURING ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED SPECIFICATIONS.
- CONTRACTOR SHALL ASK FOR DETAILS WHENEVER UNCERTAIN ABOUT METHODS OF INSTALLATION. LACK OF DETAILS NOT REQUESTED SHALL NOT EXCUSE IMPROPER INSTALLATION, AND CORRECTION SHALL BE MADE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL SUBCONTRACTORS SHALL BECOME FAMILIAR WITH ALL SHEETS OF DRAWINGS AND NOT SIMPLY THEIR OWN WORK IN ORDER TO FULLY UNDERSTAND AND DEVELOP THE CONSTRUCTION.
- CONTRACTOR WILL COORDINATE WITH OWNER PARKING ON OR OFF SITE. ONLY EQUIPMENT FOR CONSTRUCTION MAY BE PARKED ON SITE.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER OF ANY DEFECTS AND/OR DAMAGED / DECAYING MATERIALS FOUND IN THE EXISTING STRUCTURE OR WORK PRIOR TO ENCLOSING NEW CONSTRUCTION.
- THE EXISTING PLAN IS DOCUMENTED ON THE DRAWINGS IN ACCORDANCE WITH A LIMITED NUMBER OF AVAILABLE ORIGINAL CONSTRUCTION DRAWINGS AND FIELD INVESTIGATIONS. VARIANCE OF ACTUAL EXISTING CONDITIONS FROM THOSE ILLUSTRATED ON THESE DOCUMENTS MAY OCCUR. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT.
- ALL EXISTING ITEMS TO REMAIN UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE ALL SHUT DOWNS OR INTERRUPTIONS IN ANY SERVICE WITH THE OWNER PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL PROVIDE AND INSTALL APPROPRIATE BLOCKING FOR ALL ITEMS TO BE MOUNTED TO WALLS AND / OR CEILINGS, INCLUDING BUT NOT LIMITED TO FIXTURES, HANDRAILS AND CASEWORK.
- GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AS WELL AS CONSTRUCTION SCHEDULING.

## CODE INFORMATION

### CODE DATA

OCCUPANCY CLASSIFICATION: SINGLE-FAMILY RESIDENTIAL  
CONSTRUCTION TYPE: TYPE V

### ENFORCED CODES

ALL WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE CODE ADOPTED BY THE CITY OF NEW ORLEANS AT THE TIME THIS PERMIT IS FILED, OR THE LIST OF CODES BELOW, WHICHEVER IS MORE RESTRICTIVE:

BUILDING CODE: INTERNATIONAL RESIDENTIAL CODE [2015]  
LIFE SAFETY CODE: N/A  
FUEL GAS: INTERNATIONAL FUEL GAS CODE [2015]  
MECHANICAL CODE: INTERNATIONAL MECHANICAL CODE [2015]  
PLUMBING CODE: INTERNATIONAL PLUMBING CODE [2015]  
ELECTRICAL CODE: NATIONAL ELECTRICAL CODE [2014]  
EXIST. BUILDING: INTERNATIONAL EXISTING BUILDING CODE [2015]  
ZONING: HU-RD1

## PROJECT DIRECTORY

### BUILDING OWNER

MICHAEL AND AMY DREW  
2310 CALHOUN STREET  
NEW ORLEANS, LOUISIANA 70118

### ARCHITECT

CHRISTOPHER E. JOHNSON, ARCHITECT, LLC  
2126 CALHOUN STREET  
NEW ORLEANS, LOUISIANA 70118

PHONE: (504) 231-1715

## SITE DESCRIPTION

PARISH: ORLEANS  
WARD: N/A  
SQUARE: 112  
BOOK: 02  
LOT: 11/79  
LINE: 005  
SECTION: N/A  
TOWNSHIP: N/A  
RANGE: N/A

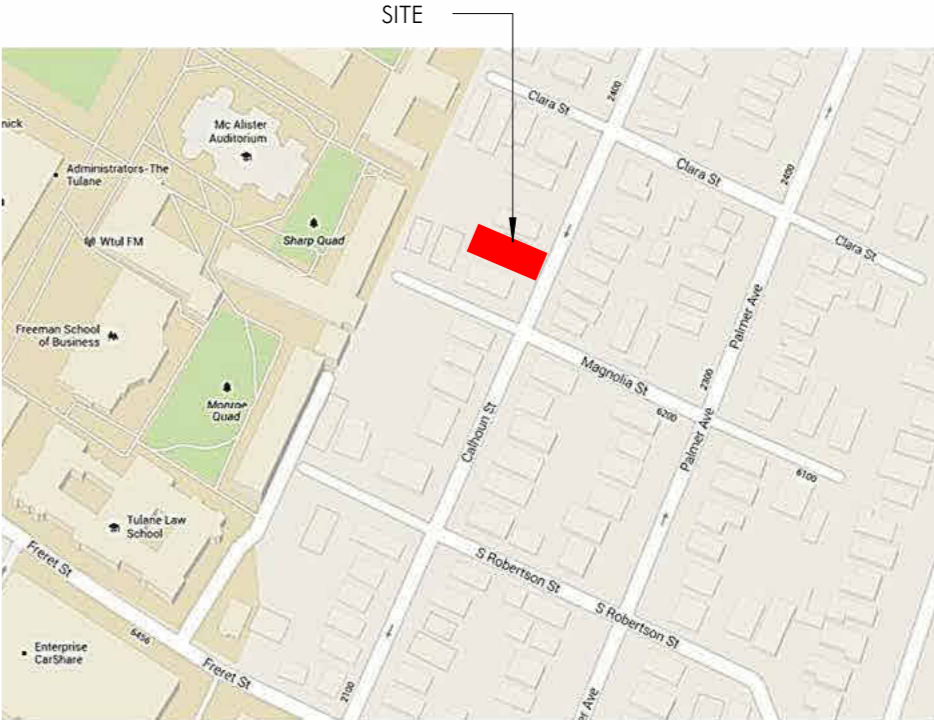
SQUARE BOUNDED BY: CALHOUN, MAGNOLIA, CLARA

## SCOPE OF WORK

- RENOVATION OF EXISTING FRONT PORCH AND REPLACEMENT OF EXISTING REAR PORCH.
- NO CHANGE IN USE OR OCCUPANCY.

## VICINITY MAP

NOT TO SCALE



SHEET LIST WITH REVISIONS				
SHEET NUMBER	SHEET NAME	Sheet Issue Date	Current Revision	Current Revision Date
A0.0	TITLE SHEET	08-17-2022		
A1.0	FLOOR PLAN - DEMOLITION	08-17-2022		
A2.0	FLOOR PLAN - NEW	08-17-2022		
A2.1	FLOOR PLAN DETAILS	08-17-2022		
A3.0	ELEVATIONS	08-17-2022		
AS.0	SECTION - FRONT PORCH	08-17-2022		
AS.1	SECTION - REAR PORCH	08-17-2022		
AS2.0	FOUNDATION AND FRAMING	08-17-2022		

DREW RESIDENCE  
2310 CALHOUN STREET  
NEW ORLEANS, LOUISIANA

DATE	ISSUED FOR
08-17-2022	PERMIT

THESE PLANS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE INTERNATIONAL BUILDING CODE. I WILL OBSERVE THE WORK.



