

JOHN H. ROSS, ARCHITECT
 NEW ORLEANS, LOUISIANA 70118
 1521 PINE STREET
 PHONE: 504-585-0000

201-203 ADAMS STREET

PROJECT INFORMATION

PROJECT ADDRESS
 201-203 Adams Street
 New Orleans, Louisiana 70118

PROJECT DESCRIPTION
 Two Family Residence

LOT AREA
 3360 SF

FLOOD ZONE
 Type V

CONSTRUCTION TYPE
 Type V

ZONING DESIGNATION
 HL4R02

GENERAL CONTRACTOR

CONNER
 Samantha and Aaron Ross
 201 Adams Street
 New Orleans, LA 70118

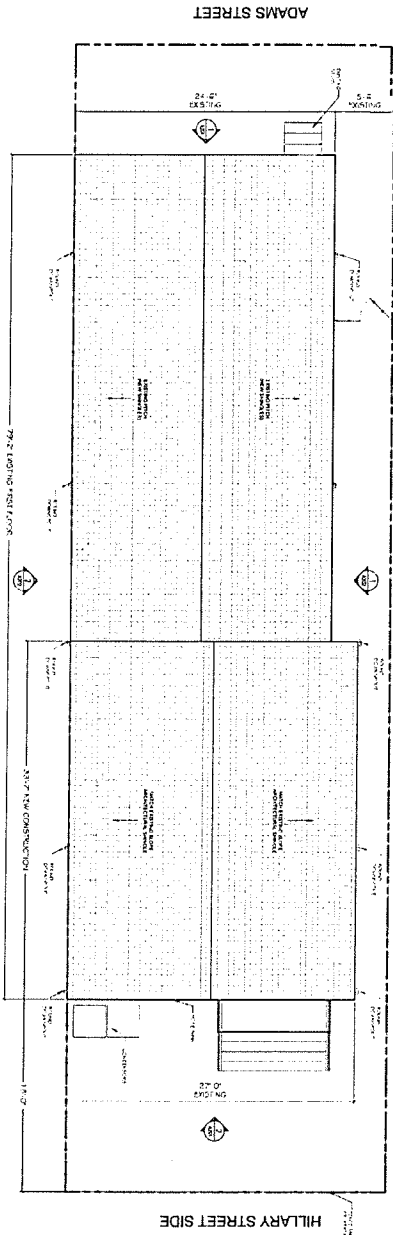
MAJOR APPLICABLE CODES AND REGULATIONS
 INTERNATIONAL BUILDING CODE (IBC), 2012 ED.
 INTERNATIONAL RESIDENTIAL CODE (IRC), 2012 ED.
 INTERNATIONAL MECHANICAL CODE (IMC), 2012
 INTERNATIONAL PLUMBING CODE (IPC), 2012
 NATIONAL ELECTRICAL CODE, 2011
 NEW ORLEANS AMENDMENTS TO IBC, IRC, IMC
 LOUISIANA STATE PLUMBING CODE, 2000 ED.

LEVEL	TYPE	AREA
FIRST FLOOR LIVING SPACE	CONDITIONED	1387 SF
COVERED PORCHES	UNCONDITIONED	341 SF
TOTAL		1728 SF

LEVEL	TYPE	AREA
LIVING TO BE DEMOLISHED OR REMOVED	CONDITIONED SPACE	0 SF
LIVING TO BE FULLY REPLACED	CONDITIONED SPACE	398 SF
TOTAL LIVING REPLACEMENT OR DEMOLITION ROOMS		398 SF
POORCHES TO BE DEMOLISHED OR REPLACED (INCLUDING ROOF)	UNCONDITIONED SPACE	215 SF
TOTAL DEMOLITION OR REPLACEMENT		613 SF

LEVEL	TYPE	AREA
FIRST FLOOR - EXISTING TO BE REBUILT	CONDITIONED SPACE	178 SF
FIRST FLOOR - EXISTING TO REMAIN	CONDITIONED SPACE	1115 SF
FIRST FLOOR - NEW	CONDITIONED SPACE	148 SF
TOTAL FIRST FLOOR	CONDITIONED SPACE	1500 SF
SECOND FLOOR - NEW	CONDITIONED SPACE	188 SF
TOTAL LIVING	CONDITIONED SPACE	1688 SF
POORCH - EXISTING	UNCONDITIONED	128 SF
TOTAL		1816 SF

DRAWING INDEX	PROJECT INFORMATION
A100	SITE PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	ATTIC FLOOR PLAN
A201	FRONT AND REAR ELEVATION
A202	SIDE ELEVATIONS
A203	OPENING SCHEDULE
D101	DEMOLITION PLAN
E101	FIRST FLOOR ELECTRICAL PLAN
E102	SECOND FLOOR ELECTRICAL PLAN
P101	PLUMBING RISER DIAGRAM



