



GENERAL NOTES

ALL WORK SHALL BE DONE IN COMPLIANCE W/ THE INTERNATIONAL RESIDENTIAL CODE 2015, A.I.A.-A201, GENERAL CONDITIONS TO THE CONTRACT FOR CONSTRUCTION, RECOGNIZED INDUSTRY STANDARDS, CRAFTSMANSHIP STANDARDS IN THE AREA, ALL MANUFACTURER'S INSTRUCTIONS/RECOMMENDATIONS, AND ALL OTHER APPLICABLE CODES.

DO NOT SCALE DWGS. USE WRITTEN DIMENSIONS ONLY. SUBMIT IMMEDIATELY TO ARCHITECT ANY DISCREPANCIES FOR CLARIFICATION. PRIOR TO FRAMING ANY WALLS OR ANY ROUGH-IN WORK PROVIDE SPRAY-PAINTED LAYOUT OF ALL WALLS ON ACTUAL FLOOR FOR FULL REVIEW BY ARCHITECT/ OWNER. ARCHITECT MUST SIGN-OFF/APPROVE LAYOUT PRIOR TO WORK BEGINNING.

VERIFY ALL SITE UTILITIES PRIOR TO BEGINNING THE WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.

CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS AS REQUIRED BY ALL GOVERNING AGENCIES.

THE SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO COMMENCING WORK. <u>A SITE VISIT PRIOR TO BID IS MANDATORY.</u>

THE CONTRACTOR WILL REMOVE ALL RUBBLE & DEBRIS FROM THE JOB SITE AND LEAVE THE BUILDING & GROUNDS CLEAN UPON COMPLETION OF WORK.

THE CONTRACTOR SHALL, BEFORE STARTING THE WORK, SECURE WORKMEN'S COMPENSATION AND LIABILITY INSURANCE FROM AN INSURANCE COMPANY AUTHORIZED TO WRITE POLICIES IN LOUISIANA.

BUILDER'S RISK INSURANCE SHALL BE OBTAINED BY THE OWNER.

VERIFY ALL SITE DIMENSIONS AND PROPERTY LINE LOCATIONS PRIOR TO BEGINNING THE WORK. BRING ALL DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING W/ THE WORK. (CONSULT LICENSED SURVEYOR TO LOCATE BUILDING LINES AND ELEVATIONS)

. SHOP DRAWING AND SUBMITTAL REVIEW/APPROVAL IS MANDATORY FOR THIS PROJECT. THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE OWNER-CONSULTANT TO ENSURE PROPER OVERSIGHT AND FINAL REVIEW TO ENSURE SYSTEM COORDINATION BETWEEN SYSTEMS (MANDATORY)

AS WORK OF A SEPERATE CONTRACT, THE OWNER/CONTRACTOR HAS EMPLOYED ENGINEERING CONSULTANTS TO DESIGN THE HVAC, PLUMBING, AND ELECTRICAL SYSTEMS. THE ARCHITECT IS NOT CONTRACTED TO COORDINATE OR PARTICIPATE IN THIS WORK AND IT IS NOT PART OF THE ARCHITECTS WORK SCOPE. THE ARCHITECT ASSUMES NO RESPONSIBILITY OR LIABILITIES FOR THIS ENGINEERING DESIGN / WORK, ITS IMPLEMENTATION/PERFORMANCE, OR ITS ASSOCIATED EFFECTS ON THE ARCHITECTURAL SYSTEMS.

. THE ARCHITECT WILL NOT PERFORM ANY CONSTRUCTION ADMINISTRATION SERVICES ON THIS PROJECT AND WILL NOT BE HELD RESPONSIBLE/LIABLE FROM ANY ACTIONS OR CIRCUMSTANCES PERFORMED DURING OR AS A RESULT OF CONSTRUCTION WORK BEING PERFORMED. THE ARCHITECT WILL NOT BE HELD RESPONSIBLE/LIABLE FOR ANY WORK CONSTRUCTED NOT IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS.