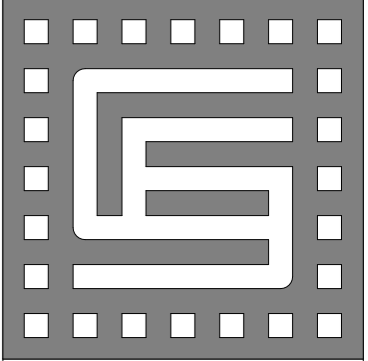
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DRAWN BY CEJ

CHECKED BY

DRAWING TITLE

TITLE SHEET

SHEET NO. A0.0



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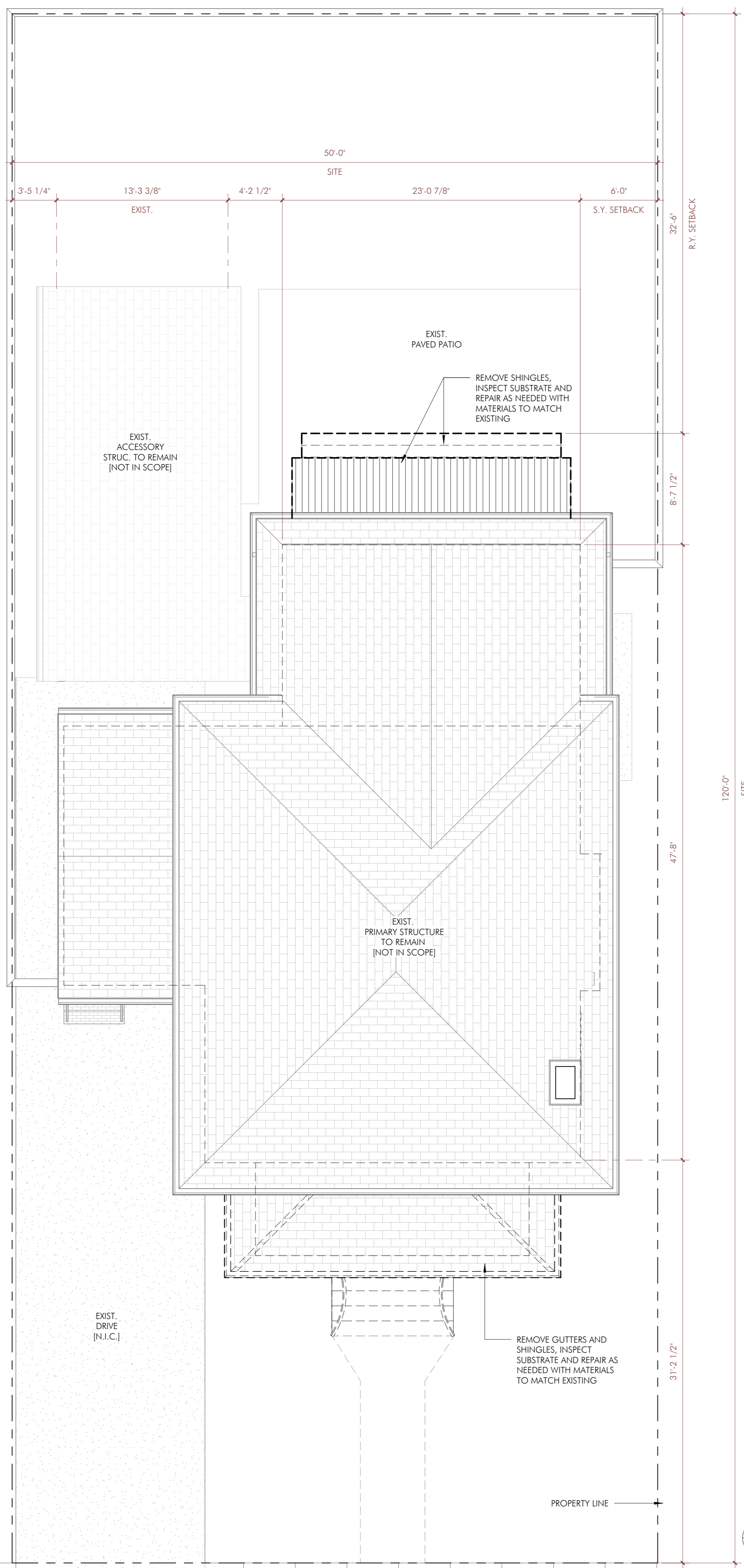


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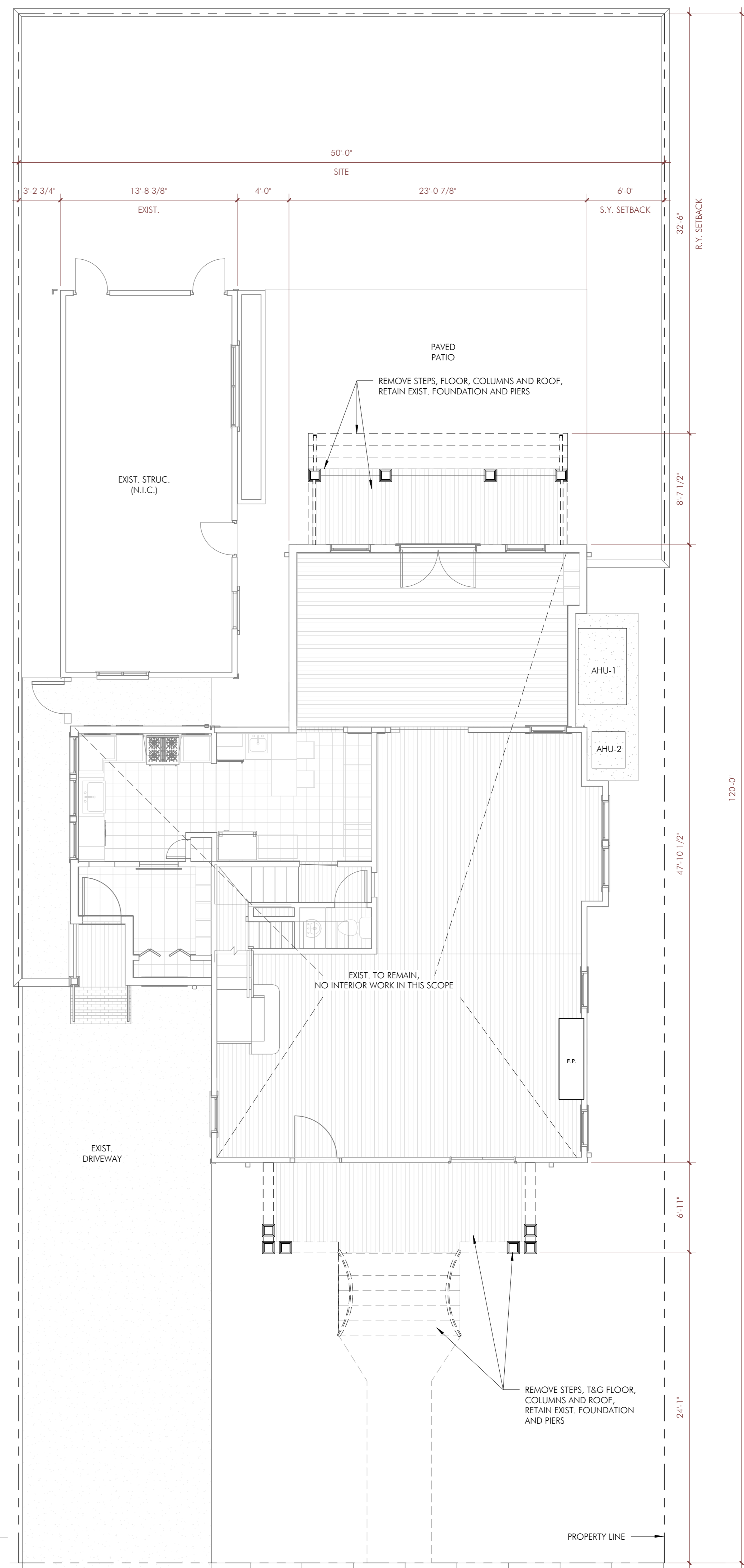
DRAWING TITLE  
FLOOR PLAN -  
DEMOLITION

