

DOOKY CHASE RENOVATION

2301 ORLEANS AVENUE  
NEW ORLEANS, LA 70119

AGENCY REVIEW:

DOOKY CHASE RENOVATION

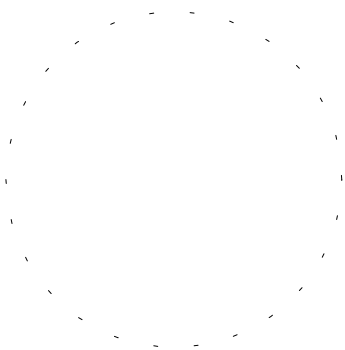
2301 ORLEANS AVENUE  
NEW ORLEANS, LA 70119  
PROJECT #: 253

08-01-2022

PERMIT DOCUMENTS

MADE DESIGN, LLC.

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ISSUE: CD  
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ISSUE DATE: 09/16/22  
SHEET TITLE

COVER SHEET

SHEET NO.

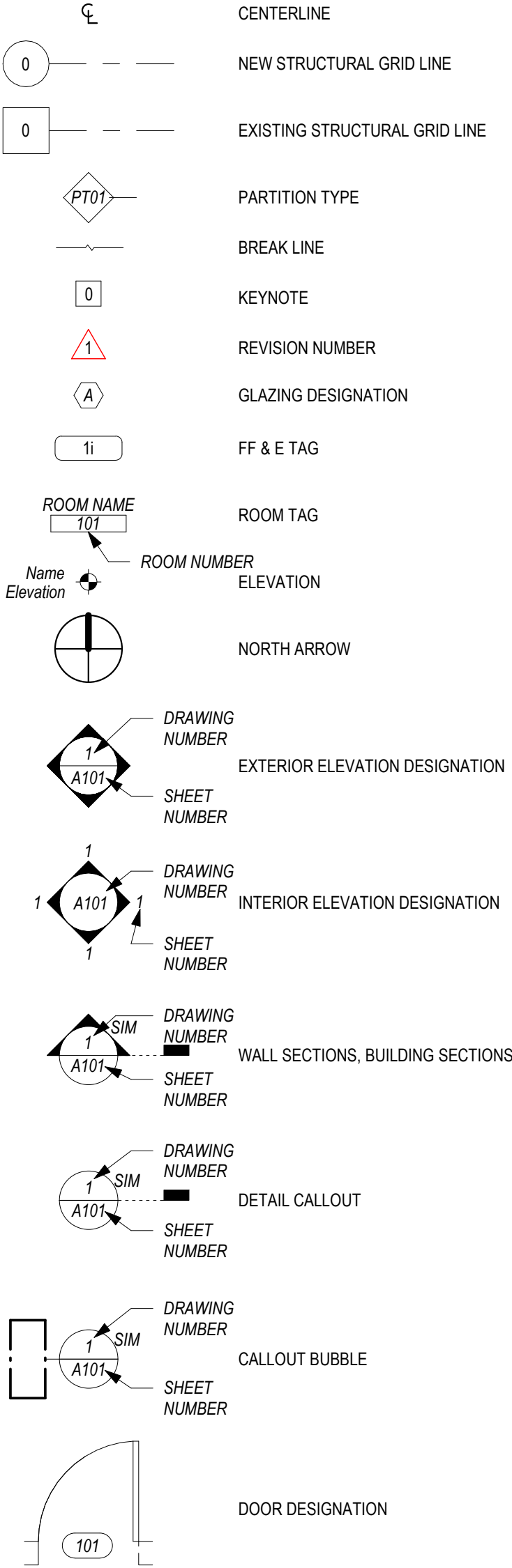
G0-0



ABBREVIATIONS

ABV	ABOVE	HW	HARDWARE
AFF	ABOVE FINISHED FLOOR	HVAC	HEATING / VENTILATING /
ADJ	ADJACENT		AIR CONDITIONING
ALT	ALTERNATE	HGT	HEIGHT
ARCH	ARCHITECT (URAL)	HC	HOLLOW CORE
BM	BENCH MARK	HM	HOLLOW METAL
BW	BELOW	HORIZ	HORIZONTAL
BLKG	BLOCKING	HB	HOSE BIB
BD	BOARD	HHW	HOT WATER HEATER
BFE	BASE FLOOD ELEVATION	INT	INTERIOR
BOS	BOTTOM OF STRUCTURE	LAV	LAVATORY
BS	BOTH SIDES	LVR	LOUVER
BTM	BOTTOM	MAX	MAXIMUM
BLDG	BUILDING	MEP	MECHANIC (AL)
CAB	CABINET	MTL	METAL
CLG	CEILING	MIN	MINIMUM
CLG HGT	CEILING HEIGHT	MISC	MISCELLANEOUS
CEM	CEMENT	NIC	NOT IN CONTRACT
CT	CERAMIC TILE	NTS	NOT TO SCALE
CLR	CLEAR (ANCE)	OC	ON CENTER
COL	COLUMN	OFCI	OWNER FINISHED,
CONC	CONCRETE		CONTRACTOR INSTALLED
CONT	CONTINUOUS OR CONTINUE	OFOI	OWNER FURNISHED,
CMU	CONCRETE MASONRY UNIT		OWNER INSTALLED
DEMO	DEMOLISH, DE	OPP	OPPOSITE
DTL	DETAIL	OPH	OPPOSITE HAND
DIA	DIAMETER	OH	OVERHEAD
DIM	DIMENSION	PLAM	PLASTIC LAMINATE
DIV	DIVISION	PLY WD	PLYWOOD
DS	DOWNSPOUT	PTD	PAINTED
DWG	DRAWING (S)	PL	PLATE
DF	DRINKING FOUNTAIN	RCP	REFLECTED CEILING PLAN
ELEC	ELECTRIC	RE	REFERENCE
EL	ELEVATION	REF	REFRIGERATOR
ELEV	ELEVATOR	R/A	RETURN AIR
EQ	EQUAL	REV	REVISION (S), REVISED
EQUIP	EQUIPMENT	RM	ROOM
EXIST	EXISTING	RO	ROUGH OPENING
EXT	EXTERIOR	RB	RUBBER BASE
FCC	FACE OF CONCRETE	SIM	SIMILAR
FOF	FACE OF FINISH	SC	SOLID CORE
FOS	FACE OF STUDS	SPEC	SPECIFICATION
FE	FIRE EXTINGUISHER	SQ	SQUARE
FEC	FIRE EXTINGUISHER CABINET	STD	STANDARD
FF	FINISH FLOOR	STL	STEEL
FFE	FINISH FLOOR ELEVATION	STR	STRUCTURE (AL)
FLR	FLOOR (ING)	TEMP	TEMPORARY
FD	FLOOR DRAIN	TOS	TOP OF STRUCTURE
GA	GAGE, GAUGE	TYP	TYPICAL
GALV	GALVANIZED	VERT	VERTICAL
GC	GENERAL CONTRACT	VIF	VERIFY IN FIELD
GL	GLASS, GLAZING	WC	WATER CLOSET
GB	GRAB BAR	WIN	WINDOW
GYP BD	GYP SUM BOARD	WIO	WITHOUT
		WD	WOOD

GENERAL SYMBOL LEGEND



GENERAL NOTES

- GENERAL NOTES:
- TEXT HERE
  - TEXT HERE

PROJECT INFORMATION

**PROJECT DESCRIPTION:**  
THIS PROJECT IS LOCATED AT 2301 ORLEANS AVENUE. THE PROJECT IS AN EXISTING RESTAURANT RENOVATION / ADDITION. THE SCOPE OF WORK INCLUDES DEMOLITION OF 509 SF OF BACK-OF-HOUSE SPACE. NEW WORK INCLUDES CONSTRUCTION OF A 509 SF FOOTPRINT, 2-STORY ADDITION TO EXPAND A 2ND FLOOR DINING ROOM FROM 499 SF TO 1,008 SF.

NO NEW PARKING SPACES WILL BE CONSTRUCTED.

A BALCONY IS BEING ADDED TO THE ORLEANS STREET FACADE.

**ALTERATION GROSS SQUARE FOOTAGE:** 1,517 SF  
**GROSS AREA SQUARE FOOTAGE OF BUILDING:** 9,466 SF  
**PERCENTAGE OF FLOOR AREA BEING ALTERED:** 16%

**CLASSIFICATION OF WORK:** RENOVATION

**APPLICABLE CODES (NOT LIMITED TO THE FOLLOWING):**  
INTERNATIONAL BUILDING CODE 2015  
INTERNATIONAL EXISTING BUILDING CODE 2015  
INTERNATIONAL PLUMBING CODE 2015  
INTERNATIONAL FIRE CODE 2015  
NATIONAL ELECTRIC CODE 2014  
NFPA 101 2015  
ADA 2010

**OCCUPANCY:** BUSINESS

**CONSTRUCTION TYPE:** IBC II-B, NON SPRINKLED  
NFPA II(000)

**FIRE PROTECTION:** NOT SPRINKLED

**ZONE:** XX

**BASE FLOOD ELEVATION:** XX

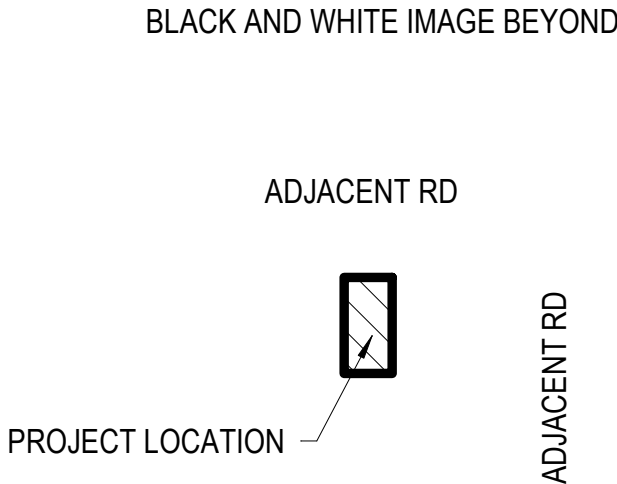
**SITE AREA:** XX

**EXISTING BUILDING INFORMATION**  
BUILDING STORIES: 1  
BUILDING HEIGHT: 32'  
GROSS BUILDING AREA: 8000SF

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VICINITY MAP



MATERIAL LEGENDS

	INSULATION - TYPE 1
	INSULATION - TYPE 2
	SOIL / EARTH
	CONCRETE
	GYP SUM BOARD
	PLASTER
	PLASTIC / COMPOSITE
	WOOD
	PLYWOOD
	STEEL
	ALUMINUM
	ASP HALT SHINGLES
	GLASS

PROJECT DIRECTORY

**PROJECT ADDRESS**  
2301 ORLEANS AVENUE  
NEW ORLEANS, LA 70119

**CLIENT**  
EDGAR CHASE  
2301 ORLEANS AVENUE  
NEW ORLEANS, LA 70119

**ARCHITECT**  
MADE DESIGN  
1100 ST. ANDREW ST.  
NEW ORLEANS, LA 70130

**GENERAL CONTRACTOR**  
RYAN GOOTEE GENEERAL CONTRACTORS  
1100 RIDGEWOOD DRIVE  
METAIRIE, LA 70001

**STRUCTURE**  
RICARDO CONTRERAS

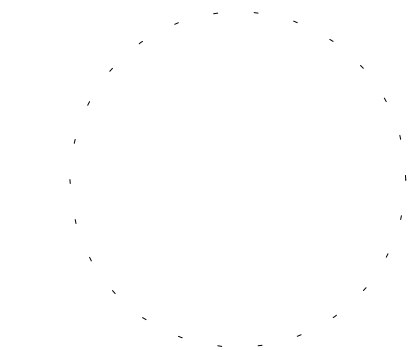
**MEP**  
WDG ENGINEERS / KENT POYSER  
821 BARONNE ST  
NEW ORLEANS, LA 70113



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NEW ORLEANS, LA 70119

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PROJECT  
INFORMATION

SHEET NO.