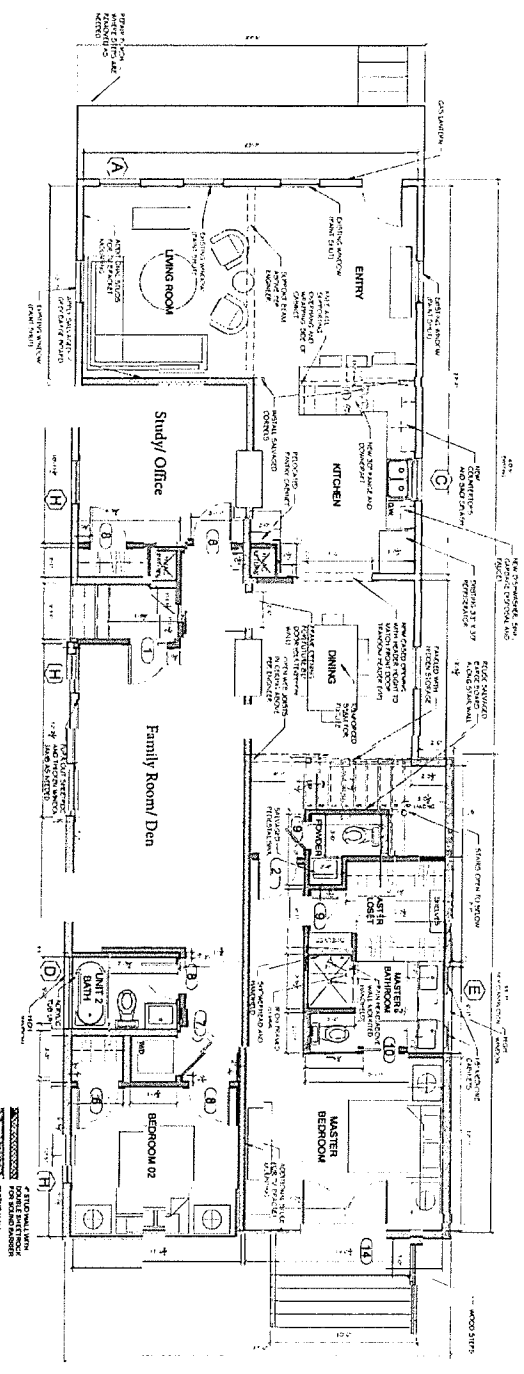
1 SITE PLAN
 1/8" = 1'-0"

ROSS RESIDENCE
 201-203 ADAMS STREET
 NEW ORLEANS, LA 70118

A-100
 FRAMING SET

SHEET TITLE: FIRST FLOOR PLAN

1 FIRST FLOOR PLAN



ROOM	FLOOR AREA	FLOORING	WALLS	CEILING	BASEBOARD	DOOR TRIM	CROWN	PERIMETER
ENTRANCE	317 SF	EXISTING WOOD PATCHES NEEDED	GYP BOARD/PATCH AND SAUNGED BARGE BOARD	EXISTING WOOD AND PATCH WITH WOODS NEEDED	EXISTING	EXISTING	NONE	174'-0"
KITCHEN	198 SF	EXISTING WOOD	GYP BOARD/PATCH	GYP BOARD	EXISTING	EXISTING	NONE	97'-6"
DINING	142 SF	SAUNGED WOOD TO MATCH EXISTING	GYP BOARD/PATCH	GYP BOARD	EXISTING	EXISTING	NONE	47'-6"
POWDER	19 SF	TILE	GYP BOARD/PATCH	GYP BOARD	EXISTING	EXISTING	NONE	20'-0"
MASTER BEDROOM	221 SF	SAUNGED WOOD TO MATCH EXISTING	GYP BOARD/PATCH	GYP BOARD	EXISTING	EXISTING	NONE	79'-0"
MASTER CLOSET	58 SF	CARPET	GYP BOARD/PATCH	GYP BOARD	EXISTING	EXISTING	NONE	35'-0"
MASTER BATHROOM	59 SF	TILE	GYP BOARD/PATCH	GYP BOARD	EXISTING	EXISTING	NONE	32'-0"
FIRST FLOOR FINISH SCHEDULE - RENTAL UNIT								
ROOM	FLOOR AREA	FLOORING	WALLS	CEILING	BASEBOARD	DOOR TRIM	CROWN	PERIMETER
LIVING/DINING	303 SF	ENGINEERED WOOD	GYP BOARD/PATCH	GYP BOARD	MATCH EXISTING	EXISTING/MATCH	NONE	96'-2"
BEDROOM 1	134 SF	ENGINEERED WOOD	GYP BOARD/PATCH	GYP BOARD	MATCH EXISTING	EXISTING/MATCH	NONE	50'-11"
BATH	36 SF	TILE	GYP BOARD/PATCH	GYP BOARD	MATCH EXISTING	EXISTING/MATCH	NONE	24'-4"
BEDROOM 2	123 SF	ENGINEERED WOOD	GYP BOARD/PATCH	GYP BOARD	MATCH EXISTING	EXISTING/MATCH	NONE	57'-6"
LAUNDRY	11 SF	ENGINEERED WOOD	GYP BOARD/PATCH	GYP BOARD	MATCH EXISTING	EXISTING/MATCH	NONE	13'-0"