SHEET NO. A1.0

2 Roof Plan - Demolition  
3/16" = 1'-0"



1 Floor Plan - Demolition  
3/16" = 1'-0"





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NEW ORLEANS, LOUISIANA

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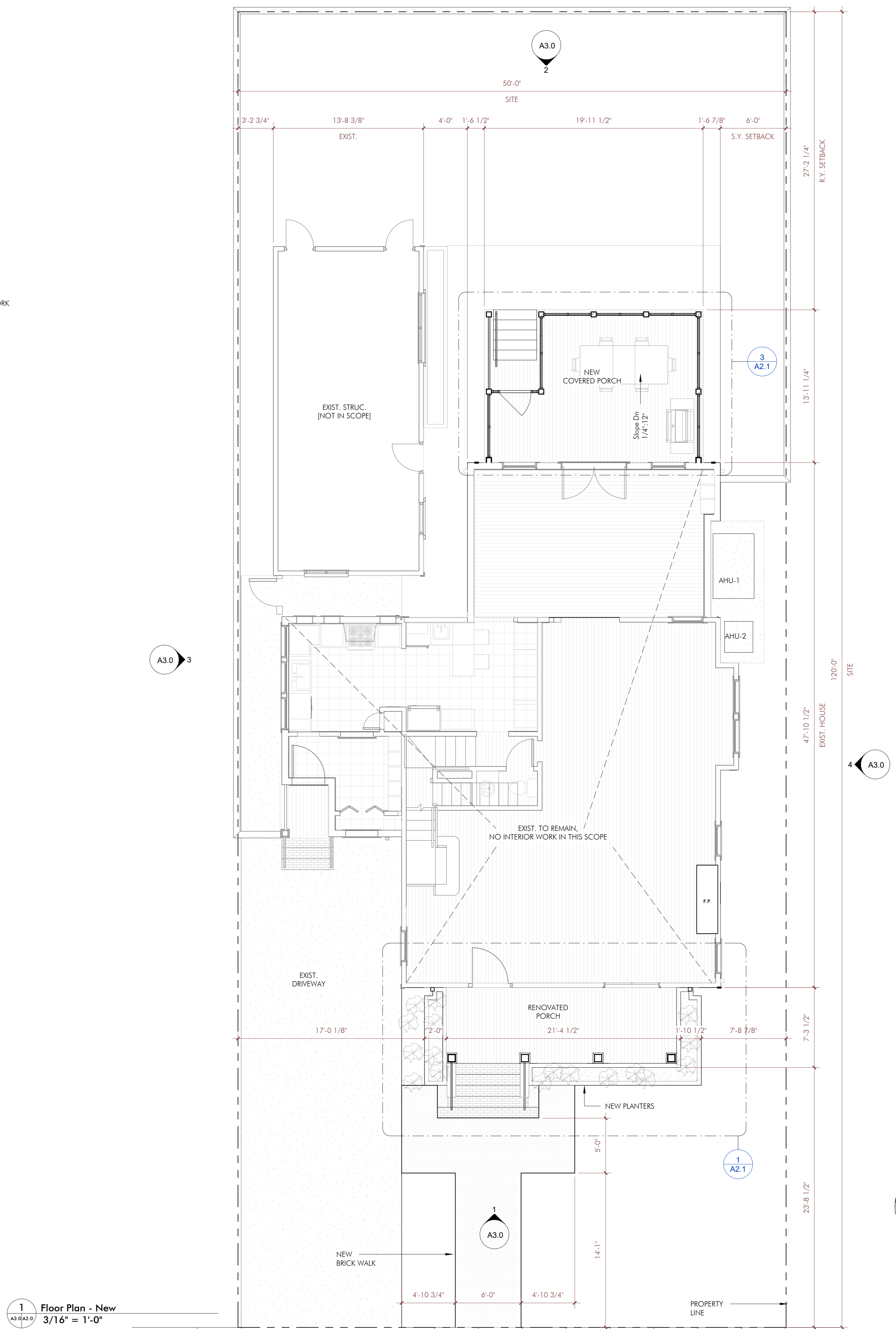
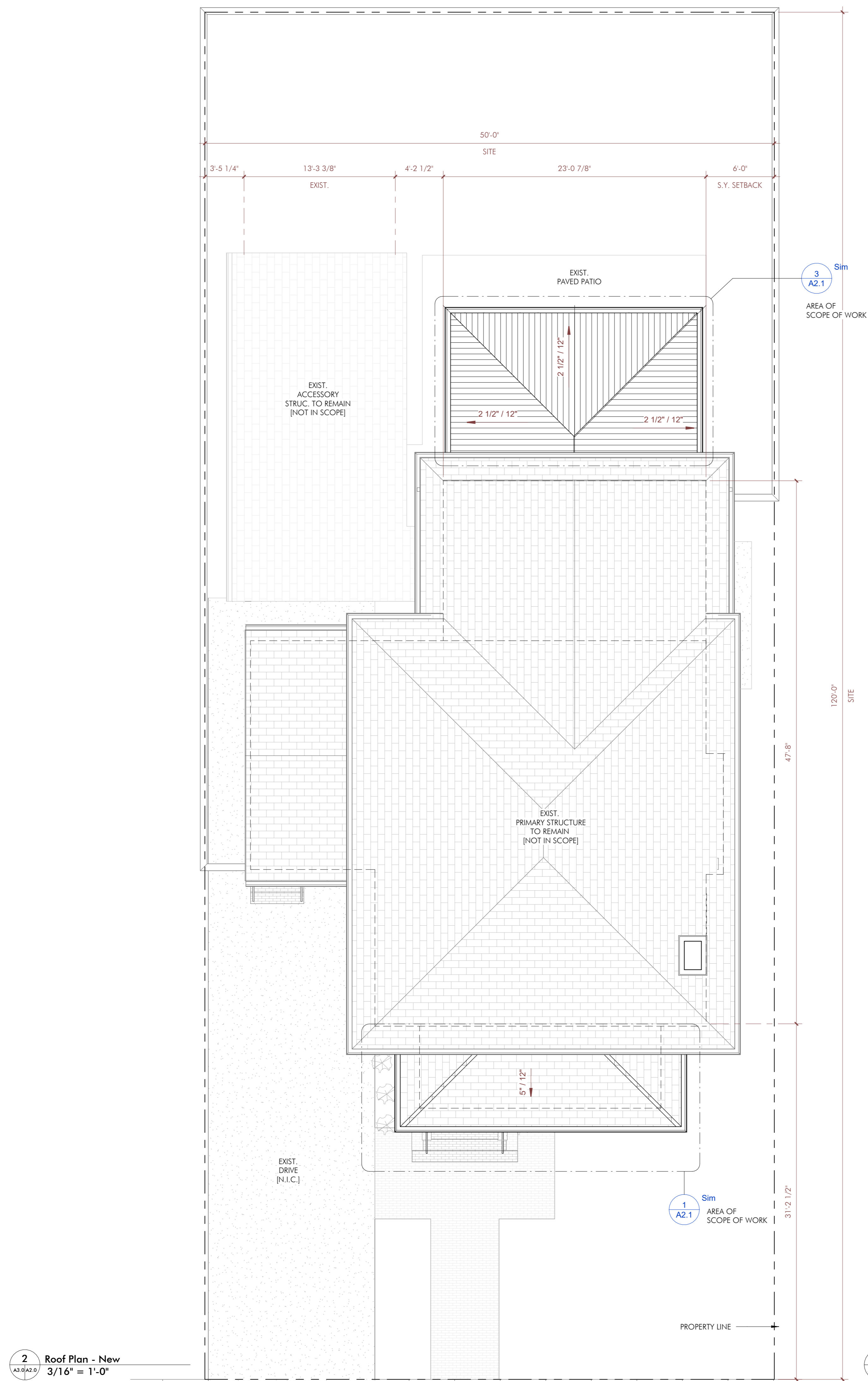
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PROJECT NO.	2021.27.00
DRAWN BY	Author
CHECKED BY	Checker
DRAWING TITLE	

FLOOR PLAN -  
NEW

SHEET NO. **A2.0**



Lighting Fixture Schedule		
Type Mark	Count	Comments
F1	4	RECESSED CAN LIGHT, INCLUDING TRIM KIT
F2	4	UPLIGHT, ON DIMMER SWITCH
F3	1	CEILING FAN, NO LIGHT KIT, PROVIDE BLOCKING FOR 100 LBS MIN.
F4	2	GAS LANTERN, PROVIDE GAS SERVICE PER MFTR.