G0-1



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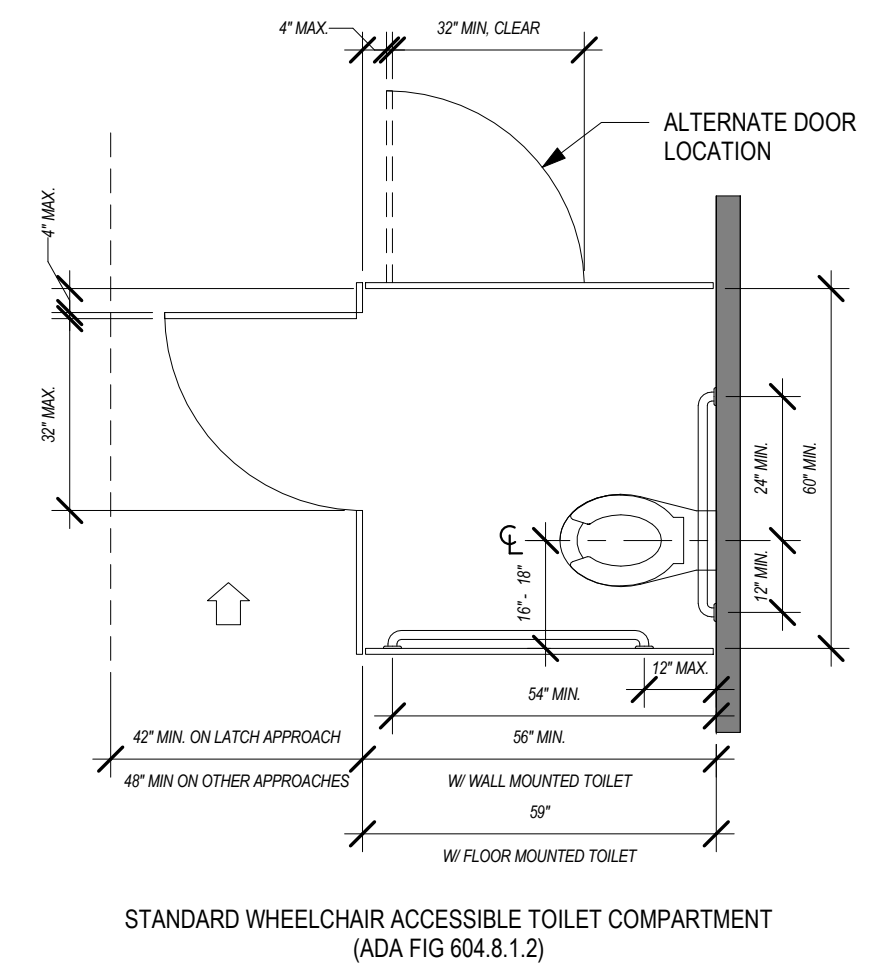
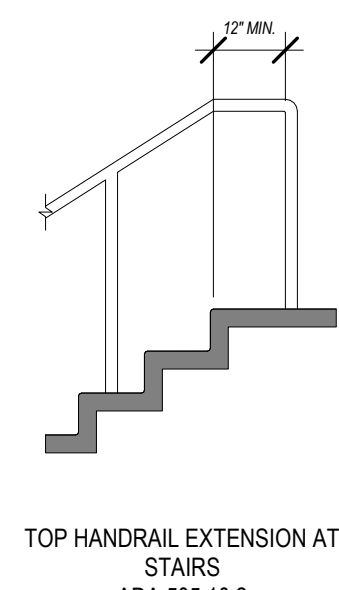
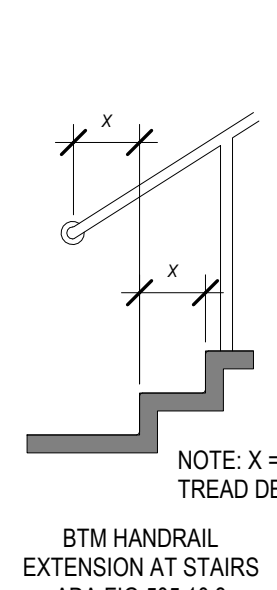
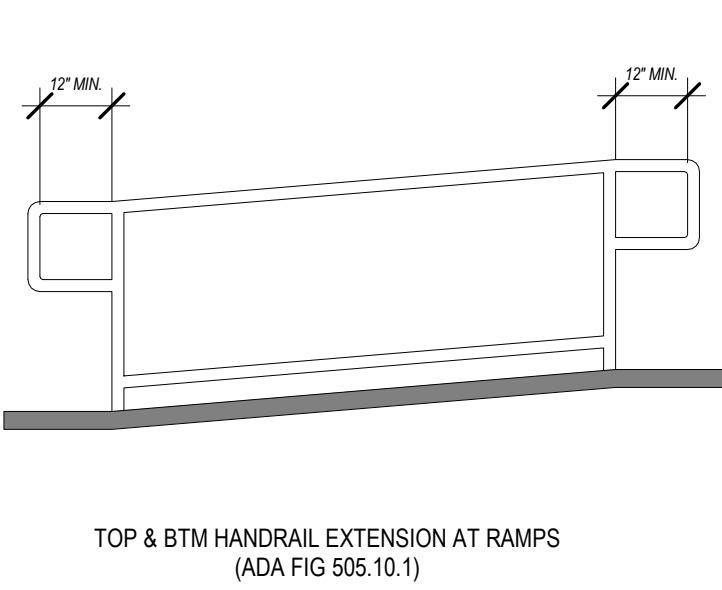
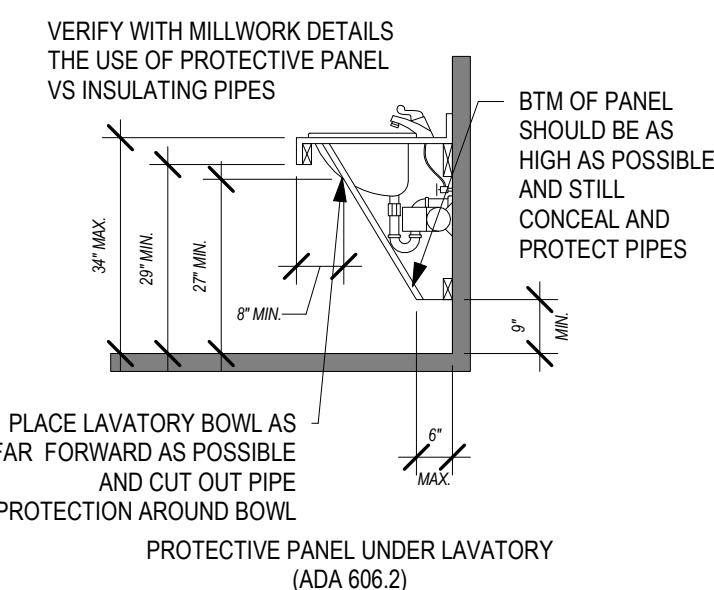
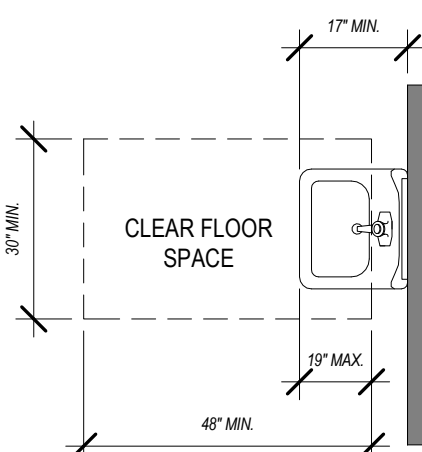
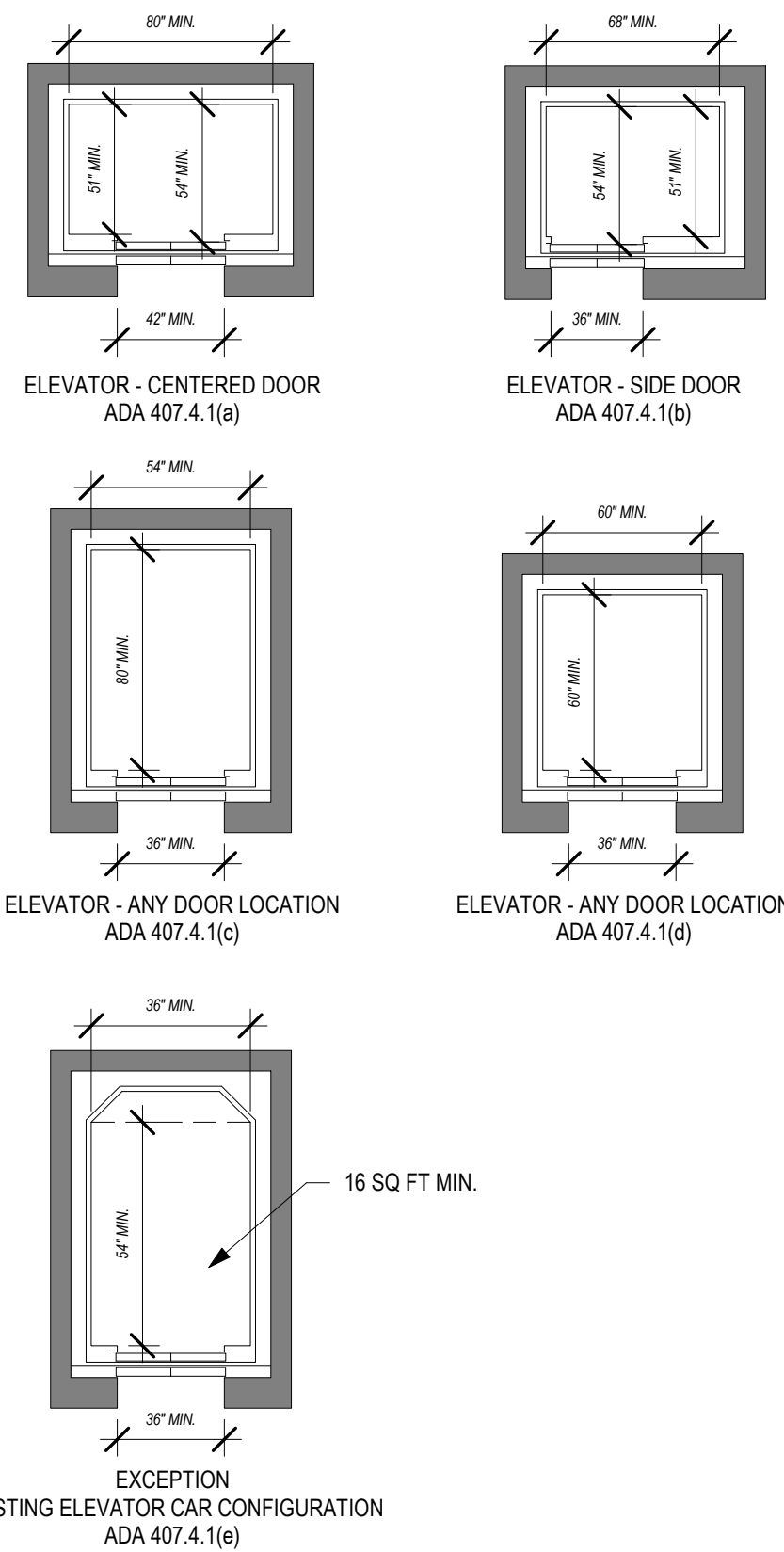
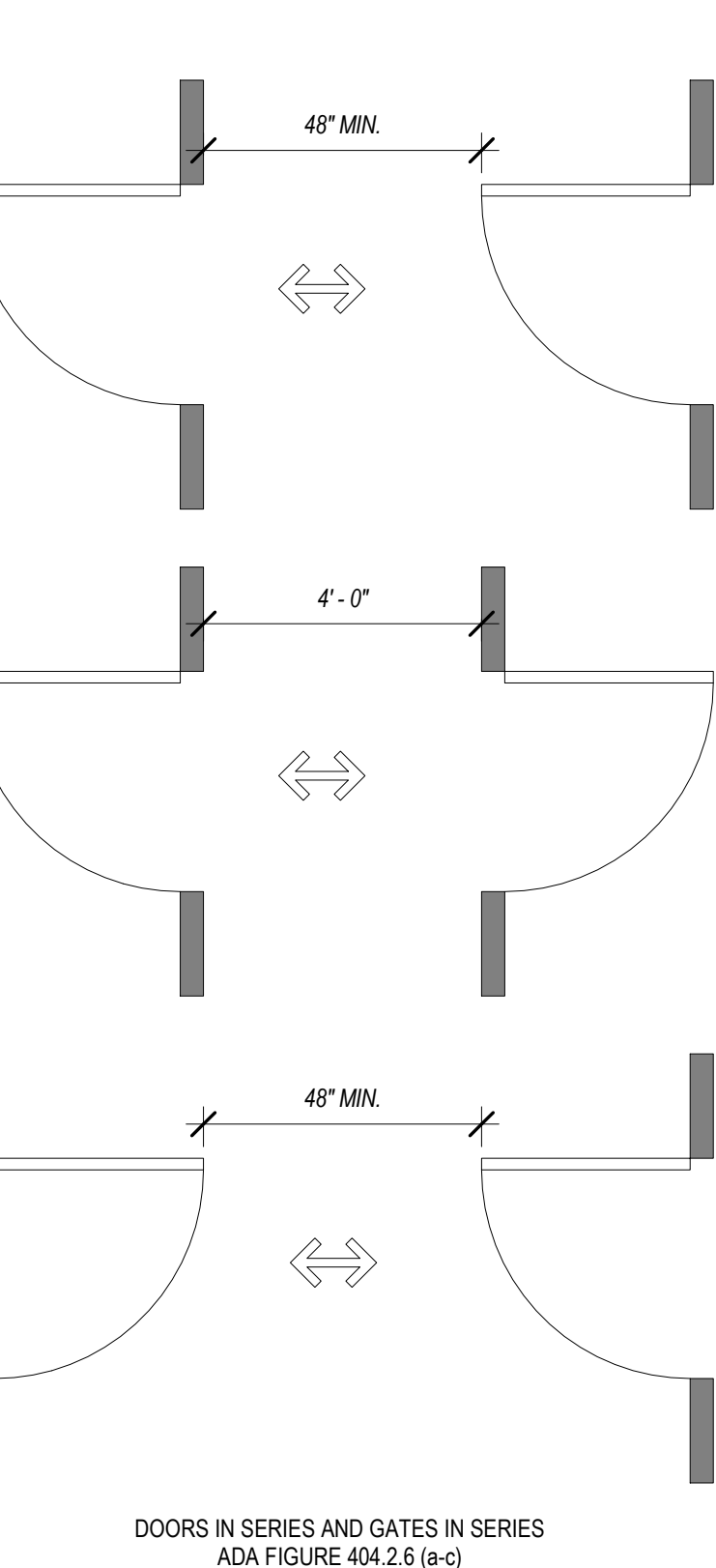
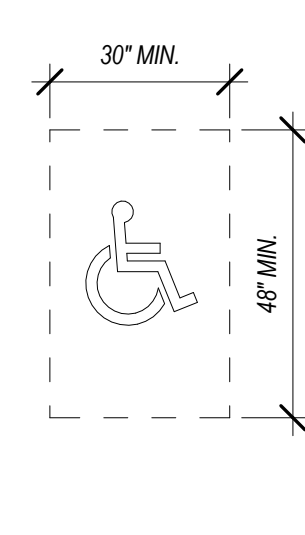
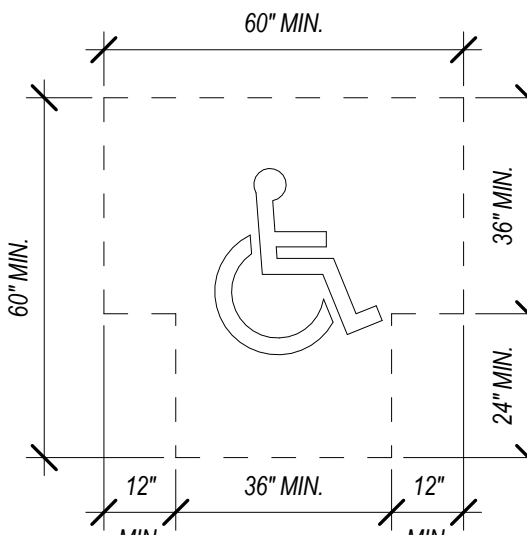
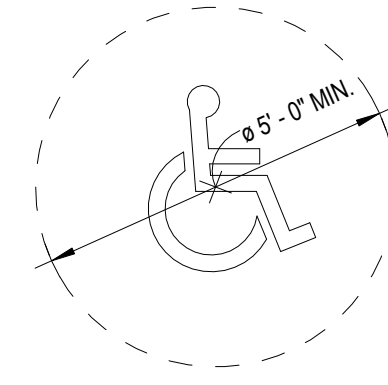
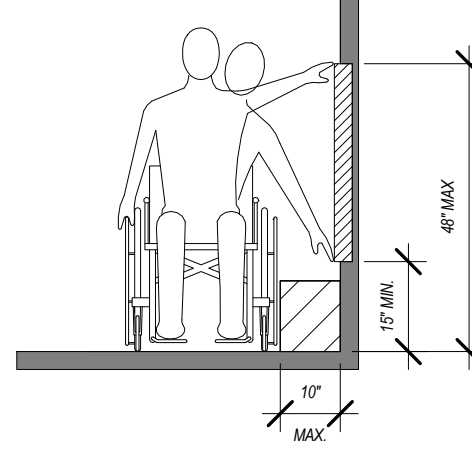
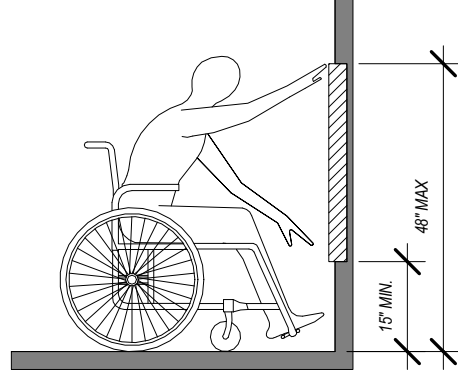
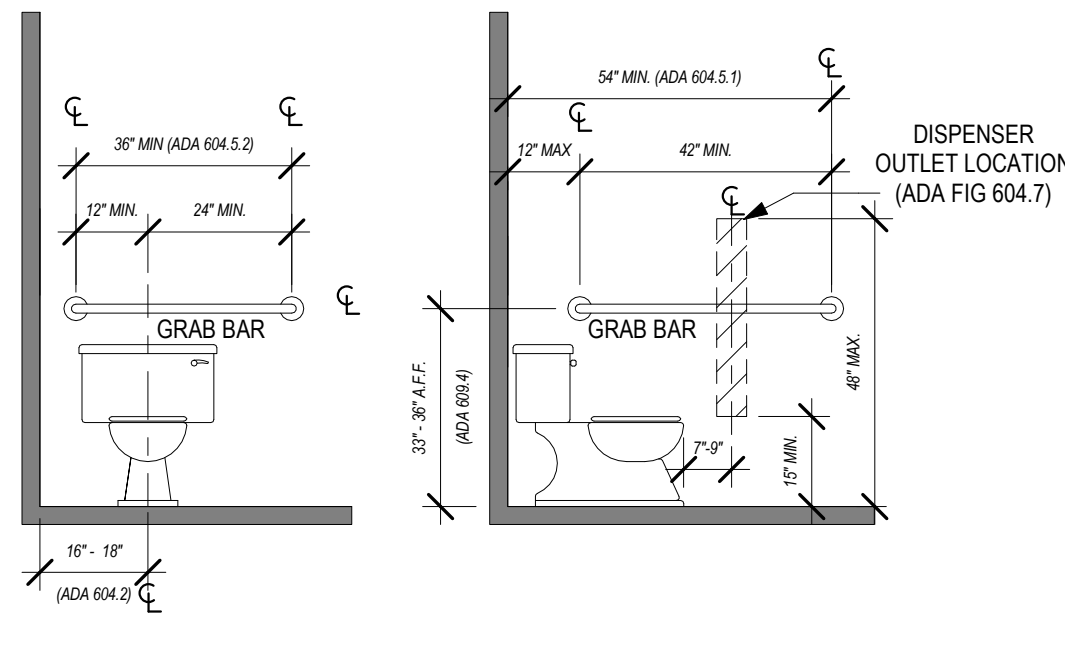
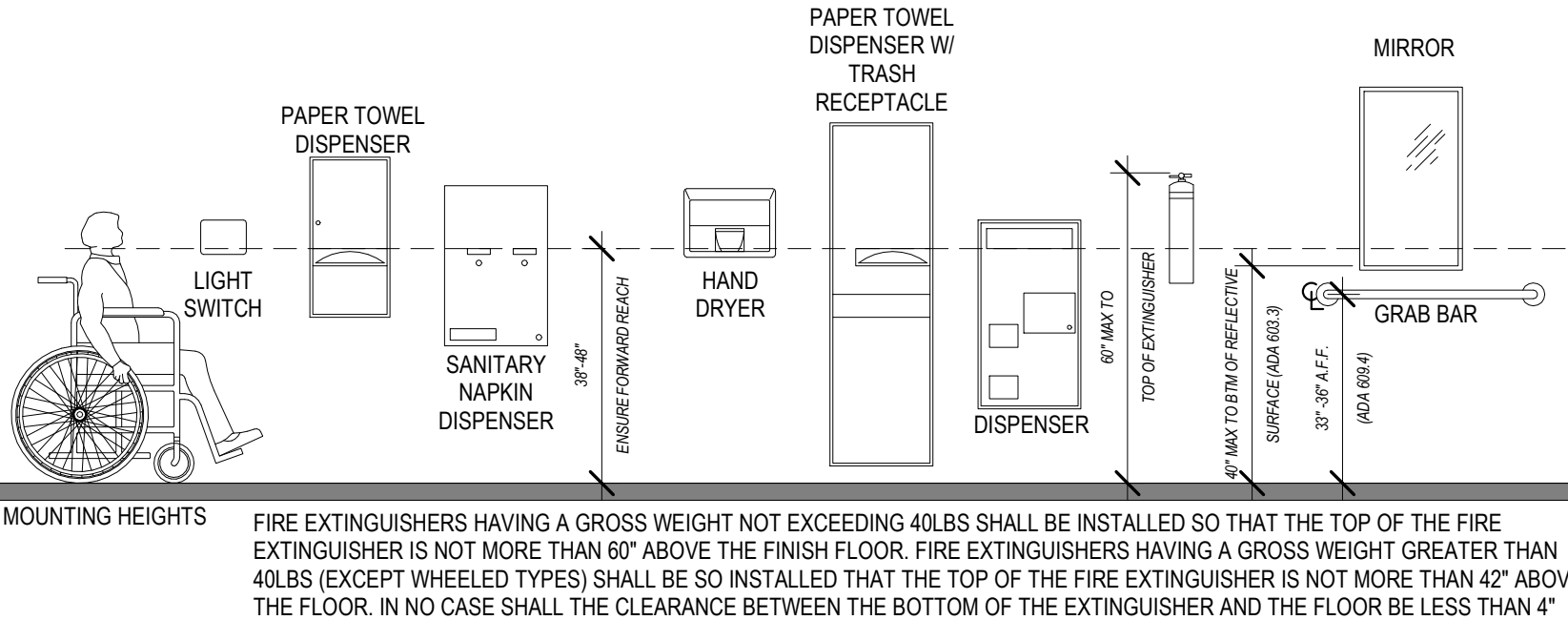
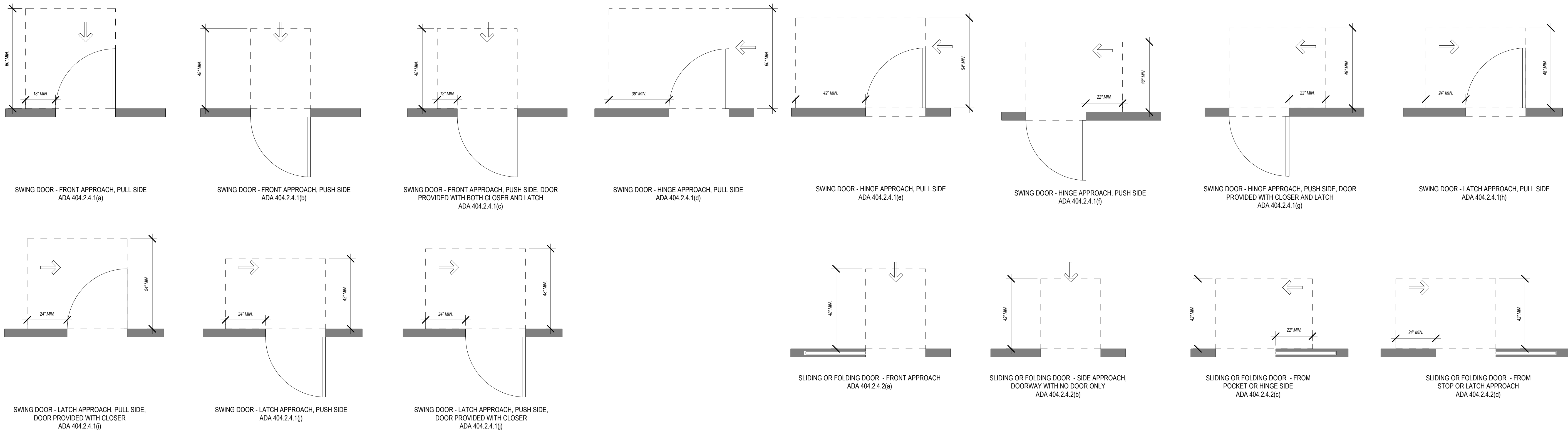
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PROJECT  
STANDARDS

SHEET NO.

