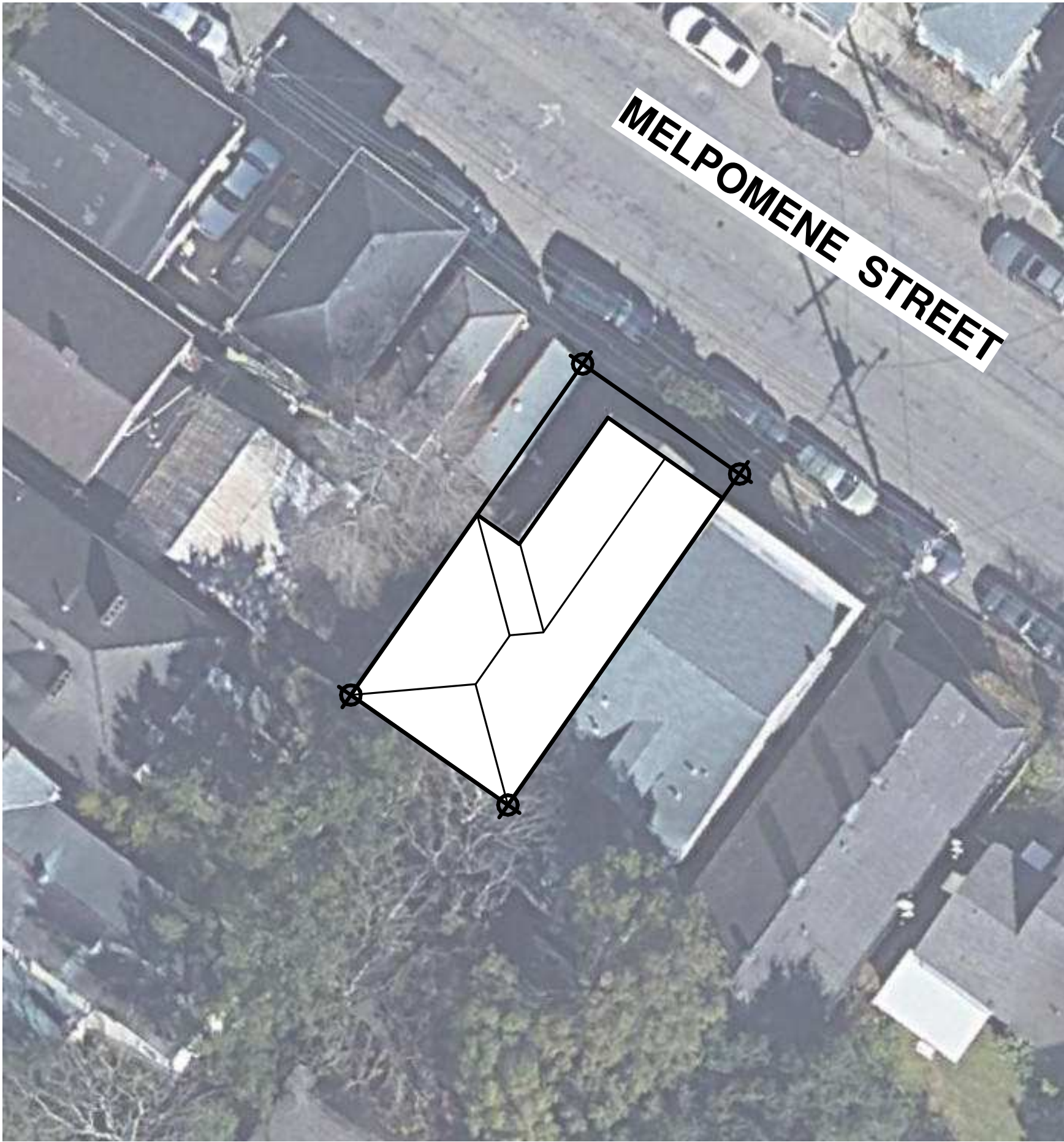


1432 MELPOMENE STREET RESIDENTIAL RENOVATION



PROPERTY DESCRIPTION BY
CITY OF NEW ORLEANS ASSESSOR OFFICE

① 1343 MELPOMENE ST SITE PLAN
1/8" = 1'-0"



FRONT

PROJECT DESCRIPTION:

PROJECT WAS ORIGINALLY SUBMITTED IN 2021 BUT DUE TO HURRICANE IDA AND OTHER COMPLICATIONS THE OWNER WAS NEVER ABLE TO SECURE A GENERAL CONTRACTOR AND THEREFORE, ALTHOUGH THE PROJECT HAD BEEN REVIEWED BY HDLC / PERMITS, IT NEVER COMPLETED THE FINAL PERMIT PROCESS. THE 2021 PERMIT APPLICATION HAS EXPIRED. SAFETY & PERMITS HAS ADVISED THAT WE SHOULD RE-SUBMIT AS A NEW PROJECT.

FOLLOWING IDA, EMERGENCY ROOF REPAIR HAS BEEN CONDUCTED, THEREFORE ROOFING REPAIR HAS BEEN REMOVED FROM THIS PROPOSAL.

MANY OPTIONAL SCOPE ITEMS HAVE ALSO BEEN REMOVED TO REDUCE THE COST OF THE PROJECT.

FOR SPEED AND TO COMPARTMENTALIZE THE WORK, THE CONTRACTOR WAS TRYING TO APPLY FOR A SEPARATE HVAC PERMIT FOR HVAC SYSTEM REPLACEMENT, BUT THIS CD SET STILL NOTES/IDENTIFIES THE WORK AS PART OF THE LARGER SCOPE OF RENOVATIONS. THE WORK IS DESCRIBED BY SPEC AND SHOWING WHERE EXISTING CONDENSORS ARE TO BE REPLACED.

THIS PROJECT SCOPE INCLUDES:

- 1) EXTERIOR STAIR & LANDING REPLACEMENT.
(EXISTING STAIR RISE / RUN DOES NOT MEET BUILDING CODE)
- 2) NEW 2ND FLOOR BATHROOM
- 3) REPLACEMENT SINK FIXTURE TO EXISTING BATHROOMS OR KITCHEN
AS DIRECTED BY OWNER.
- 4) EXTERIOR FINISH REPAIR IN KIND
(REPLACE DAMAGED WEATHERBOARD WHERE FOUND AND PAINT
- 5) REMOVE EXISTING EXTERIOR WINDOW HVAC UNITS CUT INTO WALLS.
(SEE PHOTO "A")
- 6) REPLACE EXISTING PORCH RAILING WITH WOOD RAILING TO MATCH IN KIND, BUT
HEIGHT OF NEW RAILING TO MEET 42" GUARD RAIL HEIGHT.
(EXISTING RAILING HEIGHT DOES NOT MEET BUILDING CODE)
- 7) REMOVE OF AN EXISTING REDUNDANT KITCHEN ON THE 1ST FLOOR.
- 8) NEW NON-STRUCTURAL PARTITIONS TO MAKE CLOSETS OR NEW BATHROOM AS NOTED
ON THE 1ST OR SECOND FLOOR. NEW CASED OPENINGS WHERE NOTED.
- 9) REMOVAL OF ONE EXTERIOR DOOR IN ALLEY, ONE NEW NON-VISABLE EXTERIOR DOOR
UNDER PORCH

THIS PROJECT SCOPE DOES NOT INCLUDE:

- A) NO CHANGE IN FOOTPRINT, SETBACKS, OR LIVABLE AREA
- B) NO CHANGE IN SITE PERMEABILITY
- C) NO CHANGE TO ROOF
- D) NO NEW SERVICES
(ANY FIXTURE REPLACEMENT WILL USE EXISTING PUBLIC SERVICES)

PROJECT INDEX:

- | | |
|----|--|
| A1 | SITE PLAN, PICTURES, AND PROJECT NOTES |
| A2 | EXISTING AND PROPOSED PLANS |
| A3 | EXISTING AND PROPOSED PLANS |
| A4 | EXISTING AND PROPOSED ELEVATIONS |
| A5 | EXISTING AND PROPOSED ELEVATIONS |
| A6 | DETAILS AND SPECIFICATIONS |
| A7 | SPECIFICATIONS |

1432 MELPOMENE ST INFORMATION:

ZONING:	HU-RD2
OCCUPANCY:	PRIOR OCCUPATION WAS A TRIPLEX (UNAUTHORIZED?) UNIT HAS (2) METERS , OWNER WILL OCCUPY IT AS (2)
UNITS.	
HISTORIC DISTRICT:	HDLC of NO
SQUARE:	193
LOT	2
ADDRESSES / MELPOMENE	SQ 193 LOT 2 MELPOMENE 28X64 1432 & 1432 HF PROP DESCRIPTION

GENERAL MATERIAL REQUIREMENTS:

- A. ALL METAL HARDWARE MUST BE GALVANIZED
- B. ALL METAL SCREWS, NAILS, BOLTS, OR OTHER FASTENERS EXPOSED TO THE EXTERIOR
MUST BE STAINLESS STEEL, GALVANIZED, OR EQUIVALENTLY PROTECTED AGAINST
WEATHER.
- C. THE CONTRACTOR IS TO VERIFY THAT GALVANIC ACTION WILL BE PREVENTED BY
MATERIAL SEPARATION BETWEEN ANY DISSIMILAR METALS
- D. ALL EXTERIOR EXPOSED WOOD IS TO BE PRESSURE TREATED PINE, NO 1 OR NO2. ALL
WOOD IS TO BE KILN-DRIED.
- G. ALL GYPSUM MUST BE MECHANICALLY FASTENED PER MANUFACTURER'S INSTRUCTIONS
WITH SCREWS. USING NAILS TO FASTEN GYPSUM IS PROHIBITED.