ELECTRICAL LEGEND

	DUPLEX OUTLET		RECESSED DIRECTIONAL LIGHT
	DUPLEX OUTLET MOUNTED 42" A.F.F. OR AS INDICATED		RECESSED DOWNLIGHT / UPLIGHT
	GFI DUPLEX OUTLET		WALL MOUNTED LIGHT FIXTURE
	WATERPROOF DUPLEX OUTLET		CEILING MOUNTED LIGHT FIXTURE
	220V OUTLET		EXTERIOR 150 WATT FLOODLIGHT ON PHOTOCELL
	RECESSED FLOOR DUPLEX OUTLET		CEILING FAN WITH LIGHT KIT
	LIGHT SWITCH		TELEPHONE / DATA
	DIMMER SWITCH		CABLE TV OUTLET
	3-WAY SWITCH		GARBAGE DISPOSAL
	LIGHT, VENT, HEATER		UNDER CABINET FIXTURE
	CEILING MOUNTED HARD WIRED COMBINATION SMOKE DETECTOR/CARBON MONOXIDE DETECTOR		FLUORESCENT STRIP

ELECTRICAL NOTES

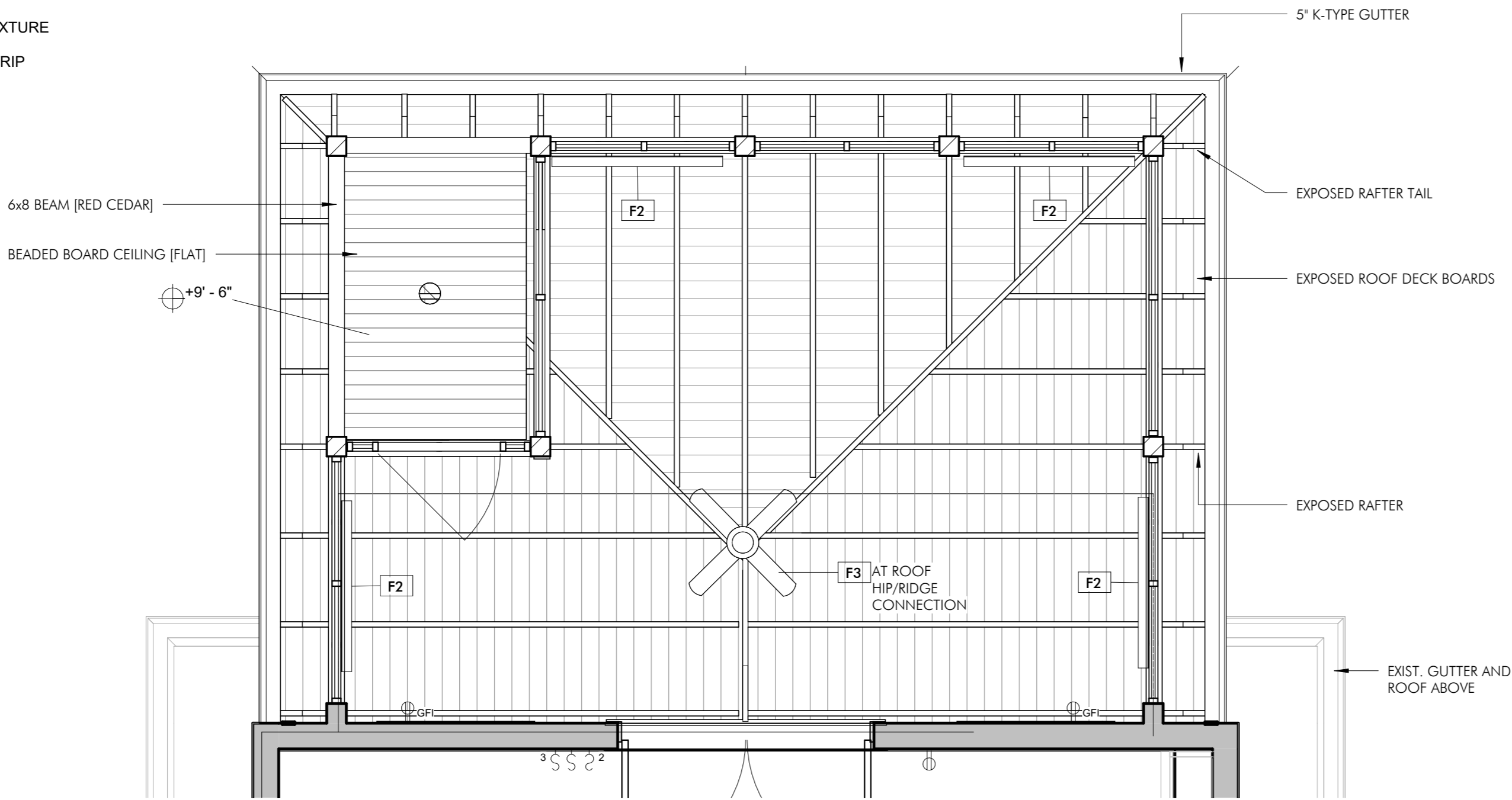
1. THE GENERAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL WORK AS SHOWN OR IMPLIED IN THESE DRAWINGS INCLUDING TEMPORARY POWER, METER BASES, CIRCUIT BREAKERS, CONDUIT RUNS, ALL NEW WIRING, RECEPTACLES AND SWITCHING DEVICES, CORE DRILLING AND PATCHING ETC. AS WELL AS HOOK UP OF OUTSIDE CONDENSING UNITS/HEAT PUMPS AND ELECTRICAL WATER HEATER AS SPECIFIED OR IMPLIED OR AS REQUIRED BY CODE OR BUILDING STANDARDS.
2. ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL NATIONAL CODES AND ALL STATE AND LOCAL CODES, AMENDMENTS AND ORDINANCES HAVING JURISDICTION.
3. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE TO VERIFY FIELD CONDITIONS, SERVICE REQUIREMENTS AND DIMENSIONS BEFORE BEGINNING WORK. SIZES OF ELECTRICAL CONDUITS TO BE ADEQUATE FOR CABLE SERVICE SPECIFIED.
4. THE ELECTRICAL CONTRACTOR SHALL CHECK WITH OTHER TRADES FOR THE LOCATION OF EQUIPMENT WHICH REQUIRES ANY HOOK UP, DISCONNECT SWITCHES, ETC. PRIOR TO BEGINNING WORK.
5. ELECTRICAL SUBCONTRACTOR SHALL PROVIDE APPROPRIATE METAL SERVICE BOXES AND JUNCTION BOXES FOR SWITCHING AND POWER OUTLETS, ALONG WITH APPROPRIATE COVER PLATES AND DEVICES AS SPECIFIED.
6. ALL OUTLETS SHOWN SIDE BY SIDE SHALL BE SPACED 6" O.C. UNLESS OTHERWISE NOTED. ALL LIGHT SWITCHES SHOWN SIDE BY SIDE SHALL BE GANGED TOGETHER AND HAVE ONE COVER PLATE.
7. RECEPTACLES AND SWITCHES ARE TO BE LOCATED SO AS NOT TO INTERFERE WITH MIRRORS, CABINETS, DOOR AND WINDOW CASINGS ETC. WALL PLATES SHALL NOT BE CUT OR OTHERWISE TRIMMED TO CLEAR OBSTACLES.
8. ALL OUTLET BOXES FOR SWITCHES, RECEPTACLES AND LIGHTING FIXTURES SHALL BE RIGIDLY MOUNTED TO BLOCKING OR FRAMING MEMBERS AND PROPERLY SET WITH RESPECT TO FINISH WALL/CEILING SURFACE.
9. DISCONNECTS AND BREAKERS FOR OUTSIDE A/C UNITS/HEAT PUMPS TO MATCH SIZE SPECIFIED BY MANUFACTURER AND LOCATED IN PROXIMITY TO UNITS AS REQUIRED BY CODE.
10. BREAKER PANEL TO BE LABELED PROPERLY, LEGIBLY AND COMPLETELY, WITH EVERY CIRCUIT INDICATED.
11. PROVIDE ARC FAULT BREAKERS FOR ALL BEDROOMS.
12. ALL OUTLETS TO BE TAMPER PROOF.
13. ALL ELECTRICAL DEVICES, WHEN INSTALLED, SHALL BE PROTECTED FROM DAMAGE BY OTHER TRADES. COVER PLATES SHALL BE INSTALLED AFTER FINISH MATERIALS HAVE BEEN APPLIED.
14. CEILING FAN PRE WIRES SHALL BE ACCOMPLISHED BY A DOUBLE SWITCH AND THREE CONDUCTOR WIRE TO ACCOMMODATE A CEILING FAN IN LOCATIONS SPECIFIED.
15. ELECTRICAL SUBCONTRACTOR TO COORDINATE FINAL LOCATION OF ALL APPLIANCES AND EQUIPMENT TO BE SELECTED BY OWNER. POWER REQUIREMENTS FOR OWNER SELECTED APPLIANCES AND EQUIPMENT ARE NOT NECESSARILY INDICATED ON THESE DRAWINGS.
16. PROVIDE MIN. (1) SWITCHED, SINGLE BULB LIGHT FIXTURE IN ATTIC SPACE(S) WHERE NEW HVAC EQUIPMENT WILL BE LOCATED.
17. GC WILL PROVIDE AND INSTALL ALL REQUIRED BLOCKING FOR LIGHT FIXTURES AND EQUIPMENT
18. IF REQUESTED BY OWNER, COORDINATE DESIGN AND INSTALLATION OF SECURITY ALARM SYSTEM WITH LICENSED CONTRACTOR DURING THIS SCOPE OF WORK.
19. ALL HARDWIRED ETHERNET DATA OUTLETS TO BE CAT6 OR HIGHER GRADE CABLE AND COMPATIBLE HARDWARE. COORDINATE INSTALLATION REQUIREMENTS WITH INTERNET PROVIDER SELECTED BY OWNER.

