DREW RESIDENCE

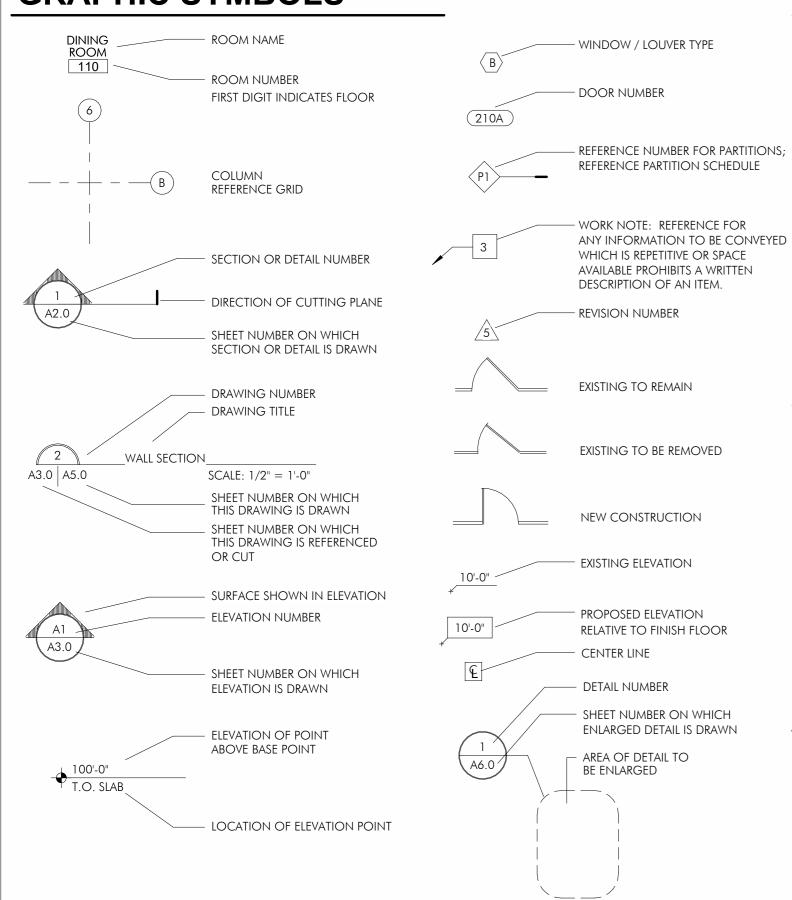
2310 CALHOUN STREET NEW ORLEANS, LOUISIANA







GRAPHIC SYMBOLS



HVAC SCOPE AND NOTES

NO HVAC WORK IN THIS SCOPE.

1. ALL HVAC WORK IS COMPLY WITH CURRENT MECHANICAL CODES AS ENFORCED BY THE CITY OF NEW ORLEANS. ALL WORK IS TO BE PERFORMED BY A MECHANICAL CONTRACTOR LICENSED IN THE APPLICABLE JURISDICTION(S), MECHANICAL CONSTRACTOR IS RESPONSIBLE FOR DESIGN, INSTALLATION AND CODE COMPLIANCE FOR ALL MECHANICAL WORK.

2. INSTALL ALL ITEMS NECESSARY FOR THE INDICATED HVAC FIXTURES. ALL GRILLES, TRIM AND OTHER VISIBLE MATERIALS ARE TO BE SELECTED BY OWNER FROM OPTIONS PROVIDED BY CONTRACTOR.

3. LOCATION OF THERMOSTAT TO BE SELECTED BY OWNER.

4. REFER TO NOTES, SCHEDULES, AND REFLECTED CEILING PLANS FOR MORE

PLUMBING SCOPE AND NOTES

FURNISH AND INSTALL NEW GAS LINE TO SERVE NEW BARBEQUE

1. ALL PLUMING WORK IS COMPLY WITH CURRENT PLUMBING CODES AS ENFORCED BY THE CITY OF NEW ORLEANS AND THE SEWERAGE AND WATER BOARD OF NEW ORLEANS. ALL WORK IS TO BE PERFORMED BY A PLUMBER LICENSED IN THE APPLICABLE JURISDICTION(S). PLUMBER IS RESPONSIBLE FOR DESIGN, INSTALLATION AND CODE COMPLIANCE FOR ALL

2. INSTALL ALL PLUMBING NECESSARY FOR THE INDICATED PLUMBING FIXTURES. ALL PLUMBING FIXTURES TO BE SELECTED BY OWNER.

ELECTRICAL SCOPE AND NOTES

ELECTRICAL SCOPE:

INSTALL NEW ELECTRICAL FIXTURES WHERE INDICATED.

1. ALL ELECTRICAL WORK IS TO COMPLY WITH CURRENT NEC AS ENFORCED BY THE CITY OF NEW ORLEANS. ALL WORK IS TO BE PERFORMED BY AN ELECTRICIAN LICENSED IN THE APPLICABLE JURISDICTION(S). ELECTRICIAN IS RESPONSIBLE FOR DESIGN, INSTALLATION AND CODE COMPLIANCE FOR ALL ELECTRICAL WORK.

2. INSTALL ALL ITEMS NECESSARY FOR THE INDICATED ELECTRICAL FIXTURES. ALL ELECTRICAL FIXTURES TO BE SELECTED BY OWNER.

3. REFER TO NOTES, SCHEDULES, AND REFLECTED CEILING PLANS FOR MORE INFORMATION.

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CITY, STATE, AND NATIONAL CODES

2. THE CONTRACTOR IS RESPONSIBLE FOR PAYING FOR ALL TAXES AND LICENSES AS A RESULT OF

3. THE GENERAL CONTRACTOR, UPON ACCEPTANCE OF DRAWINGS, ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE PROJECT DESCRIBED IN THESE DRAWINGS AND NOTES, AND WILL BE EXPECTED TO COMPLY WITH THE INTENT IN WHICH THEY WERE

4. VERIFY ALL SITE UTILITIES, DIMENSIONS AND PROPERTY LINE LOCATIONS PRIOR TO BEGINNING THE WORK. BRING ALL DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING

5. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT DEVIATIONS FROM THE DRAWINGS TO THE ARCHITECT IMMEDIATELY UPON

6. WORK ONLY FROM THE WRITTEN DIMENSION SHOWN. DO NOT SCALE DRAWINGS. THEY ARE TO CONVEY THE CONCEPT AND OR INTENT OF THE WORK.

7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF THEIR SUBCONTRACTORS TO ACHIEVE THE INTENT OF THE DRAWINGS. ANY CONFLICTS WITH EQUIPMENT PLACEMENT ARE TO BE RESOLVED PRIOR TO INSTALLATION.

8. THE CONTRACTOR SHALL PROVIDE BUILDING AND AREA SECURITY AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL ERECT ALL SUCH TEMPORARY DOORS AND CLOSURES AS

9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND REMOVAL OF ALL DUST AND DEBRIS ON A DAILY BASIS.

10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING FOR THEIR OWN TRASH REMOVAL.

11. THE CONTRACTOR SHALL PROTECT ALL ADJOINING PROPERTIES AND THE NEW CONSTRUCTION

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR, REPLACE OR REPAIR, AT THEIR OWN EXPENSE, ANY AND ALL CONSTRUCTION THAT IS DAMAGED BY THEIR WORK. THIS NEW REPAIR OR REPLACEMENT WORK SHALL BE DONE TO THE OWNER'S SATISFACTION, OR THE OWNER SHALL HAVE THE RIGHT TO REPAIR OR REPLACE DAMAGED CONSTRUCTION ON THEIR OWN AT THE CONTRACTOR'S EXPENSE.

13. THE CONTRACTOR SHALL GUARANTEE ALL THEIR WORK AND THE WORK OF THEIR SUB-CONTRACTORS FOR ONE (1) FULL CALENDAR YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED IN WRITING.

14. INSTALL ALL MANUFACTURING ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED SPECIFICATIONS.

15. CONTRACTOR SHALL ASK FOR DETAILS WHENEVER UNCERTAIN ABOUT METHODS OF INSTALLATION. LACK OF DETAILS NOT REQUESTED SHALL NOT EXCUSE IMPROPER INSTALLATION, AND CORRECTION SHALL BE MADE THE RESPONSIBILITY OF THE CONTRACTOR.

16. ALL SUBCONTRACTORS SHALL BECOME FAMILIAR WITH ALL SHEETS OF DRAWINGS AND NOT SIMPLY THEIR OWN WORK IN ORDER TO FULLY UNDERSTAND AND DEVELOP THE CONSTRUCTION.

