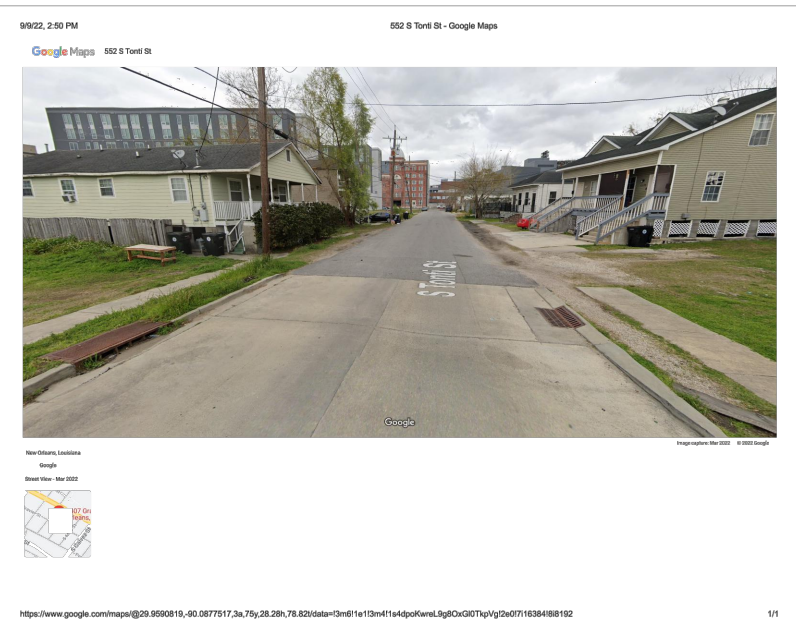
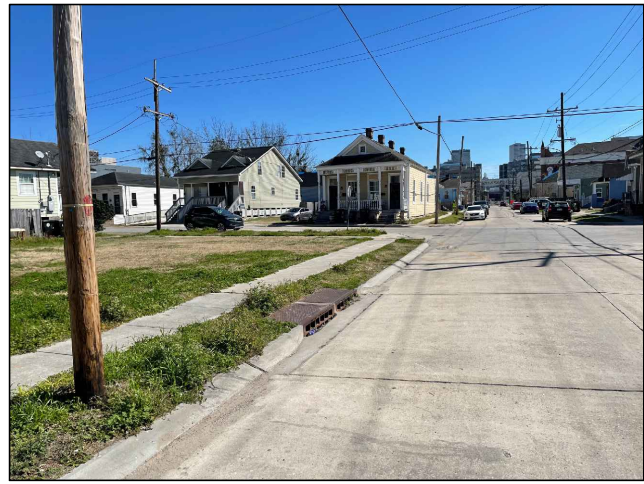


DWG. NO.	
A1	SITE PLAN
A2	FLOOR PLANS
A3	ELEVATIONS
A4	BUILDING SECTION DETAILS
A5	BUILDING SECTION DETAILS
A6	BUILDING SECTION DETAILS
A7	FINISH SCHEDULE
S1	PILE PLAN/ FOUNDATION/PIER PLAN
S2	FRAMING PLAN
S3	SECOND FLOOR AND ROOF FRAMING PLANS
E1	ELECTRICAL PLANS



A close-up photograph of a rectangular metal grate drain set into a concrete sidewalk. The grate is made of a series of parallel metal bars. To the right of the grate, a dark, flexible expansion joint or seal runs along the edge of the sidewalk. The sidewalk is composed of several slabs separated by expansion joints.

