

CITY PLANNING COMMISSION  
CITY OF NEW ORLEANS

LATOYA CANTRELL  
MAYOR

ROBERT D. RIVERS  
EXECUTIVE DIRECTOR

Thursday, August 18, 2022

Hon. Chelsey Richard Napoleon  
Civil District Court Clerk  
Parish of Orleans  
Fourth Floor, Amoco Building  
1340 Poydras Street  
New Orleans, LA 70112

Re: Approved plans for **Zoning Docket 019/22**

**Zoning Docket 019/22**

**Conditional use to permit a hotel in a CBD-5 Urban Core Neighborhood Lower Intensity Mixed-Use District**

Dear Ms. Napoleon:

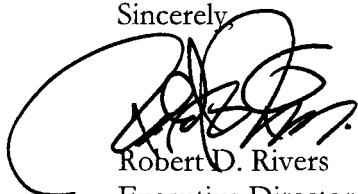
Attached you will find two (2) sets of the approved plans as referenced above.

The subject property includes: **Square 218, Lots 1 and 2, in the First Municipal District, bounded by Saint Charles Avenue, Girod Street, Julia Street, and Carondelet Street. The municipal addresses are 741-747 Saint Charles Avenue.**

According to our records the property is owned by: **747 St. Charles Ave Investment, LLC**

Please record the drawings as required. Should you need any additional information please feel free to contact me.

Sincerely,



Robert D. Rivers  
Executive Director

RR/sk



CIN#: 715752

Chelsey Richard Napoleon  
CLERK OF CIVIL DISTRICT COURT  
INST #: 2022-32936 08/18/2022 04:41:58 PM  
TYPE: CONDUSE 11 Pg(S)

# Phase II - Interior Build-out / Change of Use

## 7 Unit All-Suites Hotel & Ground Floor Mercantile

### 747 Saint Charles Avenue

### New Orleans, Louisiana 70130

#### SCORE OF WORK:

CONSTRUCTION OF EXISTING BUILDING TO INCLUDE: INTERIOR BUILD-OUT TO INCLUDE 7 HOTEL UNITS WITH MERCHANTILE HOTEL USE, WORK INCLUDES 7 HOTEL UNITS WITH MERCHANTILE HOTEL USE, FRONT DESK, LOBBY, HOUSEKEEPING, HOTEL SUPPORT SPACES, FRONT DESK, LOBBY, HOUSEKEEPING, AND STORAGE WITH VERTICAL COMMERCIAL LEASE SPACE. BRICK BUILDING STORAGE AND COMMON AREAS.

#### BUILDING INFORMATION:

EXISTING 2 STORY MASONRY BUILDING  
BUILDING FOOTPRINT IS 8,000 SQ. FT.  
EXISTING BUILDING SQUARE FOOTAGE = 17,128 SQ. FT.

#### ZONING DATA:

CITY OF NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE  
ZONING DISTRICT: CBD-3  
MAP/PLAN NUMBER: 5 STRIPES AND 66  
1. MULTIMEDIA/RECREATION CORRIDOR  
2. MAXIMUM PERMITTED TO RESIDENT UNIT

#### HISTORIC DISTRICTS:

NATIONAL: UPPER CENTRAL BUSINESS DISTRICT  
LOCAL: LAFAYETTE SQUARE

#### CODE DATA:

INTERNATIONAL BUILDING CODE (2015) WITH CITY OF NEW ORLEANS AMENDMENTS  
NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE  
AMERICANS WITH DISABILITIES ACT AND ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES, 2010 STANDARDS  
OCCUPANCY CLASSIFICATION: INTERNATIONAL (IBC) GROUP M, ALSO CHAPTER 36, RESIDENTIAL (IBC) GROUP R-1, HOTEL (ASO) CHAPTER 28  
FLOOR 1: MERCHANTILE (IBC) GROUP R-1, HOTEL (ASO) CHAPTER 28  
FLOOR 2: RESIDENTIAL (IBC) GROUP R-1, HOTEL (ASO) CHAPTER 28