17. CONTRACTOR WILL COORDINATE WITH OWNER PARKING ON OR OFF SITE. ONLY EQUIPMENT FOR CONSTRUCTION MAY BE PARKED ON SITE.

18. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER OF ANY DEFECTS AND/OR DAMAGED / DECAYING MATERIALS FOUND IN THE EXISTING STRUCTURE OR WORK PRIOR TO ENCLOSING NEW

19. THE EXISTING PLAN IS DOCUMENTED ON THE DRAWINGS IN ACCORDANCE WITH A LIMITED NUMBER OF AVAILABLE ORIGINAL CONSTRUCTION DRAWINGS AND FIELD INVESTIGATIONS. VARIANCE OF ACTUAL EXISTING CONDITIONS FROM THOSE ILLUSTRATED ON THESE DOCUMENTS MAY OCCUR. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT.

20. ALL EXISTING ITEMS TO REMAIN UNLESS OTHERWISE NOTED.

21. CONTRACTOR SHALL COOORDINATE ALL SHUT DOWNS OR INTERRUPTIONS IN ANY SERVICE WITH THE OWNER PRIOR TO PROCEEDING WITH WORK.

22. CONTRACTOR SHALL PROVIDE AND INSTALL APPROPRIATE BLOCKING FOR ALL ITEMS TO BE MOUNTED TO WALLS AND / OR CEILINGS, INCLUDING BUT NOT LIMITED TO FIXTURES, HANDRAILS

23. GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AS WELL AS CONSTRUCTION SCHEDULING.

CODE INFORMATION

CODE DATA

OCCUPANCY CLASSIFICATION: SINGLE-FAMILY RESIDENTIAL CONSTRUCTION TYPE:

ENFORCED CODES

ALL WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE CODE ADOPTED BY THE CITY OF NEW ORLEANS AT THE TIME THIS PERMIT IS FILED, OR THE LIST OF CODES BELOW, WHICHEVER IS MORE RESTRICTIVE:

INTERNATIONAL RESIDENTIAL CODE [2015

LIFE SAFETY CODE: **FUEL GAS:** MECHANICAL CODE PLUMBING CODE: **ELECTRICAL CODE:**

EXIST. BUILDING:

INTERNATIONAL FUEL GAS CODE [2015] INTERNATIONAL MECHANICAL CODE [2015] INTERNATIONAL PLUMBING CODE [2015] NATIONAL ELECTRICAL CODE [2014] INTERNATIONAL EXISTING BUILDING CODE [2015]

PROJECT DIRECTORY

MICHAEL AND AMY DREW 2310 CALHOUN STREET NEW ORLEANS, LOUISIANA 70118

BUILDING OWNER

ARCHITECT

CHRISTOPHER E. JOHNSON, ARCHITECT, LLC 2126 CALHOUN STREET NEW ORLEANS, LOUISIANA 70118

PHONE: (504) 231-1715

SITE DESCRIPTION

ORLEANS 112 SQUARE: BOOK: LOT: 11/79 LINE: SECTION: TOWNSHIP: N/A RANGE:

SQUARE BOUNDED BY: CALHOUN, MAGNOLIA, CLARA

SCOPE OF WORK

1. RENOVATION OF EXISTING FRONT PORCH AND REPLACEMENT OF EXISTING REAR PORCH. 2. NO CHANGE IN USE OR OCCUPANCY.

VICINITY MAP

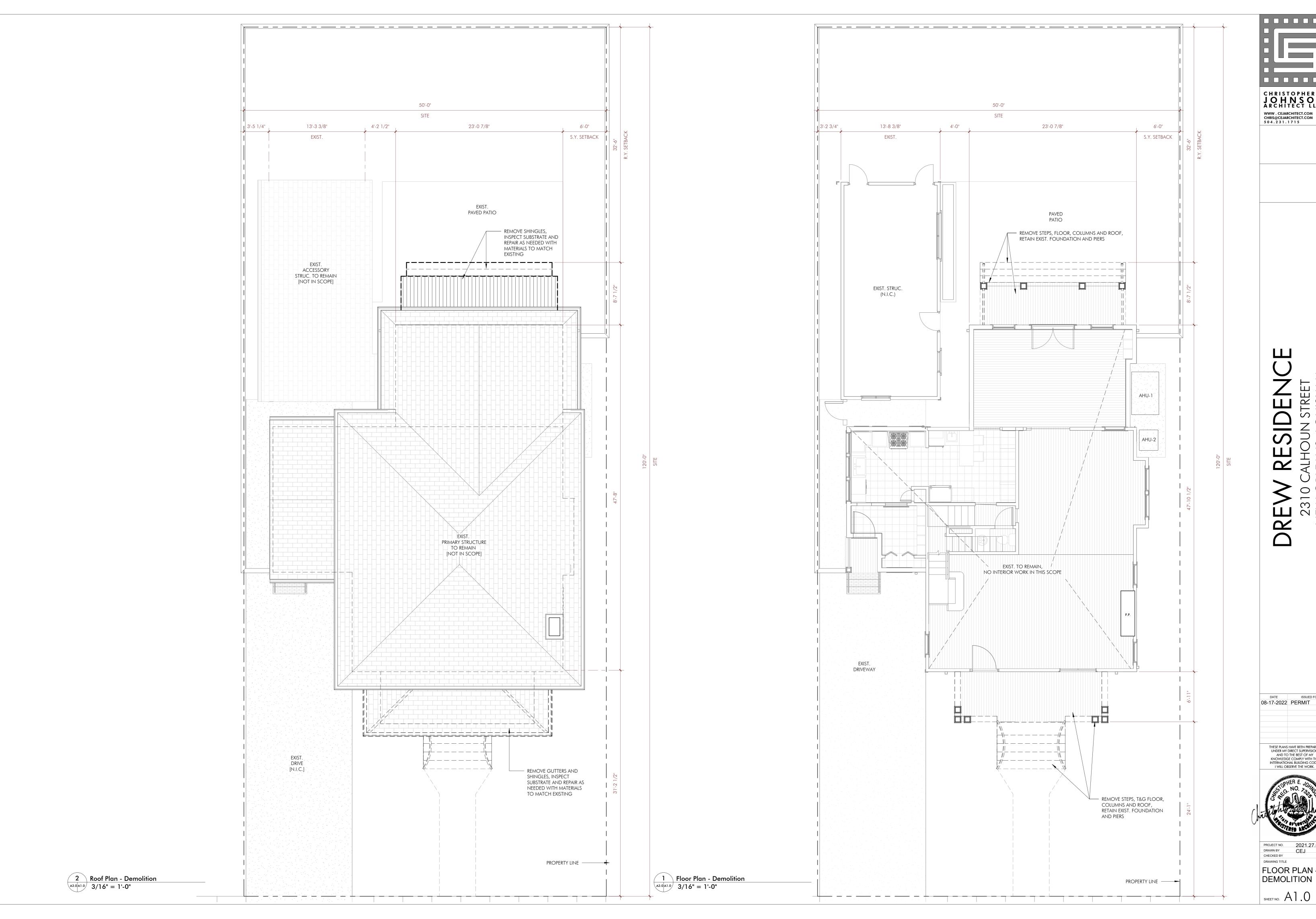


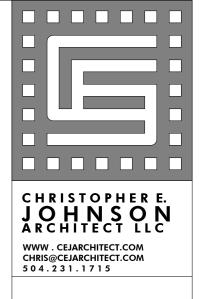
INTERNATIONAL BUILDING CODE

	SHEET LIST	WITH REVISIO	ONS		whom	A SUM
SHEET NUMBER	SHEET NAME	Sheet Issue Date	Current Revision	Current Revision Date	PROJECT NO.	2021.27
A0.0	TITLE SHEET	08-17-2022			DRAWN BY CHECKED BY	CEJ
A1.0	FLOOR PLAN - DEMOLITION	08-17-2022			DRAWING TITLE	
A2.0	FLOOR PLAN - NEW	08-17-2022				
A2.1	FLOOR PLAN DETAILS	08-17-2022			TITLE	SHEET
A3.0	ELEVATIONS	08-17-2022				
A5.0	SECTION - FRONT PORCH	08-17-2022				
A5.1	SECTION - REAR PORCH	08-17-2022] /	$\wedge \wedge \wedge$
AS2 0	FOUNDATION AND FRAMING	08-17-2022			SHEET NO.	7U.U