FLOOR PLAN NOTES:

1. PROVIDE INSULATION REQUIRED BY SEC. 102 OF IRC 2012 ED.
2. WHERE FLOOR ROADS AND BATHROOMS ARE MECHANICALLY VENTILATED, VENTILATION EQUIPMENT SHALL BE INSTALLED PER IAPWS SEC. 1507 OF THE IRC 2012 ED.
3. SMOKE DETECTORS ARE TO BE PROVIDED IN ALL SLEEPING AREAS AND IN HALLWAYS OUTSIDE OF SLEEPING AREAS PER IAPWS, IRC 2012.
4. COMBINATION SMOKE DETECTOR/MONITOR TO BE PROVIDED IN HALLWAY OUTSIDE OF SLEEPING AREAS.
5. STAIRS WILL BE BUILT WITH LANDING IN COMPLIANCE WITH R311.7.3, IRC 2012 WHEN APPLICABLE.
6. MINIMUM STAIR TREAD DEPTH AND MAXIMUM RISE PER HEIGHT SHALL BE IN ACCORDANCE WITH R311.7.3, IRC 2012.
7. HANDRAILS WILL COMPLY WITH R311.7.2, IRC 2012.
8. ALL REP. EQUIPMENT SHALL BE LOCATED ABOVE THE BASE FLOOD ELEVATION.
9. ALL DIMENSIONS TO THE FACE OF THE STUD.
10. THE PROPERTY WILL BE TREATED FOR TERMITES IN ACCORDANCE WITH SEC. R418, IRC 2012 ED.
11. ALL NEW GUTTERS.
12. ALL CASED OPENINGS TO HAVE THE SAME HEADER HEIGHT AS THE FRONT DOOR THRESHOLD.
13. IN RENTAL UNIT, IF THERE ARE CEILING HEIGHT DIFFERENTIALS IN ROOM DUE TO THE CEILING STRUCTURE, MAKE THE ENTIRE CEILING THE SAME HEIGHT.
14. IF FEWER STEPS ARE REQUIRED FOR SIDE ENTRANCE, MAKE LANDING LARGER.
15. IN SHARED WALL BETWEEN UNITS, USE RESILIENT CHANNEL OR SOME OTHER SOUND REDUCING MATERIAL ON TECHNIQUE.

WIND BORNE DEBRIS PROTECTION FOR GLAZED OPENINGS TO BE PROVIDED PER R301.2.1.2 IRC 2012.

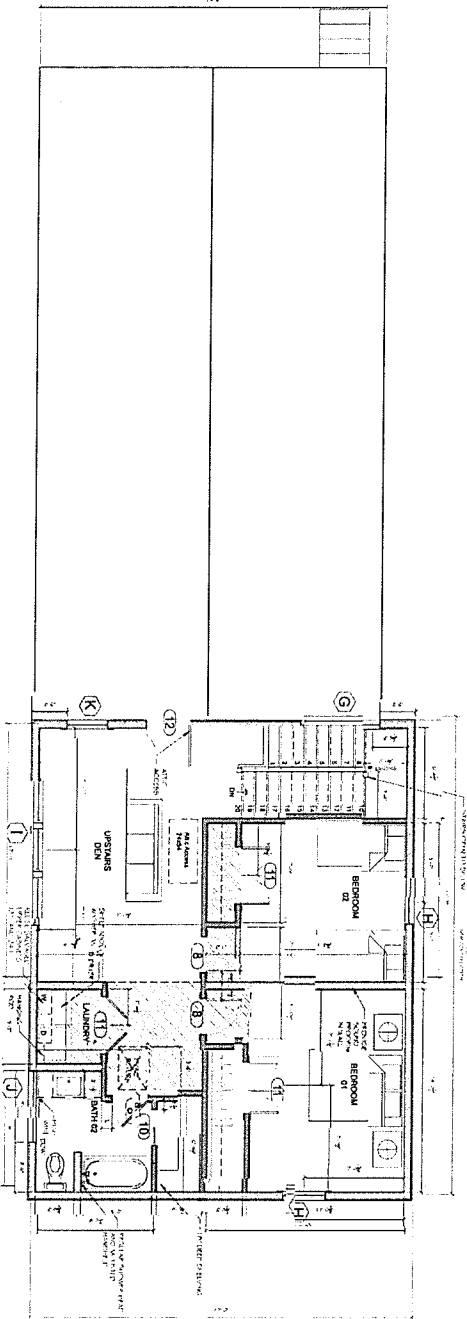
OWNER: RENTAL UNIT
 NEW ORLEANS, LOUISIANA 70118
 PROJECT NO: 1001
 DATE: 10/1/2012