GENERAL NOTES & REQUIREMENTS:

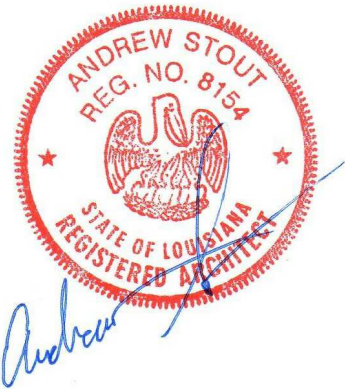
1. ALL WORK TO CONFORM TO ALL LOCAL, STATE, AND FEDERAL CODES, INCLUDING
BUT NOT LIMITED NEW ORLEANS BUILDING CODE (2018 IRC) & LOUISIANA STATE
UNIFORM CONSTRUCTION CODE (LSUCC)
2. IF ADDITIONAL DAMAGE IS OBSERVED IN THE COURSE OF CONSTRUCTION, THE
CONTRACTOR IS TO INFORM THE ARCHITECT IN WRITING
3. THE CONTRACTOR WILL MAINTAIN A CLEAN SITE AND TAKE PRECAUTIONS TO
MINIMIZE DEBRIS CONTAMINATION IN NON-WORK AREAS.
4. THE CONTRACTOR MUST MAINTAIN ONE SET OF STAMPED CITY OF NEW ORLEANS
PERMIT PRINTS ON JOB SITE FOR INSPECTIONS AS PER CODE
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL SCHEDULES, CONSTRUCTION MEANS
AND METHODS, AND SAFETY PROCEDURES, INCLUDING PROTECTION OF THE PUBLIC.
6. THE CONTRACTOR AND SUBCONTRACTORS MUST VERIFY-IN-FIELD (V.I.F.) ALL
EXISTING CONDITIONS WITH THE DRAWINGS FOR DISCREPANCIES AND REPORT
THOSE DISCREPANCIES TO THE ARCHITECT.
7. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES IN THE DRAWINGS TO THE
ARCHITECT.
8. SUBCONTRACTORS MUST VISIT THE PROJECT SITE AND FAMILIARIZE THEMSELVES
WITH PROJECT CONDITIONS PRIOR TO MAKING A BID TO DO WORK
9. THE CONTRACTOR MUST COORDINATE AND RECEIVE APPROVAL FOR DATES AND
TIMES OF WORK FROM THE OWNER.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS & METHODS OF CONSTRUCTION.
11. FINAL KITCHEN / BATHROOM FIXTURE SELECTION BY OTHERS AND TO BE INSTALLED/
COORDINATED BY THE CONTRACTOR
12. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL PERMITS &
INSPECTIONS.
13. DO NOT SCALE DRAWINGS: CONSULT WITH ARCHITECT FOR CLARIFICATIONS
14. MECHANICAL & ELECTRICAL DESIGN & REPAIR TO EXISTING/REPLACEMENT SYSTEMS
WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND CONTRACTOR'S LICENSED
PROFESSIONALS, SEE SPECIFICATIONS
15. THE CONTRACTOR MAY SUBMIT SUBSTITUTIONS FOR ALL SYSTEMS OR MATERIALS
CALLED OUT IN THE CONSTRUCTION DOCUMENTS BY SUBMITTING SPECIFICATIONS
FOR THE ARCHITECT'S REVIEW AND OWNER'S APPROVAL. THE CONTRACTOR SHALL
GUARENTEE THAT SUBSTITUTIONS ARE OF EQUAL OR SUPERIOR QUALITY THAN
THOSE SPECIFIED OR NOTED IN THE CONSTRUCTION DOCUMENTS.
16. CONTACT THE ARCHITECT FOR CLARIFICATIONS
18. CONTRACTOR TO BE LICENSED AND INSURED.

PROJECT TEAM:

OWNER:	NICK BEACHY
ARCHITECT:	ANDREW STOUT STOUTHAUS ARCHITECTURE 7803 Panola St, New Orleans, LA 70118 504-662-6325 Stouthaus.architecture@gmail.com License No. 8154
CONTRACTOR:	Apex Construction Pros Roge Fletcher 504-559-0804

ABBREVIATIONS:

FOS = FACE OF STUD	EXT = EXTERIOR
FOF = FACE OF FINISH	INT = INTERIOR
V.I.F. = VERIFY IN FIELD	N.I.C. = NOT IN CONTRACT
VFY = VERIFY	DBL = DOUBLE
TBD = TO BE DETERMINED	CH = CEILING HEIGHT
EXST= EXISTING	O.C. = ON CENTER
PROP= PROPERTY	RCP = REFLECTED CEILING PLAN
CL = CENTER LINE	EQ' = EQUAL
TO = TOP OF	BOB = BOTTOM OF BEAM
BO = BOTTOM OF	FOB = FACE OF BUILDING OR FACE OF BLOCK
BOTT= BOTTOM	SIM = SIMILAR CONDITION
T.O.F = TOP OF FLOOR	MEP = MECHANICAL, ELECTRICAL, PLUMBING
AFF = ABOVE FINISH FLOOR	BOD = BASIS OF DESIGN
REQ' = REQUIRED	
RO = ROUGH OPENING	



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ARCHITECTURE LLC**

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09 - 09 - 2022 PERMIT SET

FINAL PERMIT RELEASE

DEPARTMENT OF SAFETY AND PERMITS
PLAN REVIEW DIVISION

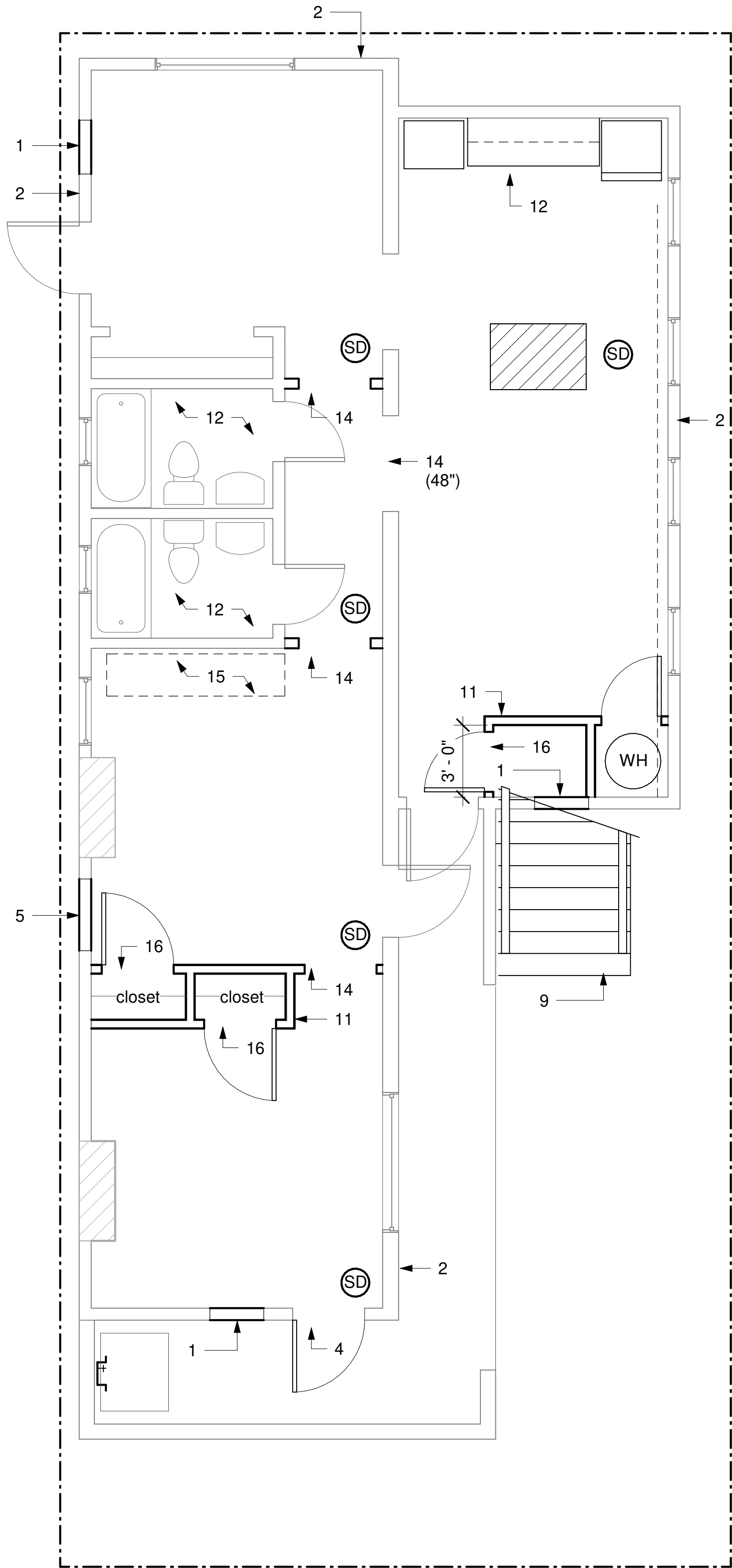
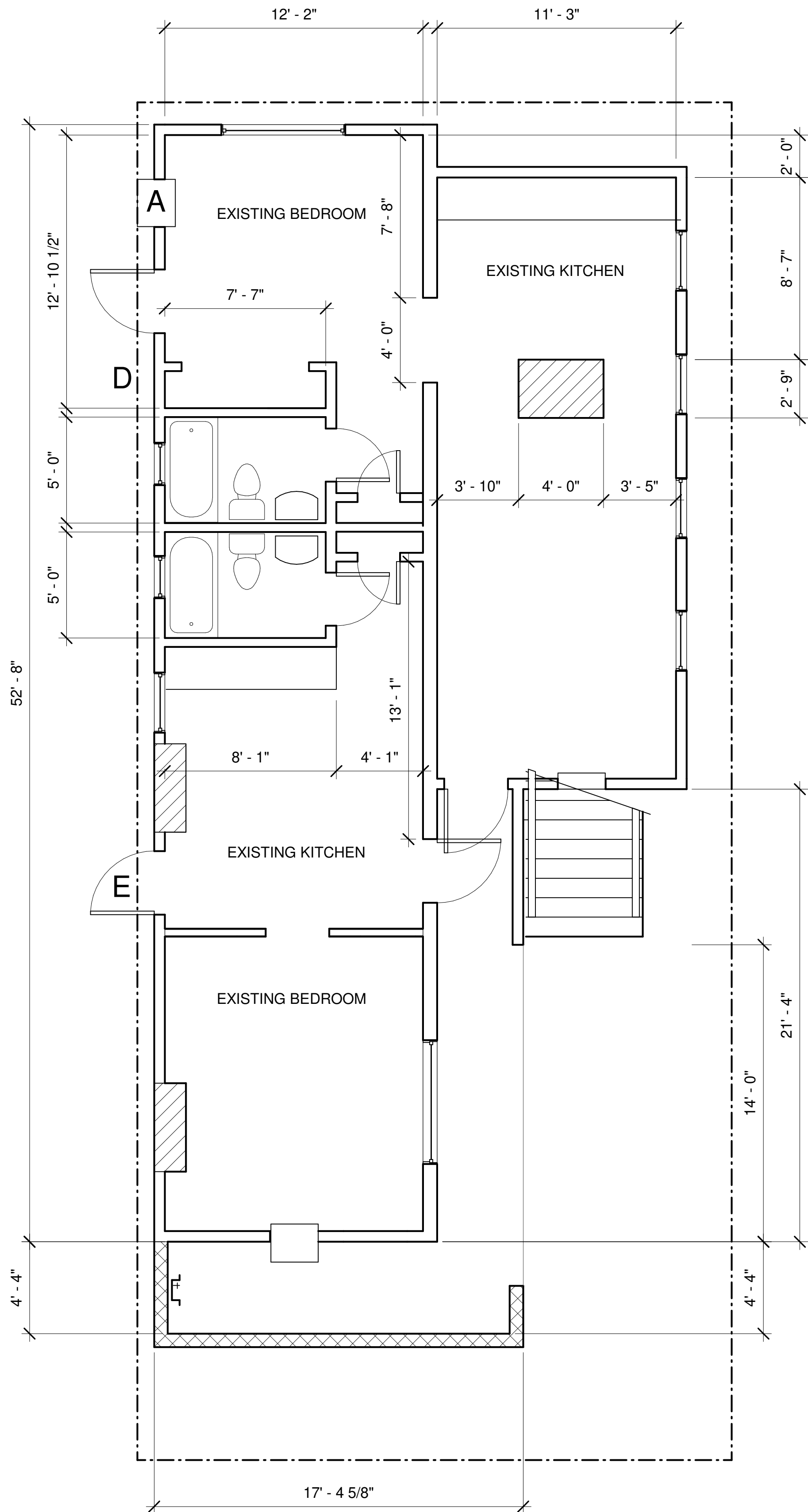
REVIEWED FOR CODE
COMPLIANCE