08-17-2022 PERMIT

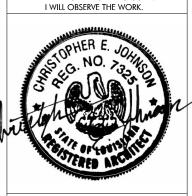
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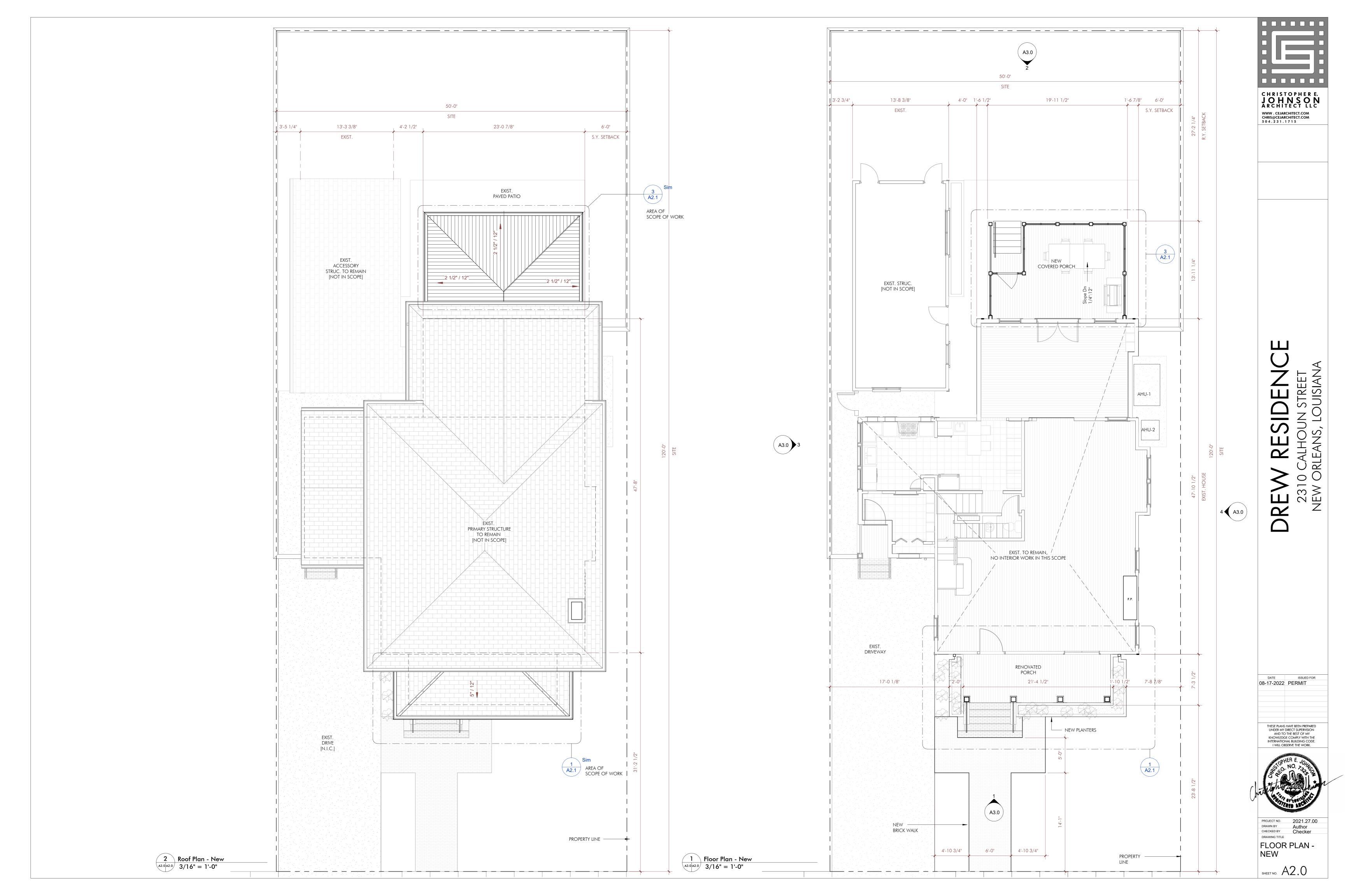


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PROJECT NO. 2021.27.00
DRAWN BY CEJ
CHECKED BY
DRAWING TITLE FLOOR PLAN -DEMOLITION



	Lighting Fixture Schedule		
Type Mark	Count	Comments	
F1	4	RECESSED CAN LIGHT, INCLUDING TRIM KIT	
F2	4	UPLIGHT, ON DIMMER SWITCH	
F3	1	CEILING FAN, NO LIGHT KIT, PROVID BLOCKING FOR 100 LBS MIN.	
F4	2	GAS LANTERN, PROVIDE GAS SERVICE PER MFTR.	

ELECTRICAL LEGEND

DUPLEX OUTLET DUPLEX OUTLET MOUNTED

42" A.F.F. OR AS INDICATED GFI DUPLEX OUTLET

WATERPROOF DUPLEX OUTLET 220V OUTLET

RECESSED FLOOR DUPLEX OUTLET

LIGHT SWITCH

DIMMER SWITCH

3-WAY SWITCH LIGHT, VENT, HEATER

CEILING MOUNTED Os.d. HARD WIRED COMBINATION SMOKE DETECTOR/CARBON

MONOXIDE DETECTOR

RECESSED

WALL MOUNTED

LIGHT FIXTURE

CEILING MOUNTED

EXTERIOR 150 WATT

LIGHT FIXTURE

FLOODLIGHT

LIGHT KIT

ON PHOTOCELL

CEILING FAN WITH

TELEPHONE / DATA

CABLE TV OUTLET

GARBAGE DISPOSAL

O RECESSED

DIRECTIONAL LIGHT

DOWNLIGHT / UPLIGHT

ALL STATE AND LOCAL CODES, AMENDMENTS AND ORDINANCES HAVING JURISDICTION. 3. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE TO VERIFY FIELD CONDITIONS, SERVICE REQUIREMENTS AND DIMENSIONS BEFORE BEGINNING WORK. SIZES OF

2. ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL NATIONAL CODES AND

1. THE GENERAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL WORK AS SHOWN OR IMPLIED IN

THESE DRAWINGS INCLUDING TEMPORARY POWER, METER BASES, CIRCUIT BREAKERS, CONDUIT

RUNS, ALL NEW WIRING, RECEPTACLES AND SWITCHING DEVICES, CORE DRILLING AND

PATCHING ETC. AS WELL AS HOOK UP OF OUTSIDE CONDENSING UNITS/HEAT PUMPS AND

ELECTRICAL WATER HEATER AS SPECIFIED OR IMPLIED OR AS REQUIRED BY CODE OR BUILDING

ELECTRICAL NOTES

WALL/CEILING SURFACE.

4. THE ELECTRICAL CONTRACTOR SHALL CHECK WITH OTHER TRADES FOR THE LOCATION OF EQUIPMENT WHICH REQUIRES ANY HOOK UP, DISCONNECT SWITCHES, ETC. PRIOR TO BEGINNING WORK.

ELECTRICAL CONDUITS TO BE ADEQUATE FOR CABLE SERVICE SPECIFIED.

5. ELECTRICAL SUBCONTRACTOR SHALL PROVIDE APPROPRIATE METAL SERVICE BOXES AND JUNCTION BOXES FOR SWITCHING AND POWER OUTLETS, ALONG WITH APPROPRIATE COVER PLATES AND DEVICES AS SPECIFIED.

6. ALL OUTLETS SHOWN SIDE BY SIDE SHALL BE SPACED 6" O.C. UNLESS OTHERWISE NOTED. ALL LIGHT SWITCHES SHOWN SIDE BY SIDE SHALL BE GANGED TOGETHER AND HAVE ONE COVER

CABINETS, DOOR AND WINDOW CASINGS ETC. WALL PLATES SHALL NOT BE CUT OR OTHERWISE TRIMMED TO CLEAR OBSTACLES.

MOUNTED TO BLOCKING OR FRAMING MEMBERS AND PROPERLY SET WITH RESPECT TO FINISH

7. RECEPTACLES AND SWITCHES ARE TO BE LOCATED SO AS NOT TO INTERFERE WITH MIRRORS, 8. ALL OUTLET BOXES FOR SWITCHES, RECEPTACLES AND LIGHTING FIXTURES SHALL BE RIGIDLY

9. DISCONNECTS AND BREAKERS FOR OUTSIDE A/C UNITS/HEAT PUMPS TO MATCH SIZE

SPECIFIED BY MANUFACTURER AND LOCATED IN PROXIMITY TO UNITS AS REQUIRED BY CODE. 10. BREAKER PANEL TO BE LABELED PROPERLY, LEGIBLY AND COMPLETELY, WITH EVERY CIRCUIT

11. PROVIDE ARC FAULT BREAKERS FOR ALL BEDROOMS.

12. ALL OUTLETS TO BE TAMPER PROOF.

13. ALL ELECTRICAL DEVICES, WHEN INSTALLED, SHALL BE PROTECTED FROM DAMAGE BY OTHER TRADES. COVER PLATES SHALL BE INSTALLED AFTER FINISH MATERIALS HAVE BEEN APPLIED.