1. ALL WORK SHALL BE DONE IN COMPLIANCE W/ THE INTERNATIONAL RESIDENTIAL CODE 2015, AIA-A201, GENERAL CONDITIONS TO THE CONTRACT FOR CONSTRUCTION, RECOGNIZED INDUSTRY STANDARDS, CRAFTSMANSHIP STANDARDS IN THE AREA, ALL MANUFACTURER'S INSTRUCTIONS/RECOMMENDATIONS, AND ALL OTHER APPLICABLE CODES.
2. DO NOT SCALE DIMGS. - USE WRITTEN DIMENSIONS ONLY. - SUBMIT IMMEDIATELY TO ARCHITECT ANY DISCREPANCIES FOR CLARIFICATION. PRIOR TO FRAMING ANY WALLS OR ANY ROUGH-IN WORK, PROVIDE A COMPLETE LAYOUT OF ALL WALLS ON ACTUAL FLOOR FOR FULL REVIEW BY ARCHITECT/OWNER. ARCHITECT MUST SIGN-OFF/APPROVE LAYOUT PRIOR TO WORK BEGINNING.
3. VERIFY ALL SITE UTILITIES PRIOR TO BEGINNING THE WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
4. CONTRACTOR MUST OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS AS REQUIRED BY ALL GOVERNING AGENCIES.
5. THE SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO COMMENCING WORK. A SITE VISIT PRIOR TO BID IS MANDATORY.
6. THE CONTRACTOR WILL REMOVE ALL RUBBLE & DEBRIS FROM THE JOB SITE AND LEAVE THE BUILDING & GROUNDS CLEAN UPON COMPLETION OF WORK.
7. THE CONTRACTOR SHALL, BEFORE STARTING THE WORK, SECURE WORKMEN'S COMPENSATION AND LIABILITY INSURANCE FROM AN INSURANCE COMPANY AUTHORIZED TO WRITE POLICIES IN LOUISIANA.
8. BUILDER'S RISK INSURANCE SHALL BE OBTAINED BY THE OWNER.
9. VERIFY ALL SITE DIMENSIONS AND PROPERTY LINE LOCATIONS PRIOR TO BEGINNING THE WORK. BRING ALL DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING W/ THE WORK. (CONSULT LICENSED SURVEYOR TO LOCATE BUILDING LINES AND ELEVATIONS)
10. SHOP DRAWING AND SUBMITAL REVIEW/APPROVAL IS MANDATORY FOR THIS PROJECT. THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND THE OWNER/CONSULTANT TO ENSURE PROPER OVERSIGHT AND FINAL REVIEW TO ENSURE SYSTEM COORDINATION BETWEEN SYSTEMS (MANDATORY)
11. AS WORK OF A SEPARATE CONTRACT, THE OWNER/CONTRACTOR HAS EMPLOYED ENGINEERING CONSULTANTS TO DESIGN THE PLUMBING AND ELECTRICAL SYSTEMS. IF THE ARCHITECT IS NOT CONTRACTED TO COORDINATE OR PARTICIPATE IN THIS WORK AND IT IS NOT PART OF THE ARCHITECTS WORK SCOPE, THE ARCHITECT ASSUMES NO RESPONSIBILITY OR LIABILITIES FOR THIS ENGINEERING DESIGN / WORK, ITS IMPLEMENTATION/PERFORMANCE, OR ITS ASSOCIATED EFFECTS ON THE ARCHITECTURAL SYSTEMS.
12. THE ARCHITECT WILL NOT PERFORM ANY CONSTRUCTION ADMINISTRATION SERVICES ON THIS PROJECT AND WILL NOT BE HELD RESPONSIBLE/LIABLE FROM ANY ACTIONS OR CIRCUMSTANCES PERFORMED DURING OR AS A RESULT OF CONSTRUCTION WORK BEING PERFORMED. THE ARCHITECT WILL NOT BE HELD RESPONSIBLE/LIABLE FOR ANY WORK CONSTRUCTED NOT IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS.
13. THE OWNER SHALL EMPLOY A LICENSED AND INSURED GENERAL CONTRACTOR TO PERFORM ALL WORK FOR THIS PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR SUB-CONTRACTORS COORDINATION
14. THE ARCHITECT SHALL BE DEEMED AS THE AUTHOR AND OWNER OF THE INSTRUMENTS OF SERVICE (DRAWINGS AND SPECIFICATIONS) AND SHALL RETAIN ALL COMMON LAW RIGHTS AND COPYRIGHTS. ANY USE OF THE INSTRUMENTS OF SERVICE (DRAWINGS AND SPECIFICATIONS) WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT SHALL BE STRICTLY PROHIBITED.

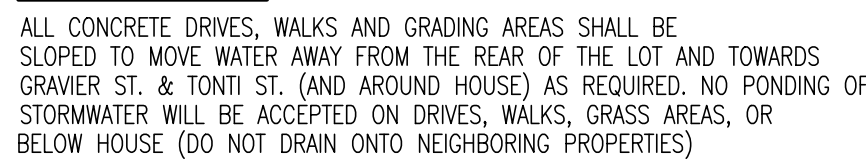


SCALE: $1/8" = 1'-0"$

SCALE: $1/8'' = 1'-0''$

MINIMUM PERMEABLE OPEN SPACE	20% OF LOT AREA
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LOT N, O, P; SQUARE NO. 557
FIRST DISTRICT
CITY OF NEW ORLEANS
ORLEANS PARISH, LA



NEW SINGLE-FAMILY RESIDENCE
2407 GRAVIER ST.
NEW ORLEANS, LOUISIANA

NO.	REVISIONS
	3-10-22
	4-1-22
	9-9-22
	9-9-22 (REV#1)
	9-9-22 (REV#2)
CHECKED BY:	
DRAWN BY:	
DATE: 2-9-22	
JOB NO.:	

A1

SHEET OF