

- GENERAL NOTES**
1. ALL REPAIR WORK SHALL MATCH EXISTING IN MATERIAL, DIMENSION, SIZE, PROFILE, RELIEF, DETAIL, SHAPE, CONFIGURATION, TYPE, AND OPERATION.
  2. PATCH, REPAIR, AND PAINT ALL EXISTING EXTERIOR SURFACES INCLUDING SIDING, WINDOWS, FRAMES, DOORS, EAVES, FASCIAS, AND SOFFITS.
  3. ALL DIMENSIONS PROVIDED ARE FOR REFERENCE ONLY.
  4. REPAIR ALL EXTERIOR WOOD MEMBERS SHOWING ANY SIGN OF DAMAGE BY WATER OR PESTS.
  5. ALL EXTERIOR SURFACES TO BE PAINTED. ARCHITECT TO PROVIDE FINAL COLOR SELECTION FOR EXTERIOR PAINT.

FILL IN EXISTING OPENING @ EXISTING ELEVATOR SHAFT WITH BRICK TO MATCH ADJACENT CONDITIONS. RECESS BRICK 2\"/>

ELASTOMERIC PAINT TO BE REMOVED. NEW PERMEABLE PAINT TO BE SUBMITTED TO HDLC PRIOR TO COMPLETION.

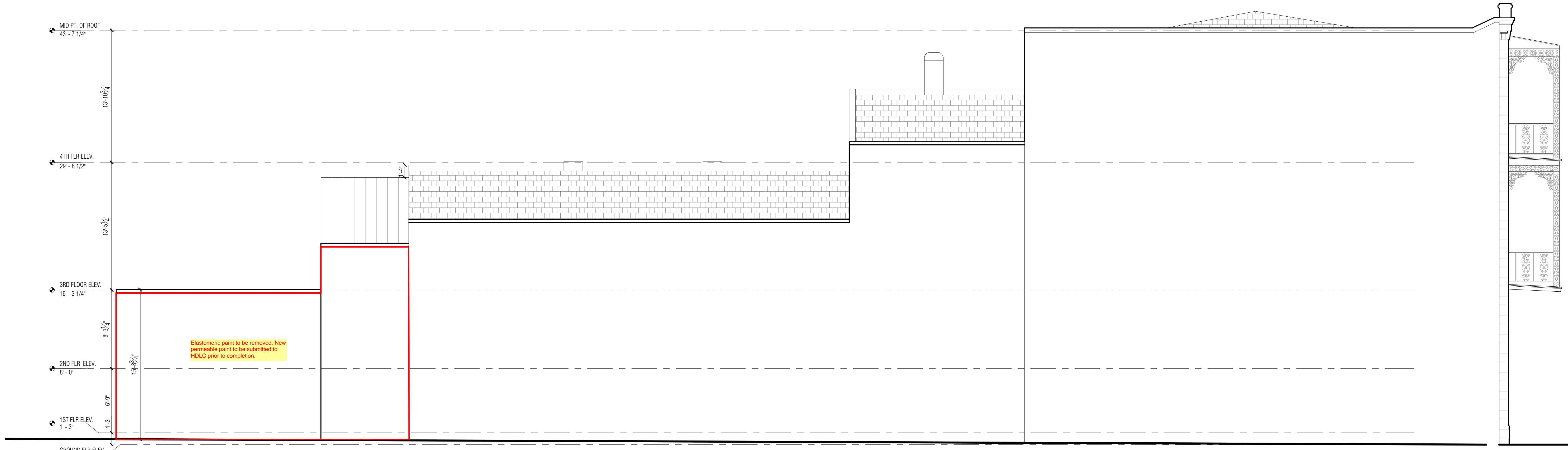
EXISTING BALCONY TO REMAIN. BRACE AS REQ. TO ACHIEVE RESISTANCE FOR 50 LBS / LINEAR FOOT. Details of bracing to be submitted.

REPLACE EXISTING BALCONY DECKING TO MATCH ORIGINAL CONDITIONS. PAINT TO BE SELECTED BY OWNER/ARCHITECT.