G0-2





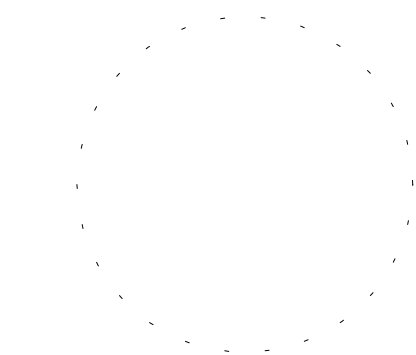


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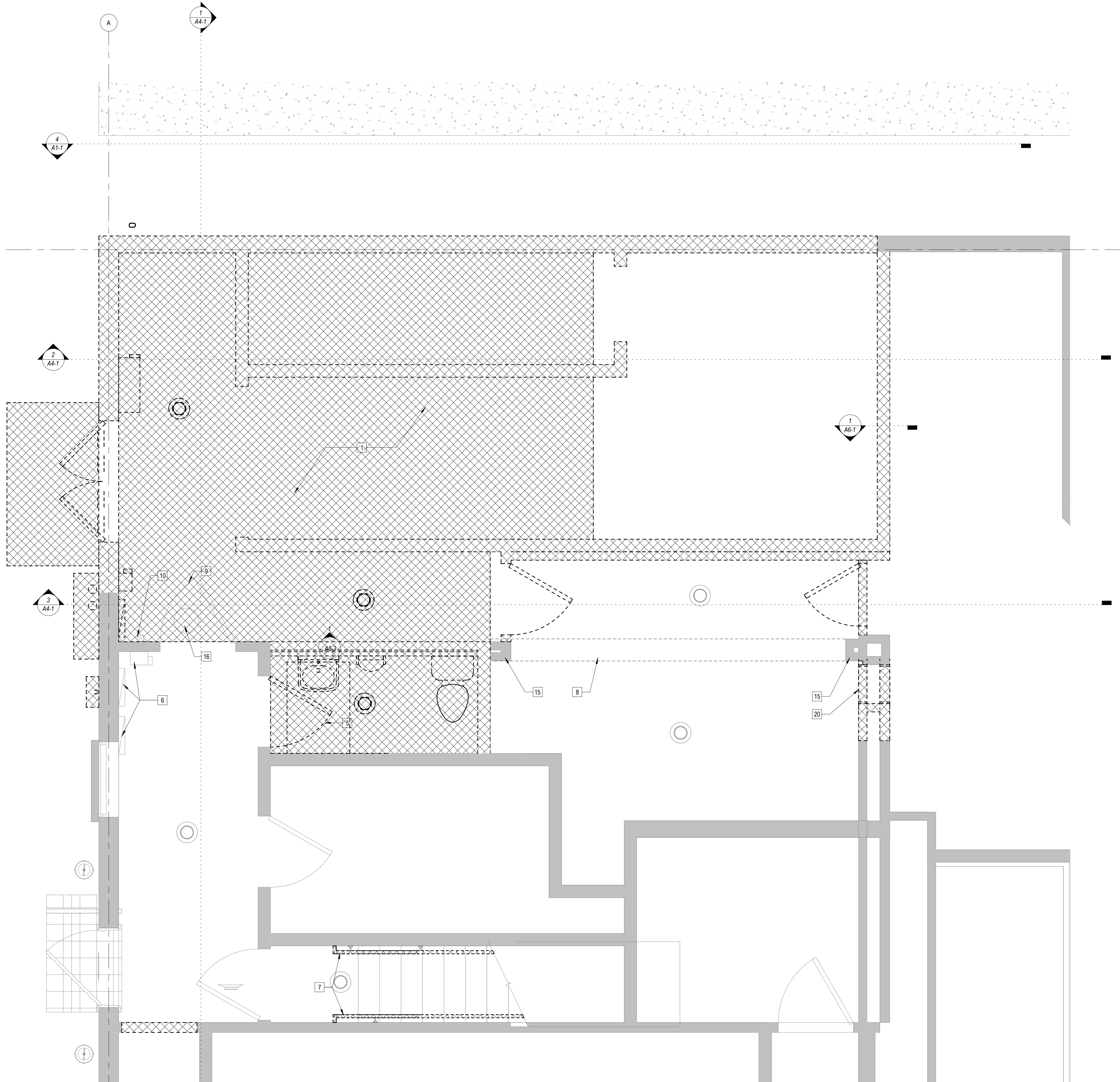
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DEMO ENLARGED  
PLAN - LEVEL 1

SHEET NO.

D2-1



KEYNOTES - DEMO PLAN

- 1 DEMO EXISTING FLOOR SLAB + FOUNDATIONS IN THIS AREA AS SHOWN W/ HEAVY DASHED LINE.
- 5 EXISTING DOOR TO BE RETAINED + SWING CHANGED AS SHOWN. PROVIDE NEW THRESHOLD. RE: DOOR SCHEDULE.
- 6 EXISTING ELEC. PANELS, DISCONNECT TO BE RETAINED.
- 7 DEMO HANDRAILS.
- 8 LINE OF EXISTING FURRED BEAM OVERHEAD TO REMAIN.
- 9 EXISTING DOOR + HARDWARE TO REMAIN. REPAINT DOOR.
- 10 EXISTING FIRE ALARM PULL TO REMAIN.
- 15 EXISTING FURRED COLUMN TO REMAIN.
- 16 EXISTING ACCESS TO SEWER TO REMAIN. RECAST COVER IN NEW SLAB.
- 20 EXISTING OPENING TO BE INCREASED FOR NEW DOOR. RE: A2-1

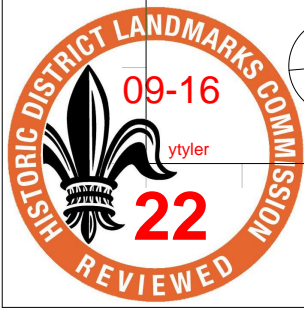
GENERAL NOTES - DEMO PLAN

1. TEXT GOES HERE
- 2.

LEGEND - DEMO

- EXISTING TO BE DEMOLISHED
- EXISTING TO REMAIN
- EXISTING BUILDING COMPONENT TO BE REMOVED. SEE REFERENCE KEYNOTE.
- EXISTING MATERIAL TO BE REMOVED. SEE REFERENCE KEYNOTE.
- NOT IN CONTRACT
- KEYNOTE, SEE SCHEDULE

1 DEMO ENLARGED PLAN - LEVEL 1  
1/2" = 1'-0"



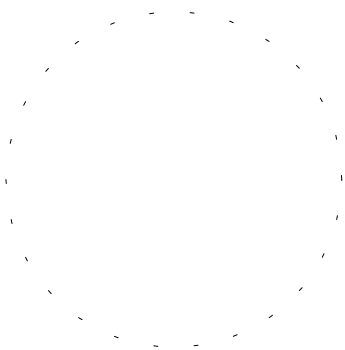


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DEMO ENLARGED  
PLAN - LEVEL 2

SHEET NO.

D2-2



1 DEMO ENLARGED PLAN - LEVEL 2  
1/2" = 1'-0"



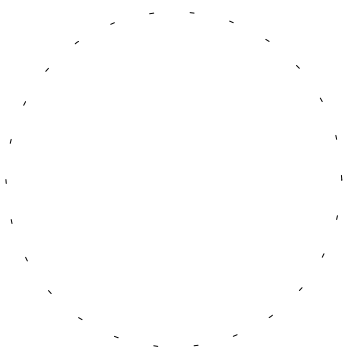


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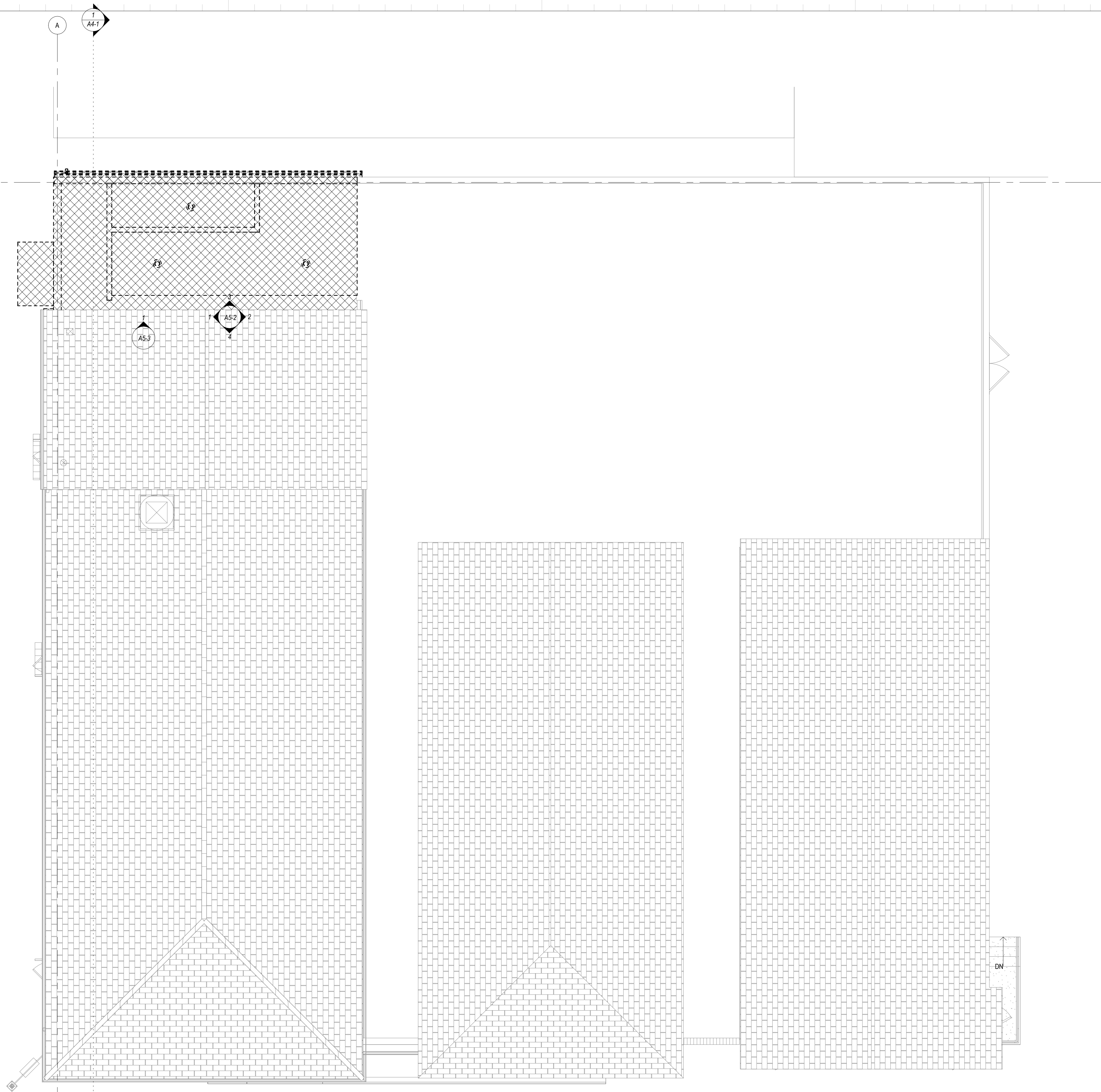
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DEMO ROOF PLAN

SHEET NO.

D2-5



1 DEMO ROOF PLAN  
3/16" = 1'-0"

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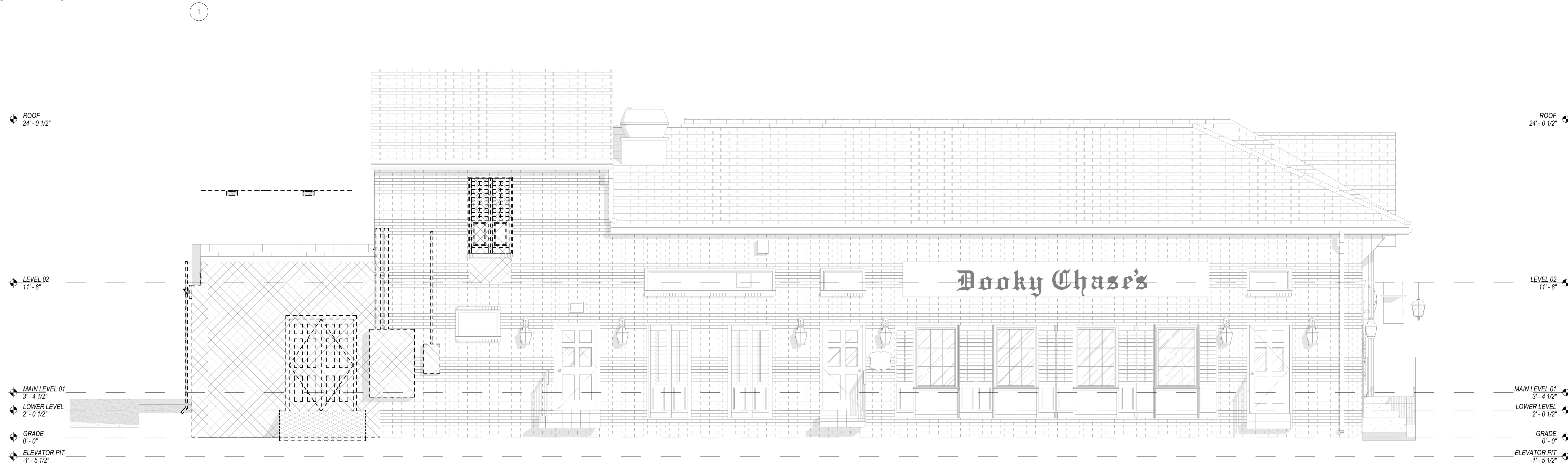
DEMO BUILDING  
ELEVATIONS

SHEET NO.

D3-1



1 DEMO SOUTH ELEVATION  
1/4" = 1'-0"



2 DEMO WEST ELEVATION  
1/4" = 1'-0"



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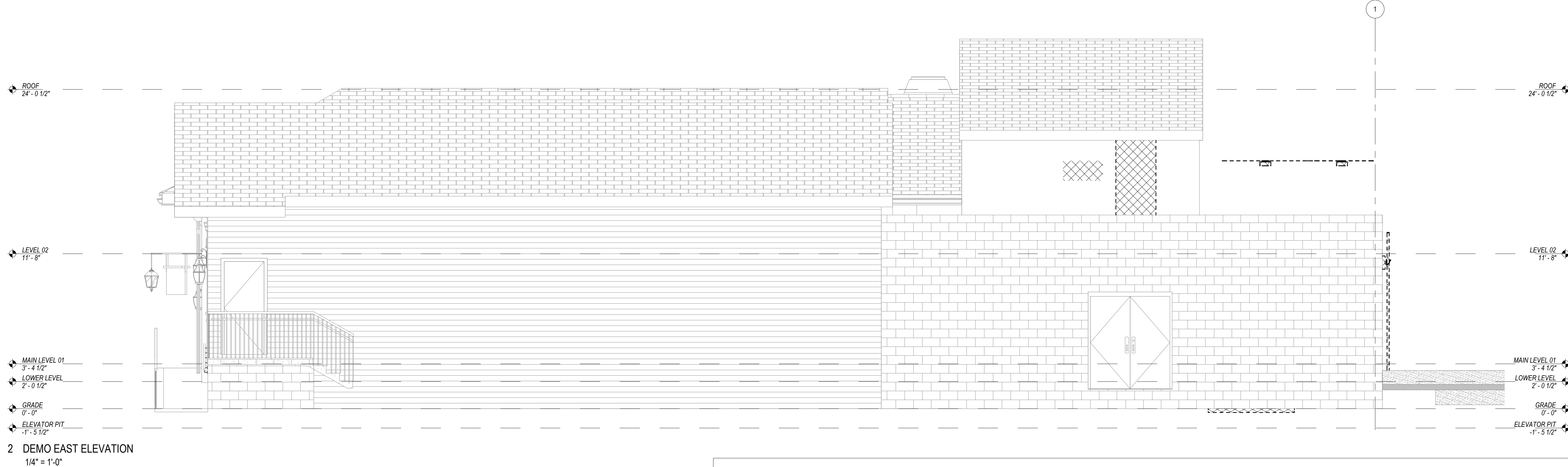
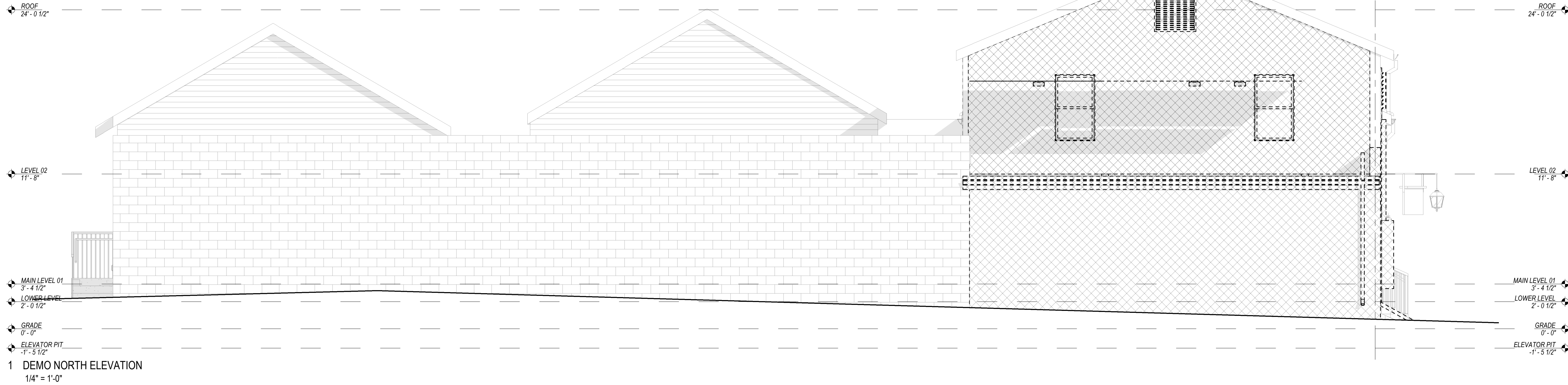
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DEMO BUILDING  
ELEVATIONS