14. CEILING FAN PRE WIRES SHALL BE ACCOMPLISHED BY A DOUBLE SWITCH AND THREE CONDUCTOR WIRE TO ACCOMMODATE A CEILING FAN IN LOCATIONS SPECIFIED.

15. ELECTRICAL SUBCONTRACTOR TO COORDINATE FINAL LOCATION OF ALL APPLIANCES AND EQUIPMENT TO BE SELECTED BY OWNER. POWER REQUIREMENTS FOR OWNER SELECTED APPLIANCES AND EQUIPMENT ARE NOT NECESSARILY INDICATED ON THESE DRAWINGS.

16. PROVIDE MIN. (1) SWITCHED, SINGLE BULB LIGHT FIXTURE IN ATTIC SPACE(S) WHERE NEW HVAC EQUIPMENT WILL BE LOCATED.

17. GC WILL PROVIDE AND INSTALL ALL REQUIRED BLOCKING FOR LIGHT FIXTURES AND

18. IF REQUESTED BY OWNER, COORDINATE DESIGN AND INSTALLATION OF SECURITY ALARM SYSTEM WITH LICENSED CONTRACTOR DURING THIS SCOPE OF WORK.

19. ALL HARDWIRED ETHERNET DATA OUTLETS TO BE CAT6 OR HIGHER GRADE CABLE AND COMPATIBLE HARDWARE. COORDINATE INSTALLATION REQUIREMENTS WITH INTERNET PROVIDER SELECTED BY OWNER.

GENERAL NOTES -DEMO and REPAIR

SCOPE OF WORK.

1. RAFTERS, DOORS, WINDOWS, PLUMBING FIXTURES AND ELECTRICAL FIXTURES INDICATED TO BE REMOVED WILL BE SALVAGED AND DELIVERED TO OWNER INTACT.

2. EXISTING EXTERIOR SIDING IS TO BE RETAINED. DAMAGED AREAS WITHIN SCOPE OF WORK ARE TO BE REPLACED BY MATERIAL TO MATCH EXISTING MATERIALS AND DIMENSIONS. ALL EXISTING SIDING TO BE SCRAPED FREE OF PAINT, CLEANED, AND PREPARED FOR NEW PAINT.

3. WITHIN AREA OF SCOPE OF WORK, RETAIN AND REPAIR ALL EXISTING WOOD DOOR MOULDINGS WHERE EXISTING OPENINGS ARE TO BE RETAINED. FOR EXISTING OPENINGS TO BE WIDENED, SALVAGE EXISTING WOOD DOOR MOULDINGS AND DELIVER TO OWNER.

4. RETAIN ALL EXISTING CASEWORK UNLESS INDICATED TO BE DEMOLISHED 5. DEMOLISH ALL EXISTING GUTTERS AND DOWNSPOUTS WITHIN AREA OF

6. FOR NEW ADDITIONS ABOVE EXISTING ROOF, REMOVE ROOF SHEATHING OVER AREA OF NEW ADDITION. BRACE AND PROVIDE ALL NECESSARY WEATHER PROTECTION TO OCCUPIED ROOMS BELOW. ALL OTHER AREAS OF EXISTING ROOFING MATERIAL IS TO BE RETAINED. ALL SALVAGED STRUCTURAL MEMBERS ARE TO BE DELIVERED TO OWNER.

7. PROVIDE REQUIRED PROTECTION AND BRACING FOR ALL WORK INDICATED TO REMAIN.

8. CONTRACTOR IS TO NOTIFY ARCHITECT IF HAZARDOUS MATERIALS ARE PRESENT IN THE PROJECT AREA. HANDLING AND DISPOSAL OF THIS MATERIAL IS TO BE DONE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.

GENERAL NOTES -

1. CONTRACTOR IS TO COORDINATE WORK SCHEDULE WITH OWNERS, AND TO GIVE MINIMUM 3 DAYS NOTICE OF ALL PLANNED UTILITY SHUT-DOWNS. 2. ALL WINDOWS INDICATED TO REMAIN WITHIN THE AREA OF WORK WILL

BE PROTECTED AND REPAINTED. REFLASH HEADS AS NEEDED. 3. ALL EXTERIOR SIDING THAT WILL BE ENCLOSED BY NEW ADDITION IS TO BE RETAINED. IF HAZARDOUS MATERIALS ARE PRESENT, WORK IS TO BE CONDUCTED ACCORDING TO ALL REGULATIONS FOR REMOVAL AND DISPOSAL OF THESE MATERIALS.

4. ALL NEW INTERIOR AND EXTERIOR WALLS WITHIN SCOPE AREA ARE TO BE PAINTED UNLESS OTHERWISE NOTED. COLORS TO BE SELECTED BY OWNER. ALL NEW STAIN GRADE WOOD INCLUDING RED CEDAR ARE TO BE STAINED.

5. FOR ALL OUTLETS AND SWITHCES INDICATED TO REMAIN, ALL OUTLET COVERS AND SWITCH PLATES WILL BE REPLACED. OWNER WILL SELECT REPLACEMENT.

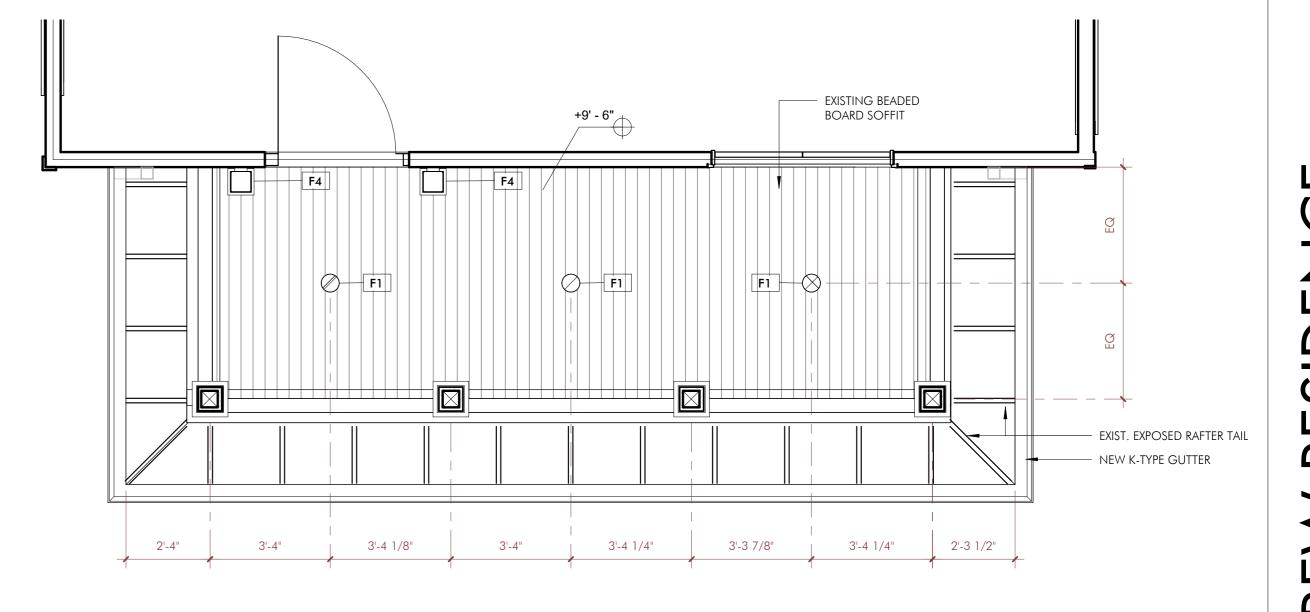
6.. ADD WOOD THRESHHOLD AT EACH FLOOR MATERIAL TRANSITION, NOT TO EXCEED 1/2" IN THICKNESS ABOVE THE FINISHED FLOOR LEVEL AND AT EACH TRANSITION BETWEEN EXISTING FLOOR AND NEW FLOOR CONSTRUCTION.