Need section details of trim

01 O'KEEFE AVE (SIDE) ELEVATION  
A201 3/16\"/>

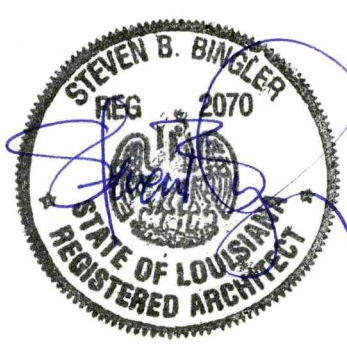
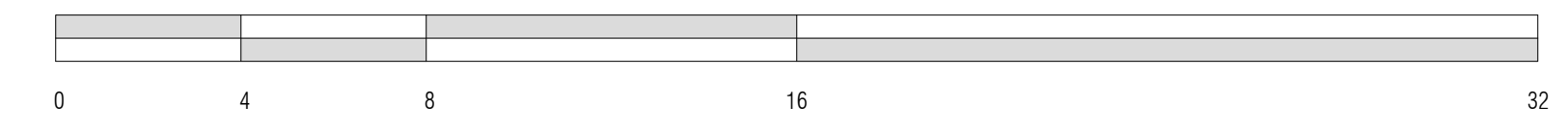
02 BARONNE ST ELEVATION  
A201 3/16\"/>



ELASTOMERIC PAINT TO BE REMOVED. NEW PERMEABLE PAINT TO BE SUBMITTED TO HDLC PRIOR TO COMPLETION.