CONSTRUCTION TYPE: TYPE II B  
BUILDING HEIGHT & AREA (GROUP R-1)  
5 STORY MAXIMUM  
4,000 SQ. FT. MAX. AREA/FLOOR

PROTECTION:  
EXISTING STRUCTURE RATING FOR BUILDING ELEMENTS - CONSTRUCTION TYPE II B  
EXTERIOR BEARING WALLS IBC TABLE 601  
INTERIOR BEARING WALLS 0 HOURS  
ROOF CONSTRUCTION 0 HOURS  
ROOF CEILING 0 HOURS

EXISTING AUTOMATIC SPRINKLER SYSTEM, NFPA 13A COMPLIANT THROUGH-OUT ENTIRE BUILDING  
NEWLY INSTALLED THE SPRINKLER SYSTEM LOCATED IN CORRIDOR AND PUBLIC AREAS  
NEWLY INSTALLED THE SPRINKLER SYSTEM LOCATED IN CORRIDOR AND PUBLIC AREAS

THE ALARM SYSTEM: ALARM SYSTEM THAT ACTIVATES THE OCCUPANT NOTIFICATION SYSTEM  
AUTOMATIC FIRE ALARM SYSTEM INITIATED UPON OPERATION OF THE AUTOMATIC SPRINKLER SYSTEM  
AUTOMATIC SMOKE DETECTION SYSTEM INSTALLED IN ALL CORRIDORS THAT ACTIVATES THE OCCUPANT NOTIFICATION SYSTEM  
SMOKE ALARMS - SINGLE CHANNEL SYSTEM WITH COMMON WORKSPACE DETECTORS IN STEEPED ROOMS AND  
ALARM SOUNDING ON THE STEEPED ROOMS  
NUMBER OF BIRTS  
MIN. TWO BIRTS REQUIRED FROM EVERY FLOOR

#### PROJECT DIRECTORY

747 SAINT CHARLES AVENUE INVESTMENT, L.L.C.  
727 HADCOY AVE  
SUITE 200  
PH: 504-728-8851  
BR: 504-728-8851  
ARCHITECT:  
TERRILL HABECKER ARCHITECTS, L.L.C.  
1080 SAINT PETER'S ST. SUITE 241  
NEW ORLEANS, LA 70116  
PH: 504-566-1300  
GENERAL CONTRACTORS:  
GENSLA SPACING  
1000 PINE ST. SUITE 100  
HOUMA, LA 70309  
PH: 504-899-8013  
L.A. LUTHER # 1813

#### RELATED PERMITS

INTERIOR DEMOLITION PERMIT 21-1432-0504  
PHASE 1: EXISTING 1970'S SUIT  
PHASE 2: EXISTING 1970'S SUIT  
START TIME: MARSHAL APPEAL  
AP-22-000480

#### INDEX OF DRAWINGS

ARCHITECTURAL	MECHANICAL	ELECTRICAL	PLUMBING	LANDSCAPE	LANDSCAPE
1.11.01	1.11.01	1.11.01	1.11.01	1.11.01	1.11.01
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FIRST FLOOR - 8 HOTEL SUITES			
NAME	UNIT AREA	INTERIOR	EXTENSION
COMMERCIAL LEASE BRIDGE	1,242 SF	-	-
HOTEL INCLUSIVE SPACES	762 SF	-	-
COMMON SUPPORT SPACES	916 SF	-	-
MEAT COOLER	312 SF	-	-
UNIT 102	580/2 BATH	1,240 SF	200
UNIT 103	1,280/2 BATH	1,280 SF	200
UNIT 104	1,280/2 BATH	1,280 SF	200
UNIT 105	1,280/2 BATH	1,280 SF	200
UNIT 106	1,280/2 BATH	1,280 SF	200
UNIT 107	1,280/2 BATH	1,280 SF	200
UNIT 108	1,280/2 BATH	1,280 SF	200
UNIT 109	1,280/2 BATH	1,280 SF	200
UNIT 110	1,280/2 BATH	1,280 SF	200
UNIT 111	1,280/2 BATH	1,280 SF	200
UNIT 112	1,280/2 BATH	1,280 SF	200
UNIT 113	1,280/2 BATH	1,280 SF	200
UNIT 114	1,280/2 BATH	1,280 SF	200
UNIT 115	1,280/2 BATH	1,280 SF	200
UNIT 116	1,280/2 BATH	1,280 SF	200
UNIT 117	1,280/2 BATH	1,280 SF	200
UNIT 118	1,280/2 BATH	1,280 SF	200
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UNIT 125	1,280/2 BATH	1,280 SF	200
UNIT 126	1,280/2 BATH	1,280 SF	200
UNIT 127	1,280/2 BATH	1,280 SF	200
UNIT 128	1,280/2 BATH	1,280 SF	200
UNIT 129	1,280/2 BATH	1,280 SF	200
UNIT 130	1,280/2 BATH	1,280 SF	200
UNIT 131	1,280/2 BATH	1,280 SF	200
UNIT 132	1,2		