11/10/2022

waejones

GENERAL NOTES

Project number	P13_2021
Date	08.09.2022
Drawn by	AWS
Checked by	AWS
A1	
Scale	1/8" = 1'-0"



1343 EXST 1ST FLOOR
1/4" = 1'-0"

1343 PROPOSED 1ST FLOOR
1/4" = 1'-0"

ARCHITECTURAL KEYNOTES EXTERIOR

- 1) REMOVE EXISTING WINDOW HVAC UNIT IN WALL, REPAIR HOLE TO MATCH EXISTING WALL CONSTRUCTION / FINISH.
 - 2) REPAIR WEATHERBOARD IN KIND WITH EXISTING WHERE DAMAGE IS FOUND. REPAINT WEATHERBOARD PER OWNER'S COLOR SELECTION, (2) COATS SEMI GLOSS ACRYLIC.
 - 3) REPLACE EXISTING EXTERIOR STAIR, RAILING, AND LANDING
- LANDING TO BELOW SLOPE, 1/8" / FOOT FINISH. FINISH TO BE NON SLIP TILE SIMILAR TO EXISTING TILE.
- WOOD STAIRS AND RAILING PER DESIGN CONSTRAINTS OF CONSRUCTION DOCUMENT DETAILS AND NOTES.
- 4) NEW 6'-8"H X 36"W EXTERIOR DOOR
 - 5) REMOVE EXISTING DOOR, REPAIR HOLE TO MATCH EXISTING WALL

SEE SPEIFICATIONS, DETAILS FOR ADDITIONAL NOTES

ARCHITECTURAL KEYNOTES

INTERIOR

- 11) INSTALL NON-STRUCTURAL PARTITION WALL PER SPECIFICATION DIAGRAM
 - 12) EXISTING PLUMBING FIXTURE REPLACEMENT IN KIND AS DIRECTED BY OWNER TO CONTRACTOR.
 - 13) NEW BATHROOM. USE EXISTING SEWER , WATER SERVICE.
- CONTRACTOR TO COORDINATE MEP SERVICES PER FIELD VERIFICATION.
- INSTALL OWNER SELECTED FIXTURES AND OWNER SELECTED TILE.
- PAINT WOOD OR GYP FINISHES. SEE INTERIOR SPECIFICATIONS
- 14) CASED OPENING 36" OR 48" (36" CLEAR UNLESS OTHERWISE NOTED)
 - 15) REMOVE / DISCONNECT DISUSED KITCHEN
 - 16) NEW DOOR SELECTED BY OWNER INSTALLED BY CONTRACTOR

SEE A3 FOR MEP REFERENCE LEGEND & NOTES



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1432
MELPOMENE STREET
RESIDENTIAL
RENOVATION
NEW ORLEANS, LOUISIANA

09 - 09 - 2022 PERMIT SET

DEPARTMENT OF SAFETY AND PERMITS
PLAN REVIEW DIVISION

REVIEWED FOR CODE COMPLIANCE

11/10/2022

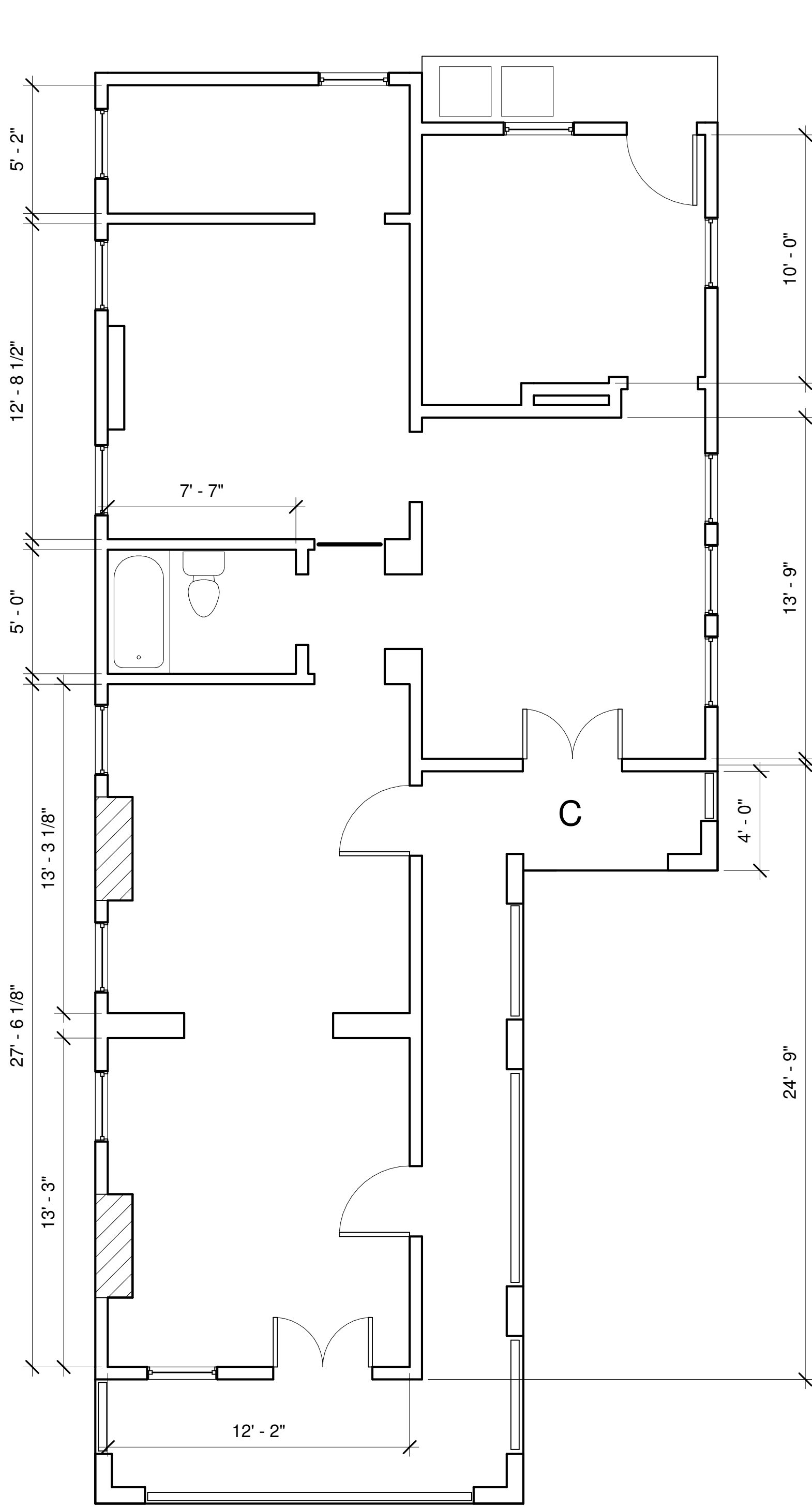
waejones

EXISTING AND PROPOSED PLANS

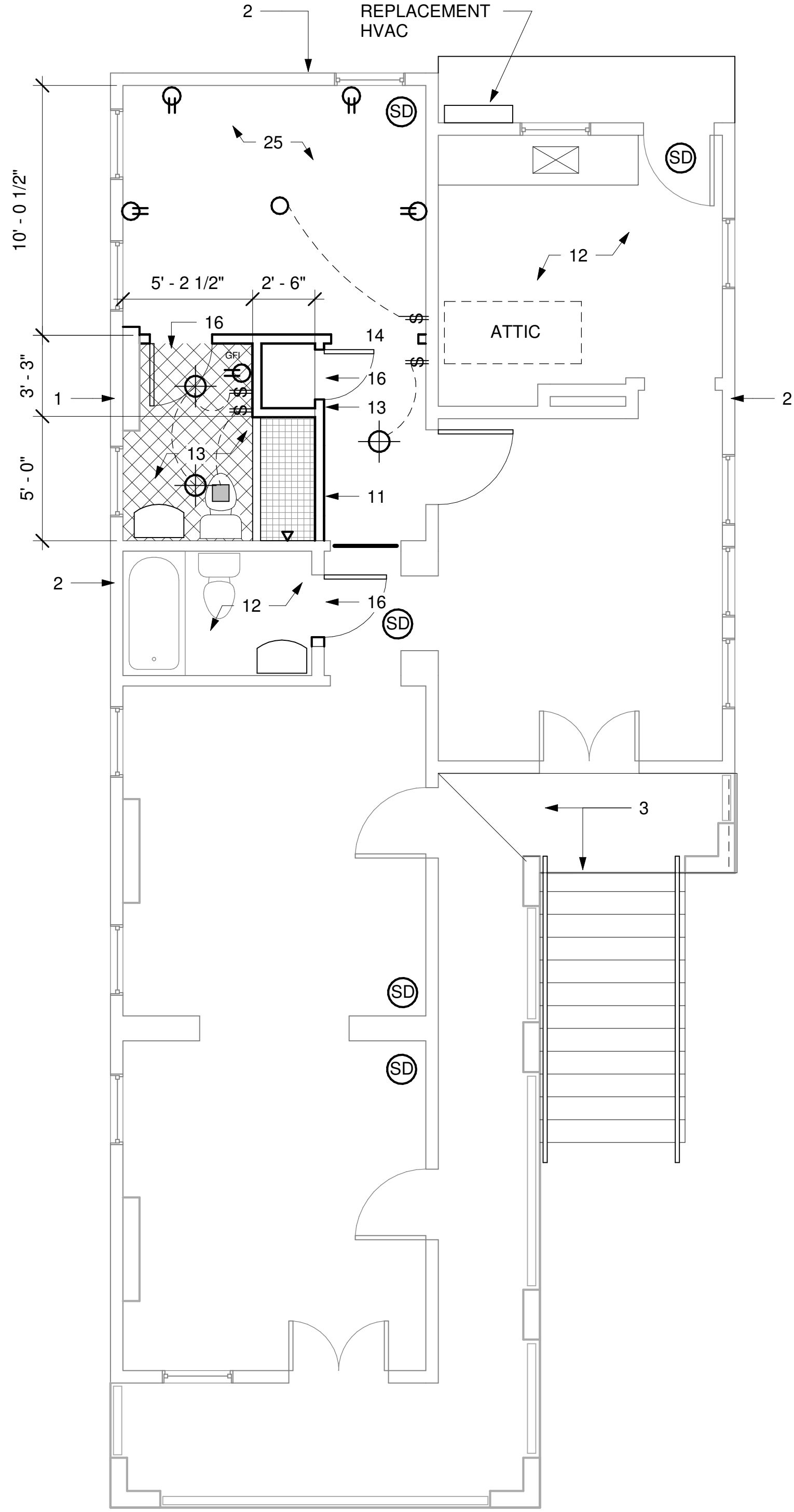
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Date	08.09.2022
Drawn by	AWS
Checked by	AWS

A2

Scale 1/4" = 1'-0"



1 1432 EXST 2ND FLOOR
1/4" = 1'-0"



2 1432 PROPOSED 2ND FLOOR
1/4" = 1'-0"

ARCHITECTURAL KEYNOTES EXTERIOR

- 1) REMOVE EXISTING WINDOW HVAC UNIT IN WALL. REPAIR HOLE TO MATCH EXISTING WALL CONSTRUCTION / FINISH.
- 2) REPAIR WEATHERBOARD IN KIND WITH EXISTING WHERE DAMAGE IS FOUND. REPAINT WEATHERBOARD PER OWNER'S COLOR SELECTION, (2) COATS SEMI GLOSS ACRYLIC.
- 3) REPLACE EXISTING EXTERIOR STAIR, RAILING, AND LANDING

LANDING TO BELOW SLOPE, 1/8" / FOOT FINISH. FINISH TO BE NON SLIP TILE SIMILAR TO EXISTING TILE.