ROSS RESIDENCE
 201-203 ADAMS STREET
 NEW ORLEANS, LA 70118

SHEET TITLE: FIRST FLOOR PLAN

A-101
 FRAMING SET

1 SECOND FLOOR PLAN
TM-9-119



ROOM	FLOOR AREA	FLOORING	WALLS	CEILING	BASEBOARD	DOOR TRIM	CROWN	PERIMETER
UPSTAIRS DEN	257 SF	WOOD	GYP BOARD/PAIN'T	GYP BOARD	MATCH EXISTING	MATCH EXISTING	NONE	7/4"-F
BEDROOM 01	183 SF	CARPET	GYP BOARD/PAIN'T	GYP BOARD	MATCH EXISTING	MATCH EXISTING	NONE	5/4"-F
BEDROOM 02	156 SF	CARPET	GYP BOARD/PAIN'T	GYP BOARD	MATCH EXISTING	MATCH EXISTING	NONE	5/4"-F
LAUNDRY	23 SF	TILE	GYP BOARD/PAIN'T	GYP BOARD	MATCH EXISTING	MATCH EXISTING	NONE	1/2"-F
BATH 02	62 SF	TILE	GYP BOARD/PAIN'T	GYP BOARD	MATCH EXISTING	MATCH EXISTING	NONE	1/2"-F

FLOOR PLANS NOTES:

1. PROVIDE INSULATION REQUIRED BY SEC. 1102 OF IRC 2012 ED.
2. WHERE FLOOR JOISTS AND PARTITIONS ARE MECHANICALLY VENTILATED, VENTILATION EQUIPMENT SHALL BE INSTALLED PER IAW SEC. 1507 OF THE IRC 2012 ED.
3. SMOKE DETECTORS ARE TO BE PROVIDED IN ALL SLEEPING AREAS AND IN HALLWAYS OUTSIDE OF SLEEPING AREAS PER IAW, IRC 2012.
4. COMBINATION SMOKE DETECTOR/CO MONITOR TO BE PROVIDED IN HALLWAY OUTSIDE OF SLEEPING AREAS.
5. STAIRS WILL BE BUILT WITH LANDING IN COMPLIANCE WITH R311.7.6 IRC 2012 WHEN APPLICABLE.
6. MINIMUM STAIR TREAD DEPTH AND MAXIMUM RISER HEIGHT SHALL BE IN ACCORDANCE WITH R311.7.5 IRC 2012.
7. HANDRAILS WILL COMPLY WITH R311.7.8 IRC 2012.
8. ALL MEP EQUIPMENT SHALL BE LOCATED ABOVE THE BASE FLOOD ELEVATION.
9. ALL DIMENSIONS TO THE FACE OF THE STUD.
10. THE PROPERTY WILL BE TREATED FOR TERMITES IN ACCORDANCE WITH SEC. R419 IRC 2012 ED.
11. ALL NEW GUTTERS.
12. ALL CASED OPENINGS TO HAVE THE SAME HEADER HEIGHT AS THE FRONT DOOR TRANSOM.
13. IN RENOVATION, IF THERE ARE CEILING HEIGHT DIFFERENTIALS IN ROOM DUE TO THE THE CEILING STRUCTURE, MAKE THE ENTIRE CEILING THE SAME HEIGHT.
14. IF FEWER STEPS ARE REQUIRED FOR SIDE ENTRANCE MAKE LANDING LARGER.

WIND BORNE DEBRIS PROTECTION FOR GLAZED OPENINGS TO BE PROVIDED PER R301.2.1.2 IRC 2012.

ROSS RESIDENCE
201-203 ADAMS STREET
NEW ORLEANS, LA 70118

AMAR'S DRAFTING
NEW ORLEANS, LOUISIANA 70118
PHONE: 504.586.8000
WWW.AMARS-DRAFTING.COM

A-102
FRAMING SET

SHEET TITLE: SECOND FLOOR PLAN