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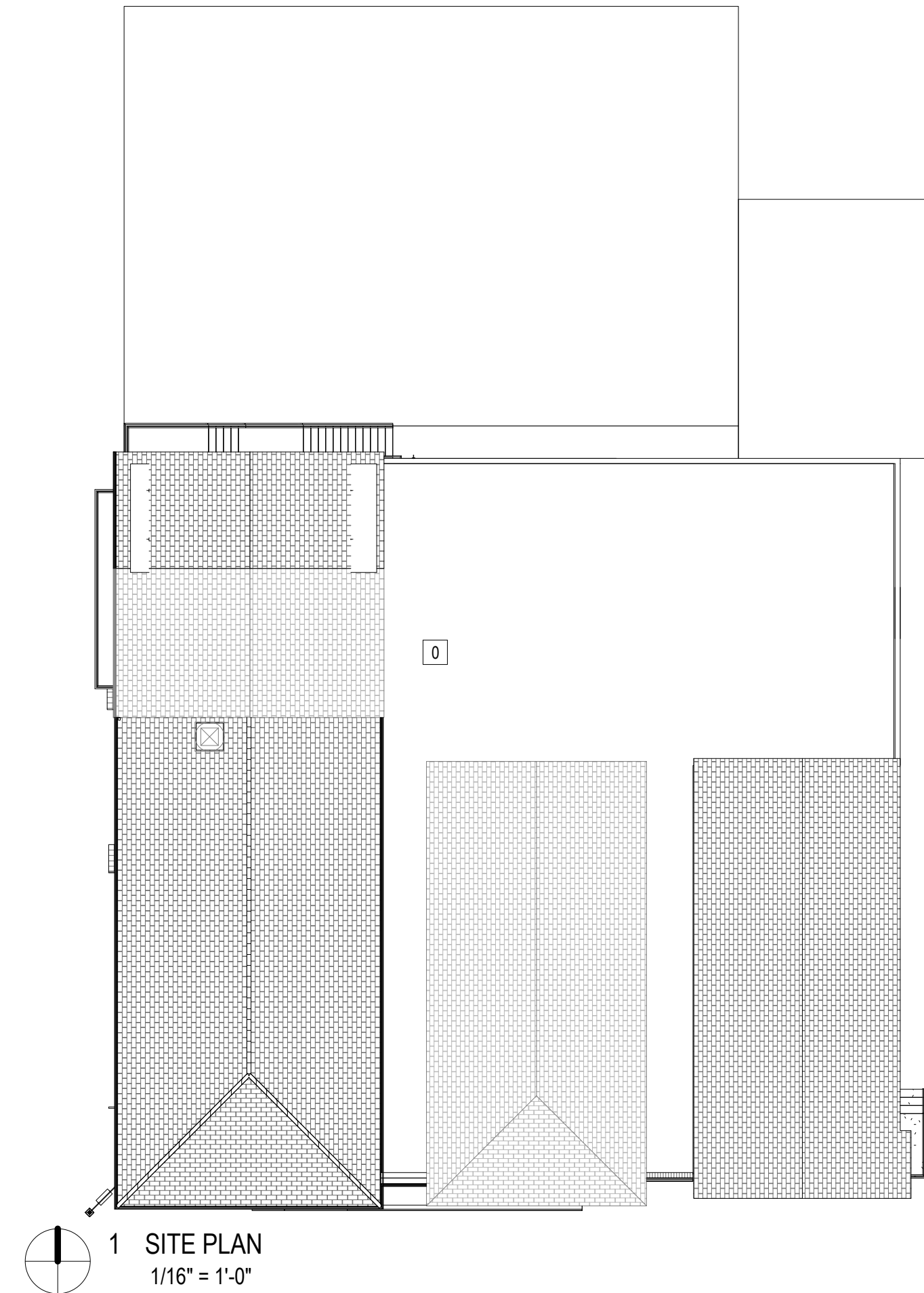
D3-2





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PARKING		
TYPE	SPACE	COUNT

KEYNOTES - SITE

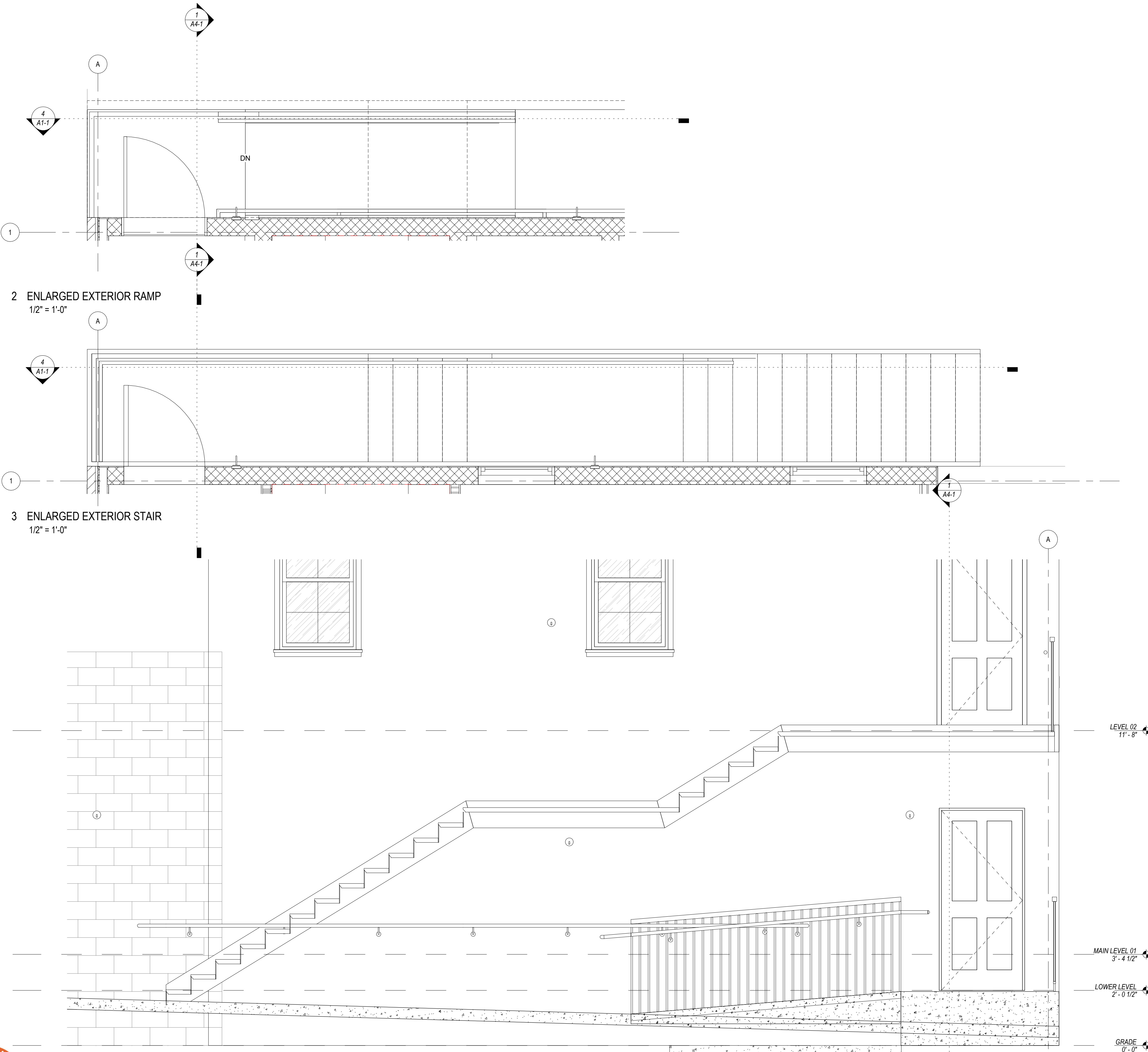
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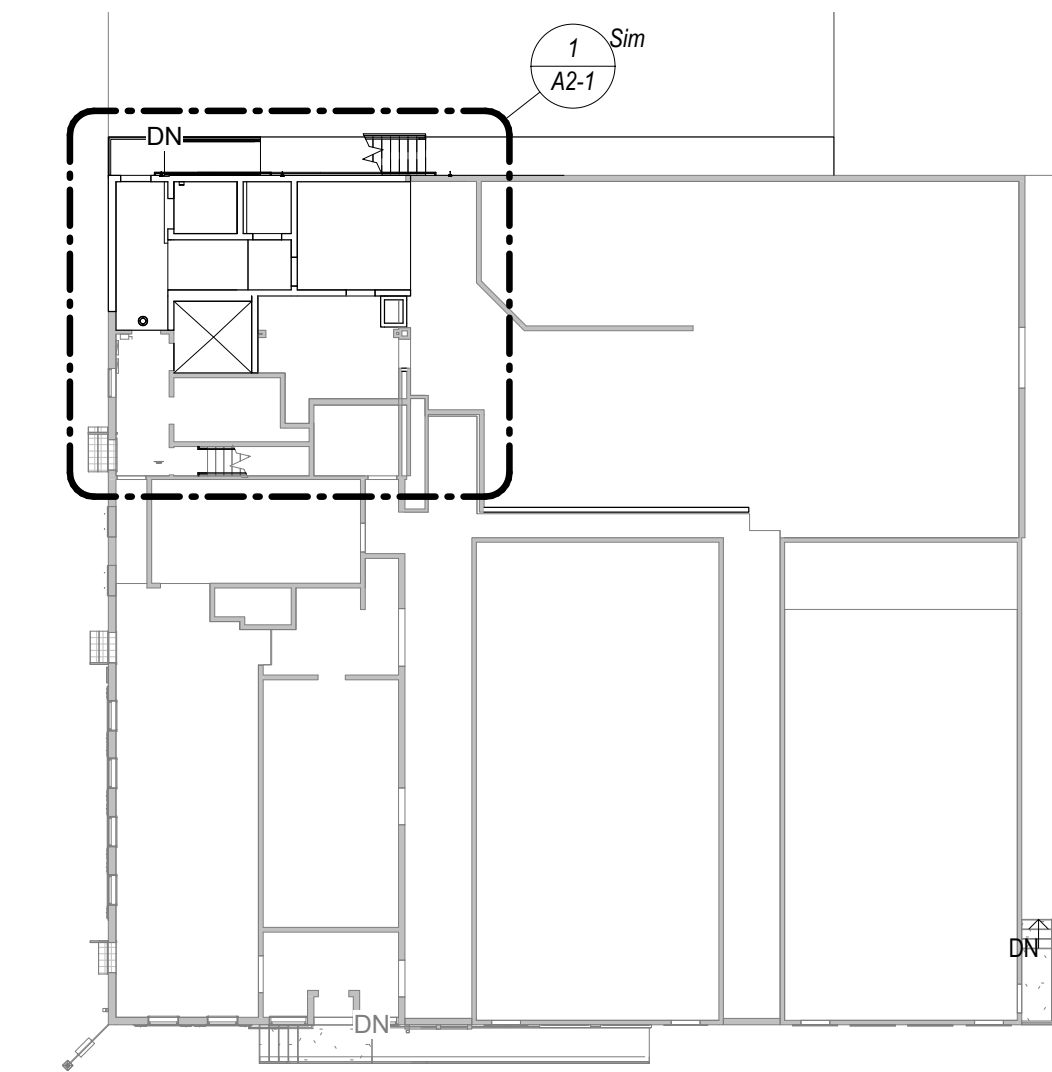
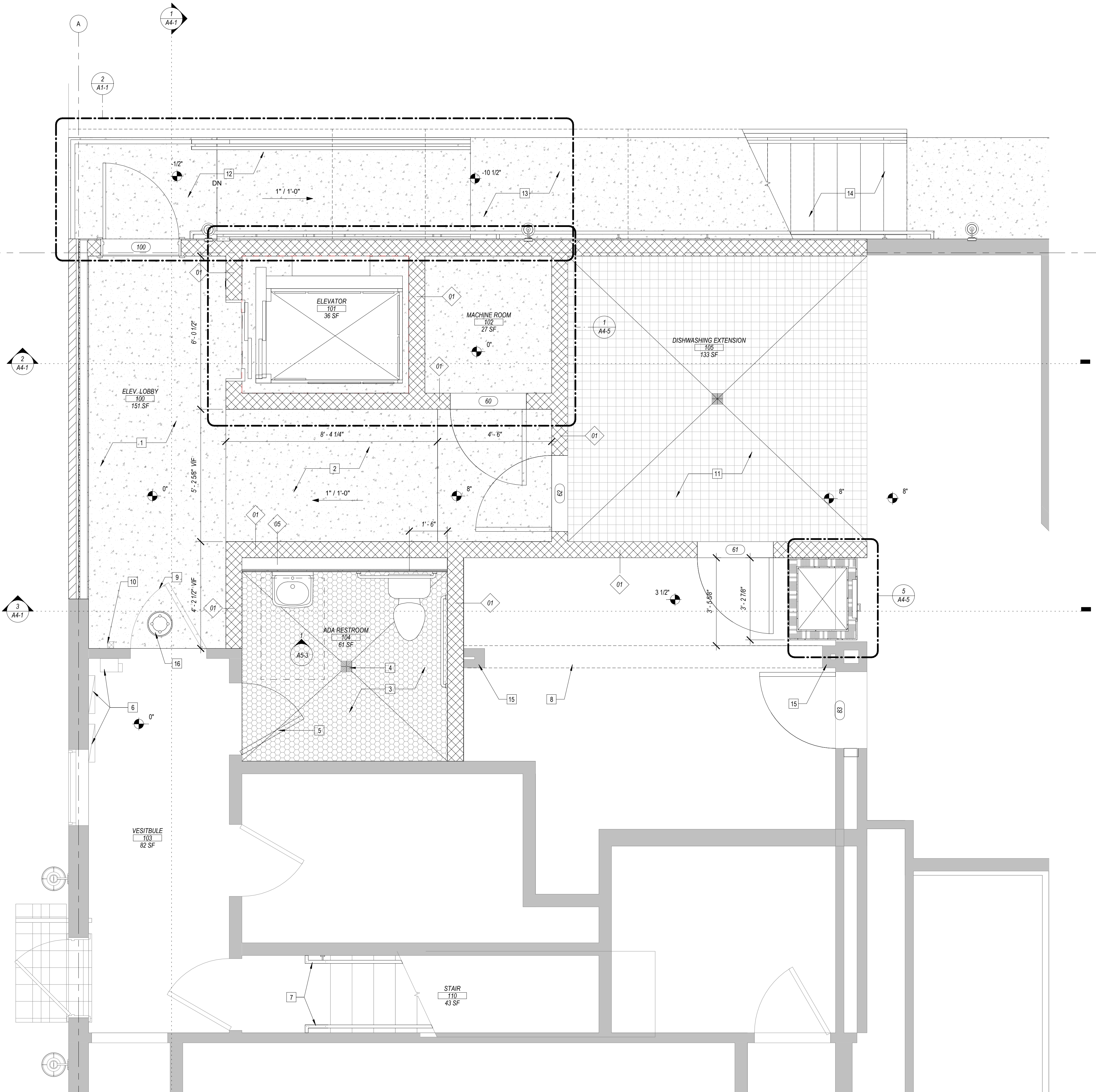
GENERAL NOTES - SITE PLAN

- TEXT GOES HERE
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LEGEND - SITE PLAN

	NEW WALL
	EXISTING WALL TO REMAIN
	NOT CONTRACT
	PROPERTY LINE
	ZONING REQUIREMENTS
	KEYNOTE, SEE SCHEDULE





2 KEY PLAN  
1" = 20'-0"

#### KEYNOTES - PLAN

- 1 NEW CONCRETE SLAB TO MATCH ELEVATION OF EXISTING SLAB, THIS AREA, RE: STRUC.
- 2 NEW CONCRETE SLAB SLOPED TO ACCOMMODATE CHANGE IN FLOOR LEVEL, RE: STRUC.
- 3 NEW CONCRETE SLAB SLOPED TO ACCOMMODATE DRAINAGE, RE: STRUC. NEW FLOOR TILE + MORTAR AS REQUIRED, RE: FINISH SCHEDULE
- 4 NEW FLOOR DRAIN, RE: PLUMBING
- 5 EXISTING DOOR TO BE RETAINED + SWING CHANGED AS SHOWN, PROVIDE NEW THRESHOLD, RE: DOOR SCHEDULE
- 6 EXISTING ELEC. PANELS, DISCONNECT TO BE RETAINED.
- 7 NEW HANDRAILS, RE: VERTICAL CIRCULATION DRAWINGS.
- 8 LINE OF EXISTING FURRED BEAM OVERHEAD TO REMAIN.
- 9 EXISTING DOOR + HARDWARE TO REMAIN, REPAINT DOOR.
- 10 EXISTING FIRE ALARM PULL TO REMAIN.
- 11 PROVIDE NEW TOPPING SLAB, MORTAR, + KITCHEN TILE TO MATCH EXISTING IN TYPE + FLOOR LEVELS. NEW FLOORING + MORTAR TO SLOPE TO NEW DRAIN, RE: PLUMBING FOR DRAINAGE.
- 12 NEW ADA LANDING, RAMP, + RAILINGS, RE: A1-1
- 13 NEW CONCRETE PAVING, RE: STRUC.
- 14 NEW EXTERIOR STAIRS, LANDING, + RAILINGS, RE: A3-2 AND A4-5.
- 15 EXISTING FURRED COLUMN TO REMAIN.
- 16 EXISTING ACCESS TO SEWER TO REMAIN, RECAST COVER IN NEW SLAB.
- 17 PROVIDE DOMESTIC WATER LINE FOR TEA SERVICE, RE: PLUMBING

#### GENERAL NOTES - PLAN

1. TEXT GOES HERE
- 2.

#### LEGEND - NEW

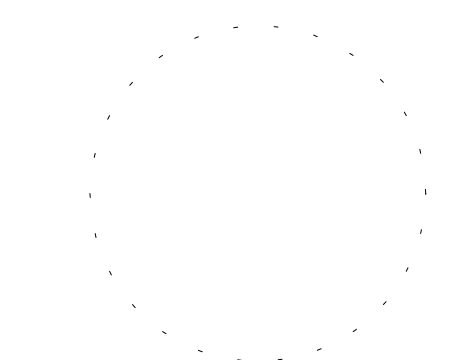
- NEW WALL
- EXISTING WALL TO REMAIN
- NOT IN CONTRACT
- 1 HR RATING
- 2 HR RATING
- 3 HR RATING
- KEYNOTE, SEE SCHEDULE

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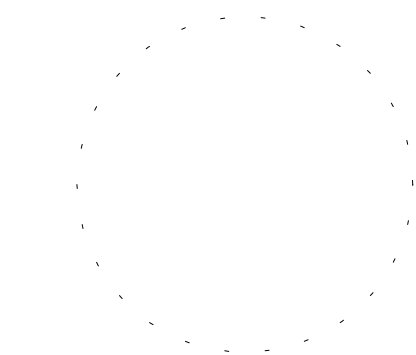
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ENLARGED PLAN -  
LEVEL 1

SHEET NO.