terrell-tabacher architects, llc  
 1050 south robinson c. frances parkway, suite 241  
 new orleans, louisiana 70115  
 504.586.1200

These plans and specifications are prepared under my direct supervision and under my direct supervision. They comply with all city requirements to the best of my knowledge and belief. The project (title) will not be related to any other project.

PROPOSED HOTEL  
 741 - 747 ST. CHARLES AVE.  
 NEW ORLEANS, LOUISIANA

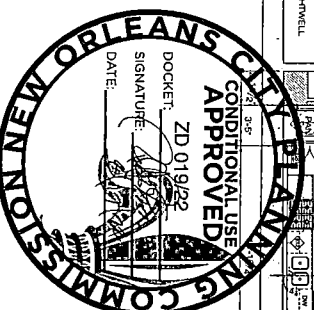


NO. REVISIONS	CHECKED BY:

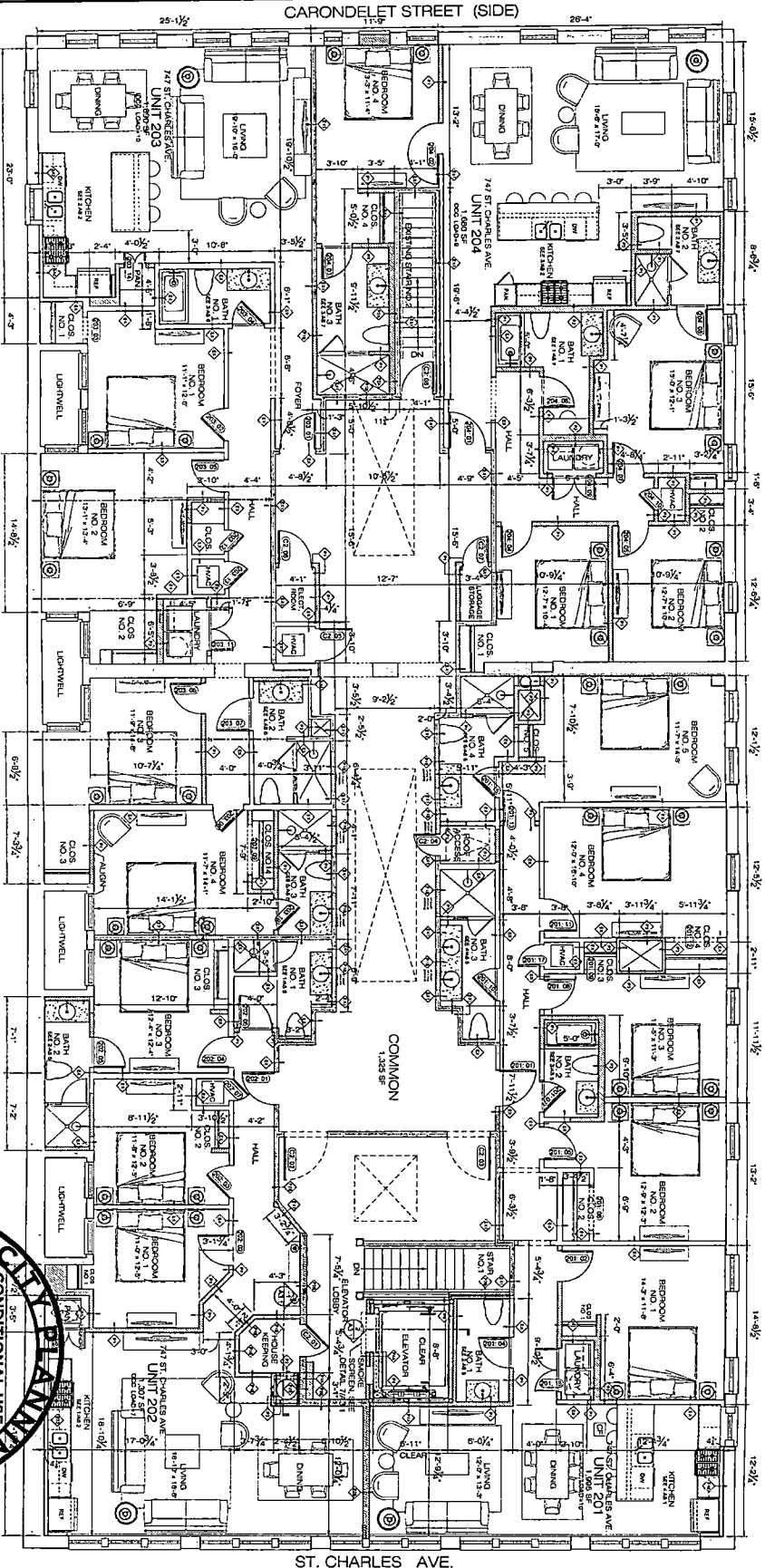
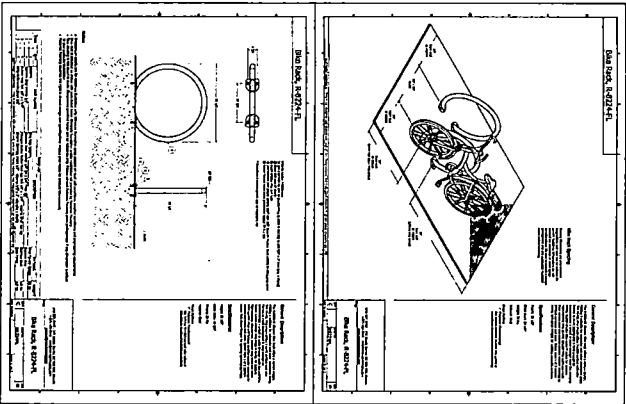
DRAWN BY:  
 JOB NO.:  
 DATE: 6/20/2022