WOOD STAIRS AND RAILING PER DESIGN CONSTRAINTS OF CONSRUCTION DOCUMENT DETAILS AND NOTES.
- 4) NEW 6'-8"H X 36"W EXTERIOR DOOR
- 5) REMOVE EXISTING DOOR, REPAIR HOLE TO MATCH EXISTING WALL

SEE SPEIFICATIONS, DETAILS FOR ADDITIONAL NOTES

ARCHITECTURAL KEYNOTES

INTERIOR

- 11) INSTALL NON-STRUCTURAL PARTITION WALL PER SPECIFICATION DIAGRAM
- 12) EXISTING PLUMBING FIXTURE REPLACEMENT IN KIND AS DIRECTED BY OWNER TO CONTRACTOR.
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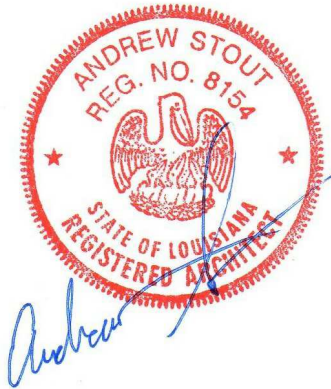
CONTRACTOR TO COORDINATE MEP SERVICES PER FIELD VERIFICATION.

INSTALL OWNER SELECTED FIXTURES AND OWNER SELECTED TILE.

PAINT WOOD OR GYP FINISHES. SEE INTERIOR SPECIFICATIONS
- 14) CASED OPENING 36" OR 48" (36" CLEAR UNLESS OTHERWISE NOTED)
- 15) REMOVE / DISCONNECT DISUSED KITCHEN
- 16) NEW DOOR SELECTED BY OWNER INSTALLED BY CONTRACTOR

SYMBOL LEGEND

■	VENT
⊕	RC
○	CLG FIXTURE
◇	PENDANT
⊕	SCONCE (VFY MOUNTING HEIGHT)
⊕	POWER RECEPTICAL (18" TYP MOUNTING HGT) (CONTRACTOR TO COORDINATE ELECTRICIAN TO PROVIDE PROPER SUPPLY TO SELECTED APPLIANCES)
⊕ ^D	SWITCH , DIMMER
⊕ ³	SWITCH , 3 WAY
⊕	CABLE & PHONE OUTLET
⊕ ⁴²	POWER RECEPTICAL, 42" MOUTING HEIGHT
⊕ ^{GFI}	POWER RECEPTICAL, (GFI) GROUND FAULT INTERRUPT
⊕ ^{WP}	WATER PROOF OUTLET
⊕ ^{WF}	WATER FAUCET
⊕	WASHER/DRYER WATER NIPPLES
⊕ ^{SD}	SMOKE & CARBON MONOXIDE DETECTOR

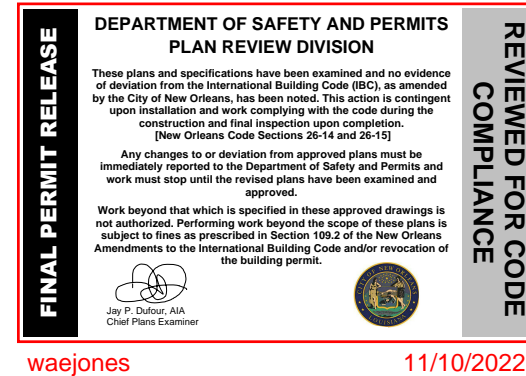


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EXISTING AND PROPOSED PLANS

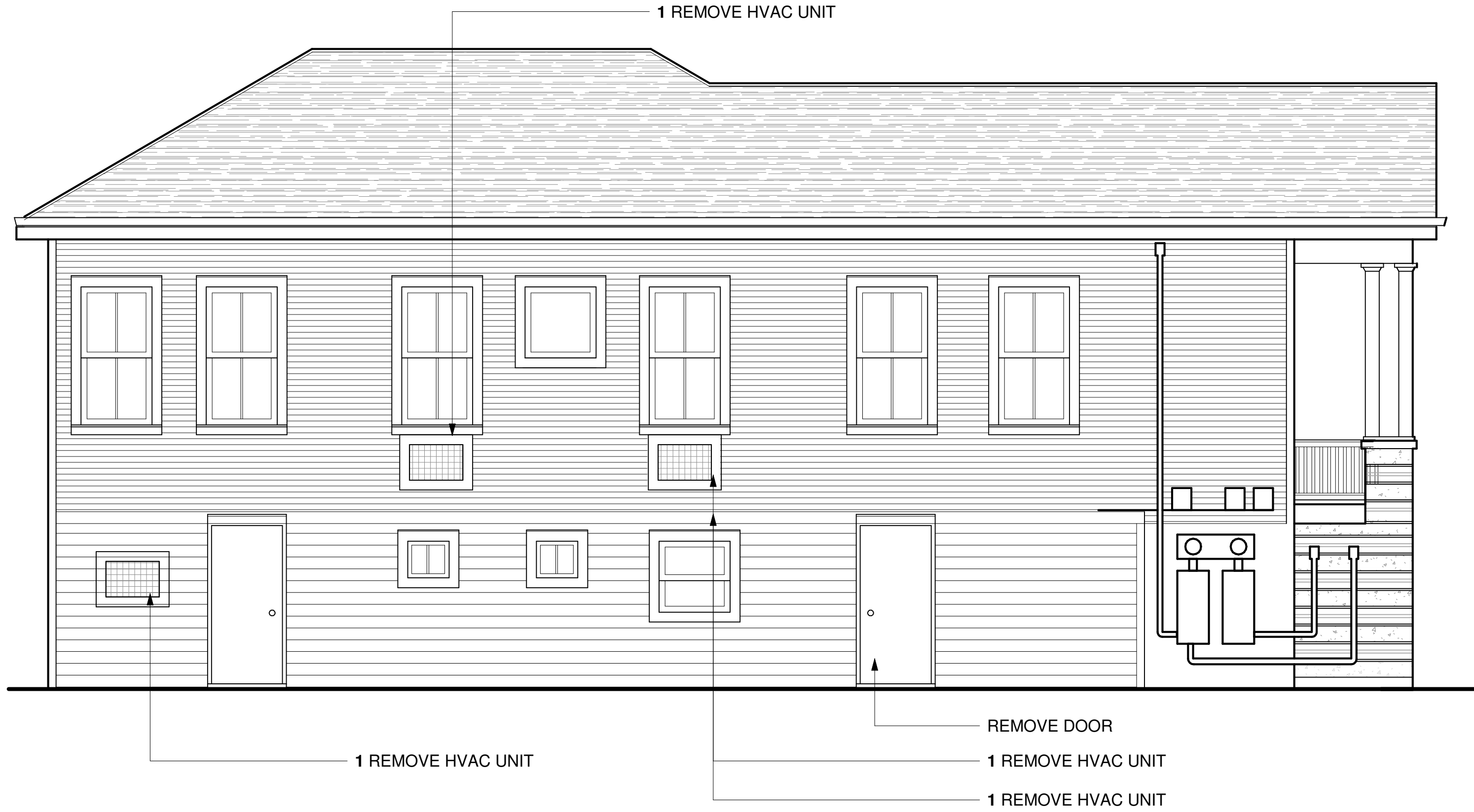
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Date 08.09.2022
Drawn by -
Checked by HA

A3

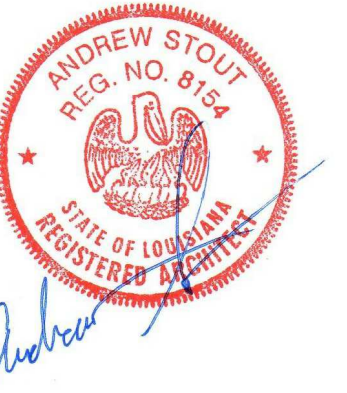
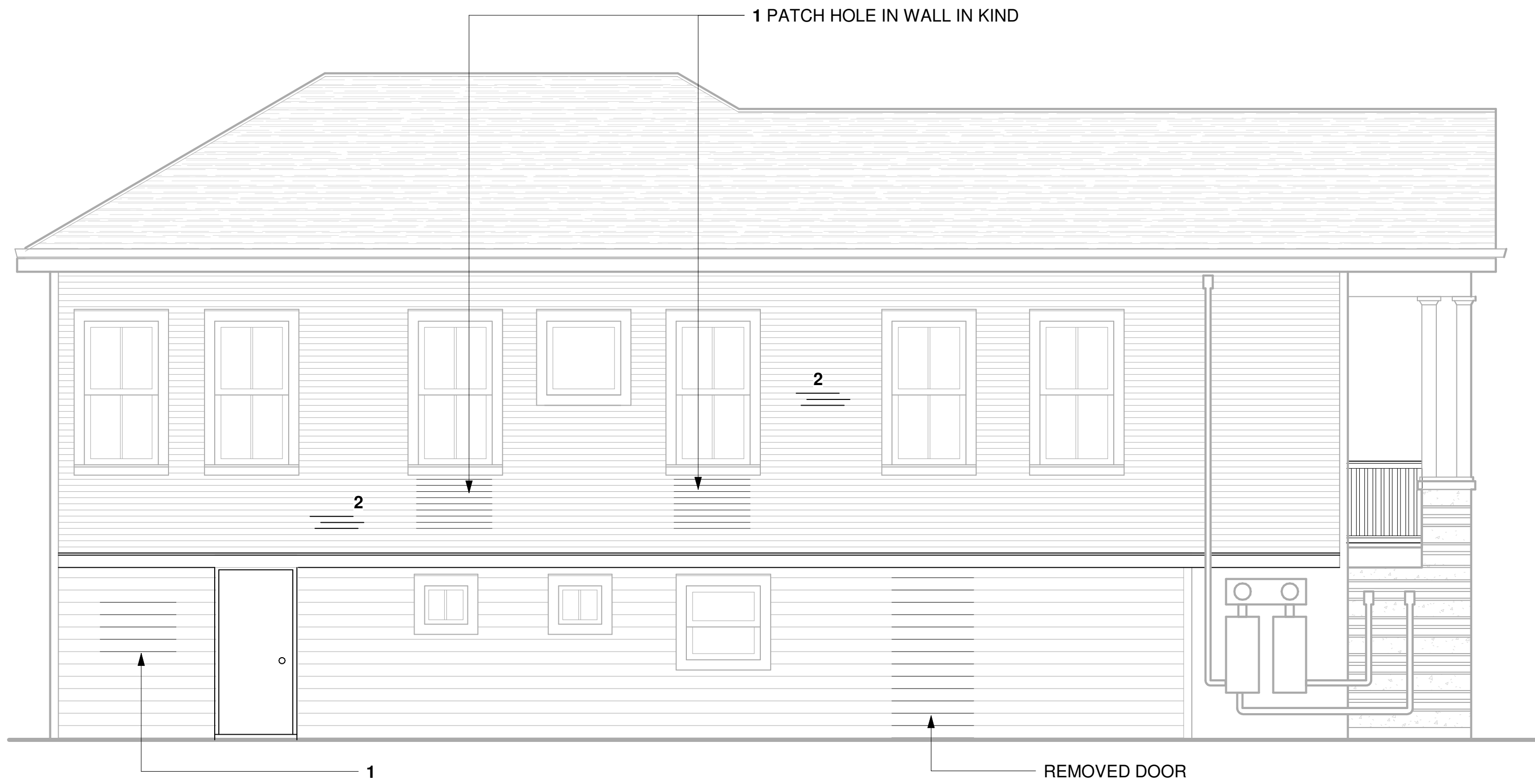
Scale 1/4" = 1'-0"