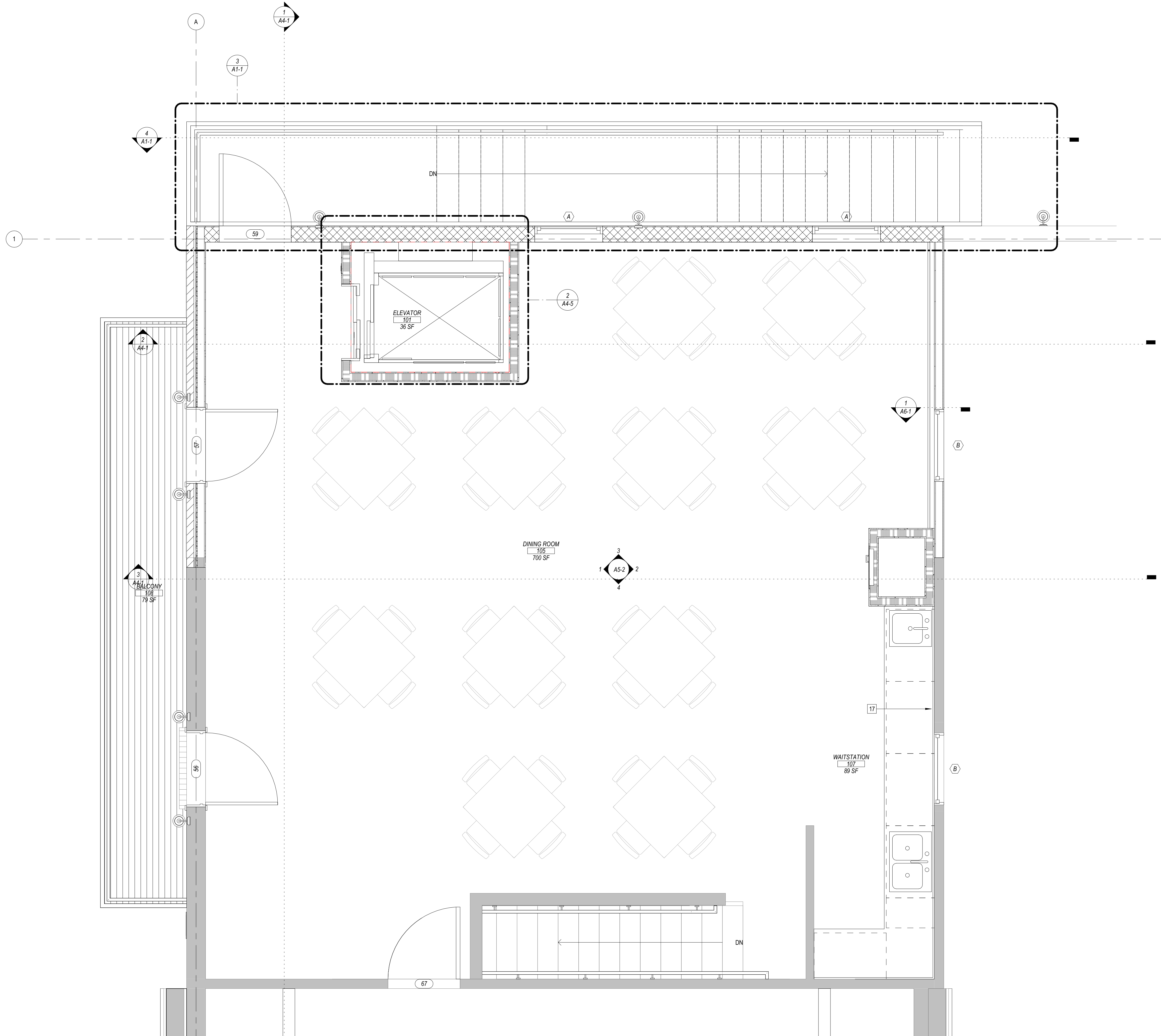
A2-1





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- 9 EXISTING DOOR + HARDWARE TO REMAIN. REPAINT DOOR.
- 10 EXISTING FIRE ALARM PULL TO REMAIN.
- 11 PROVIDE NEW TOPPING SLAB, MORTAR. + KITCHEN TILE TO MATCH EXISTING IN TYPE + FLOOR LEVELS. NEW FLOORING + MORTAR TO SLOPE TO NEW DRAIN. RE: PLUMBING FOR DRAINAGE.
- 12 NEW ADA LANDING, RAMP, + RAILINGS. RE: STRUC.
- 13 NEW CONCRETE PAVING. RE: STRUC.
- 14 NEW EXTERIOR STAIRS. LANDING. + RAILINGS. RE: A3-2 AND A4-5.
- 15 EXISTING FURRED BEAM TO REMAIN.
- 16 EXISTING ACCESS TO SEWER TO REMAIN. RECAST COVER IN NEW SLAB.
- 17 PROVIDE DOMESTIC WATER LINE FOR TEA SERVICE. RE: PLUMBING

GENERAL NOTES - PLAN

LEGEND - NEW

- NOT IN CONTRACT
- 1 HR RATING
- 2 HR RATING
- 3 HR RATING
- 0 KEYNOTE, SEE SCHEDULE



AGENCY REVIEW:







## KEYNOTES - RCP

- 1 NEW PLASTER CEILING TO MATCH EXISTING CEILING HEIGHT. VIF.
- 2 NEW BALCONY OVERHEAD. RE: STRUCT. FOR FRAMING.
- 3 PROVIDE NEW PLASTER CEILING TO INFILL PREVIOUS LOCATION OF DEMOLISHED WALLS.
- 4 EXISTING FLURRED COLUMN + FURRED BEAM TO REMAIN.
- 5 DASHED LINES INDICATE NEW STAIR OVERHEAD
- 6 NEW BEAM W/ FIRE RATED CONSTRUCTION. RE: STRUCT. FOR BEAM REQ.
- 7 EXISTING CEILING + LIGHTING (NOT SHOWN) TO REMAIN. NO WORK.
- 8 EXISTING CEILING + SUPPLY DIFFUSERS TO REMAIN. PROVIDE NEW LIGHTS AS INDICATED
- 9 EXISTING FURRED BEAM TO REMAIN.
- 10 EXISTING ATTIC HATCH TO REMAIN.
- 11 NEW EXPOSED ROOF TRUSSES (NO CEILING) RE: STRUCT.
- 12 NEW ROOF SOFFIT TO MATCH EXISTING
- 13 NEW GUTTER TO THE INTO + MATCH EXISTING.
- 14 NEW FURRING WALL. RE: INT. ELEVATIONS
- 15 NEW SIDEWALL SUPPLY DIFFUSER ABOVE. RE: INT. ELEVATIONS + MECH.

## GENERAL NOTES - RCP

1. TEXT GOES HERE
- 2.

**SYMBOL LEGEND - RCP**

-  EXISTING  
 NEW CONSTRUCTION  
 NOT IN CONTRACT  
 GYPSUM CEILING  
 2'X2' ACT CEILING  
 0 KEYNOTE, SEE SCHEDULE

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ENLARGED RCP -  
LEVEL 1

SHEET NO.

A2-3



1 ENLARGED RCP - LEVEL 1  
1/2" = 1'-0"



## DOOKY CHASE RENOVATION

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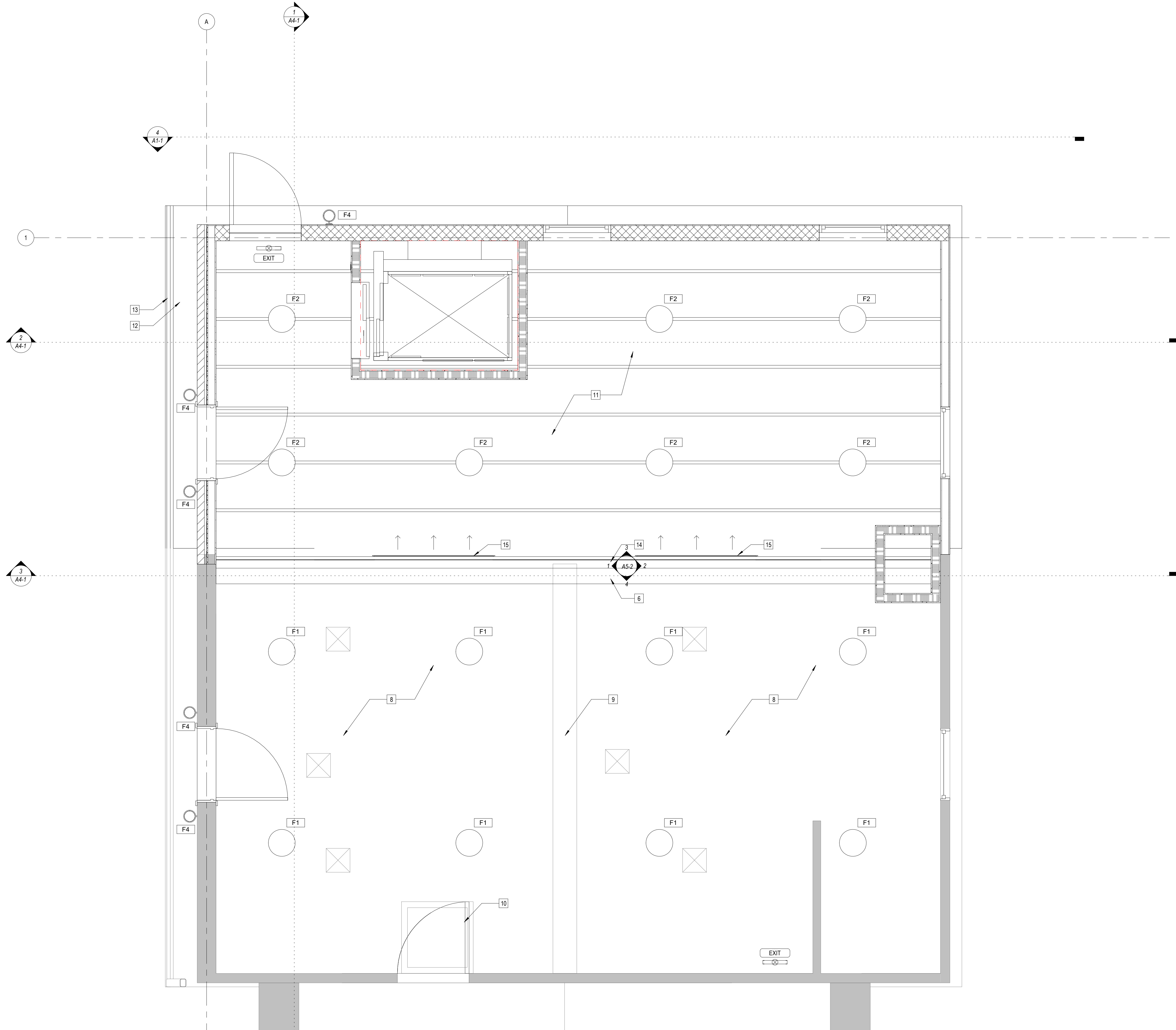
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ENLARGED RCP -  
LEVEL 2

SHEET NO.

A2-4



## KEYNOTES - RCP

- 1 NEW PLASTER CEILING TO MATCH EXISTING CEILING HEIGHT. VIF.
- 2 NEW BALCONY OVERHEAD. RE: STRUC. FOR FRAMING.
- 3 PROVIDE NEW PLASTER CEILING TO INFILL PREVIOUS LOCATION OF DEMOISHED WALLS.
- 4 EXISTING FURRED COLUMN + FURRED BEAM TO REMAIN.
- 5 DASHED LINES INDICATE NEW STAIR OVERHEAD
- 6 NEW BEAM W/ FIRE RATED CONSTRUCTION. RE: STRUC. FOR BEAM REQ.
- 7 EXISTING CEILING + LIGHTING (NOT SHOWN) TO REMAIN. NO WORK.
- 8 EXISTING CEILING + SUPPLY DIFFUSERS TO REMAIN. PROVIDE NEW LIGHTS AS INDICATED.
- 9 EXISTING FURRED BEAM TO REMAIN.
- 10 EXISTING ATTIC HATCH TO REMAIN.
- 11 NEW EXPOSED ROOF TRUSSES (NO CEILING) RE: STRUC.
- 12 NEW ROOF SOFFIT TO MATCH EXISTING
- 13 NEW GUTTER TO TIE INTO + MATCH EXISTING.
- 14 NEW FURRING WALL. RE: INT. ELEVATIONS
- 15 NEW SIDEWALL SUPPLY DIFFUSER ABOVE. RE: INT. ELEVATIONS + MECH.

## GENERAL NOTES - RCP

1. TEXT GOES HERE
- 2.

## SYMBOL LEGEND - RCP

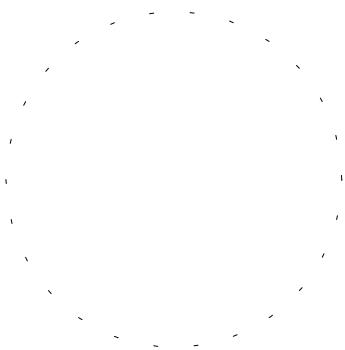
- EXISTING
- NEW CONSTRUCTION
- NOT IN CONTRACT
- GYPSUM CEILING
- 2'X2' ACT CEILING
- KEYNOTE, SEE SCHEDULE



DOOKY CHASE RENOVATION  
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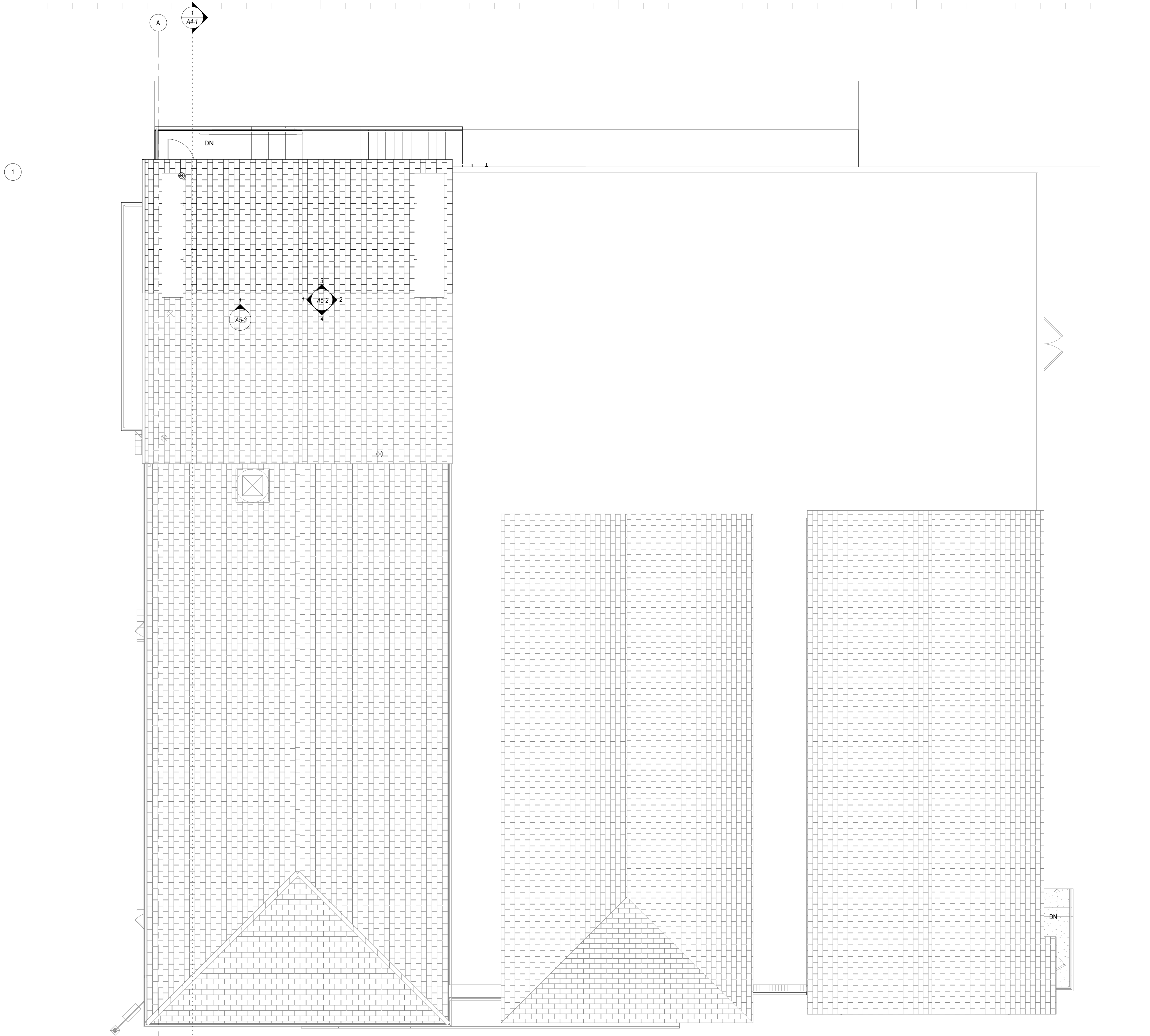
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ROOF PLAN

SHEET NO.