A1.2  
 SHEET 2 OF 1

WAIVERS: 0 PROVISOS: 8  
 ORDINANCE # 29.055 MCS ADOPTED: 6/14/22



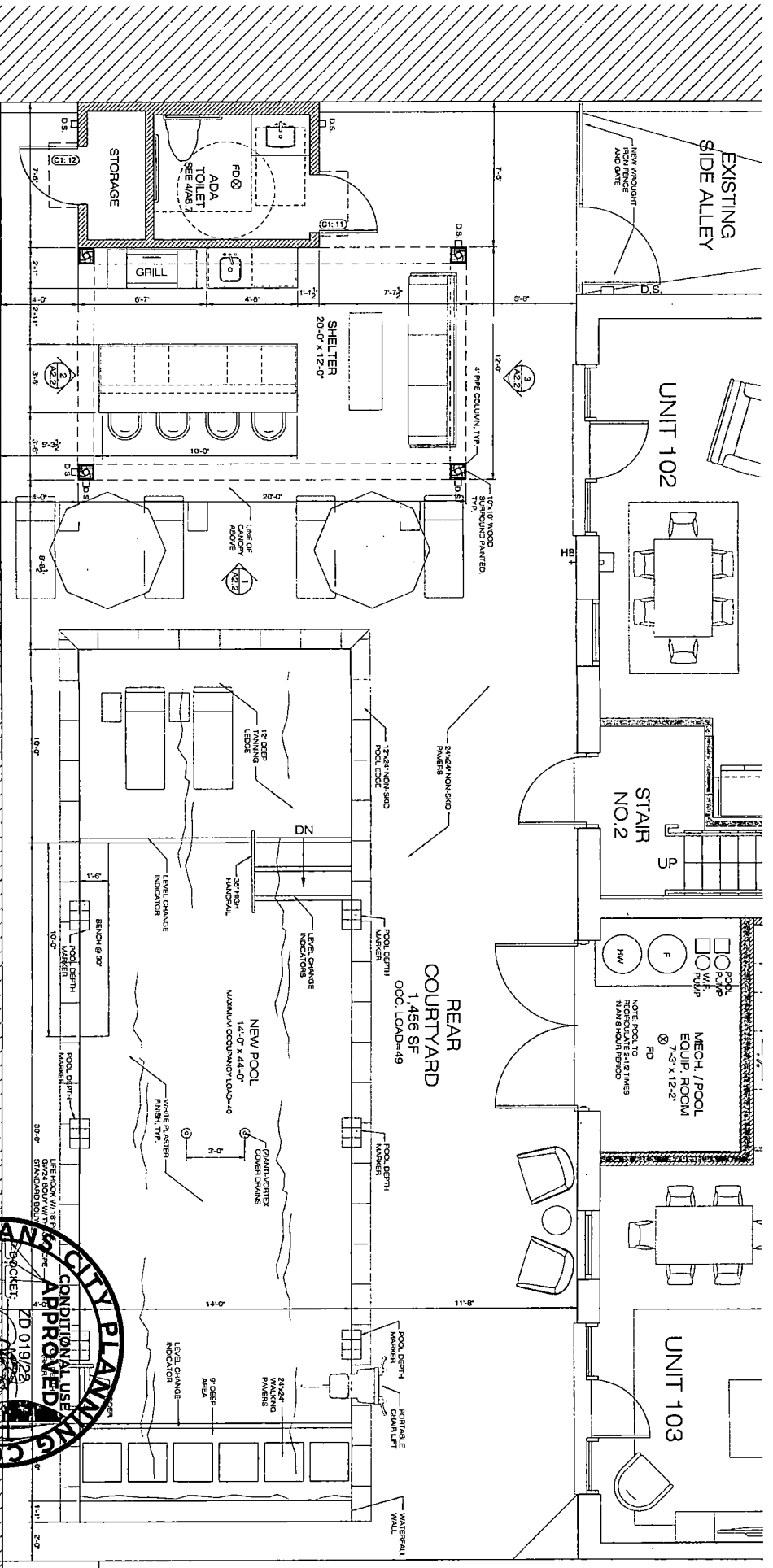
2 New Bike Rack Specs  
 A1.2 NO SCALE



WALL LEGEND  
 EXISTING MASONRY WALL  
 EXISTING PARTITION  
 NEW PARTITION  
 NEW 1/2" INSULATED PARTITION

REVISIONS  
 1 PROPOSED SECOND FLOOR  
 2 NEW BIKE RACK SPECS

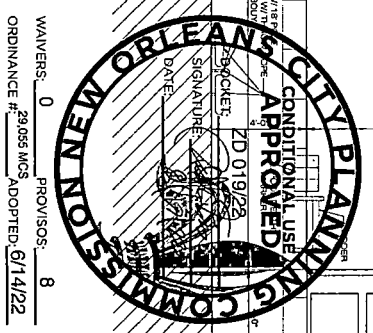
DATE: 6/20/2022  
 SHEET 2 OF 1



NEIGHBORING BUILDING

CARONDELET STREET (SIDE)

1 Enlarged Courtyard Plan  
 3/8" = 1'-0"



WAIVERS: 0  
 ORDINANCE #: 29,055 MOS  
 ADOPTED: 6/14/22

PROVISIONS: 8  
 SHEET 1 OF 1



Terrell-Fabacher architects, llc.  
 1050 south common c. nepos parkway, suite 241  
 new orleans, louisiana, 70125  
 504-589-1550

These plans and specifications have been prepared by me or under my close supervision. I am a duly licensed professional engineer, architect, or other professional person. I am not responsible for the project (will not) be visited periodically to review progress.