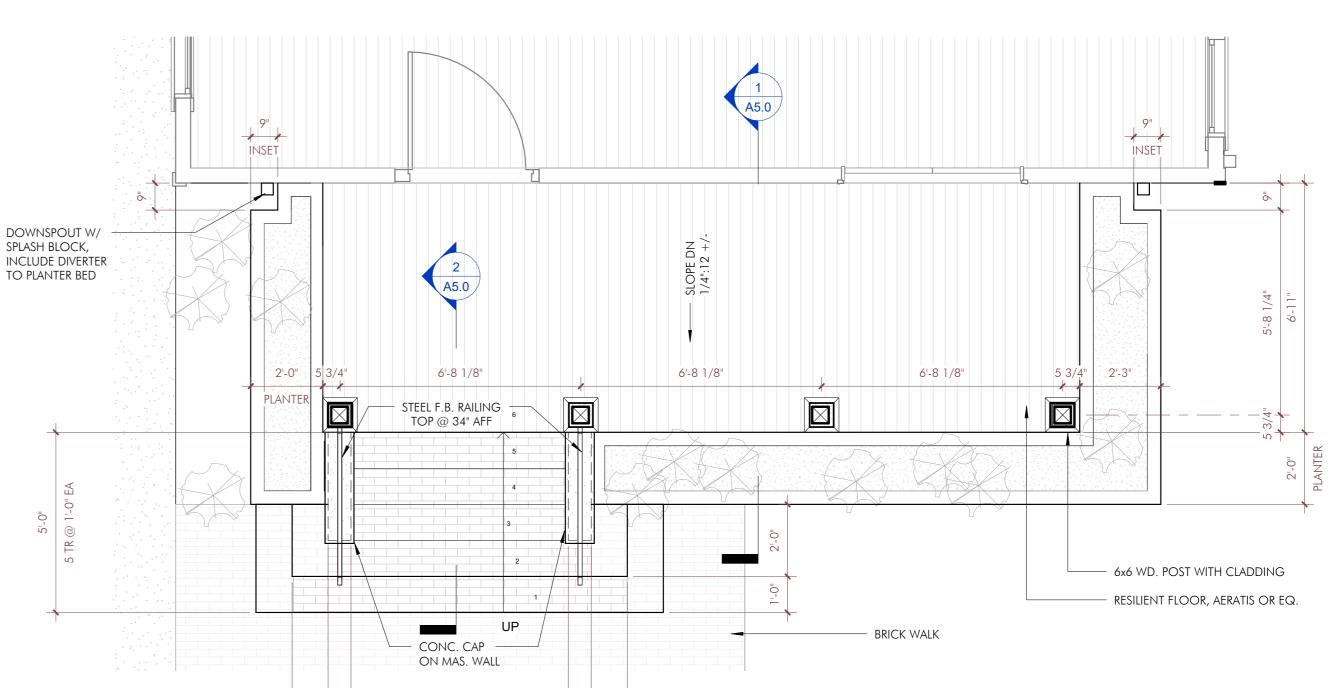
7. DOORS, WINDOWS AND SKYLIGHTS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, INCLUDING ALL FLASHING.

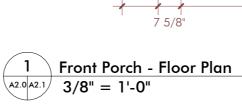
8. ALL EXISTING ROOFING MATERIALS TO REMAIN. EVALUATE CONDITION OF EXISTING SUBSTRATE AND REPAIR OR REPLACE AS NEEDED.

9. ALL FINISH MATERIALS WILL BE CONTRACTOR-FURNISHED AND CONTRACTOR-INSTALLED.

10. BUILDING MATERIALS USED BELOW DESIGN FLOOD ELEVATION SHALL COMPLY WITH SECTION 322.1.8 OF IRC 2015 ED. WOOD IN THESE AREAS WILL BE PRESURE-PRESERVATIVE-TREATED.





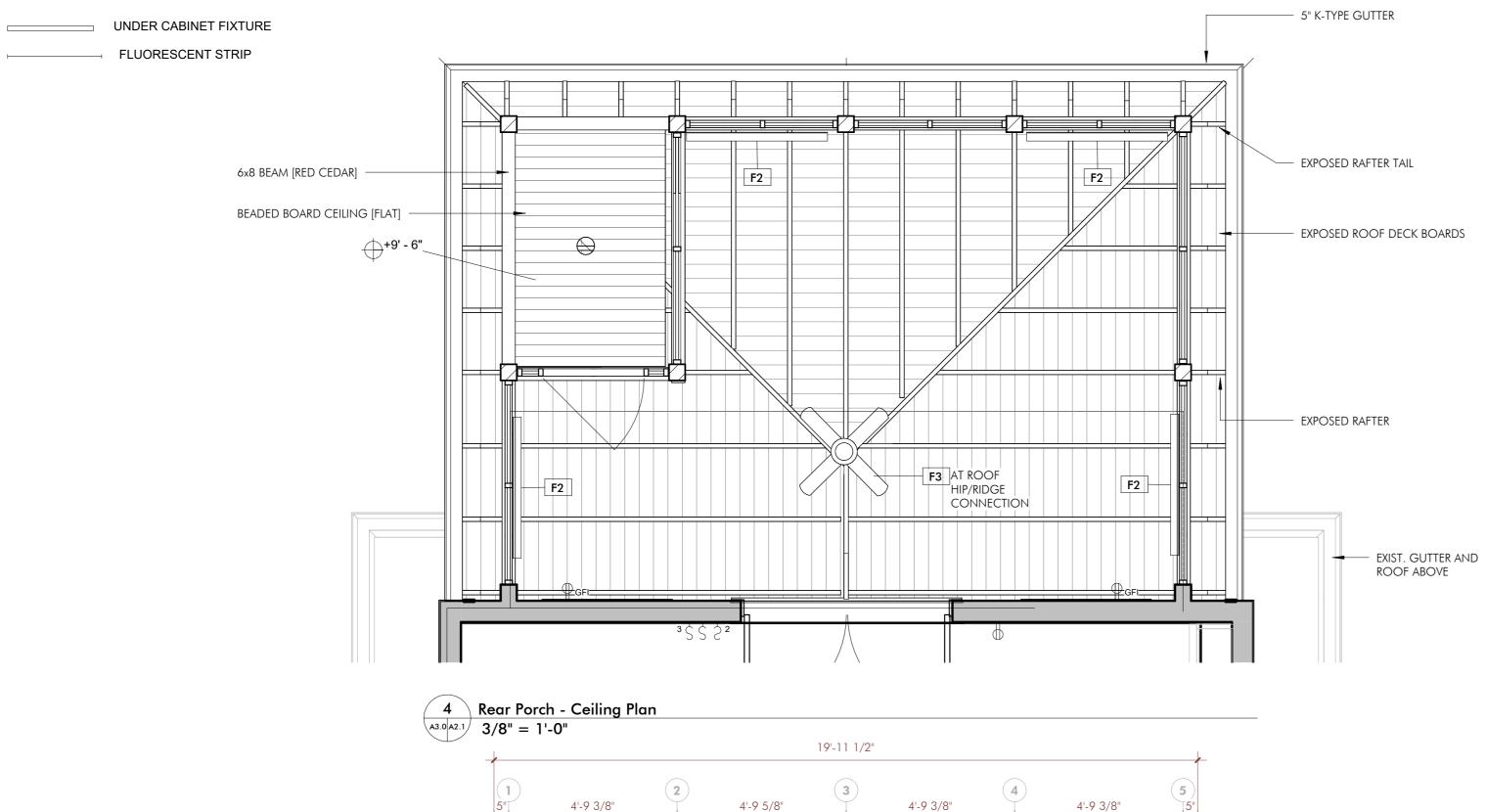


6'-0 3/8"

7 5/8"

2 Front Porch - Ceiling Plan

A3.0 A2.1 3/8" = 1'-0"



A5.1 STELL F.B. RAILING, TOP @ 34" AFF SCREEN INFILL NEW STEPS, 11" TR, 6" RISERS [P.T. WOOD STRINGERS, AERATIS TREADS] 3/0x7/0 SCREEN DOOR ADD GAS LINE FOR NEW GRILL, INSECT SCREEN PANELS BETWEEN COLUMNS [TYP.] [PFIFER ULTRAVUE OR EQ.] COORD. W/ MFTR. REQ'S. 3 Rear Porch - Floor Plan

A2.0 A2.1 3/8" = 1'-0"

CHRISTOPHER E.