03 HOWARD AVE (SIDE) ELEVATION  
A201 3/16\"/>

SCALE: 3/16\"/>



RENOVATION AT 833 BARONNE  
833 BARONNE ST. NEW ORLEANS, LA 70130

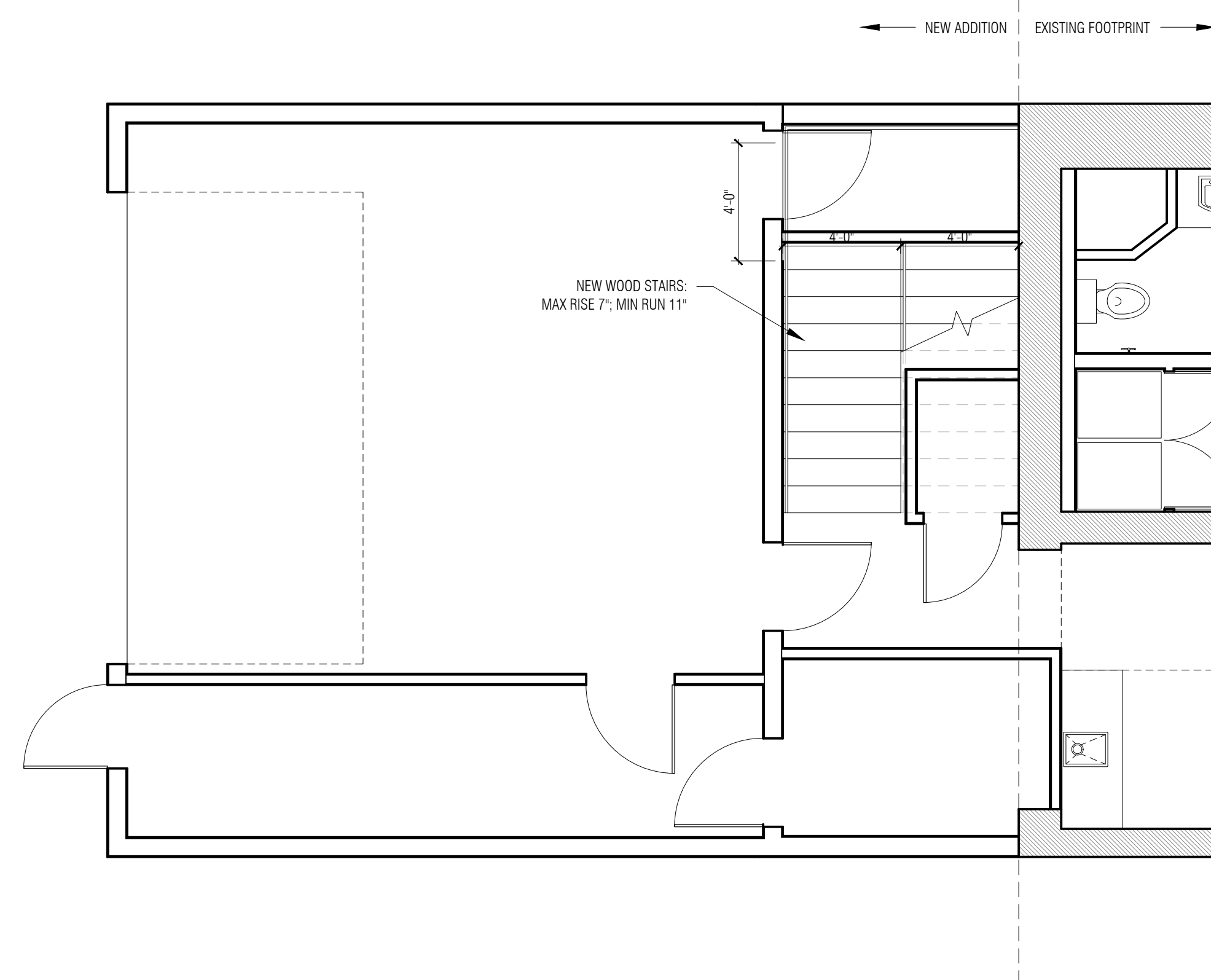
- ISSUE -

No.	Date	Scope
1	11/06/19	PERMIT SET
2	11/25/19	PERMIT SET REV
3	12/31/19	PERMIT SET REV
4	4/10/20	RESUBMISSION
5	10/09/20	A.R.C.
6	11/09/20	PERMIT SET REV
7	12/09/20	SFM REVIEW
8	1/28/21	PERMIT SET REV
9	8/10/22	ELEV. UPDATE
10	8/24/22	ELEV. UPDATE