**⟨**8/12

117 SQ. FT.

8/12**)** 

5. THE OWNER SHALL EMPLOY A LICENSED AND INSURED GENERAL CONTRACTOR TO PERFORM ALL WORK FOR THIS PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR SUB-CONTRACTORS COORDINATION

4. THE ARCHITECT SHALL BE DEEMED AS THE AUTHOR AND OWNER OF THE INSTRUMENTS OF SERVICE (DRAWINGS AND SPECIFICATIONS) AND SHALL RETAIN ALL COMMON LAW RIGHTS AND COPYRIGHTS. ANY USE OF THE INSTRUMENTS OF SERVICE (DRAWINGS AND SPECIFICATIONS) WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT SHALL BE STRICTLY PROHIBITED.

## GENERAL WORK NOTES

1. FLOORS

A. WOOD FLOORS - ALL AREAS OF WOOD FLOORS SHALL BE 2 1/4"W x 3/4" THICK TOUNGUE AND GROOVE No. 2 GRADE OAK LAID ON 30LB FELT. IT SHALL BE SANDED SMOOTH AND RECEIVE 3 COATS OF POLYURETHANE SEALER/FINISH TO THE SATISFACTION OF THE OWNER. (ACCLIMATIZE AS PER THE RECOMMENDATIONS OF THE N.W.F.A.)(ARCHITECT ASSUMES NO LIABILITY FOR CUPPING/WARPING FLOORS) (PROVIDE FINISHED "HUMIDITY TESTING" RESULTS OF SUB-FLOOR AND FINISHED FLOOR TO ARCHITECT/OWNER & DEMONSTRATE N.W.F.A. HUMIDITY ACCLIMATIZATION COMPLIANCE PRIOR TO PROCEEDING WITH THE WORK. MANDATORY) B. STONE AND TILE FLOORS - ALL STONE AND TILE FLOORS SHALL BE SET ON A THIN-SET BED

THE UNDERLAYMENT SHALL BE A 1/2" CEMENTITOUS TILE BACKER BOARD SCREWED TO THE SUB-FLOOR AT 6"O.C. (INSTALL BACKER BOARD AS PER MFR'S REQUIREMENTS) ÀLL STONE SHALL RECEIVE 2 COATS OF STONE SEALER

2. WALLS AND CEILINGS

A. PTD. GYP. BOARD WALLS - ENTIRE HOUSE SHALL RECEIVE NEW 1/2" PAINTED GYPSUM BOARD FINISHED TO LEVEL 3 STANDARDS (SMOOTH - NO TEXTURE)(ROLLED - NOT SPRAYED). THEY SHALL RECEIVE 1 PRIMER COAT AND 2 FINISH COATS OF INTERIOR LATEX PAINT (HIGH- END SHERWIN WILLIAMS OR EQUAL). ALL WALLS SHALL BE FLAT EXCEPT BATHROOM WALLS SHALL BE EGGSHELL. SUBMIT PAINT TYPE TO OWNER FOR APPROVAL

B. TILE/STONE WALLS - ALL STONE AND TILE WALLS SHALL BE INSTALLED ON A THIN-SET BED ON A 1/2" CEMENTITOUS BACKER BOARD. STONE WALLS SHALL RECEIVE 2 COATS OF STONE SEALER. (INSTALL BACKER BOARD AS PER MFR'S REQUIREMENTS)

C. PAINTED WOOD TRIM - ALL INTERIOR TRIM TO BE PAINTED SHALL BE PAINT GRADE POPLAR. IT SHALL RECEIVE 1 PRIMER COAT AND 2 FINISH COATS OF SEMI-GLOSS PAINT. (HIGH-END SHERWIN WILLIAMS OR EQUAL)

INSULATION

ALL EXTERIOR WALLS SHALL RECEIVE NEW R-13 (2x6 WALLS - R-19) PAPER FACED FIBERGLASS BATT INSULATION W/ INTEGRAL NAILING FLANGES. THE SECOND FLOOR CEILING SHALL RECEIVE NEW R-30 PAPER FACED FIBERGLAS BATT INSULATION. CRAWL SPACE TO RECEIVE FOIL-FACED R-13 POLYSTYRENE BD. (INSTALL AS PER MFR'S DIRECTIONS)