1432 EXISTING FRONT AND LEFT SIDE
ELEVATIONS
1
1/4" = 1'-0"



1432 PROPOSED FRONT AND LEFT SIDE
ELEVATIONS
2
1/4" = 1'-0"

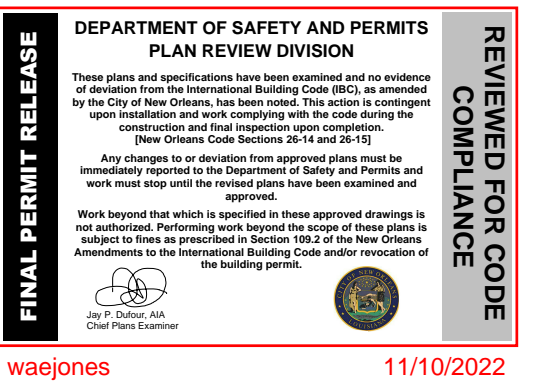


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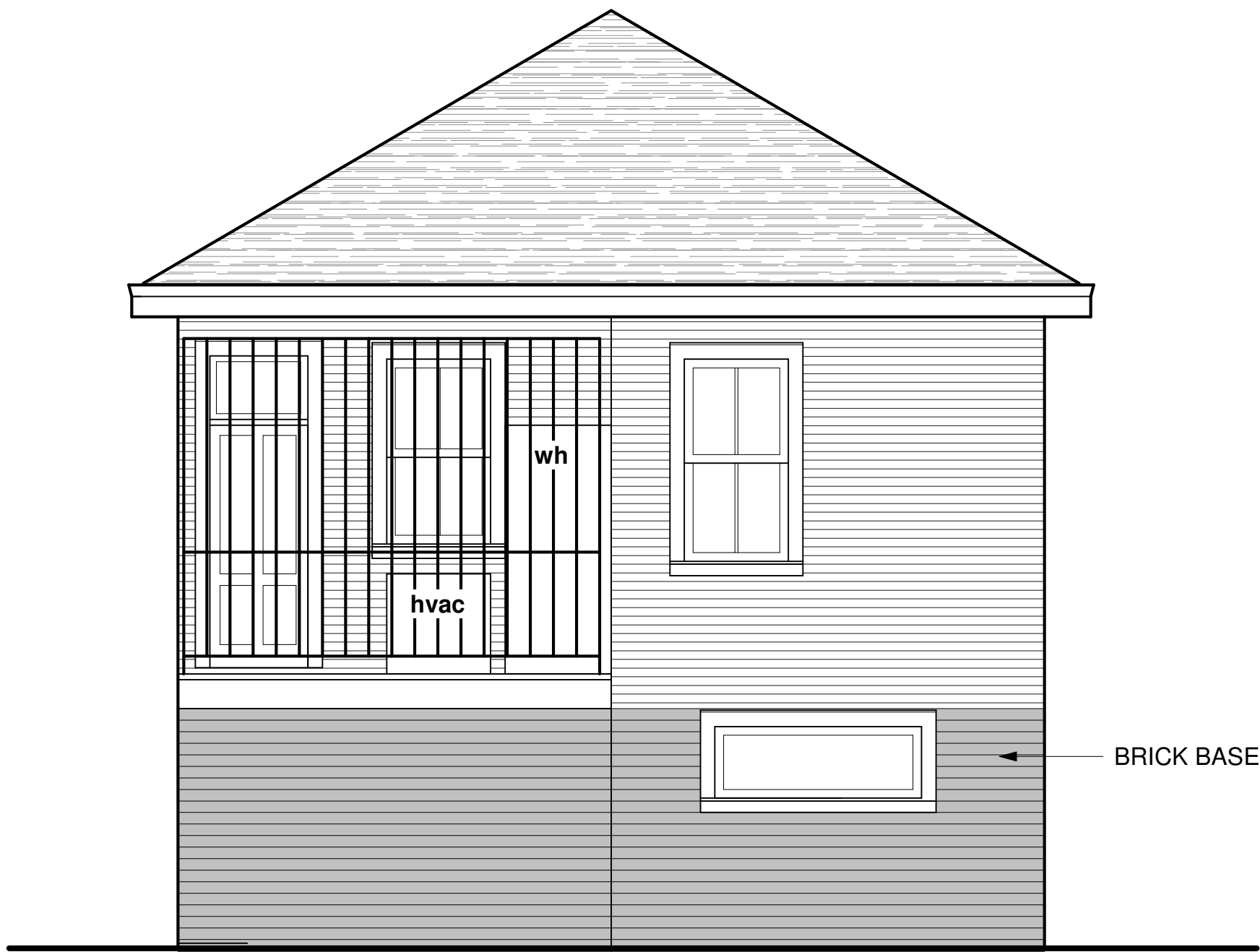


EXIST & PROPOSED
ELEVATIONS

Project number P13_2021
Date 08.09.2022
Drawn by AWS
Checked by AWS

A4

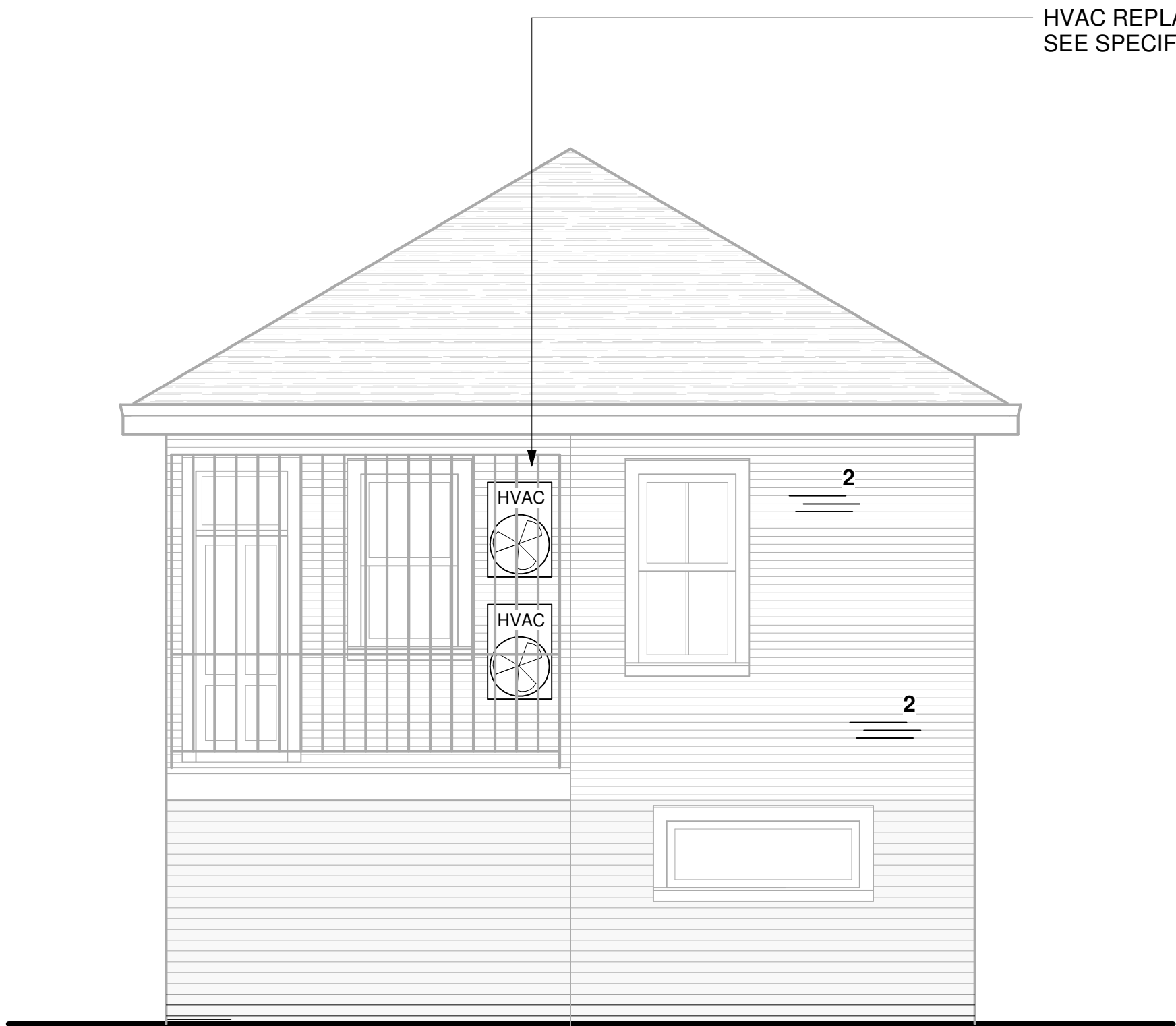
Scale 1/4" = 1'-0"



3 REPLACE STAIRS,
HANDRAIL, LANDING



1432 EXISTING REAR AND RIGHT SIDE
ELEVATIONS
1/4" = 1'-0"

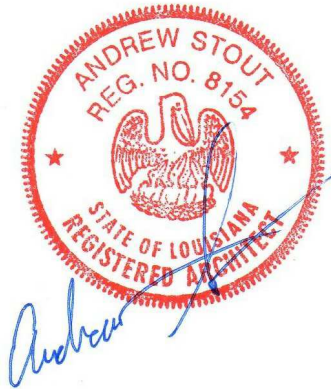


REPLACE GUARDRAIL IN
KIND TO MATCH EXISTING
WITH 42" CODE COMPLIANT
HEIGHT
(NOTE THAT EXISTING RAIL HAS
TURNED CENTER TO BE MATCHED)

3 REPLACE STAIRS,
HANDRAIL, LANDING
SEE DETAILS FOR
HANDRAIL/ GUARDRAIL AT
STAIRS



1432 PROPOSED REAR AND RIGHT SIDE
ELEVATIONS
1/4" = 1'-0"



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EXIST & PROPOSED
ELEVATIONS

Project number P13_2021
Date 08.09.2022
Drawn by Author
Checked by Checker

A5

Scale 1/4" = 1'-0"

STAIRWAY DESIGN NOTES:

TOTAL RISE/ RUN = 7'-6" , VERIFY IN FIELD
MAX RISER = 7.5", ADJUST PER VERIFIED CONDITIONS AND MAKE ALL EQUAL.
MIN /MAX TREAD = 11"

LANDINGS SHALL BE SLOPED TO DRAIN. SEE T.O. PORCH SLOPE NOTE.