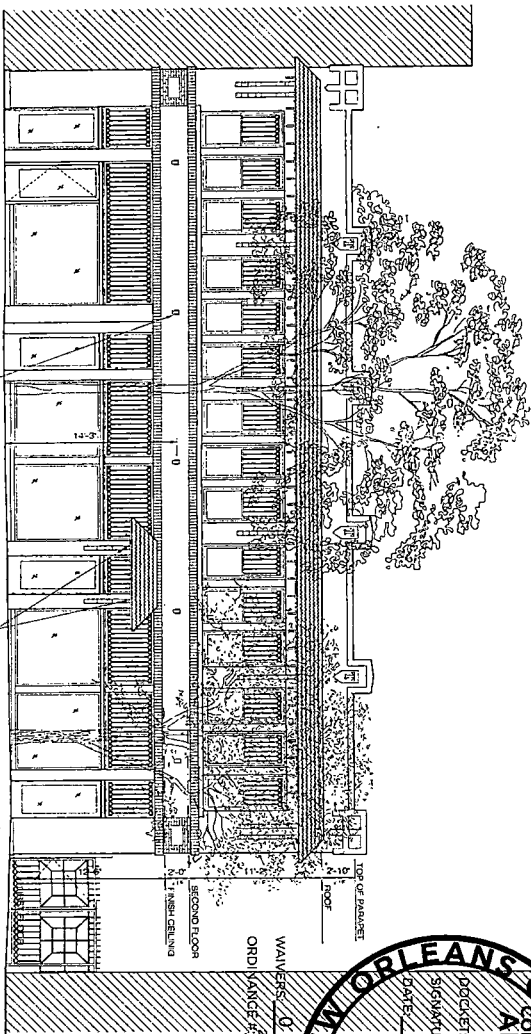
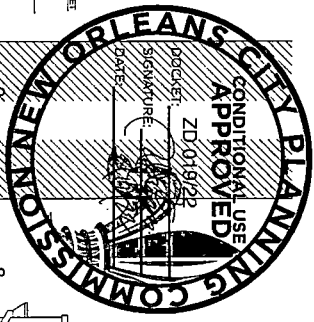
PROPOSED HOTEL  
 741-747 ST. CHARLES AVE.  
 NEW ORLEANS, LOUISIANA

NO. REVISIONS

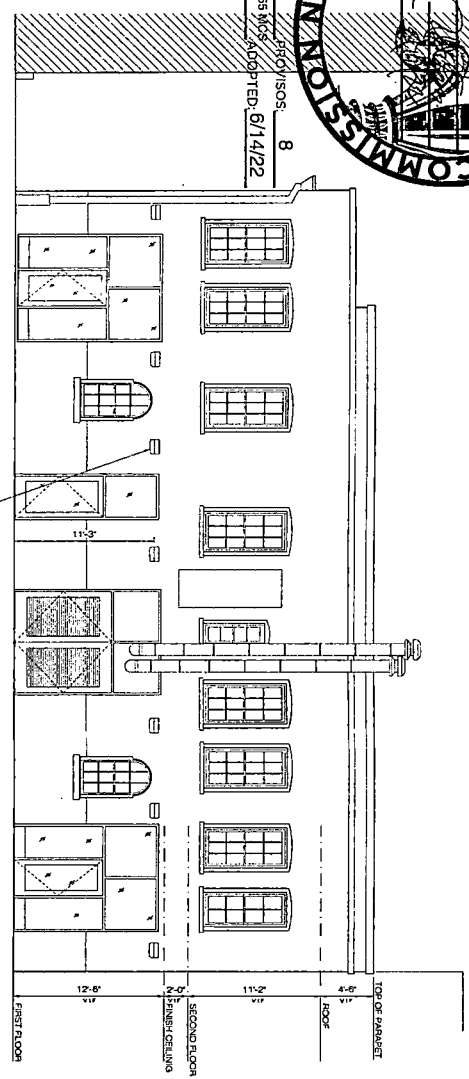
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JOB NO.:	DATE:

DATE: 6/20/2022

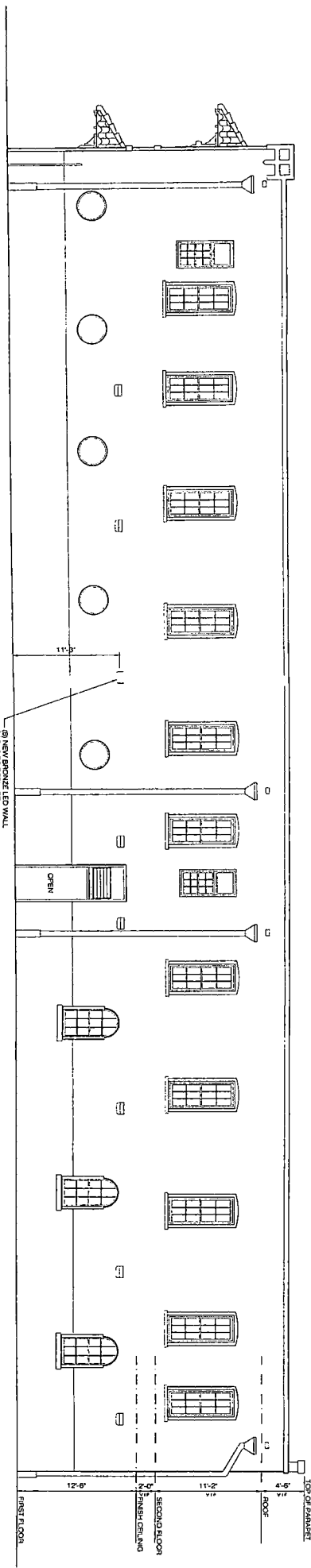
SHEET 1 OF 1



1 Existing St. Charles Ave. Elevation  
 A2.1 3/16" = 1'-0"  
 NO WORK



2 Existing Rear Elevation  
 A2.1 3/16" = 1'-0"  
 NO WORK



3 Existing Side Alley Elevation  
 A2.1 3/16" = 1'-0"  
 NO WORK

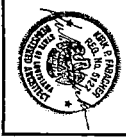
EXTERIOR WORK PERMITTED PREVIOUSLY:  
 CITY OF NEW ORLEANS  
 22-0084-FIN/VA  
 L/C  
 Shilo Pro Material  
 AR-22-008974

DATE: 6/20/2022  
 SHEET 1 OF 1

**terrell-labacher architects, llc.**  
 1080 seaman norman c. ferrous parkway, suite 241  
 new orleans, louisiana 70125  
 504.585.1350

These plans and specifications have been prepared by me or under my direct supervision. I am a duly licensed professional architect. My knowledge and belief, the project (will) will not be violated by me or my employees in the performance of my professional duties.