A. ALL WINDOWS ON THE BUILDINGS SHALL BE DOUBLE HUNG EXTERIOR GRADE VINYL WINDOWS WITH INSTALLATION FLANGE (TAPED AND SEALED)(INSTALL PER MFR.)(GUARANTEED WATER-TIGHT)

B. ALL WINDOW MANUFACTURERS AND MODELS SHALL BE REVIEWED AND APPROVED BY THE OWNER/ ARCHITECT PRIOR TO INSTALLATION.

5. DOORS AND HARDWARE

>ARCHITECTURAL (GAF - TIMBERLINE) FIBERGLAS/ASPHÀLT SHINGLE ROOF

COLOR: SLATE

/LOW-PROFILE MECHANICAL / ROOF VENT. VENTS TO PROJECT NO MORE THAN 8" ABOVE ROOF

8/12

A. ALL INTERIOR DOORS SHALL BE 1 3/8" THK RAISED WOOD 6 PANEL WOOD DOORS. (PTD.) (3 HINGES PER LEAF)

B. ALL EXTERIOR DOORS SHALL BE PTD. SPANISH CEDAR (1 3/4" THK) PTD. WOOD W/ FULL INSULATED TEMPERED OR LAMINATED GLASS PANEL (3 HINGES PER LEAF). THE FRONT ENTRANCE DOORS SHALL BE SELECTED BY THE OWNER PRIOR TO PURCHASE

C. ALL DOOR MANUFACTURERS AND MODELS SHALL BE APPROVED BY THE OWNER/ARCHITECT PRIOR TO THE INSTALLATION.

D. PROVIDE ALLOWANCE FOR PURCHASE OF NEW DOOR HINGES, BOLTS, STRIKES, HANDLES, LOCKS AND WEATHER STRIPPING, ETC. CONTRACTOR SHALL INCLUDE INSTALLATION IN BASE CONTRACT. COORDINATE ALL KEYING AND LOCKING W/ OWNER.

7. GENERAL WORK SCOPE: ALL NEW PLUMBING, HVAC, ELECTRICAL SYSTEM, AND SMOKE DETECTION SYSTEM SHALL BE PART OF THE WORK. ENGINEERING FOR THESE SYSTEM IS WORK TO BE PROVIDED BY OTHERS. (NOT IN ARCHITECTS DESIGN SCOPE)

NEW ORLEANS, LOUISIANA

# PROJECT INFORMATION

**CODE DATA:** 

DISTRICT CLASSIFICATION:

CONSTRUCTION TYPE:

OCCUPANCY CLASSIFICATION: SINGLE DWELLING TYPE VI

ZONING DATA

MU-2 (HIGH INTESITY MIXED USE DISTRICT)

SETBACKS REQUIRED FOR MU-2 FRONT YARD MINIMUM NONE REAR YARD MINIMUM 20 FEET SIDE YARD MINIMUM 3' FEET OR 10%

MINIMUM PERMEABLE OPEN SPACE 20% OF LOT AREA

CORNER SIDE YARD HEIGHT REQUIREMENTS

MAXIMUM HEIGHT

35 FEET

NONE

FIRST DISTRICT CITY OF NEW ORLEANS

STORMWATER WILL BE ACCÈPTED ON DRIVES, WALKS, GRASS AREAS, OR

BELOW HOUSE (DO NOT DRAIN ONTO NEIGHBORING PROPERTIES)