A2-5



KEYNOTES - ROOF PLAN

0 Enter sheet note here!

GENERAL NOTES - ROOF PLAN

1. TEXT GOES HERE
- 2.

LEGEND - NEW

- NEW WALL
- EXISTING WALL TO REMAIN
- NOT IN CONTRACT
- 1 HR RATING
- 2 HR RATING
- 3 HR RATING
- 0 KEYNOTE, SEE SCHEDULE



1 ROOF PLAN  
3/16" = 1'-0"

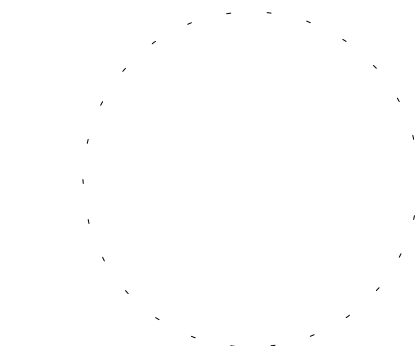


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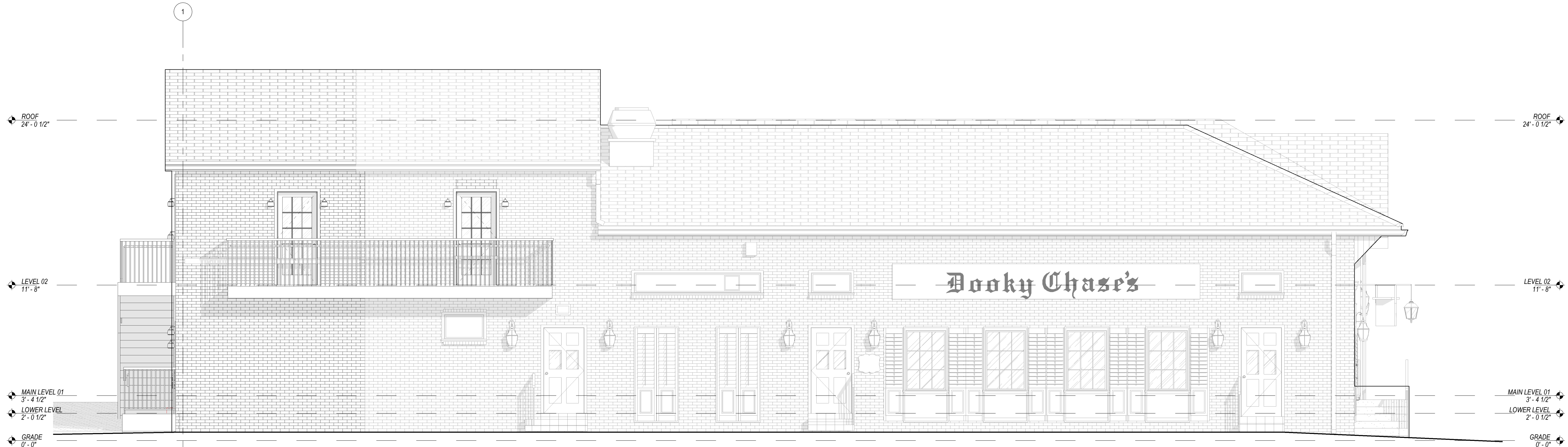
BUILDING  
ELEVATIONS

SHEET NO.

A3-1



1 SOUTH ELEVATION  
1/4" = 1'-0"

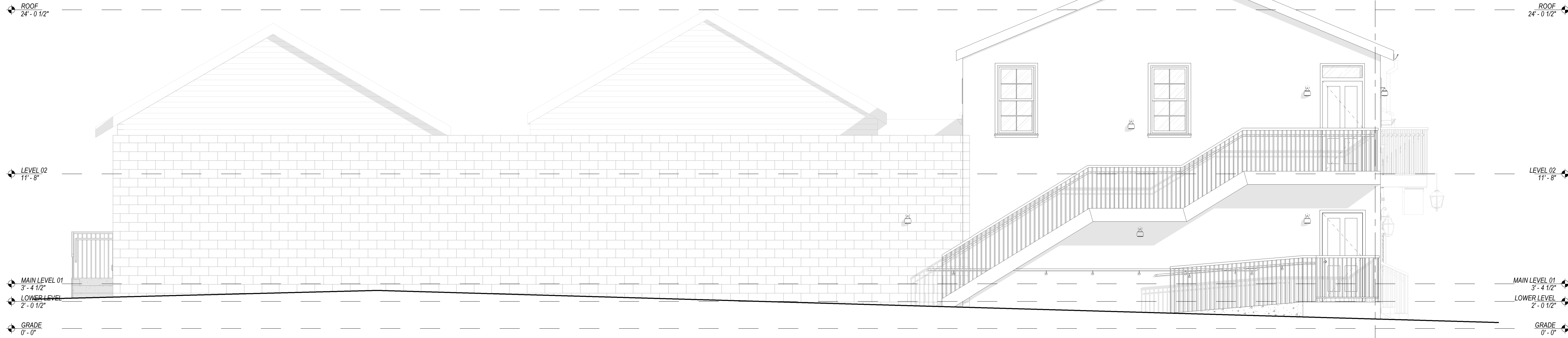


2 WEST ELEVATION  
1/4" = 1'-0"

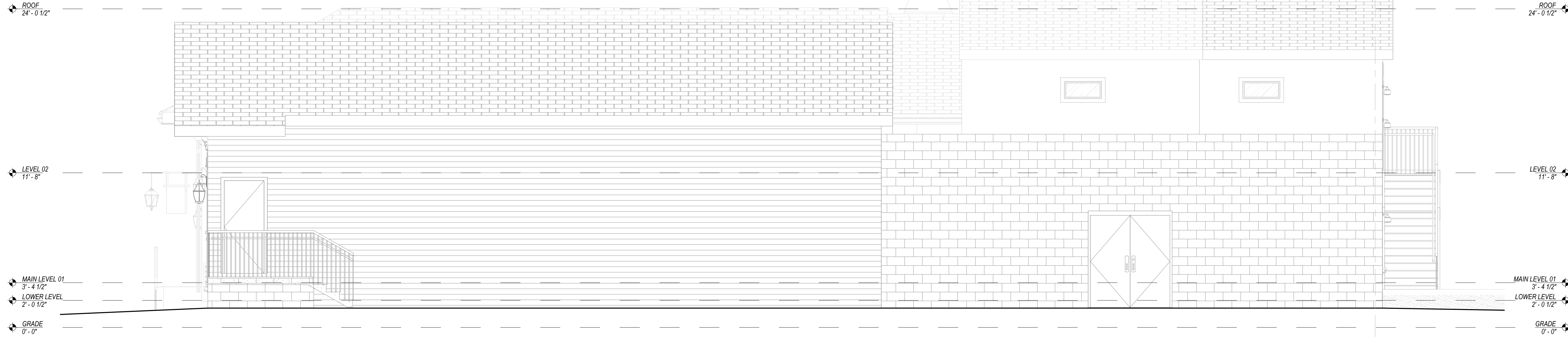
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BUILDING  
ELEVATIONS



1 NORTH ELEVATION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"



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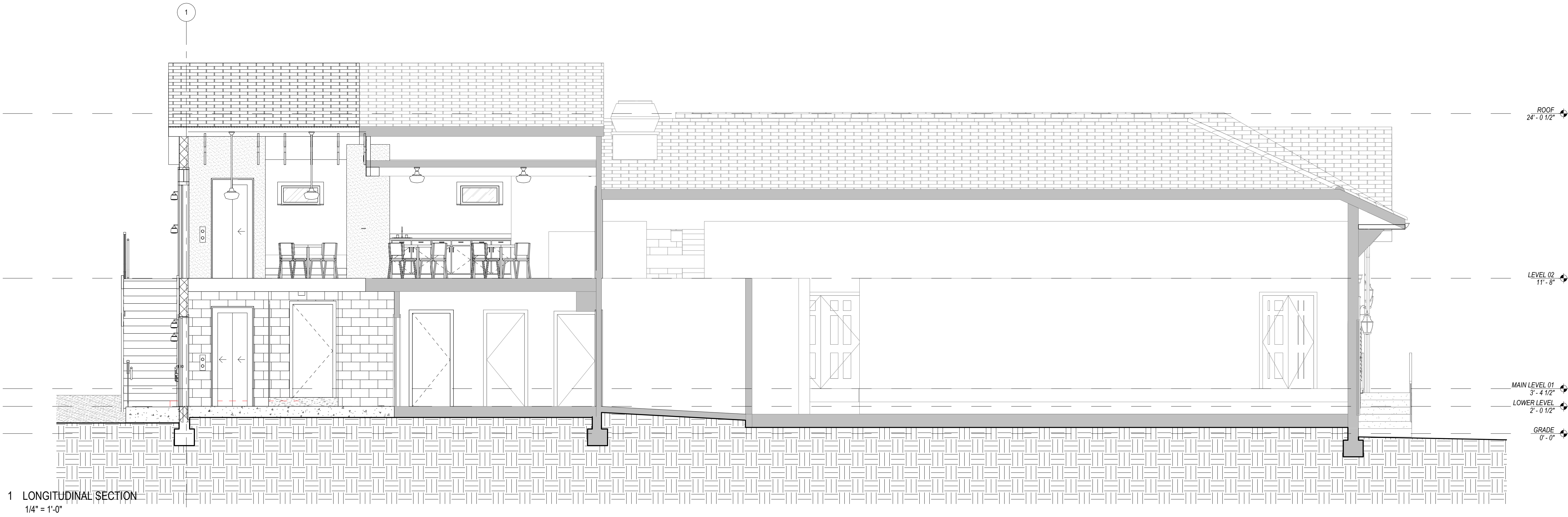
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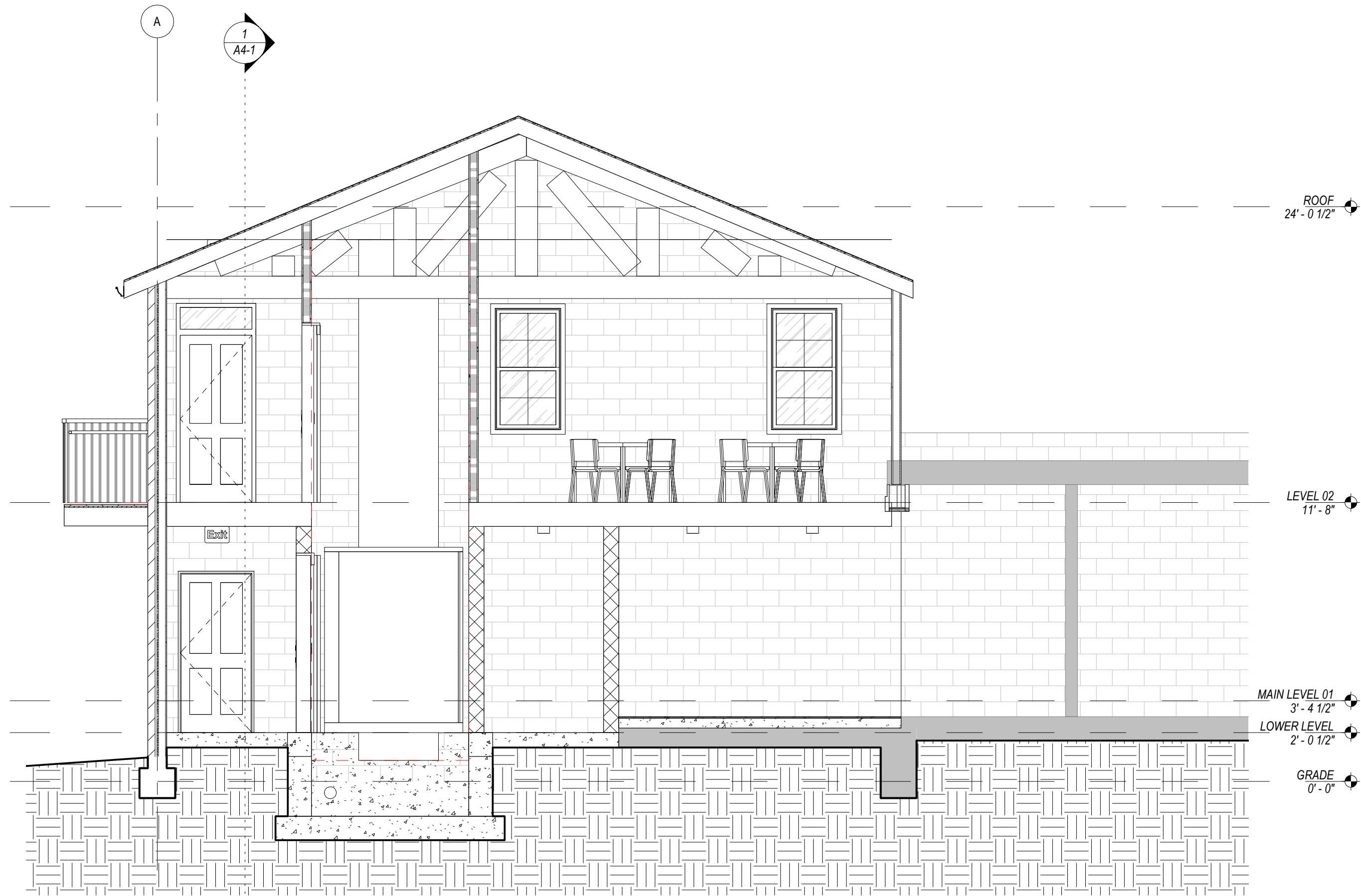
BUILDING  
SECTIONS

SHEET NO.