GENERAL NOTES - DEMO and REPAIR

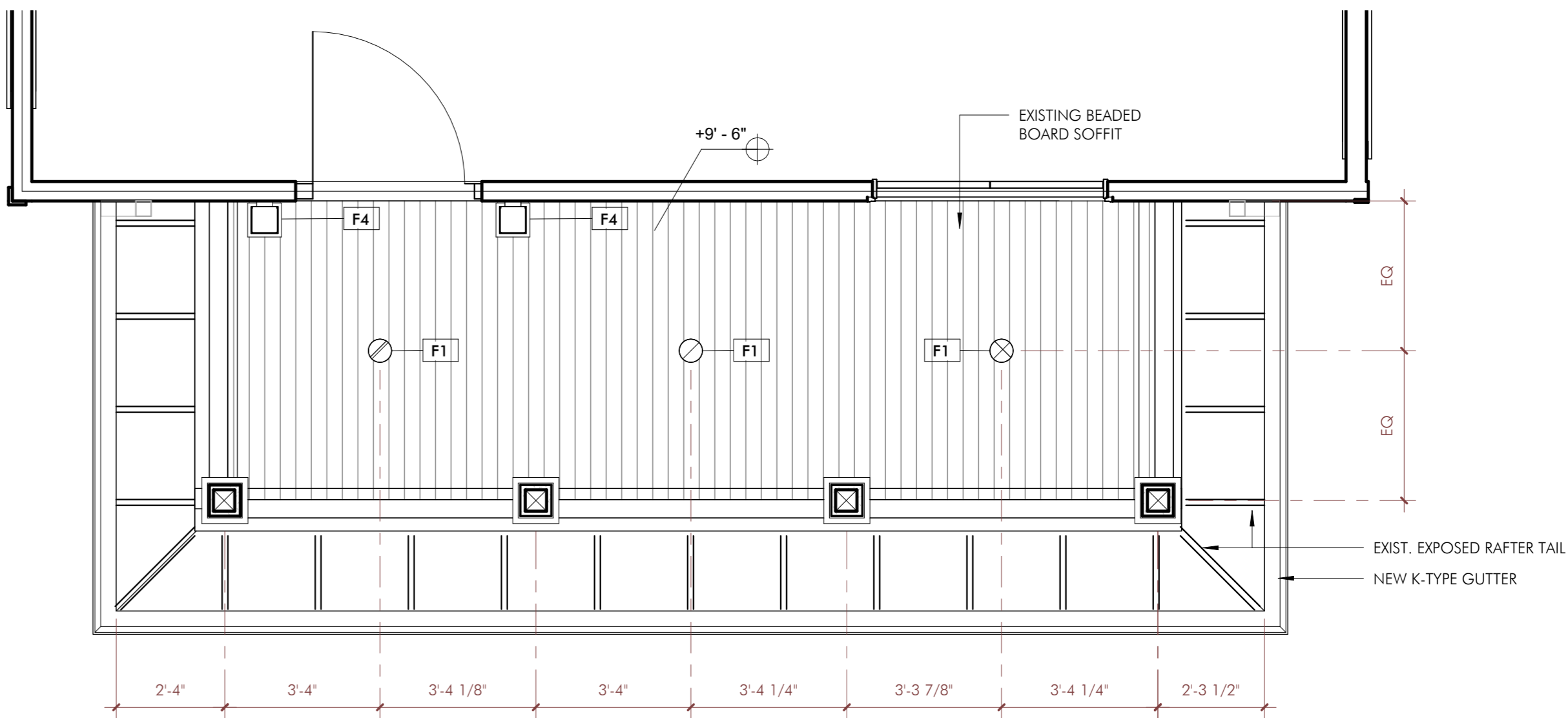
1. RAFTERS, DOORS, WINDOWS, PLUMBING FIXTURES AND ELECTRICAL FIXTURES INDICATED TO BE REMOVED WILL BE SALVAGED AND DELIVERED TO OWNER INTACT.
2. EXISTING EXTERIOR SIDING IS TO BE RETAINED. DAMAGED AREAS WITHIN SCOPE OF WORK ARE TO BE REPLACED BY MATERIAL TO MATCH EXISTING MATERIALS AND DIMENSIONS. ALL EXISTING SIDING TO BE SCRAPED FREE OF PAINT, CLEANED, AND PREPARED FOR NEW PAINT.
3. WITHIN AREA OF SCOPE OF WORK, RETAIN AND REPAIR ALL EXISTING WOOD DOOR MOULDINGS WHERE EXISTING OPENINGS ARE TO BE RETAINED. FOR EXISTING OPENINGS TO BE WIDENED, SALVAGE EXISTING WOOD DOOR MOULDINGS AND DELIVER TO OWNER.
4. RETAIN ALL EXISTING CASEWORK UNLESS INDICATED TO BE DEMOLISHED
5. DEMOLISH ALL EXISTING GUTTERS AND DOWNSPOUTS WITHIN AREA OF SCOPE OF WORK.
6. FOR NEW ADDITIONS ABOVE EXISTING ROOF, REMOVE ROOF SHEATHING OVER AREA OF NEW ADDITION. BRACE AND PROVIDE ALL NECESSARY WEATHER PROTECTION TO OCCUPIED ROOMS BELOW. ALL OTHER AREAS OF EXISTING ROOFING MATERIAL IS TO BE RETAINED. ALL SALVAGED STRUCTURAL MEMBERS ARE TO BE DELIVERED TO OWNER.
7. PROVIDE REQUIRED PROTECTION AND BRACING FOR ALL WORK INDICATED TO REMAIN.
8. CONTRACTOR IS TO NOTIFY ARCHITECT IF HAZARDOUS MATERIALS ARE PRESENT IN THE PROJECT AREA. HANDLING AND DISPOSAL OF THIS MATERIAL IS TO BE DONE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.