ORLEANS PARISH, LA

CODES USED

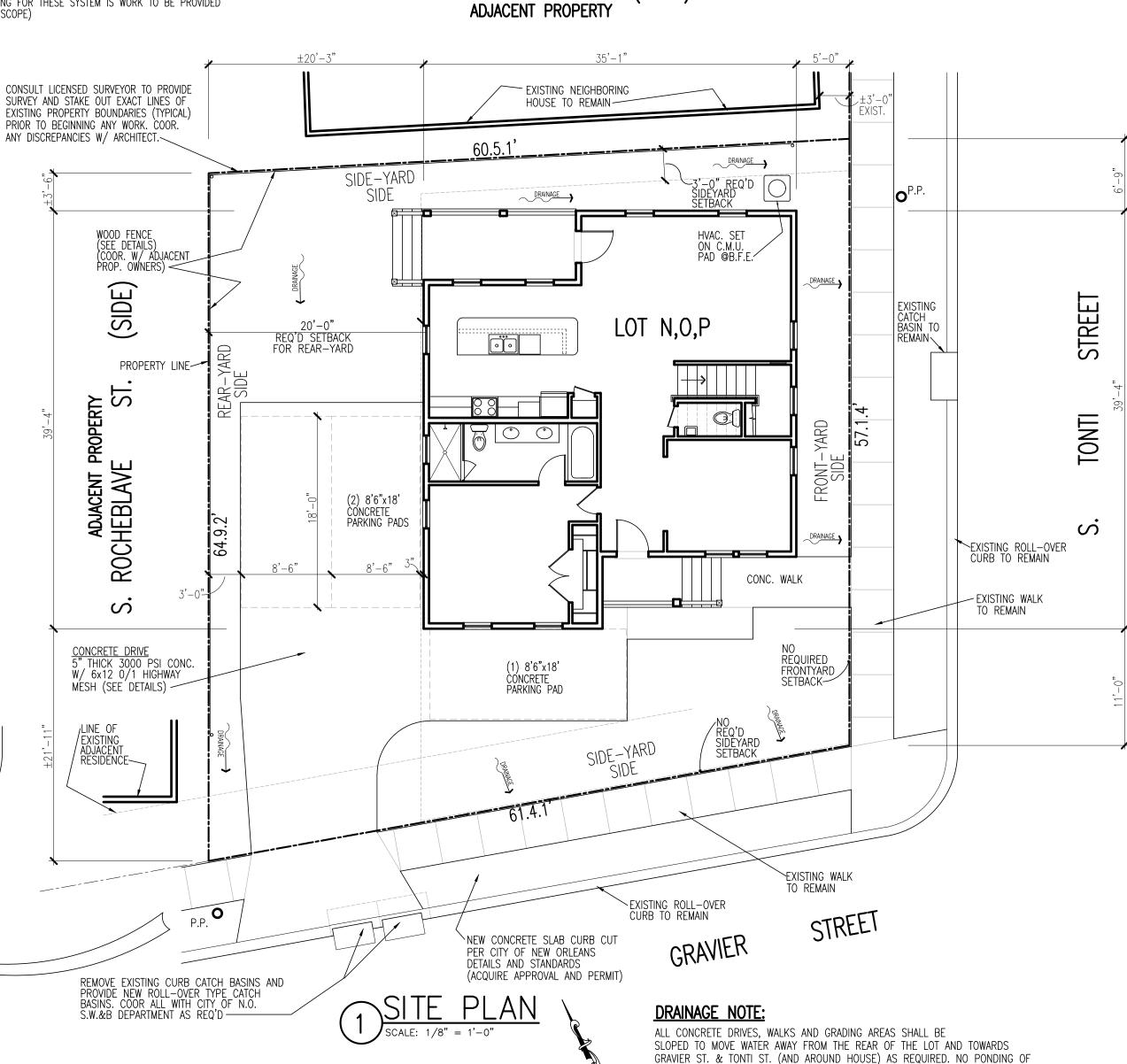
- INTERNATIONAL RESIDENTIAL CODE; 2015

ZONING DISTRICT - MU-2

**LEGAL DESCRIPTION:** 

LOT N, O, P; SQUARE NO. 557

- CITY OF NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE



S. 24 ORLI 566 1050 SUITE NEW 504 · ( — ш – ШМШ

SI

REVISIONS 3-10-22 4-1-22 9-9-22 9-9-22 (REV#1) 9-9-22 (REV#2) CHECKED BY: DRAWN BY:

ORLE,

2-9-22 JOB NO.:

SHEET

ROLL-OVER CURB @TONTI/GRAVIER