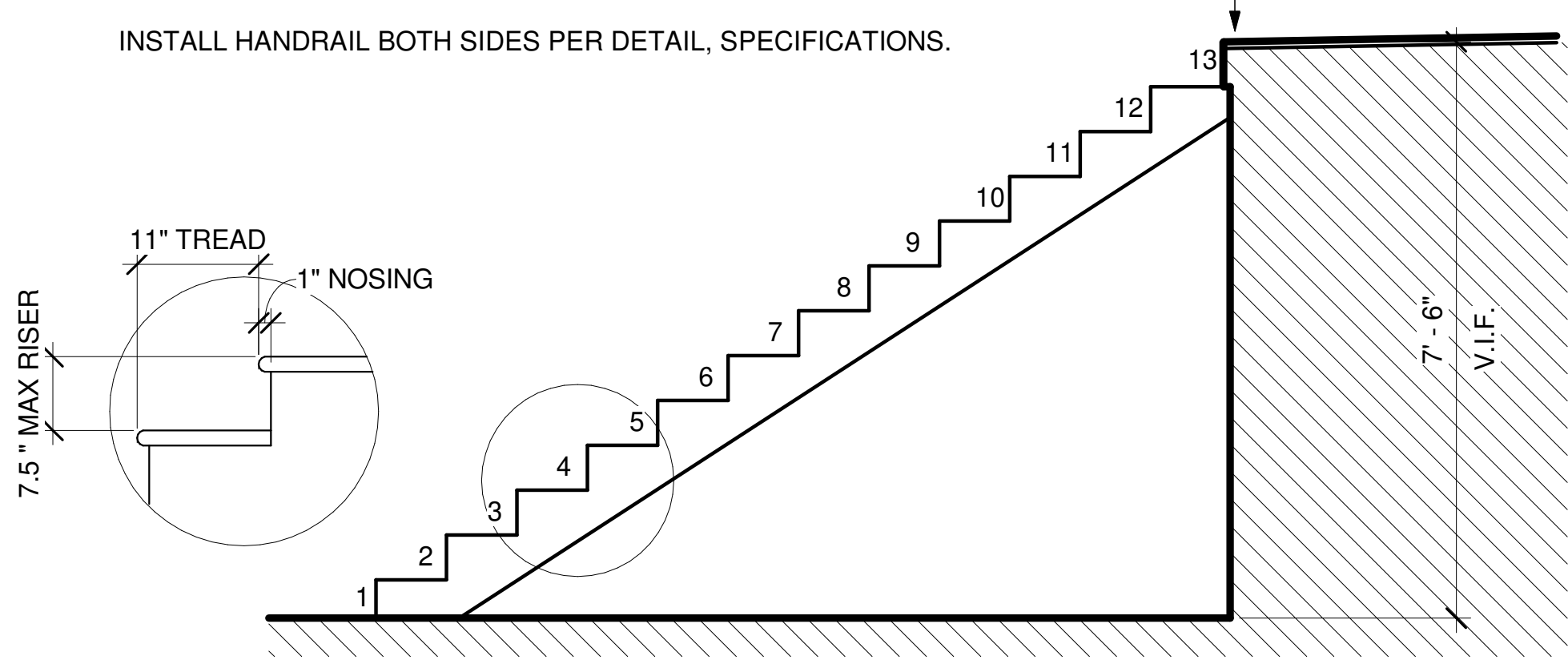
EXTERIOR STAIRS TO BE BUILT OF TREATED 2X WOOD CONSISTING OF
(3) 2X12 STRINGERS AND 5/4" RADIUS EDGED #1 PINE TREADS.

STAIRS TO BE PRIMED AND PAINTED.

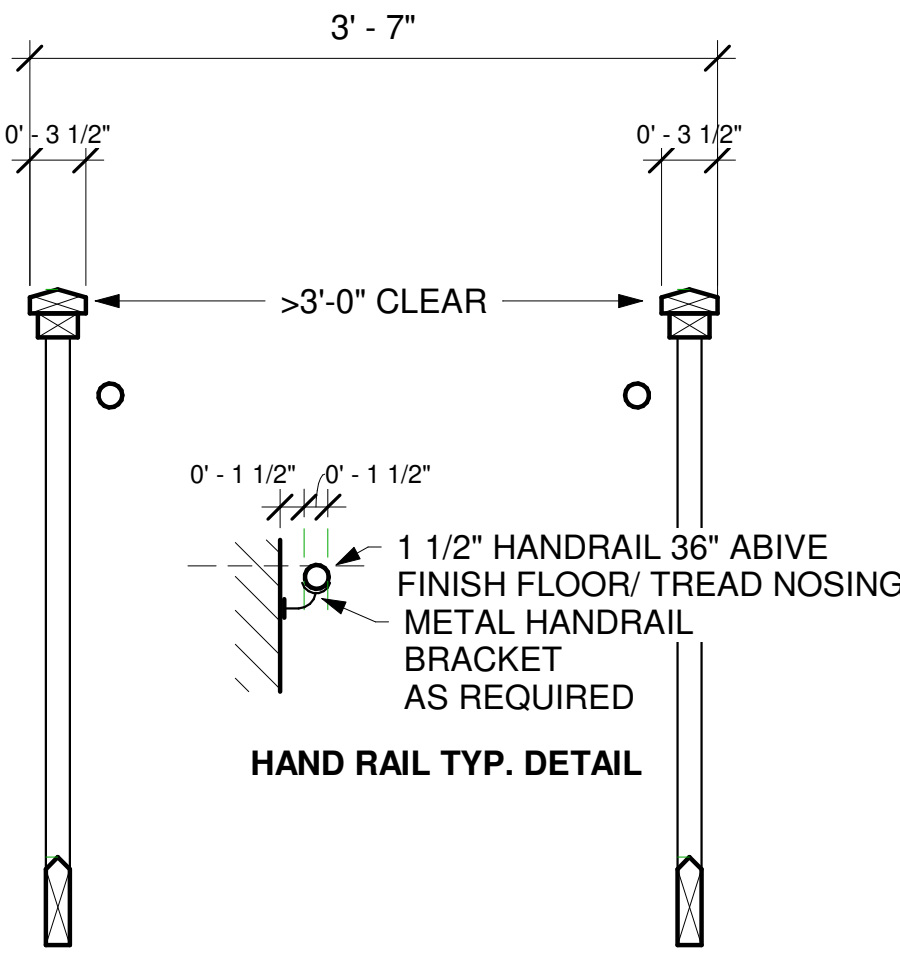
INSTALL HANDRAIL BOTH SIDES PER DETAIL, SPECIFICATIONS.

T.O. PORCH [LANDING]
APPEARS TO HAVE A SLOPE OF 1"
IN 49", OR LESS THAN/ EQUAL TO 1:48.
PER IRC 311.7.7, LANDINGS OF
STAIRWAYS SHALL HAVE A WALKING
SURFACE SLOPED NOT MORE THAN 1
UNIT IN 48 [1:48]. CONTRACTOR TO
V.I.F. SLOPE. & CONTACT ARCHITECT
AND OWNER IF VERIFIED
DIFFERENTLY.

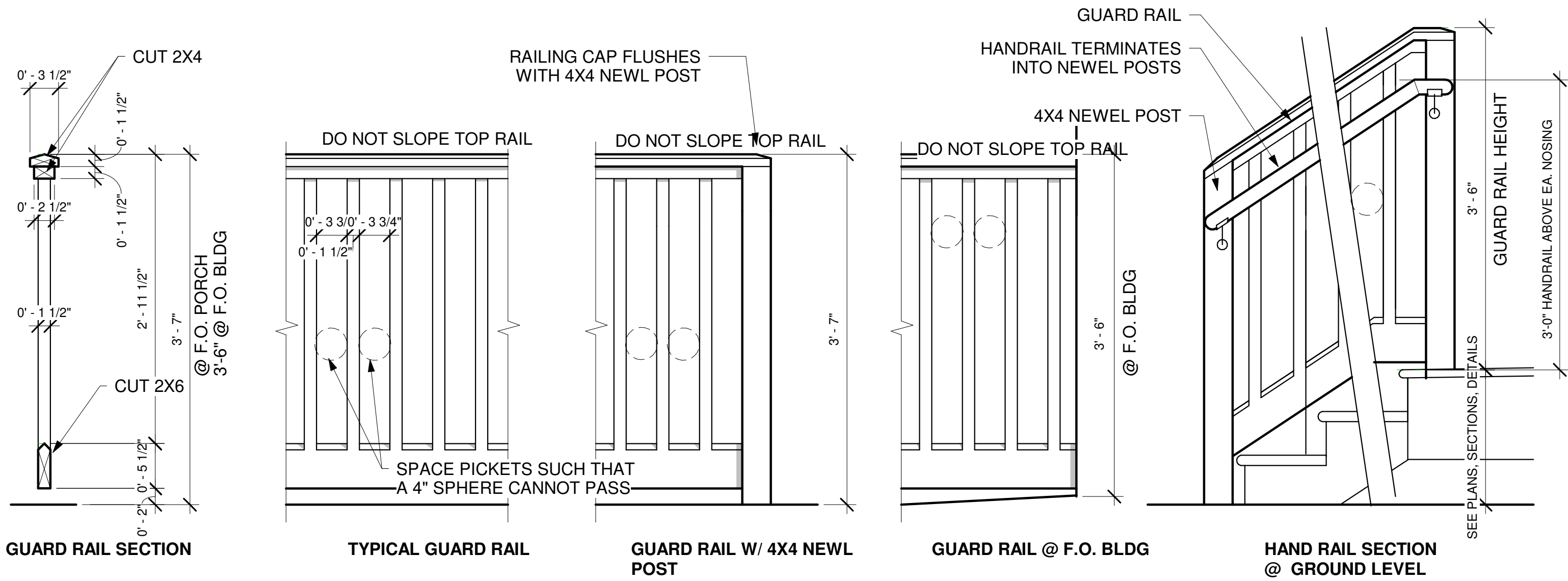
F.O. PORCH



2 FRONT PORCH STAIRS
1/2" = 1'-0"



WOOD HANDRAIL / GUARD RAIL SECTION



1 WOOD GUARD AND HAND RAIL NOTES
1" = 1'-0"

INTERIOR SPECIFICATIONS

WALL, FLOOR & CEILING NOTES

WHERE NEW PARTITION WALLS OR REPAIRS IN KIND TO CONSTRUCTION-AFFECTED AREAS, SEE SPECIFICATION/ FOLLOWING NOTE:

WALL / CLG FINISH: 1/2" GYP

NOTE: JOINTS TO BE SEALED WITH REINFORCED TAPE OR PAPER, AND MORTER OR PLASTER, AS APPROPRIATE,
PRIOR TO FINISHING OR TILING. JOINTS TO HAVE SOILD BACKING (SPACED PER STUD)
USE HARDI BACKER BOARD WHERE RELEVANT FOR TILE SUBSTRATE.