**PROPOSED HOTEL**  
 741 - 747 ST. CHARLES AVE.  
 NEW ORLEANS, LOUISIANA



NO. REVISIONS	CHECKED BY:
	DESIGNED BY:
	JOB NO.:
	DATE:
	6/20/2022

**A2.1**  
 SHEET 1 OF 1









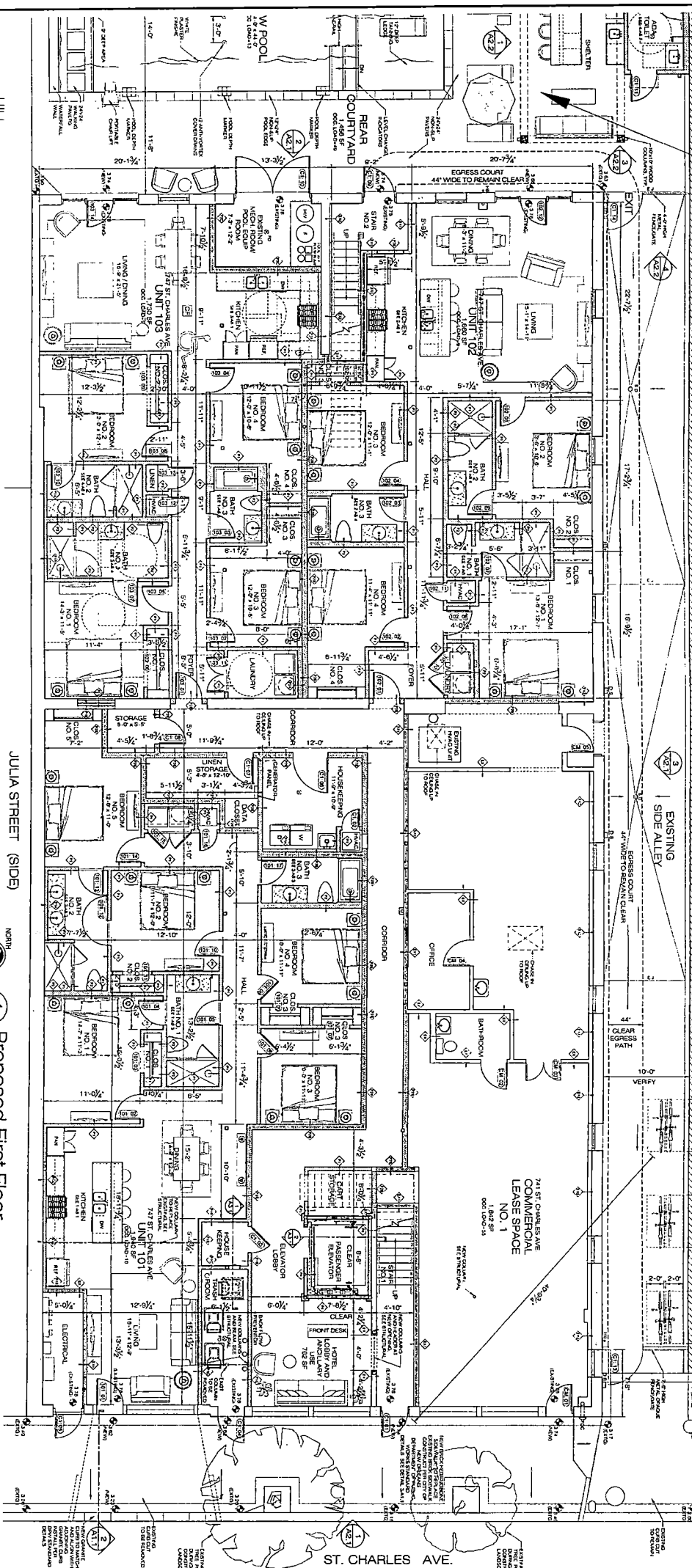


SEE SHEET A1.4 FOR ENLARGED COURTYARD PLAN

EXISTING BUILDING NEIGHBORING BUILDING

714 ST CHARLES AVE COMMERCIAL LEASE SPACE NO. 1  
1,862 SF  
OCC. 10-23-15

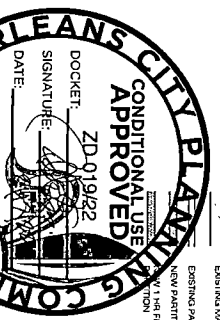
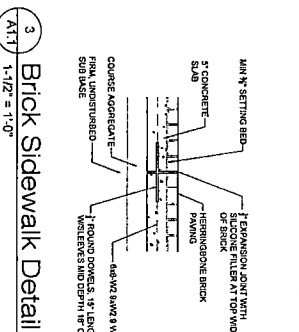
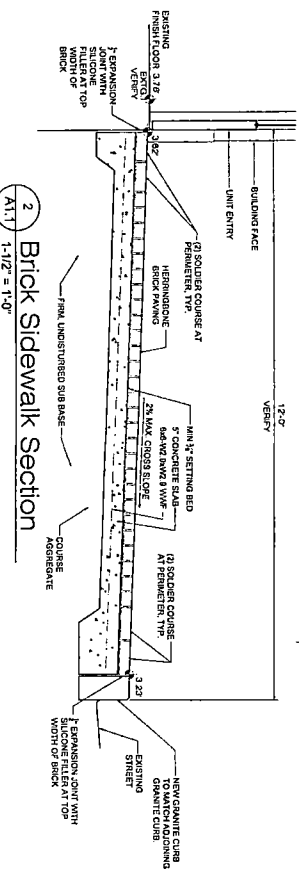
ST. CHARLES AVE.



1 Proposed First Floor  
1/8" = 1'-0"

2 Brick Sidewalk Section  
1/4" = 1'-0"

3 Brick Sidewalk Detail  
1/4" = 1'-0"



GROUND FLOOR USE REQUIREMENT

COMMERCIAL LEASE SPACE	1,862 SF
RESIDENTIAL UNIT	1,862 SF
TOTAL AREA	3,724 SF
GROUND FLOOR AREA	3,724 SF

ACCESSIBLE QUIET ROOM WITH REQUIRED FEATURES: SEE QUIET ROOM TO MOBILE FEATURES: SEE QUIET ROOM TO MOBILE

**fta**  
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new orleans, louisiana 70132  
504.585.1833

These plans and specifications have been prepared by me or under my direct supervision. I am a duly licensed professional engineer and hold the project (will not) be visited periodically to review job progress.

PROPOSED HOTEL  
741-747 ST. CHARLES AVE.  
NEW ORLEANS, LOUISIANA

WAIVERS: 0  
PROVISOS: 8  
ORDINANCE #: 29.055 MCS  
ADOPTED: 6/14/22

NO. REVISIONS	7/12/2022	CHECKED BY:	BRYAN BY
DATE:	7/5/2022	JOB NO.:	

**A1.1**  
SHEET 1 OF 1