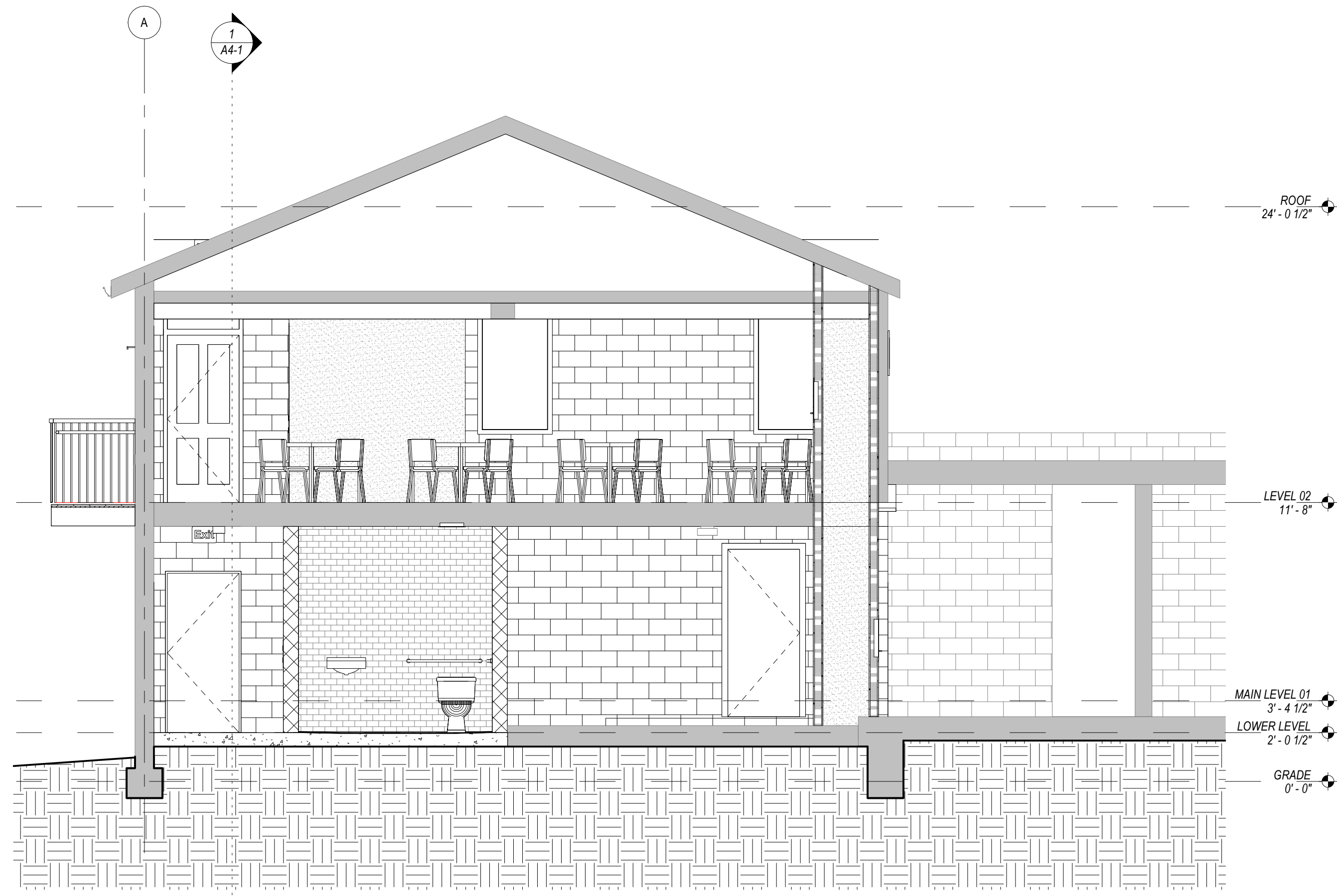
A4-1



1 LONGITUDINAL SECTION  
1/4" = 1'-0"



2 TRANSVERSE SECTION 1  
1/4" = 1'-0"

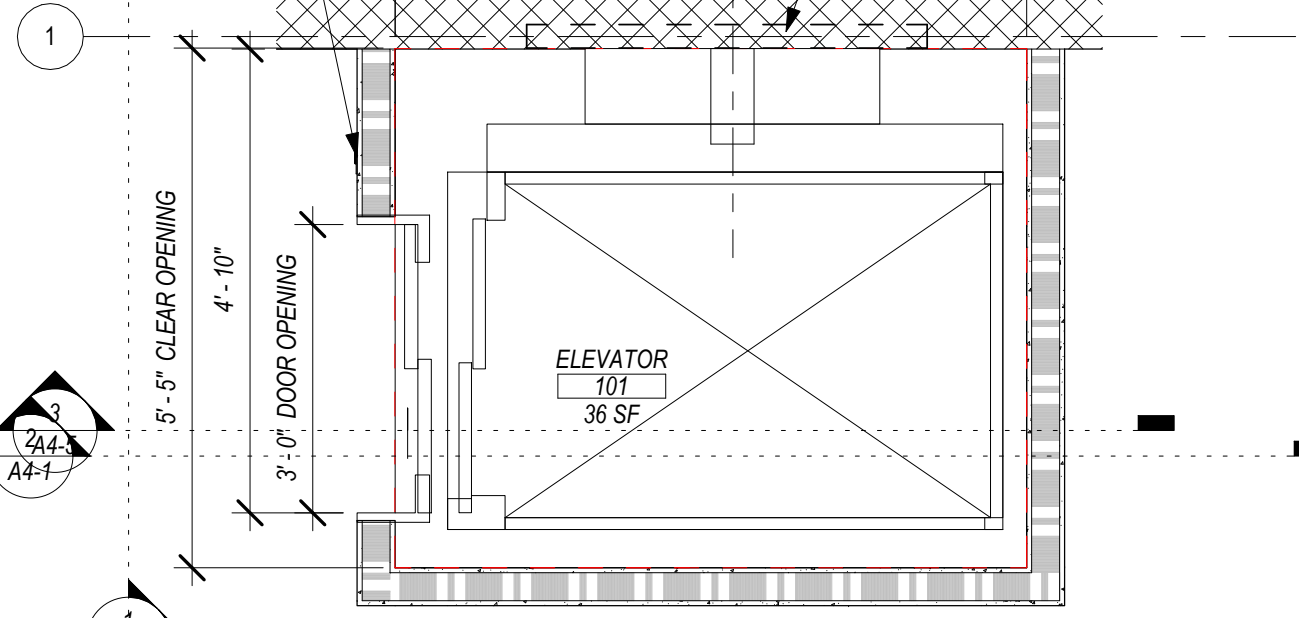


3 TRANSVERSE SECTION 2  
1/4" = 1'-0"

PROVIDE BLOCKOUT FOR ELEVATOR HALL BUTTON. COORDINATE W/ ELEVATOR CONTRACTOR.

6'-7" CLEAR OPENING  
3'-6 1/4" TO CL OF RAIL BRACKET

PROVIDE WALL INSERTS AS REQUIRED. COORDINATE W/ ELEV. CONTRACTOR PRIOR TO WALL CONSTRUCTION.

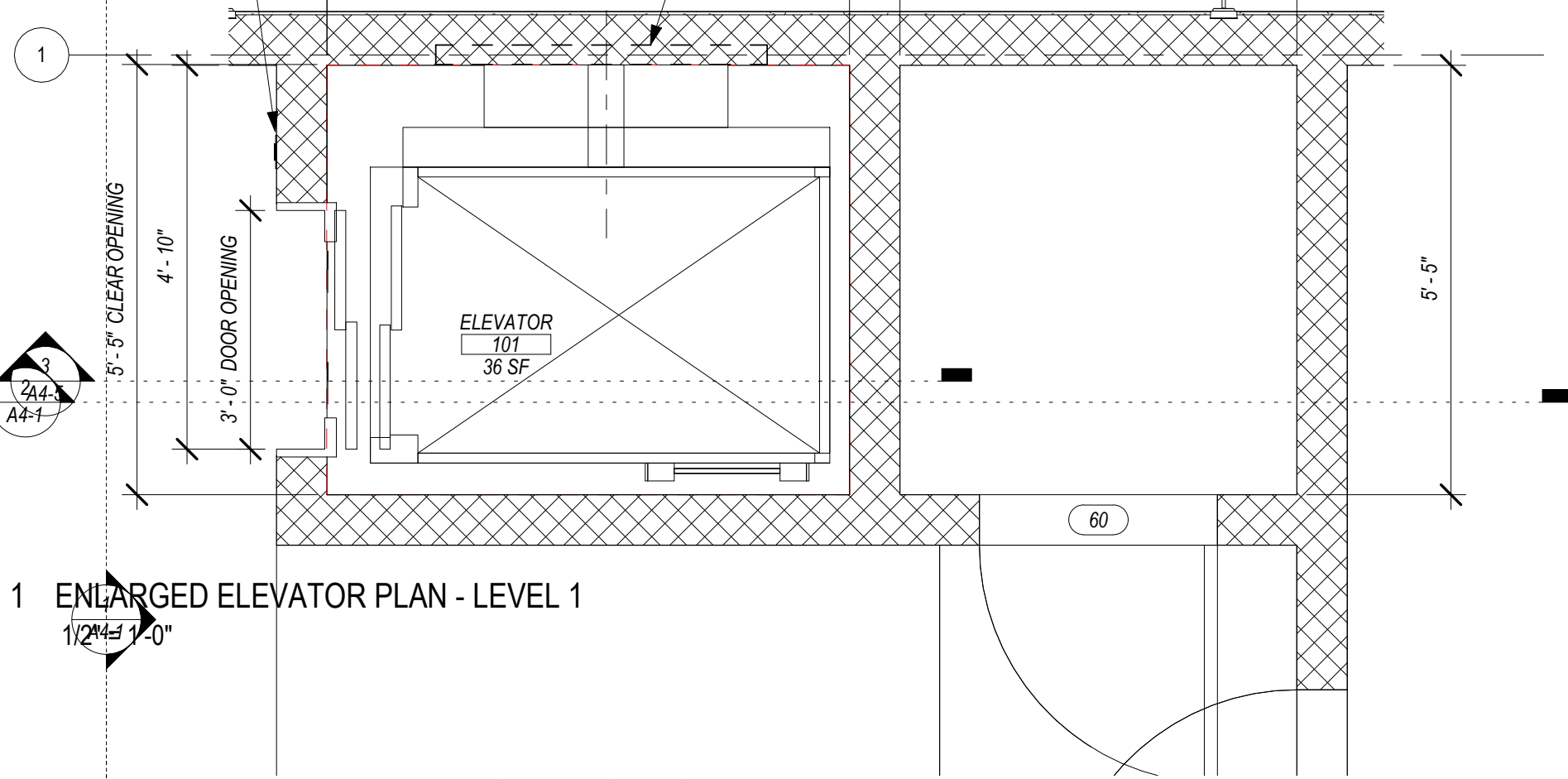


2 ENLARGED ELEVATOR PLAN - LEVEL 2  
1/2" = 1'-0"

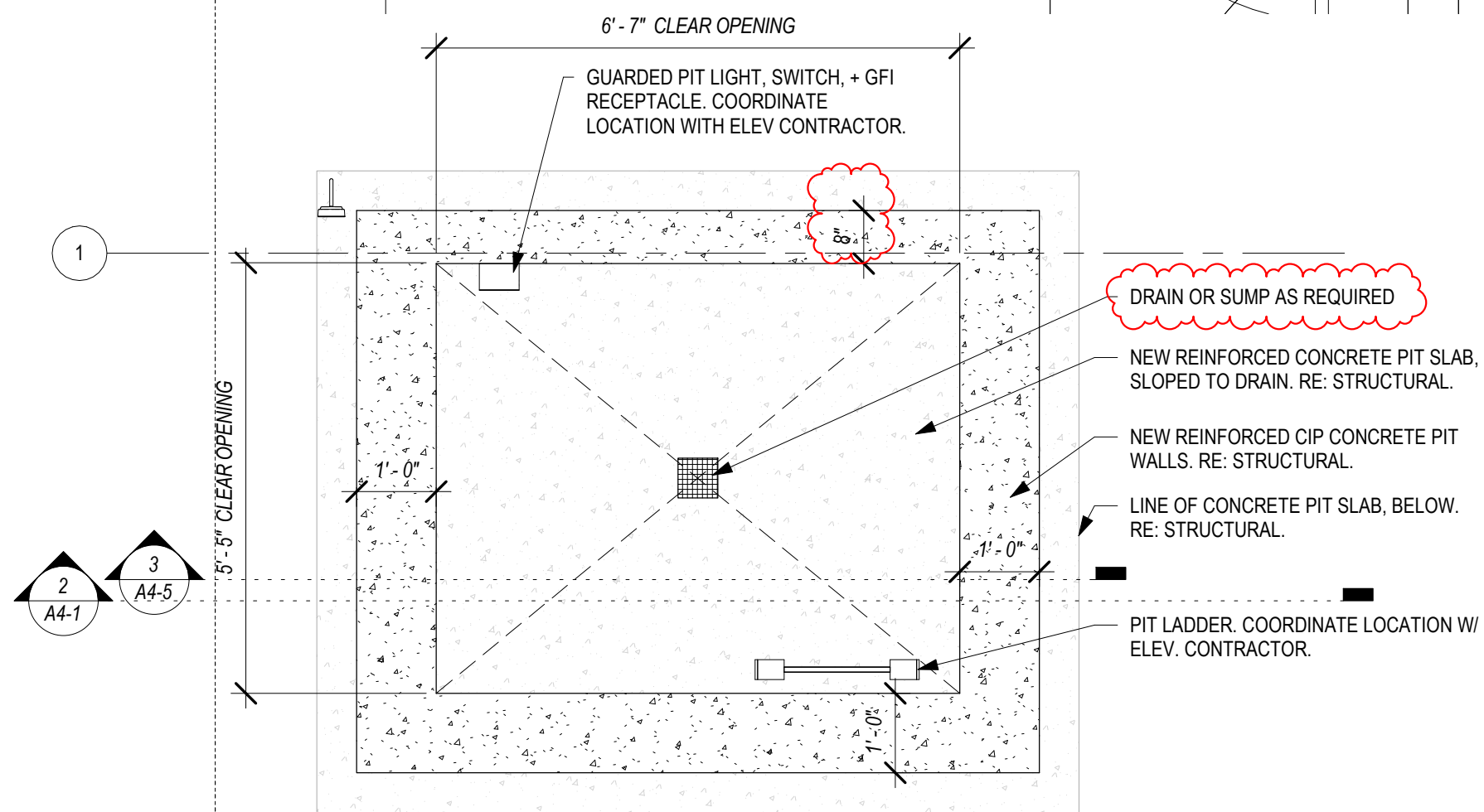
PROVIDE BLOCKOUT FOR ELEVATOR HALL BUTTON. COORDINATE W/ ELEVATOR CONTRACTOR.

6'-7" CLEAR OPENING  
3'-6 1/4" TO CL OF RAIL BRACKET

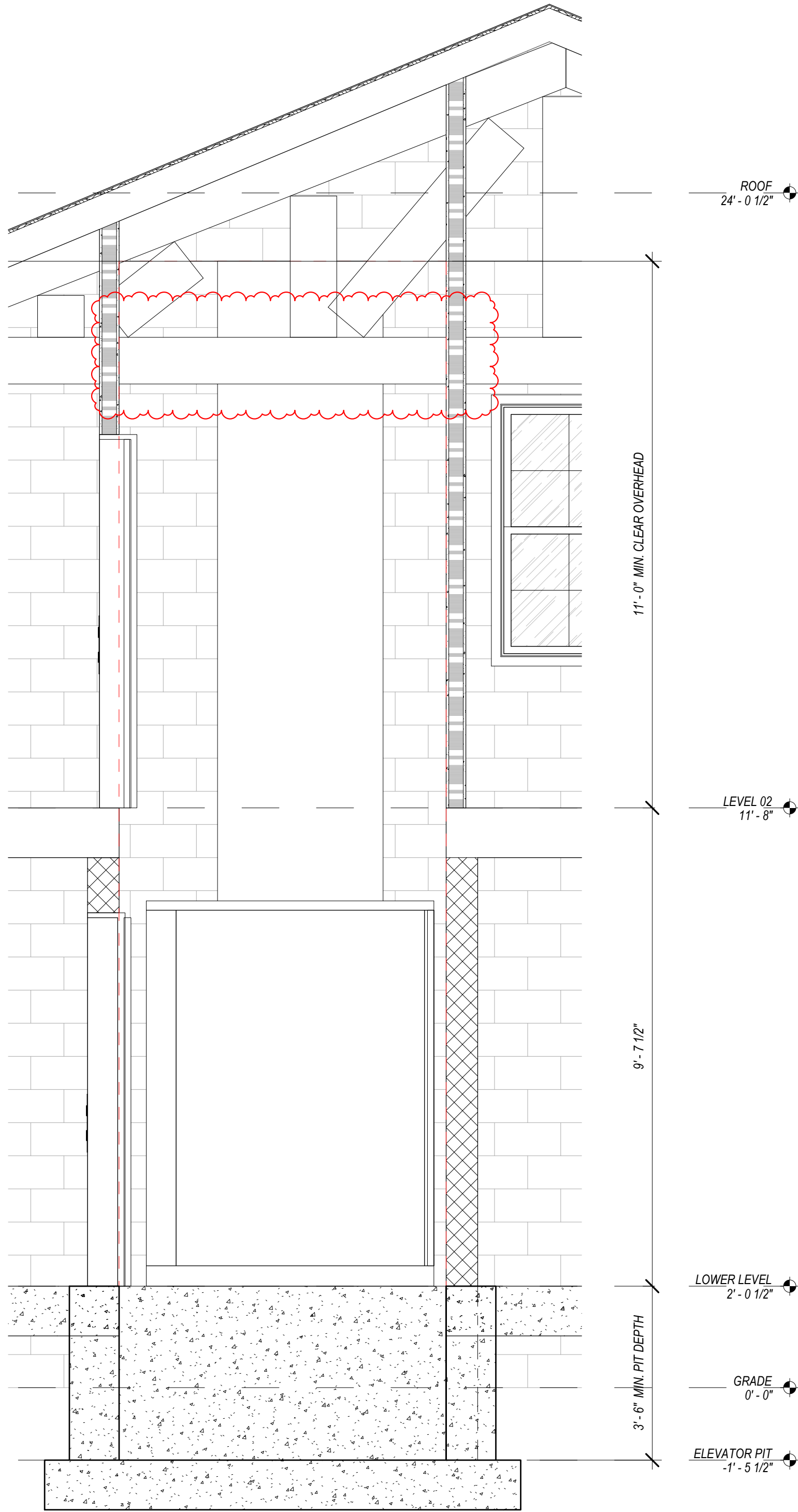
PROVIDE WALL INSERTS AS REQUIRED. COORDINATE W/ ELEV. CONTRACTOR PRIOR TO WALL CONSTRUCTION.