CONTRACTOR SHALL DESIGN AND COORDIANTE THE WATER PROOFING OF WET AREAS SUCH AS SHOWERS.

B.O.D. FOR CUSTOM SHOWER SYSTEMS AND TILE FLOORS IS A "SCHLUTER" MEMBRANE SYSTEM. INSTALL
MEMBRANE SYSTEM PER MANUFACTURER'S INSTRUCTIONS.

ALL GYPSUM TO BE INSTALLED BY SCREW FASTENER, **NO NAILS ALLOWED**

GYPSUM MATERIAL SELECTION:

TYPICAL GYPSUM WILL BE 1/2" IN DIMENSION. IN WET AREAS SUCH AS BATHROOMS, WHERE GYPSUM IS USED, GYPSUM SHALL BE FACED
IN MILDEW-RESISTANT PRODUCTS, SUCH AS "GREEN-BOARD"

TILE (CERAMIC / POERCELAIN / STONE):

CONTRACTOR TO COORDINATE INSTALLATION OF BATHROOM FLOOR / WALL TILE. B.O.D. IS THINSET ON SCHLUDER
MEMBRANE SYSTEM.

ALTERNATIVES MAY BE THINSET ON HARDI BACKER BOARD WITH ACCOMPANYING WATERPROOFING SEALENT TO BE APPLIED
TO BACKERBOARD JOINTS. IN SHOWER FLOORS, IF APPLICABLE, SURFACES MUST SLOPE TO DRAIN. IN SHOWER AREAS
SCHLUDER SYSTEMS ARE CONSIDERED MORE RELIABLE.

CONTRACTOR TO GUARENTEE TILE SYSTEM OF CHOICE WITH APPROVAL OF OWNER.

'SMALL FORMAT', NON-SLIP TILES TO BE USED FOR SHOWER/WET AREAS.

FOR ALL BATHROOM SURFACES, NON-SLIP FINISHES/ FORMATS ARE REQUIRED.

OWNER TO SELECT AND CONFIRM TILE & GROUT SELECTIONS.

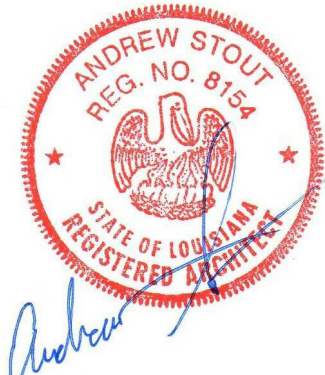
UNLESS OTHERWISE DETERMINED BY ARCHITECT OR DIRECTED BY OWNER, GROUT SPACING WILL BE SMALL AND
CONSISTANT, APPLIED WITHOUT EXCESS AND SEALED WITH IMPREGNATING SEALER AS APPROPRIATE.

FINISH WOOD TRIM

CONTRACTOR TO ENSURE THAT TRIM SHOWN IN ALIGNMENT IS ALIGNED IN THE FIELD, OR SHIMMED TO MATCH APPROPRIATE
ALIGNMENT. ALL TRIM FOR JAMBS AND HEADS AROUND DOORS AND WINDOWS IS TO BE SQUARE CUT, DO NOT MITER CUT ANY
DOOR OR WINDOW TRIM.

FIXTURES & APPLIANCES:

CONTRACTOR TO COORDINATE WITH OWNER AND INTERIOR DESIGNER FOR FIXTURE SELECTION AND APPROVAL. SELECTION BY
OWNER AND PROCUREMENT/INSTALLATION BY CONTRACTOR UNLESS OTHERWISE AGREED TO IN WRITING WITH OWNER.

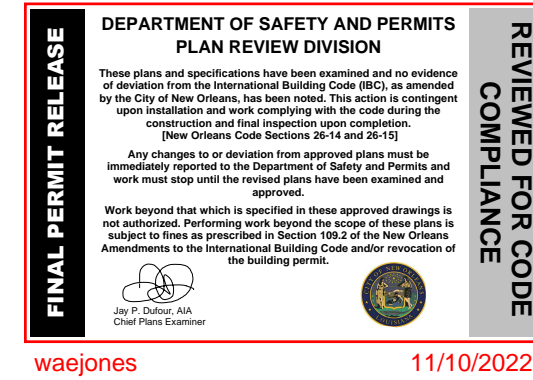


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THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL LOCAL
REQUIREMENTS. I AM NEITHER INSPECTING THE WORK NOR CONTRACTED
TO DO SITE OBSERVATION
- ANDREW STOUT

1432
MELPOMENE STREET
RESIDENTIAL
RENOVATION
NEW ORLEANS, LOUISIANA

09 - 09 - 2022 PERMIT SET



DETAILS AND
SPECIFICATIONS

Project number P13_2021
Date 08.09.2022
Drawn by AWS
Checked by AWS

A6

Scale As indicated

GENERAL NON STRUCTURAL FRAMING NOTES FOR CONTRACTOR

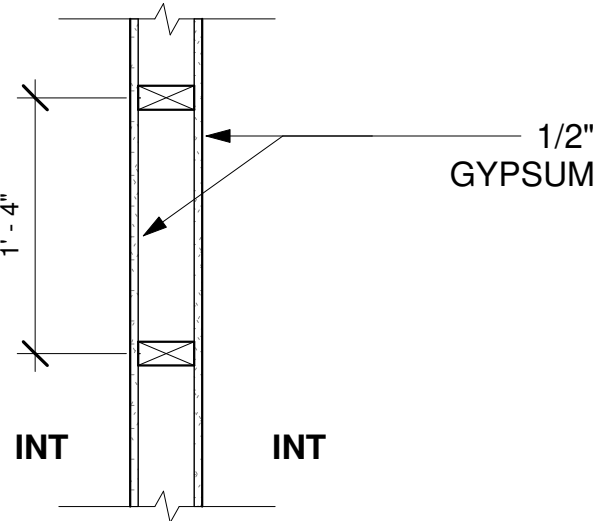
WHERE TERMITE DAMAGE IS FOUND IN WOOD STRUCTURE, OR REPAIR OR REPLACEMENT OF EXISTING WOOD MEMBERS IN KIND IS NECESSITATED, THE FOLLOWING GENERAL NOTES ARE APPLICABLE AS GUIDENCE AND SPECIFICATION FOR THE QUALITIES OF THOSE MATERIALS AND ATTACHMENT.

- All work shall conform to the "2015 International Residential Code" and to all other applicable Federal, State, and Local regulations. Design, fabrication, and construction of wood framing shall conform with the latest edition of the following codes and standards: "National Design Specifications for Wood Construction" (with supplement) by American Forest and Paper Association, "Timber Construction Manual" as adopted by the American Institute of Timber Construction, including the AITC 106 "Code of Standard Practice" and ANSI/AITC A190.1 "American National Standard, Structural Glued Laminated Timber" by American Institute of Timber Construction.
- Prior to fabrication and/or erection of any materials, the Contractor shall field verify all pertinent existing dimensions, elevations, and conditions
- Verify the location of all existing utilities before commencing any work.
- All materials shall be stored to protect them from exposure to the elements.
- All timber for framing shall conform to Southern Pine No. 2 or better.
- Unless noted otherwise, multiple pieces of lumber or manufactured wood products used to form beam or header members shall be attached together with 4, 5, or 6 rows of 16d nails spaced at 16" o.c. for pieces up to 12", between 14" and 16" deep, and 18" deep (respectively).
- All plywood sheathing shall comply with APA. Plywood shall meet C-D Interior APA, Structural I and II C-D Interior APA, or Structural I and II C-C Exterior APA. Attachment to be in accordance with IRC requirements. All plywood to have exterior glue.
- Provide solid blocking at all wall horizontal joints. Vertical joints of roof sheathing shall be staggered at 4' o.c. maximum.
- Fasten panels with 8d nails or #10 screws. Space fasteners at 4" o.c. along edges and 6" o.c. at interior supports. The use of staples will not be allowed.
- Roof sheathing shall be APA rated, (5/8" nominal), 32/16.
- Floor sheathing shall be APA rated, (3/4" nominal), 48/24.
- Wall sheathing shall be APA rated, (1/2" nominal), 32/16.
- See ICC International Building Code for minimum bracing and fastening requirements. Provide nailing patterns in compliance with IRC recommended fastening schedule.
- Members shall be set with crown up and have a minimum of 3 inches bearing.
- Splice double sole plates directly over stud. Stagger splice of each plate.
- All joists and rafters shall be rigidly bridged at intervals not exceeding 8'-0".
- All connection bolts for timber framing members shall be minimum 3/4"Ø ASTM A307 bolts.
- All bolts and lag bolts shall be fitted with galvanized, malleable iron or steel plate washers.
- Pressure treat with water-borne preservatives all lumber for sill plates and other wood which may be exposed to weather or earth, including wood in contact with exterior masonry. Pressure treatment shall comply with requirements of a WPB Standards C2 and LL-22.
- All lumber, plywood, or other structural wood elements in contact with masonry or exposed to earth/weather shall be pressure-treated with CCA or MCQ to a minimum retention of 0.40 pcf. In accordance with AWWPA, ACQ treatment is not allowed without written approval of the EOR.
- All treated wood members shall be connected or fastened with galvanized nails, screws, or bolts. The coating must be hot-dipped to an equivalent of G-90 rating or greater.
- All hangers, clips, connectors, anchors, ties, etc. shall be attached with nails of the maximum size and type recommended by the manufacturer.
- Where framing is replaced, a contonous load path from roof to footings must be installed with metal strapping.

WOOD FRAMED OPENING SCHEDULE		
ALL MODIFIED OPENINGS AND RECESSES IN WOOD STUD WALLS (U.N.O.) SHALL HAVE THE FOLLOWING HEADERS [EXCEEDS SPECIFICATIONS OF HEADER SPANS IN BEARING WALLS TABLE R502.5(1) FOR EXTERIOR WALLS AND R502.5(2) FOR INTERIOR WALLS]		
OPENING WIDTH	HEADER	JACK STUDS
UP TO 4'-0"	(2) 2x10	(2) 2XMIN
4'-1" TO 6'-0"	(3) 2x12	(2) 2X MIN
6'-1" TO 10'-0"	(4) 2x12	(2) 2X MIN
LARGER THAN 10'-0"	NOTE 2	NOTE 2

MULTIPLE STUDS SHALL BE CONNECTED TOGETHER WITH (2) ROWS OF 12d NAILS SPACED AT 8" O.C.