2310 C NEW OR

08-17-2022 PERMIT

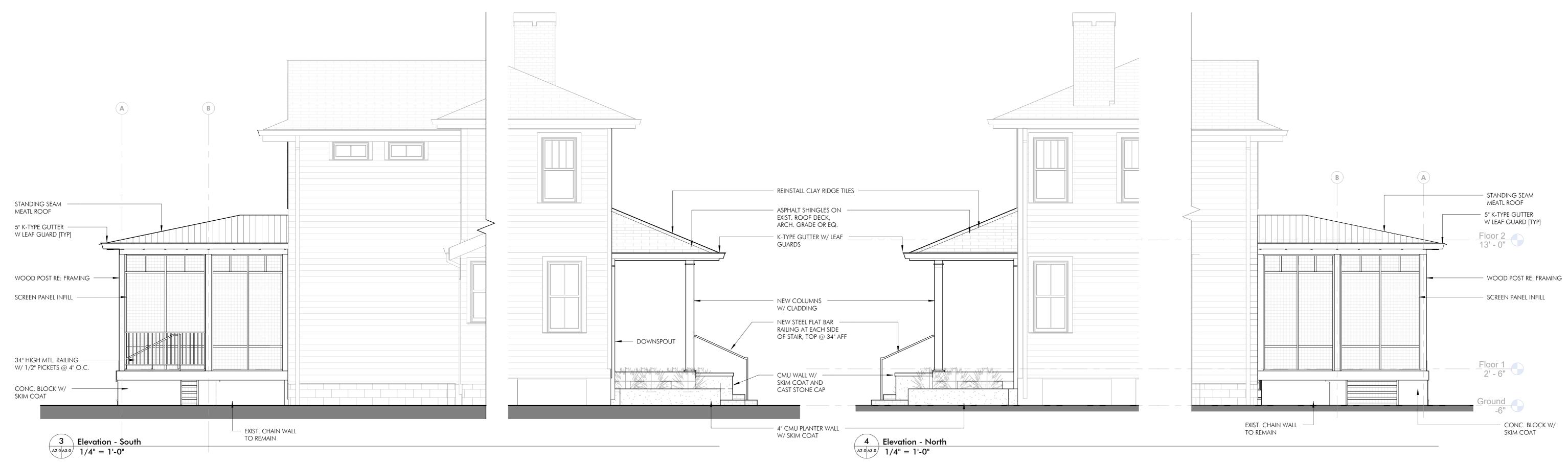
THESE PLANS HAVE BEEN PREPARED AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE INTERNATIONAL BUILDING CODE.



PROJECT NO. Author Checker CHECKED BY DRAWING TITLE FLOOR PLAN DETAILS

SHEET NO. **A2.1**



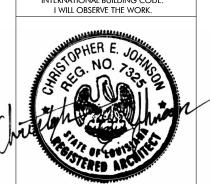




DREW RESIDENCE
2310 CALHOUN STREET
NEW ORLEANS, LOUISIANA

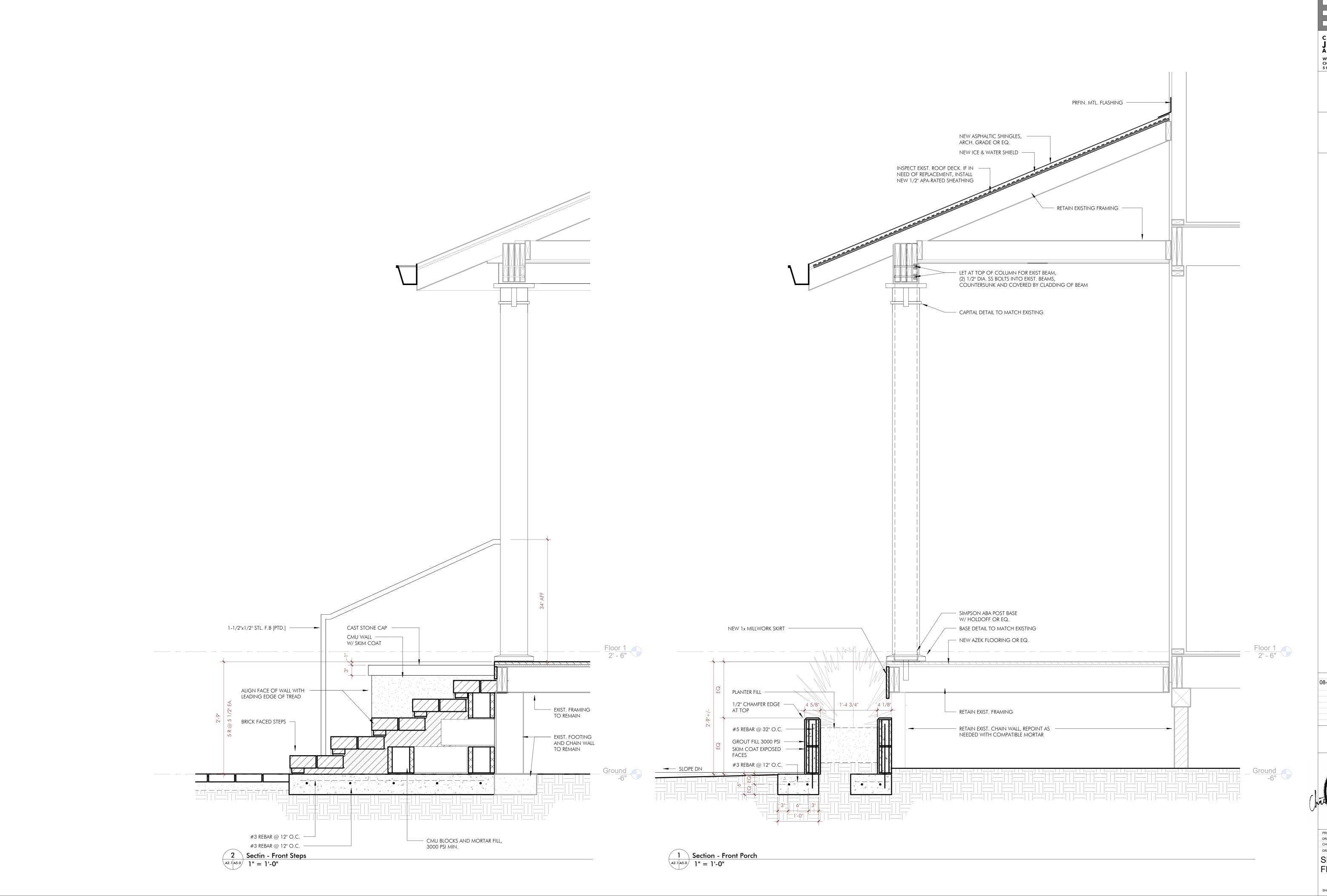
DATE ISSUED FOR 08-17-2022 PERMIT

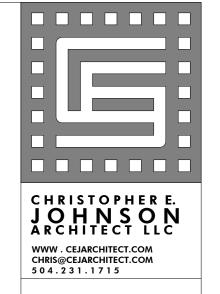
THESE PLANS HAVE BEEN PREPARED
UNDER MY DIRECT SUPERVISION
AND TO THE BEST OF MY
KNOWLEDGE COMPLY WITH THE
INTERNATIONAL BUILDING CODE.
I WILL OBSERVE THE WORK.



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DRAWING TITLE
ELEVATIONS

SHEET NO. A3.0







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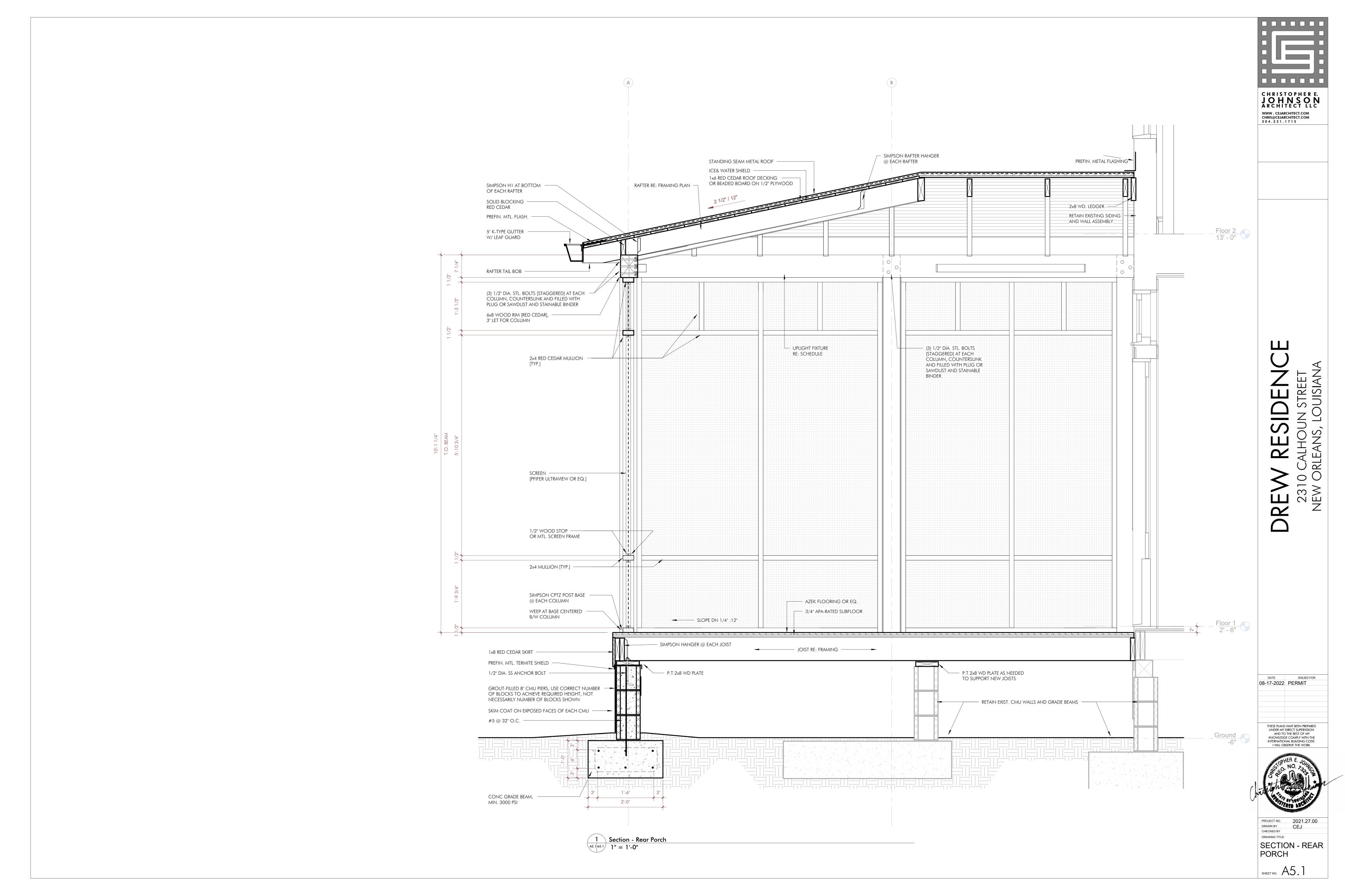
THESE PLANS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE INTERNATIONAL BUILDING CODE. I WILL OBSERVE THE WORK.