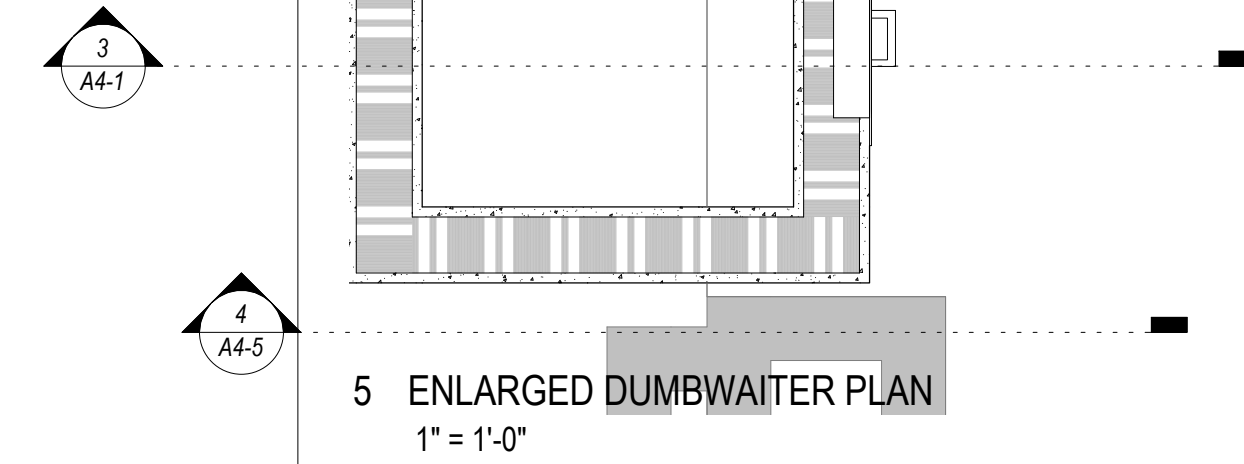
1 ENLARGED ELEVATOR PLAN - LEVEL 1  
1/2" = 1'-0"



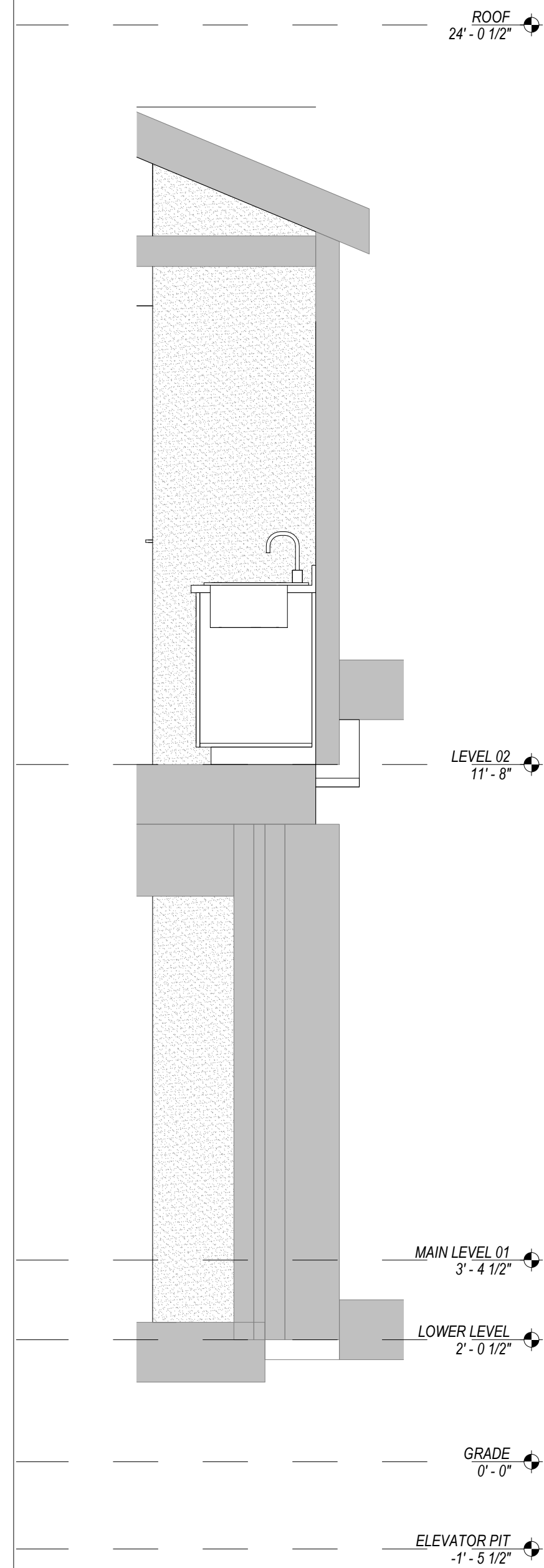
0 ENLARGED ELEVATOR PIT PLAN  
1/2" = 1'-0"



3 ELEVATOR SECTION  
1/2" = 1'-0"



5 ENLARGED DUMBWAITER PLAN  
1" = 1'-0"



4 DUMBWAITER SECTION  
1/2" = 1'-0"

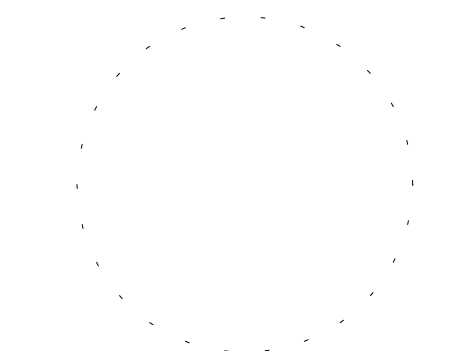


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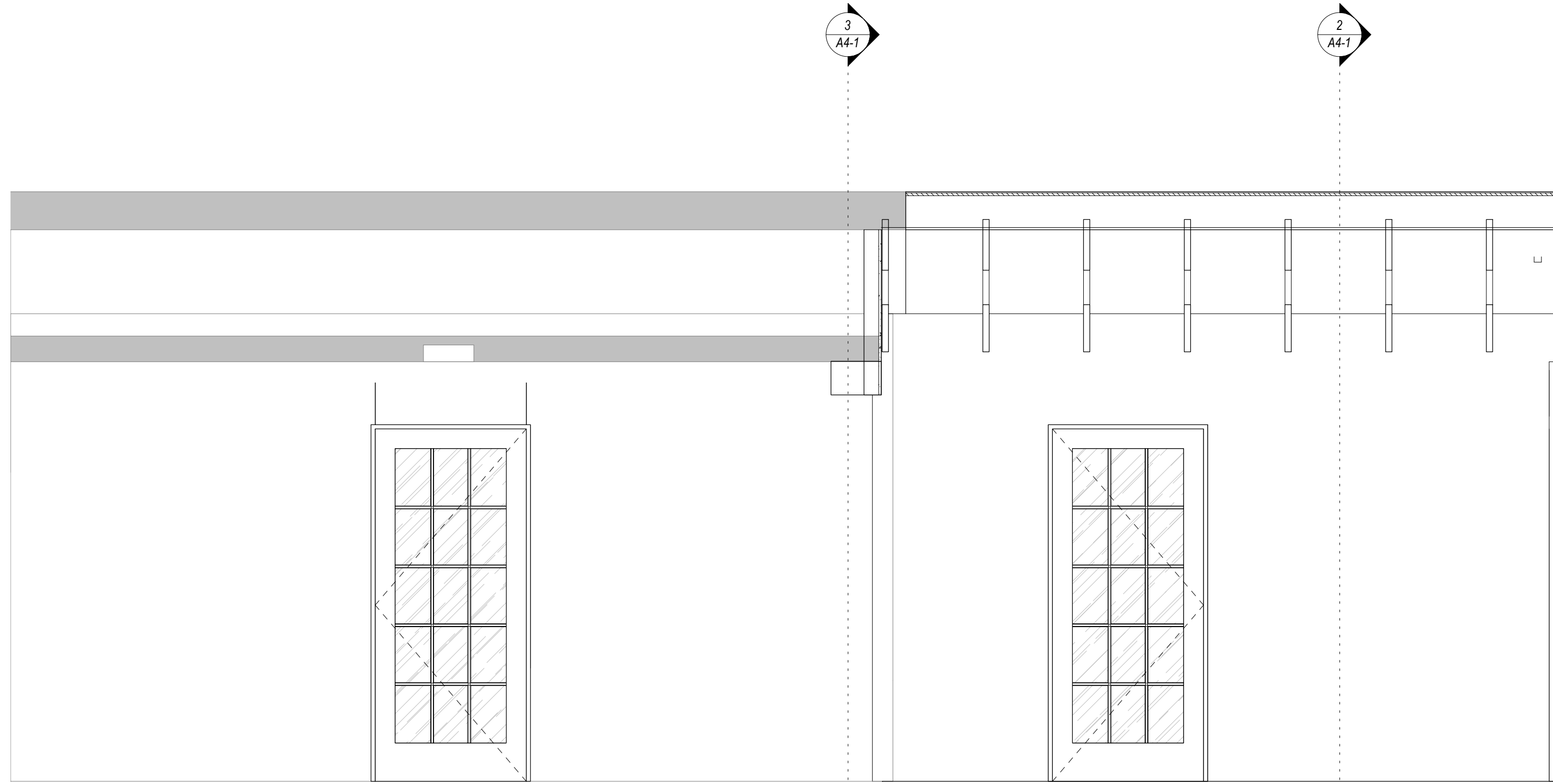
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SHEET NO.

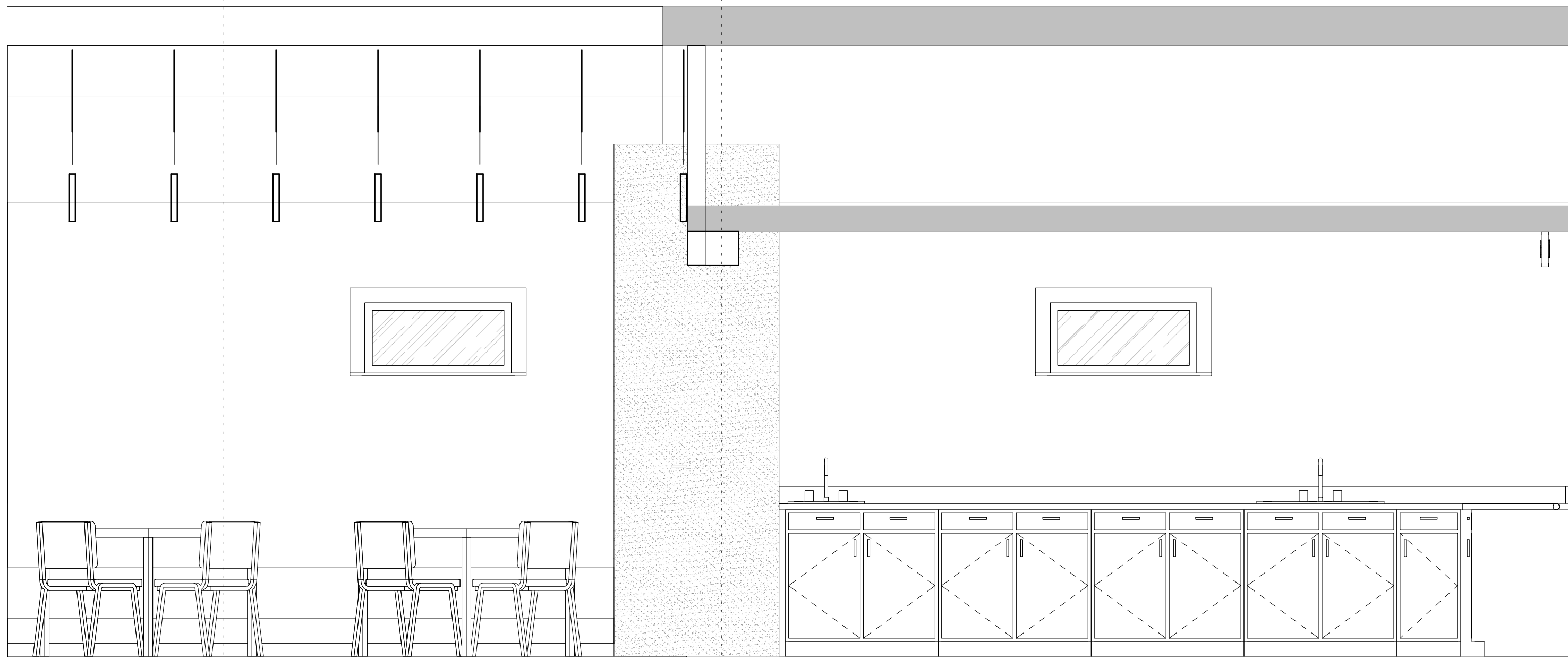
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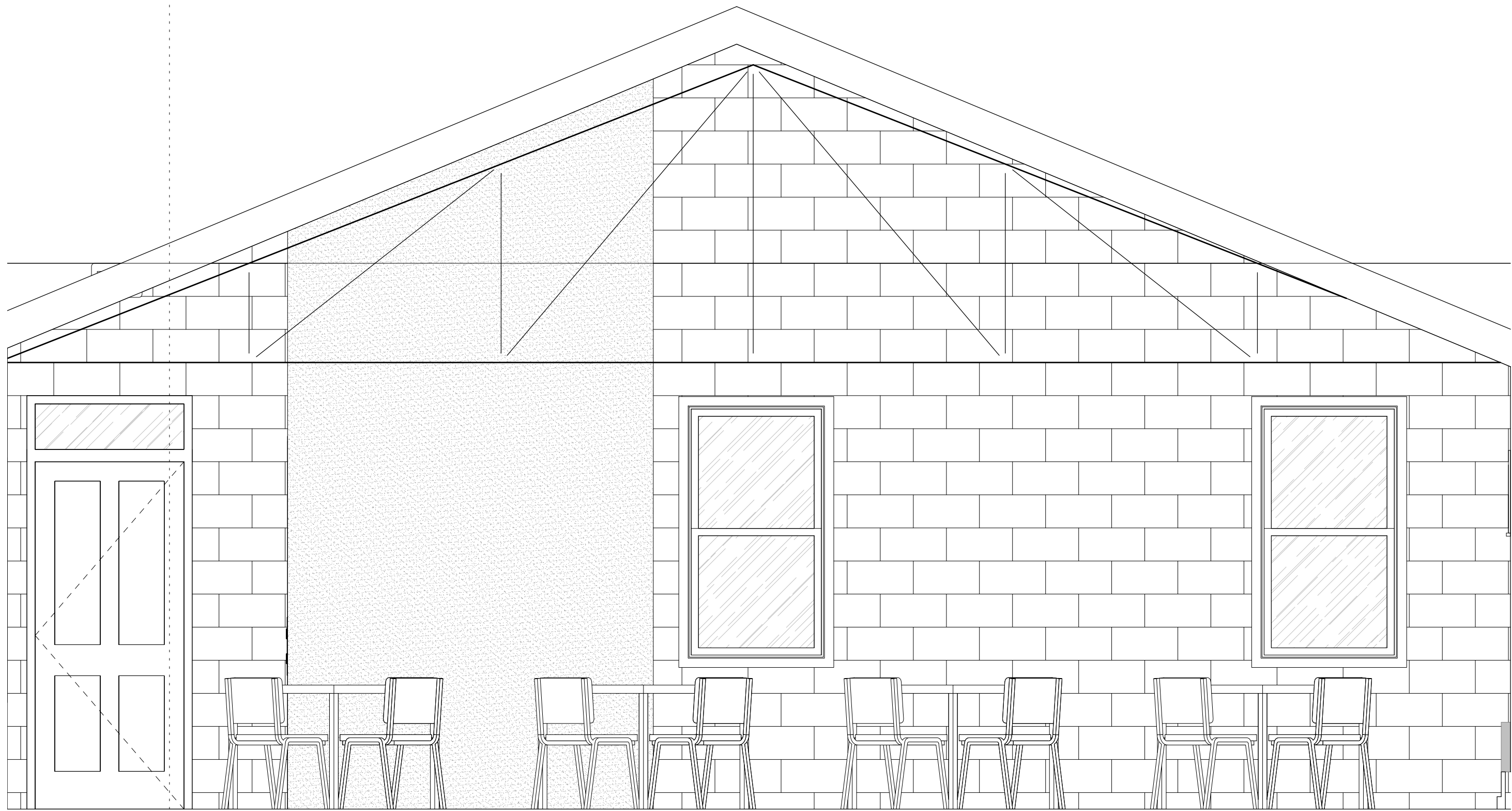




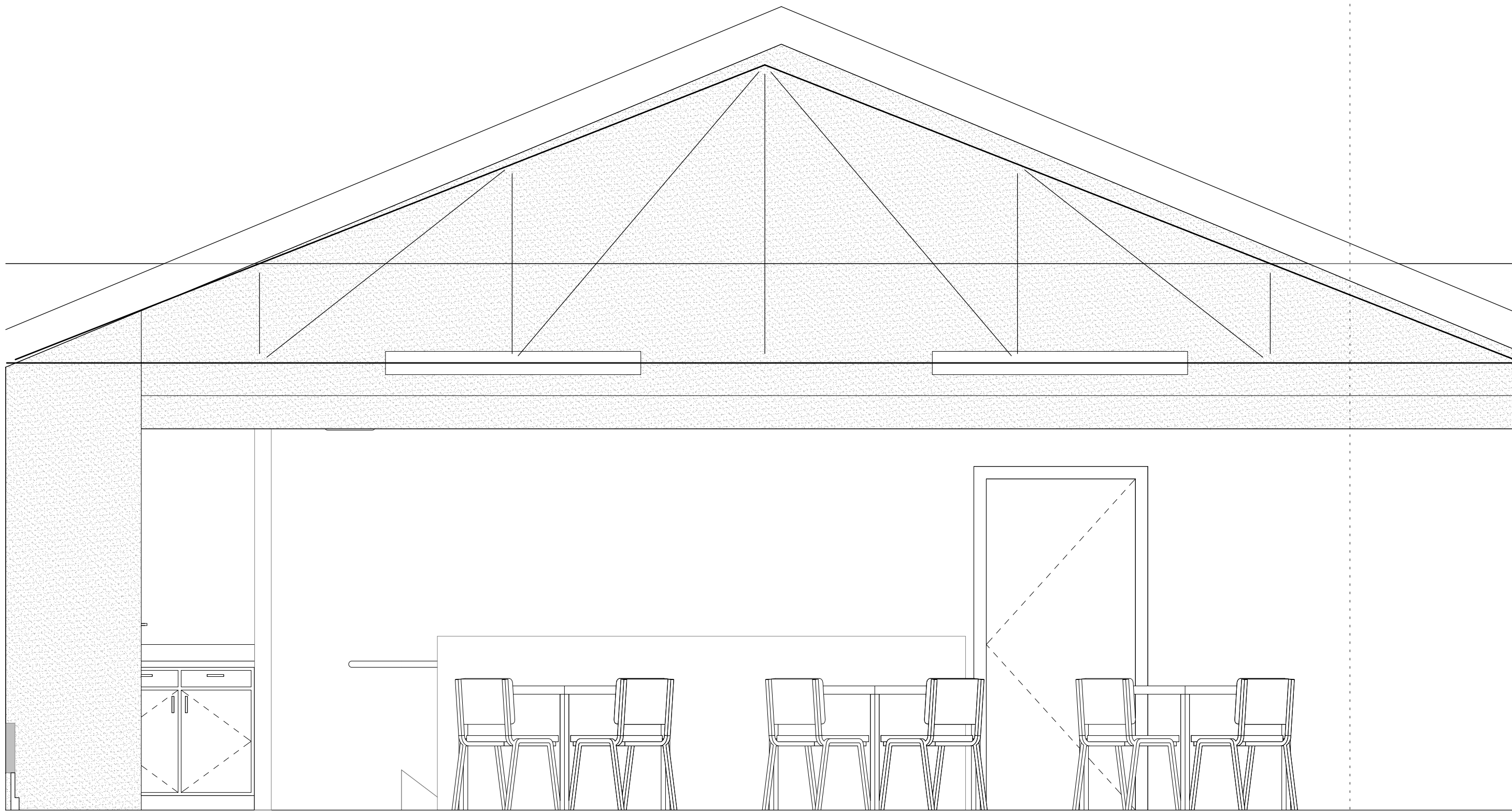
1 DINING ROOM WEST  
1/2" = 1'-0"



2 DINING ROOM EAST  
1/2" = 1'-0"



3 DINING ROOM NORTH  
1/2" = 1'-0"



4 DINING ROOM SOUTH  
1/2" = 1'-0"

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