CONTRACTOR TO PROCURE STAMPED STRUCTURAL ENGINEER SPECIFICATIONS FOR ANY BEAMS SURPASSING THESE GENERAL DESIGN CONSTRAINTS INTENDED FOR NON STRUCTURAL INTERIOR PARTITION FRAMING.



TYP INT. NON-STRUCT PARTITION WALL "A"

1 PARTITIONS 1" = 1'-0"

ENVELOPE, EXTERIOR, AND RELATED SPECIFICATIONS

EXTERIOR FASCIA, SIDING:

CONTRACTOR TO VERIFY CONDITIONS AND MAKE INCIDENTAL REPAIRS IN KIND TO EXISTING FASCIA AND EXTERIOR ENVELOPE SYSTEMS WHERE FOUND / AS DESCRIBED ON THE ELEVATIONS.

INSULATION:

WHERE REPAIR WORK INCIDENTALLY INVOLVES EXPOSURE OF WALLS OR CEILING FROM THE INTERIOR (E.G. THE INTERIOR FINISH HAS BEEN DAMAGED, AND IS BEING REPLACED, OR HOLES ARE BEING REPAIRED IN THE EXTERIOR WALL), VERIFY CONDITION OF / UPDATE INSULATION TO MEET IECC (INTERNATIONAL ENERGY CONSERVATION CODE)

RE: TABLE C402.1.3 OPAQUE THERMAL ENVELOPE INSULATION COMPONENT MINIMUM REQUIREMENTS, R-VALUE METHOD. IN ZONE 2A WOOD FRAMED AND OTHER:

ROOF TO BE MIN. R-38
WALLS AND TO BE MIN. R-13

TYP INSULATION TO BE FACED BATT INSULATION TYPICAL, INSTALLED ORIENTED FOR CLIMACTIC ZONE "2A", WITHOUT GAPS OR COMPRESSION, CONTRACTOR MAY SUBMIT SUBSTITUTIONS FOR ARCHITECTURAL REVIEW . CONTRACTOR TO COMMUNICATE PRODUCT SELECTION TO ARCHITECT PRIOR TO ORDERING.

SUBSTITUTIONS TO BE MEET OR SURPASS CODE REQUIREMENT.

SEALANTS:

THE CONTRACTOR SHALL USE THE APPROPRIATE SEALENTS AT APPROPRIATE LOCATIONS TO ENSURE PRIMARY WATERPROOFING OF APPLICABLE JOINTS IN CONSTRUCTION AND PENETRATIONS OF THE ENVELOPE.

EXTERIOR PAINT AND COATED FINISHES:

FIELD AND TRIM PAINT TO BE MINIMUM (2) COATS OVER PRIMER WHERE APPLIED ON EXPOSED WOOD. CONTRACTOR MAY FORGO PRIMER WHERE UNDER-COAT IS STILL PRESENT.

(2) COATS SHALL BE APPLIED TYPICALLY. FINAL COAT ON SIDING OR TRIM TO BE BRUSH APPLIED. BRUSH COATS MAY BE APPLIED AFTER PREVIOUS COAT IS DRIED.

OWNER TO SELECT COLOR. PER HDLC GUIDELINES:

The HDLC requires that all exterior woodwork such as siding, shingles, windows, shutters, ornament and trim be painted with opaque paint. Wood graining or semitransparent stain should be limited to exterior front doors if appropriate. (Refer to left.) The choice of paint colors are not subject to HDLC review

MISCL METALS, COPPER FLASHING AND GUTTERS/DOWNSPOUTS NOTES:

PROVIDE METAL FLASHING AND WATER PROOFING AT ALL PENETRATIONS

CONTRACTOR TO COORDINATE AGAINST GALVANIC ACTION BY INSULATING AS REQUIRED , OR SELECTING MATERIALS TO PREVENT CORROSION

EXTERIOR EXPOSED FASTENERS TO BE STAINLESS STEEL OR SIMILARLLY PROTECTED AGAINST CORROSION BY GALVANIZATION OR SIMILAR PROTECTIVE COATING.

EXTERIOR TILE:

WHERE EXISTING TILE LANDING AT STAIRS IS BEING REPLACED WITH NEW TILE, NEW TILE SYSTEM SHALL BE COORDINATED BY CONTRACTOR AND FINISHED WITH A NON-SLIP MAT-FINISH SUITABLE FOR EXTERIOR APPLICATION. THE LANDING TILE SHALL BE SLOPED PER CODE / SPECIFICAITON IN THE STAIR / LANDING DETAILS.

WINDOW / DOORS

NO NEW WINDOW PENETRATIONS.

VERIFY CONDITION OF EXISTING DOORS/ WINDOWS AND REPAIR AS NEEDED WITH APPROVAL OF OWNER AND COORDINATION OF CONTRACTOR. WHEREVER UNITS ARE REPAIRED CONTRACTOR TO VERIFY WINDOW/ DOOR UNITS SHALL NOT PROTRUDE FROM THE LEADING FACE OF THE TRIM PER HDLC REQUIREMENT.

(1) NEW 3'-0" EXTERIOR DOOR PER PLAN

MISCL NEW INTERIOR DOORS PER PLAN, ALL NEW DOORS TO BE SELECTED BY OWNER.

GLAZING & GLASSED DOOR NOTE

WHERE APPLICABLE, TEMPERED GLASS PANES SHALL BE USED FOR HAZARDOUS LOCATIONS DESCRIBED IN IRC SECTION 308, INCLUDING GLAZING <18" FROM FLOOR ADJACENT TO A WALKING SURFACE, WINDOWS <60" ABOVE A WET SURFACE AREA SUCH AS A TUB OR SHOWER.

HDLC GENERAL NOTES:

IN GENERAL IT IS RECOMMENDED THAT THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH HDLC GUIDENCE WHILE WORKING ON ANY BUILDING IN AN HDLC DISTRICT. FOR REFERENCE SEE

https://www.nola.gov/nola/media/HDLC/Guideline%20Update/20190111/2019-01-11_06-Ext-Woodwork.pdf

MEP AND RELATED SPECIFICATIONS

MECHANICAL, ELECTRICAL, AND PLUMBING "MEP" :

MEP DESIGNS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND CONTRACTOR'S LISENCED PROFESSIONALS. ARCHITECTURAL DESIGNS WILL PORVIDE LIMITED REFERENCE NOTES TO EXPLAIN DESIGN INTENT. (SEE GENERAL CONDITIONS)

THE CONTRACTOR WILL COORDINATE ALL MECHANICAL, ELECTRICAL , NATURAL GAS, PLUMBING, AND HVAC WORK BY THEIR LISCENSED PROFESSIONALS TO INSTALL SERVICES.

CONTRACTOR IS TO CONFIRM WITH THE OWNER THAT THE DESIGN OF THE CONSULTANT MEETS THE DESIGN INTENT BY REVIEWING SYSTEM QUALITIES WITH THE OWNER AND RECEIVE OWNER APPROVAL PRIOR TO PURCHASE AND INSTALLATION

CONTRACTOR TO COMMUNICATE ANY DESIGN CONFLICTS WITH ARCHITECTURAL DOCUMENTS TO THE ARCHITECT FOR ASSISTANCE.

CONTRACTOR TO COORDINATE REQUIRED MEP ACCOMMODATIONS INCLUDING BUT NOT LIMITED TO LIGHTING , EQUIPMENT ACCESS, WORKING SPACE, EQUIPMENT CLEARNECES, MOUNTING HEIGHTS, AND OTHER INSTALLATION REQUIREMENTS PER CODE.

HVAC ADDITIONAL NOTES:

B.O.D. IS A REPLACEMENT CENTRAL HVAC SYSTEM(S) WITH HANDLERS IN ATTIC OR CLOSETS. CONTRACTOR TO PROCURE BIDS AND PRESENT HVAC PRODUCT OPTIONS TO THE OWNER. REPLACEMENT HVAC UNIT & CONDENSOR SYSTEMS TO BE CALCULATED & SPECIFIED BY HVAC CONSULTANT / PROFESSIONAL. MECHANICAL, ELECTRICAL, AND PLUMBING ACCOMODATIONS FOR HVAC SYSTEM TO BE COORDINATED BY CONTRACTOR. HVAC TO BE PROVIDED WITH DRIP PAN, DRAINAGE, OVERFLOW SHUT OFF.

ELECTRICAL ADDITIONAL NOTES:

SEE ARCHITECTURAL MEP REFERENCE PLAN .CONTRACTOR TO PROVIDE ELECTRICAL SWITCHES, PLATES, AND WIRES AS REQUIRED UNLESS OTHERWISE NOTED.

ELECTRICAN TO MARK WALL SCONCES, PENDANT LIGHTS, AND PROTRUDING CEILING FIXTURES, ON WALLS AND CEILINGS FOR OWNER APPROVAL PRIOR TO INSTALLATION. EQUIPMENT TO BE MOUNTED AT APPROPRIATE HEIGHTS AND INSTALLED PER CODE.

ALL WORK TO CONFORM TO NEC

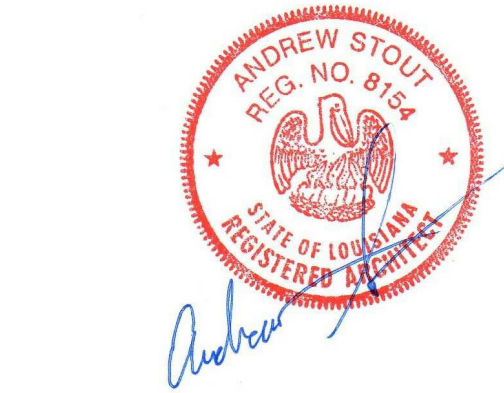
PLUMBING ADDITIONAL NOTES:

SUB CONTRACTOR TOPROVIDE OWNER WITH INFORMATION REGARDING BOTH TRADITIONAL WATER HEATING AND ON-DEMAND HEATING OPTIONS.

ALL WORK TO CONFORM TO LOUISIANA PLUMBING CODE.

LIFE SAFETY:

INSTALL NEW SMOKE AND CARBON MONOXIDE DETECTORS PER PLAN. SMOKE DETECTORS TO BE WIRED WITH BATTERY BACKUP POWER.

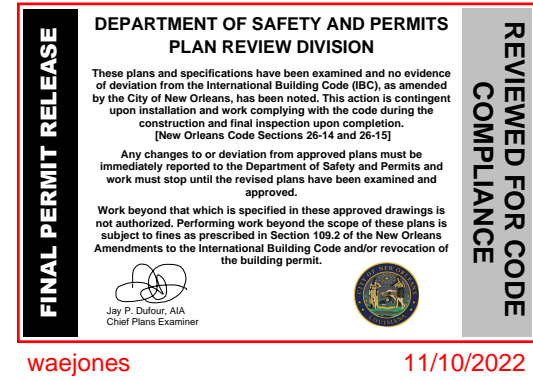


STOUTHAUS ARCHITECTURE LLC

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