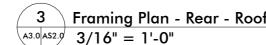


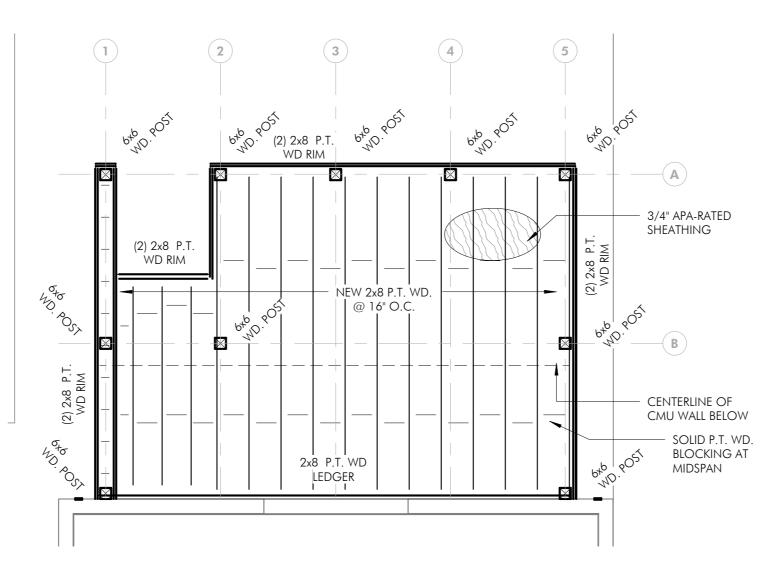
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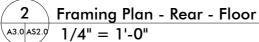
SECTION FRONT PORCH

SHEET NO. A5.0









LINE OF HOUSE

9"x9" INSET -

1'-1 1/2"+/-

4x8x16 CMU CHAIN WALL

AT PLANTER W/ #5 BAR

FILL BAR CELLS SOLID W/

RETAIN EXIST. PIERS AND CHAIN WALLS,

REPOINT AS NEEDED WITH COMPATIBLE MORTAR

26'-6"

- CONCRETE GRADE BEAM BELOW,

11'-6 1/2"

6"D (TYP.)

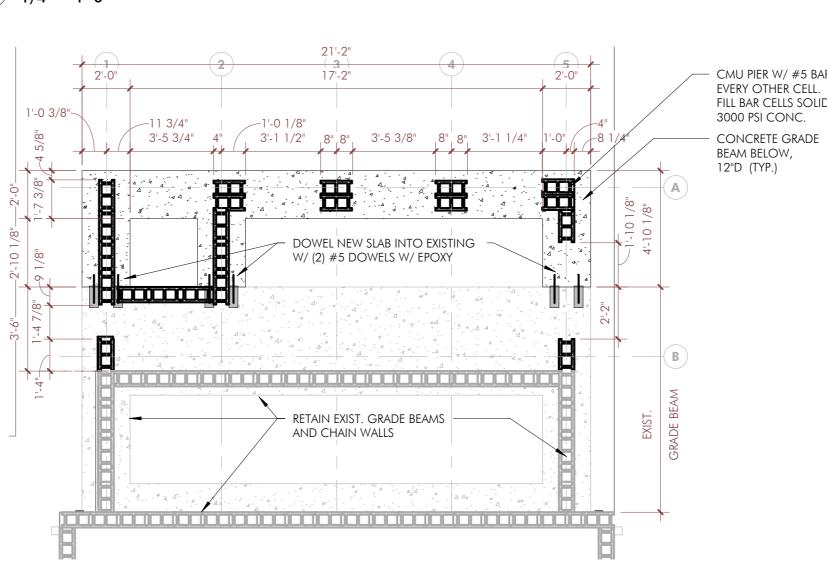
EVERY OTHER CELL.

3000 PSI CONC.

9'-4"

1'-5 1/2"+/-

🖊 4 🗎 Foundation Plan - Front



1 Foundation Plan - Rec A3.0 AS2.0 1/4" = 1'-0"

STRUCTURAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION. ALL DIMENSIONS AND CONDITIONS TYING INTO OR GOVERNED BY EXISTING CONSTRUCTION ARE APPROXIMATE AND ARE NOT CLAIMED TO BE CORRECT. ALL SUCH DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF CONDITIONS AND DIMENSIONS VARY FROM THOSE SHOWN, THE CONTRACTORY SHALL NOTIFY THE ARCHITECT BEFORE CONSTRUCTION.

2. ALL CONCRETE TO DEVELOP 4,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS UNLESS OTHERWISE NOTED.

3. ALL CONCRETE TO CONFORM WITH THE LATEST A.C.I. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (A.C.I. 318)

4. FOR FOOTINGS AND GRADE BEAMS, USE CONCRETE WEDGES FOR REINFORCING STEEL

SUPPORTS (BRICK OR MASONRY BLOCK IS NOT ACCEPTABLE).

5. ALL REINFORCING STEEL TO CONFORM WITH REQUIREMENTS OF A.S.T.M. A-615 GRADE 60.

6. PROVIDE REINFORCING BARS AROUND ALL OPENINGS 8" OR GREATER IN SLABS AS DIRECTED OR AS SHOWN ON THE DRAWINGS. 8 #4 12" BEYOND OPENING MIN.

7. PROVIDE BAR SUPPORTS AND SPACERS IN ACCORDANCE WITH REQUIREMENTS OF A.C.I. 318

UNLESS NOTED OTHERWISE.

8 NO PIPING SHALL PASS THROUGH BEAMS WITHOUT THE PERMISSION OF THE ARCHITECT. IS

8. NO PIPING SHALL PASS THROUGH BEAMS WITHOUT THE PERMISSION OF THE ARCHITECT. PIPES THAT PASS THROUGH BEAMS SHALL PASS WITHIN THE MIDDLE THIRD OF THE BEAM LENGTH AND

9. ALL STRUCTURAL BOLTS TO BE 103235 UNLESS OTHERWISE NOTED.

10. ALL ANCHOR BOLTS TO BE A-307 UNLESS OTHERWISE NOTED.

SURFACES WHEN WET.

11. CONTRUCTION DEWATERING.
THE CONTRACGTOR SHALL DETERMINE THE EXTENT OF CONSTRUCTION DEWATERING REQUIRED FOR THE EXCAVATION. PROVIDE ADEQUATE DRAINAGE TO DRAIN SURFACE WATER AWAY FROM THE CONSTRUCTION AREA. MOTORIZED EQUIPMENT SHALL NOT BE ALLOWED ON EXPOSED CLAY

12. ALL STRUCTURAL ELEMENTS OF THE PROJECT HAVE BEEN DESIGNED TO RESIST THE REQUIRED CODE VERTICAL AND LATERAL FORCES THAT COULD OCCUR IN THE FINAL COMPLETED STRUCTURE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL REQUIRED BRACING DURING CONSTRUCTION TO MAINTAIN THE STABILITY AND SAFETY OF ALL STRUCTURAL ELEMENTS DURING THE CONSTUCTION PROGRESS UNTIL THE STRUCTURE IS TIED TOGETHER AND COMPLETED.