GENERAL NOTES - CONSTRUCTION

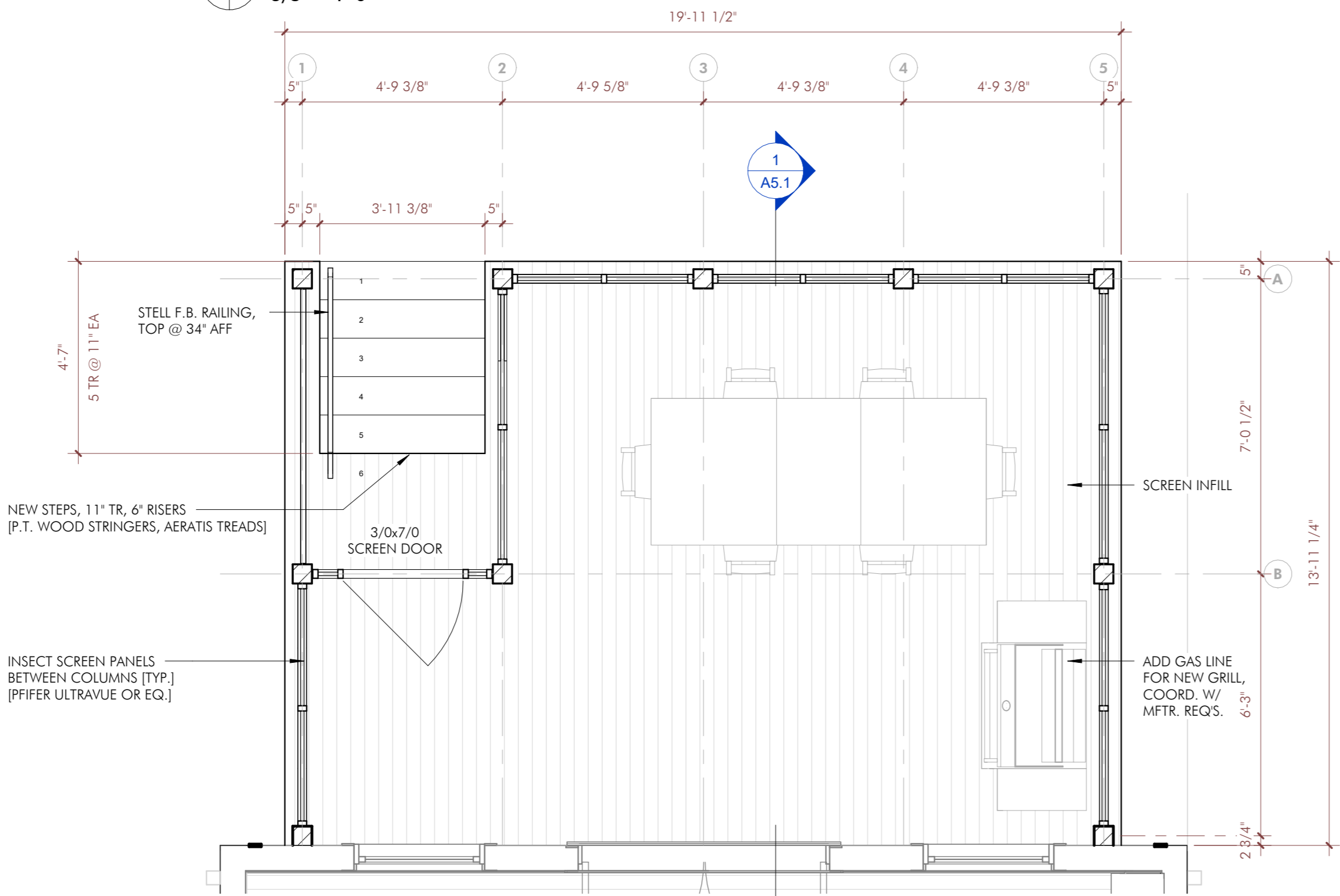
1. CONTRACTOR IS TO COORDINATE WORK SCHEDULE WITH OWNERS, AND TO GIVE MINIMUM 3 DAYS NOTICE OF ALL PLANNED UTILITY SHUT-DOWNS.
2. ALL WINDOWS INDICATED TO REMAIN WITHIN THE AREA OF WORK WILL BE PROTECTED AND REPAINTED. REFLASH HEADS AS NEEDED.
3. ALL EXTERIOR SIDING THAT WILL BE ENCLOSED BY NEW ADDITION IS TO BE RETAINED. IF HAZARDOUS MATERIALS ARE PRESENT, WORK IS TO BE CONDUCTED ACCORDING TO ALL REGULATIONS FOR REMOVAL AND DISPOSAL OF THESE MATERIALS.
4. ALL NEW INTERIOR AND EXTERIOR WALLS WITHIN SCOPE AREA ARE TO BE PAINTED UNLESS OTHERWISE NOTED. COLORS TO BE SELECTED BY OWNER. ALL NEW STAIN GRADE WOOD INCLUDING RED CEDAR ARE TO BE STAINED.
5. FOR ALL OUTLETS AND SWITCHES INDICATED TO REMAIN, ALL OUTLET COVERS AND SWITCH PLATES WILL BE REPLACED. OWNER WILL SELECT REPLACEMENT.
6. ADD WOOD THRESHOLD AT EACH FLOOR MATERIAL TRANSITION, NOT TO EXCEED 1/2" IN THICKNESS ABOVE THE FINISHED FLOOR LEVEL AND AT EACH TRANSITION BETWEEN EXISTING FLOOR AND NEW FLOOR CONSTRUCTION.
7. DOORS, WINDOWS AND SKYLIGHTS TO BE INSTALLED PER MANUFACTURERS INSTRUCTIONS, INCLUDING ALL FLASHING.
8. ALL EXISTING ROOFING MATERIALS TO REMAIN. EVALUATE CONDITION OF EXISTING SUBSTRATE AND REPAIR OR REPLACE AS NEEDED.
9. ALL FINISH MATERIALS WILL BE CONTRACTOR-FURNISHED AND CONTRACTOR-INSTALLED.
10. BUILDING MATERIALS USED BELOW DESIGN FLOOD ELEVATION SHALL COMPLY WITH SECTION 322.1.8 OF IRC 2015 ED. WOOD IN THESE AREAS WILL BE PRESURE-PRESERVATIVE-TREATED.