DRAWING TITLE:  
EXTERIOR ELEVATIONS

SCALE: 3/16\"/>

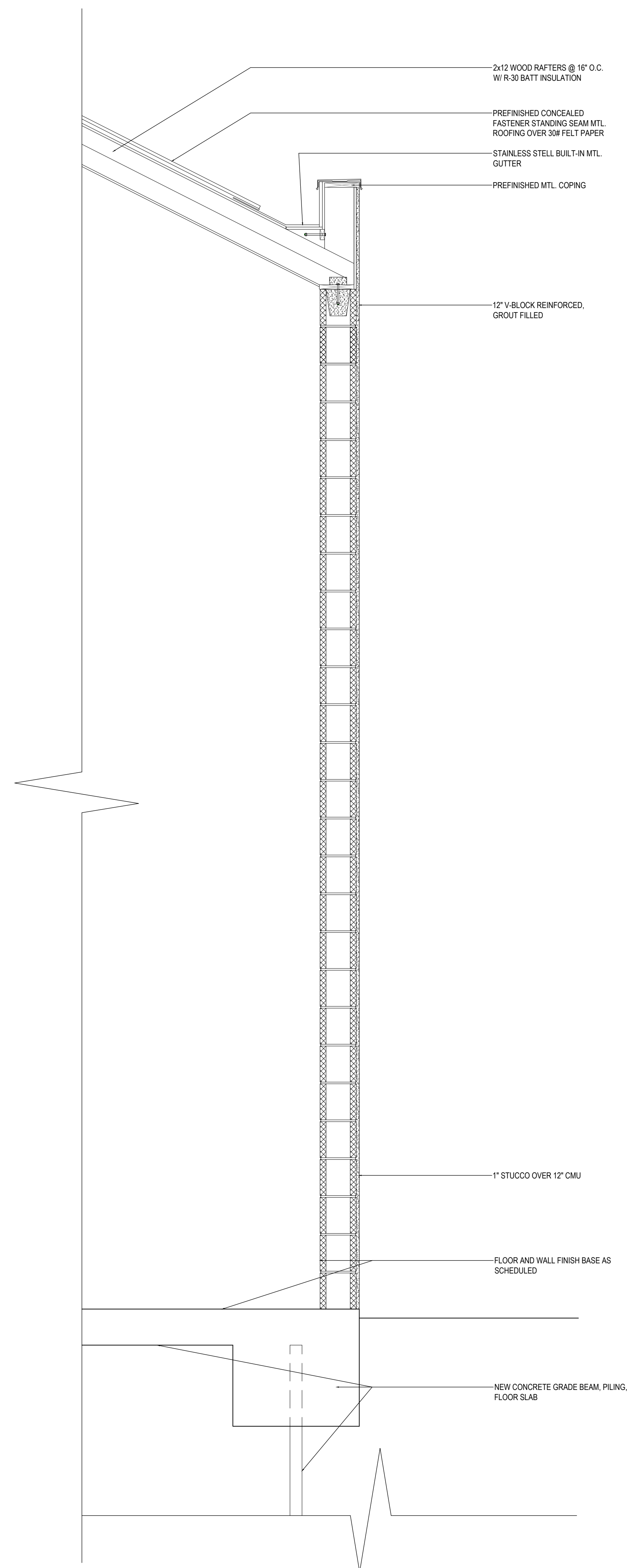
DRAWING No.:  
**A-201**



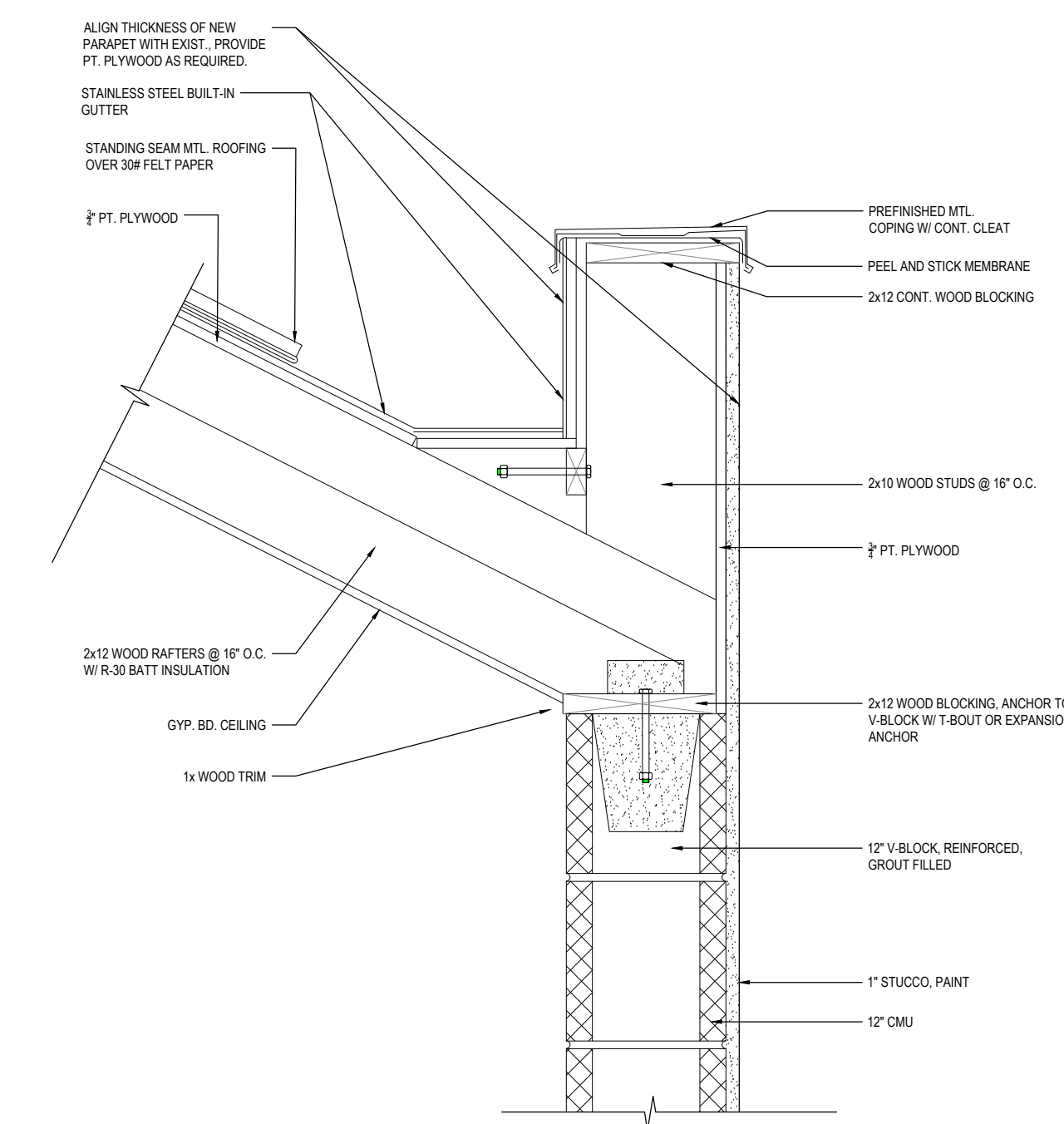
01 ENLARGED PLAN AT ADDITION  
A501 1/4" = 1'-0"