13. ALL EMBEDDED STEEL ITEMS SHALL BE FABRICATED IN ACCORDANCE WITH THE LATEST A.I.S.C. STANDARD SPECIFICATIONS AND SHALL BE A.S.T.M. A-36.

14. CONDUIT IN THE FORMED SLAB SHALL BE PLACED WITHIN THE MIDDLE THIRD OF THE SLAB DEPTH (PROVIDE APPROVED SUPPORT AS NECESSARY), IN NOT MORE THAN TWO LAYERS, WITH 3" CLEAR MIN. BETWEEN INDIVIDUAL CONTUITS.

15. ALL LUMBER SHALL BE #2 KD SOUTHERN PINE MIN. EXTREME FIBER STRESS 1200 PSI UNLESS OTHERWISE NOTED.

16. ALL WOOD CONNECTIONS SHALL BE EQUAL TO SIMPSON STRONG TIE TIMBER CONNECTOR UNLESS NOTED OTHERWISE.

17. ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH TABLE R602.3(1) (FASTENING SCHEDULE [IRC2012]), UNLESS OTHERWISE NOTED. SEE SCHEDULE THIS SHEET.

18. ALL LUMBER INSTALLED BELOW BASE FLOOD ELEVATION AND / OR IN CONTACT WITH CONCRETE OR WHERE OTHERWISE REQUIRED SHALL BE PRESSURE-TREATED.

19. ALL BOLTS INTO EXISTING CONCRETE USE HILTI HY 150 INJECTION ADHESIVE ANCHOR OR APPROVED EQUAL.

CODES & DESIGN SPECIFICATIONS

1. BUILDING CODE: IRC 2015

2. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES: ASCE7-10

20 PSF

20 PSF

40 PSF

40 PSF

DESIGN LOADS

1. DESIGN LIVE LOADING AS FOLLOWS:

ROOF

CEILIHNG

STAIRS & EXIT WAYS

FLOOR

2. DESIGN WIND LOADING IS AS FOLLOWS:

DESIGN WIND SPEED 144 MPH

EXPOSURE CATEGORY B

IMPORTANCE CATEGORY II

FRAMING NOTES

1. FASTEN ALL MEMBERS PER SCHEDULE

TO (2) 16d TOE NAILS.

2. AT WOOD POSTS, PROVIDE SIMPSON POST BASE AND CAP TO FIT.

3. PROVIDE DOUBLE STUDS AT ALL WALL OPENINGS UNLESS NOTED OTHERWISE

4. PROVIDE BLOCKING BETWEEN RAFTERS AND JOISTS @ 8'-0" O.C. MAX AND UNDER BEARING WALLS.

5. WHERE JOISTS OR RAFTERS FRAME INTO BEAMS, PROVIDE SIMPSON JOIST HANGERS.6. PROVIDE SIMPSON H2.5A ANCHORS AT RAFTER TO SUPPORTS BELOW IN ADDITION

7. PROVIDE DOUBLE JOISTS UNDER WALLS, TYPICAL UNLESS NOTED OTHERWISE.

8. AT BLOCKINGS OR DOUBLE JOISTS UNDER PERIMETER WALLS, PROVIDE A34 FRAMING ANCHOR FOR EACH BLOCKING @ 16" O.C.

HEAD	ER SCHEDULE
Clear Opening	Min. Required Header
UP TO 4'-0"	(3) 2x8s W/ 1/2" PLYWD.
4'-0" - 6'-0"	(3) 2x10s W/ 1/2" PLYWD.
6'-0" - 8'-0"	(3) 2x12s W/ 1/2" PLYWD.

SIZES SHOWN ARE TYPICAL UNLESS OTHERWISE INDICATED

Description of Building Elements	Description of Fastener	Edges (inches)	Intermediate Supports (inches)
wood structural panels, subfloor, roof and wall shea	THING TO FRAMING		
exterior walls: 1/2: APA RATED Sheathing Subfloor: 3/4" APA-RATED STURD-I-FLOOR SHEATHING ROOF: 5/8" APA-RATED SHEATHING	8d COMMON NAIL 8d COMMON NAIL 8d COMMON NAIL	6 6 6	12 (NOTE #5) 12 12 (NOTE #5)
FRAMING MEMBER:			
STUD WALLS: 2X6s @ 16" O.C. W/ SOLID BLOCKING MID-HT. ALL BEARING WALLS	SEE SCHEDULE		

1. ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING & SHEATHING CONNECTIONS SHALL HAVE A MINIMUM AVERAGE BENDING YIELD STRENGTH AS SHOWN: 80 KSI FOR SHANK DIAMETER OF 0.192", 90 KSI FOR SHANK DIAMETERS LARGER THAN 0.142" BUT NOT LARGER THAN 0.177", AND 100 KSI FOR SHANK DIAMETERS OF 0.142" OR LESS.

2. NAILS SHALL BE SPACED AT NOT MORE THAN 6" ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48" OR GREATER.

3. 4' X 8' PANELS SHALL BE APPLIED VERTICALLY.

4. 8d DEFORMED NAILS SHALL BE USED FOR ATTACHING PLYWOOD AND WOOD STRUCTURAL PANEL ROOF SHEATHING TO FRAMING WITHIN MINIMUM 48" DISTANCE FROM GABLE END WALLS, IF MEAN ROOF HEIGHT IS MORE THAN 25' UP TO 25' MAXIMUM.

5. NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6" O.C. FOR MINIMUM 48" DISTANCE FROM RIDGES, EAVES, AND GABLE END WALLS; AND 4" O.C. TO GABLE END WALL FRAMING.

6.SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL ROOF PLANE PERIMETERS. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS SHALL NOT BE REQUIRED EXCEPT AT INTERSECTIONS OF ADJACENT ROOF PLANES. FLOOR AND ROOF PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.

Description of Building Elements	Number - Type of Fasteners	Spacing of Fasteners	
JOIST TO SILL OR GIRDER, TOE NAIL	3-8d		
1"X6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d		
2" SUBFLOOR TO JOIST OR GIRDER, BLIND & FACE NAIL	2-16d		
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d	16" O.C.	
TOP OR SOLE PLATE TO STUD, END NAIL	2-16d		
STUD TO SOLE PLATE, TOE NAIL	3-8d or 2-16d		
DOUBLE STUDS, FACE NAIL	10d	24" O.C.	
DOUBLE TOP PLATES, FACE NAIL	10d	24" O.C.	
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	3-16d	16" O.C.	
DOUBLE TOP PLATES, MIN. 24" OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	8-16d		
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	3-8d		
RIM JOIST TO TOP PLATE, TOE NAIL	8d	6" O.C.	
TOP PLATES, LAP AT CORNERS AND INTERSECTIONS, FACE NAIL	2-10d		
BUILD-UP HEADER, TWO PIECE WITH 1/2" SPACER	16d	16" O.C. ALONG EACH EDGE	
CONTINUED HEADER, TWO PIECE	16d	16" O.C. ALONG EACH EDGE	
CEILING JOISTS TO PLATE, TOE NAIL	3-8d		
CONTINUOUS HEADER TO STUDS, TOE NAIL	4-8d		
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	3-10d		
CEILING JIOST TO PARALLEL RAFTERS, FACE NAIL	3-10d		
RAFTER TO PLATE, TOE NAIL	2-16d		
1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d		
1"x6" SHEATHING TO EACH BEARING, FACE NAIL	2-8d		
1"x8" SHEATHING TO EACH BEARING, FACE NAIL	2-8d		
WIDER THAN 1"x8" SHEATHING TO EACH BEARING, FACE NAIL	3-8d		
BUILT-UP CORNER STUDS	10d	24" O.C.	
BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS	10d	NAIL EACH LAYER AS FOLLOWS: 32" O.C. @ TOP & BOTTOM & STAGGERED TWO NAILS @ ENDS & @ EACH SPLICE	
2" PLANKS	2-16d	AT EACH BEARING	
ROOF RAFTERS TO RIDGE, VALLEY OR HOP RAFTERS:			
TOE NAIL	4-16d		
FACE NAIL	3-16d		
RAFTER TIES TO RAFTERS, FACE	3-8d		

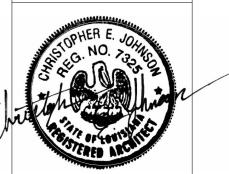


2310 CALHOUN STREET
NEW ORLEANS, LOUISIANA

DATE ISSUED F 08-17-2022 PERMIT

THESE PLANS HAVE BEEN PREPAUNDER MY DIRECT SUPERVISION

THESE PLANS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE INTERNATIONAL BUILDING CODE. I WILL OBSERVE THE WORK.



PROJECT NO. 2021.27.00
DRAWN BY Author
CHECKED BY Checker
DRAWING TITLE
FOUNDATION
AND FRAMING

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