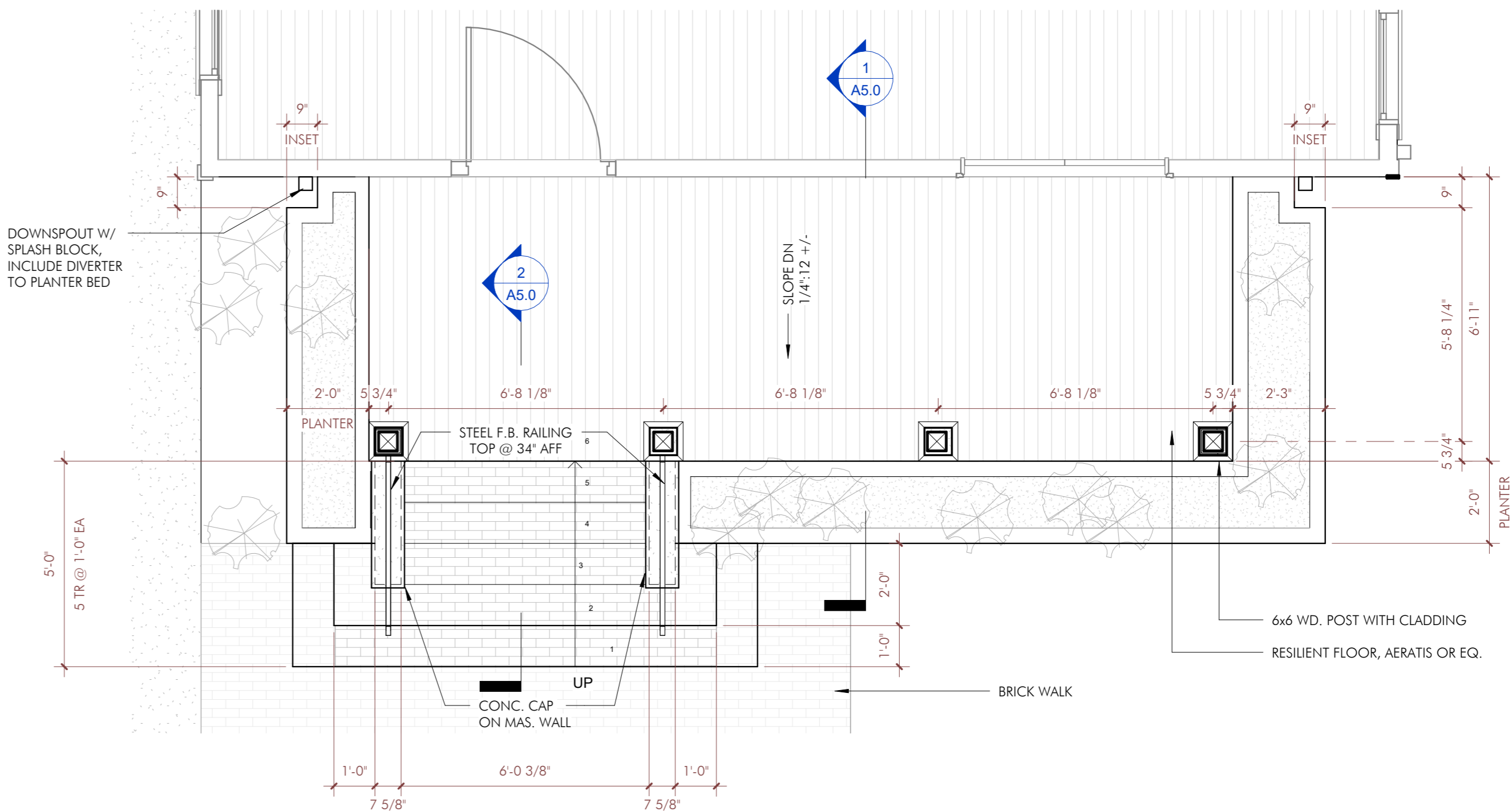
4 Rear Porch - Ceiling Plan  
3/8" = 1'-0"



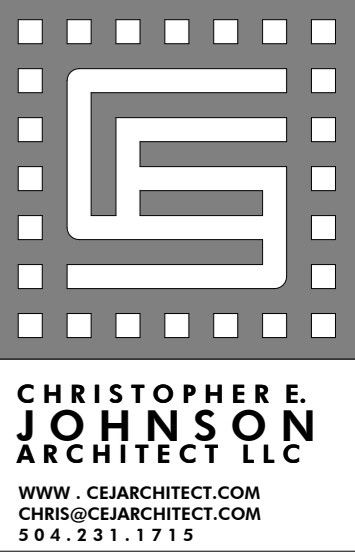
2 Front Porch - Ceiling Plan  
3/8" = 1'-0"



3 Rear Porch - Floor Plan  
3/8" = 1'-0"



1 Front Porch - Floor Plan  
3/8" = 1'-0"



DREW RESIDENCE  
2310 CALHOUN STREET  
NEW ORLEANS, LOUISIANA

DATE 08-17-2022 ISSUED FOR PERMIT

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PROJECT NO. 2021.27.00  
DRAWN BY Author  
CHECKED BY Checker  
DRAWING TITLE

FLOOR PLAN DETAILS

SHEET NO. A2.1

DREW RESIDENCE  
2310 CALHOUN STREET  
NEW ORLEANS, LOUISIANA

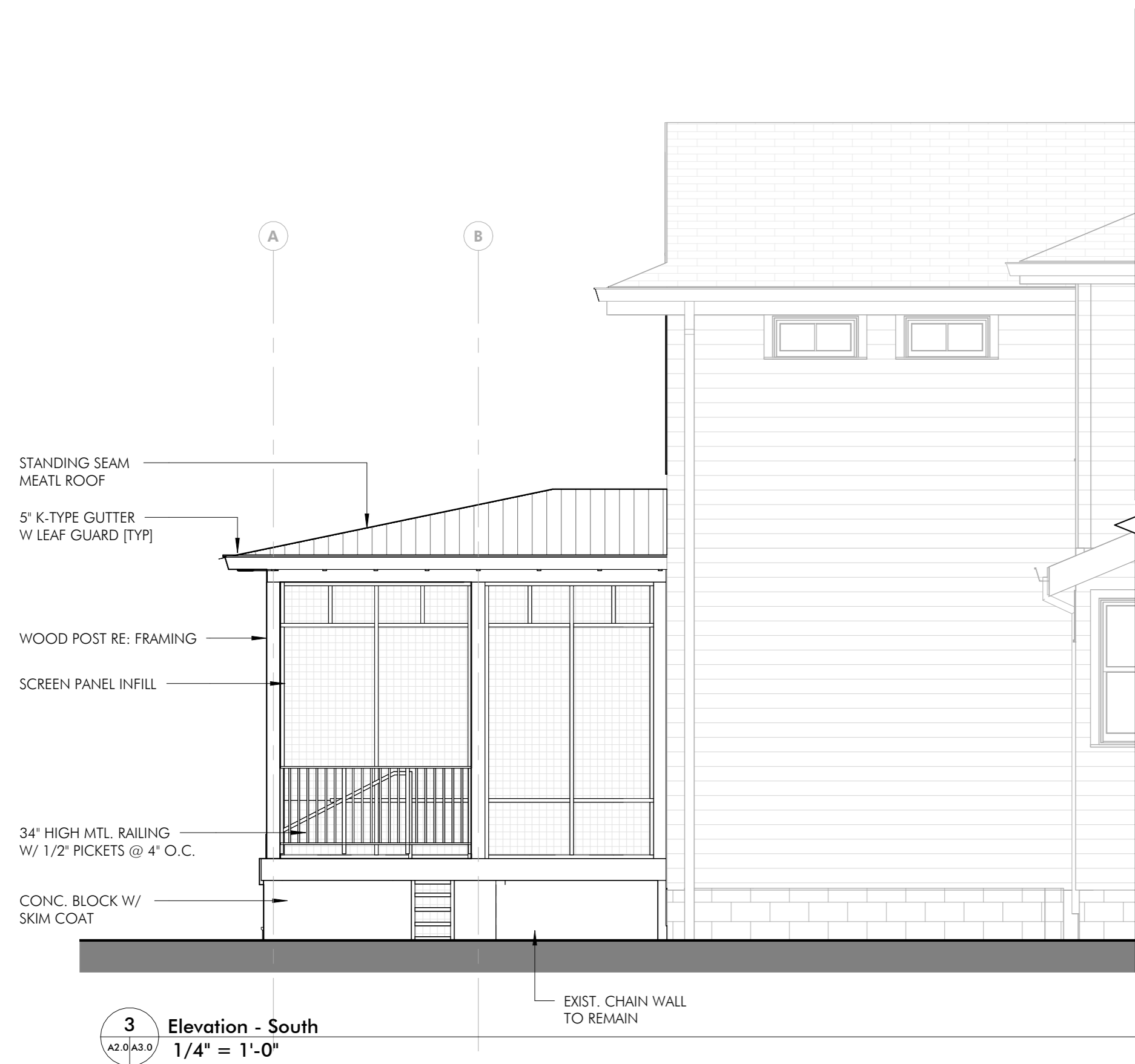
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PROJECT NO. 2021.27.00  
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ELEVATIONS