02 ENLARGED PLAN AT ADDITION  
A501 1/4" = 1'-0"



03 PARTI WALL DETAIL  
A501 1/2" = 1'-0"



04 PARAPET DETAIL  
A501 1" = 1'-0"

**DEMO PLAN GENERAL NOTES**

**STRUCTURAL SPECIFICATIONS**

**GENERAL**

A. CONTRACTOR RESPONSIBILITY – CONSTRUCTION DOCUMENTS REPRESENT THE FINISHED STRUCTURE. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES AND SAFETY PRECAUTIONS, INCLUDING BUT NOT LIMITED TO SHORING AND TEMPORARY BRACING.

B. OMISSIONS & CONFLICTS – OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE CONSTRUCTION DOCUMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM. IF CERTAIN FEATURES ARE NOT FULLY DELINEATED IN THE CONSTRUCTION DOCUMENTS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE DELINEATED.

**MISCELLANEOUS**

- A. NO CHANGE IN SIZE OR DIMENSION OF STRUCTURAL MEMBERS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE PROFESSIONAL OF RECORD.
- B. THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.
- C. THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES.
- D. DO NOT SCALE THESE DRAWINGS, USE DIMENSIONS.
- E. THE CONTRACTOR SHALL INFORM THE PROFESSIONAL OF RECORD IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY OF SUCH DEVIATION BY THE PROFESSIONAL OF RECORD REVIEW OF SHOP DRAWINGS, PRODUCT DATA, ETC., UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE PROFESSIONAL OF RECORD OF SUCH DEVIATION AT THE TIME OF SUBMISSION, AND THE PROFESSIONAL OF RECORD HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.

**QUALITY CONTROL**

- a. THE FOLLOWING WORK REQUIRES INSPECTIONS BY STRUCTURAL ENGINEER:
- b. PILE LOGGING
- c. REINFORCING STEEL AND ANCHOR BOLTS
- d. CONCRETE PLACEMENT
- e. WOOD FRAMING
- f. NO WORK SHALL BE DONE WITHOUT INSPECTORS' KNOWLEDGE.

**PILES:**

PILES SHALL CONFORM TO ASTM D25 WITH A MINIMUM OF 6" DIA. AT THE TIP AND 8" DIA. AT THE BUTT AND A 12 LBS. AWPB STANDARD C3 TREATMENT. PILES SHALL BE 35 FEET LONG. THE HOME IS LOCATED IN GEOLOGICAL MAPPING UNIT #3 SUBSET 7, BASED ON THE CITY OF NEW ORLEANS AMENDMENTS TO THE INTERNATIONAL BUILDING CODE, 2008 EDITION. THE DESIGN COMPRESSIVE PILE CAPACITY IS 4 TONS BASED ON TABLE 1813.12.2.3. PILES SHALL BE PLACED WITH A VIBRATORY HAMMER WITH AN ENERGY EQUIVALENT OF 7500 FT. LBS.

**GENERAL NOTE:**

- DIMENSIONS TO CENTER LINE OF PILES
- PILES TO BE LEFT UN CUT AT LEAST 3' ABOVE GRADE. UNLESS NOTED OTHERWISE
- CONCRETE FOOTINGS SHALL BE 18" WIDE x 8" DEEP AND ALIGN WITH FACE OF CMU WALL
- PILING SHALL BE CENTERED ON CONCRETE FOOTING TO SUPPORT CMU WALL LOCATIONS
- PILES SUPPORTING CONCRETE FOOTING SHALL BE CUT-OFF ON A NEAT HORIZONTAL PLANE. THE TOPS OF THE PILES SHALL BE PAINTED WITH THREE COATS OF LIQUID CREOSOTE



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DRAWING TITLE:  
DETAIL DRAWINGS

SCALE: VARIES  
JOB No.: 1929.00

DRAWING No.:  
**A-501**