SHEET NO. A3.0





**DREW RESIDENCE**  
2310 CALHOUN STREET  
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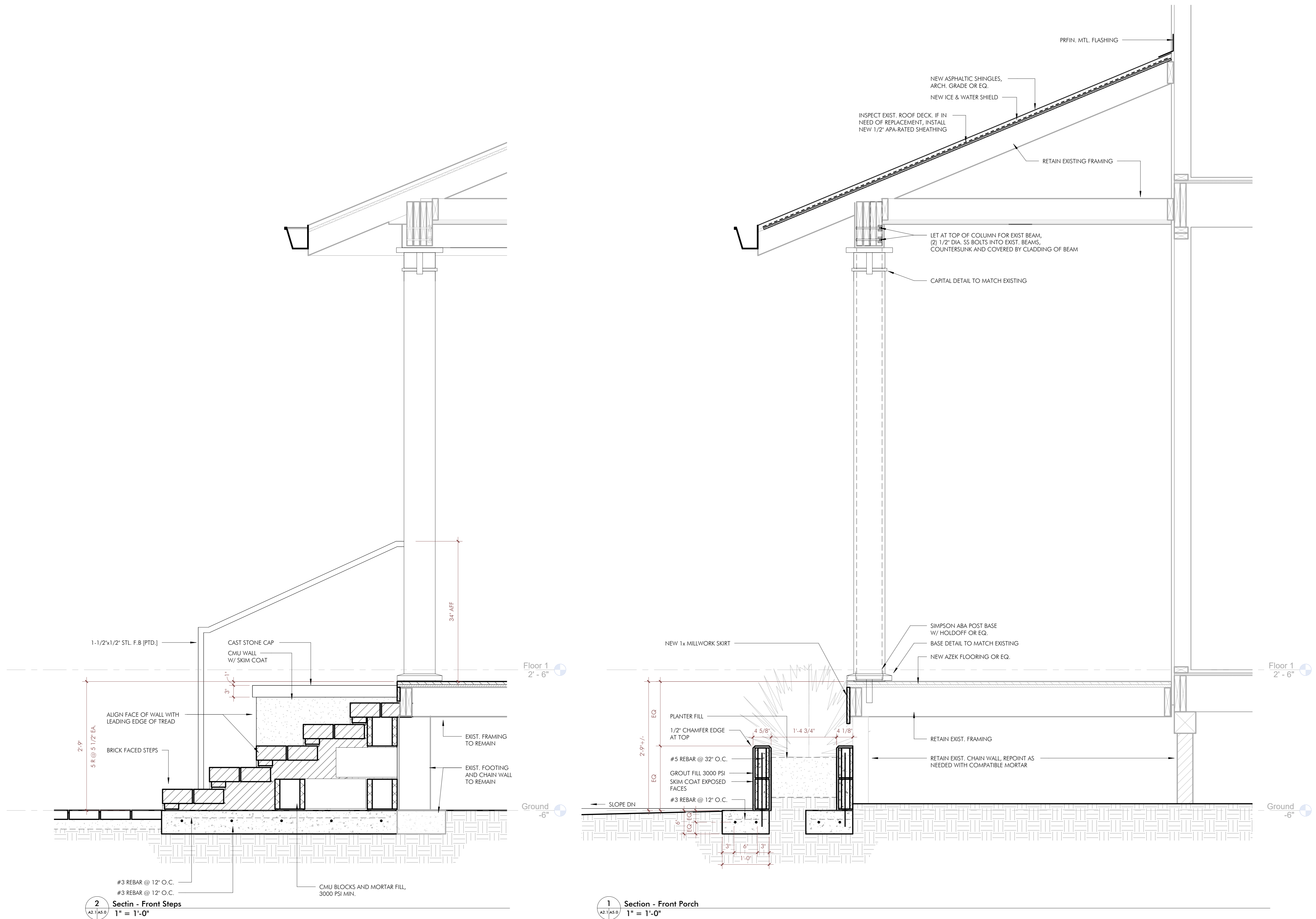
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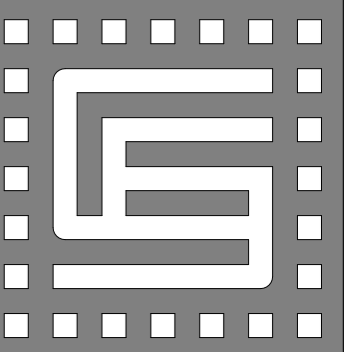


PROJECT NO.	2021.27.00
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SECTION -  
FRONT PORCH

SHEET NO. **A5.0**





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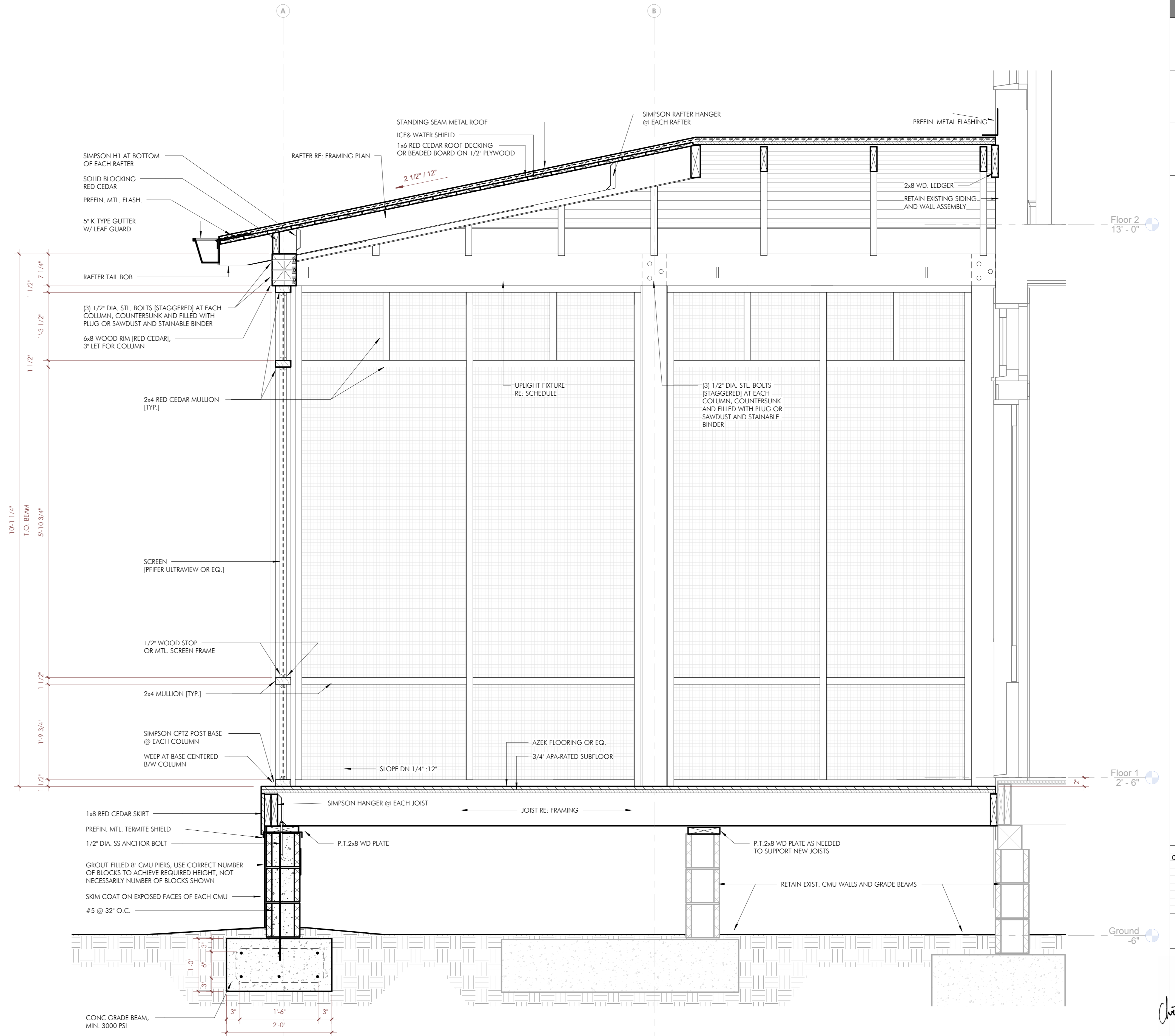
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CHECKED BY

DRAWING TITLE  
SECTION - REAR PORCH

SHEET NO. A5.1



1 Section - Rear Porch  
A2.1/A5.1  
1" = 1'-0"

