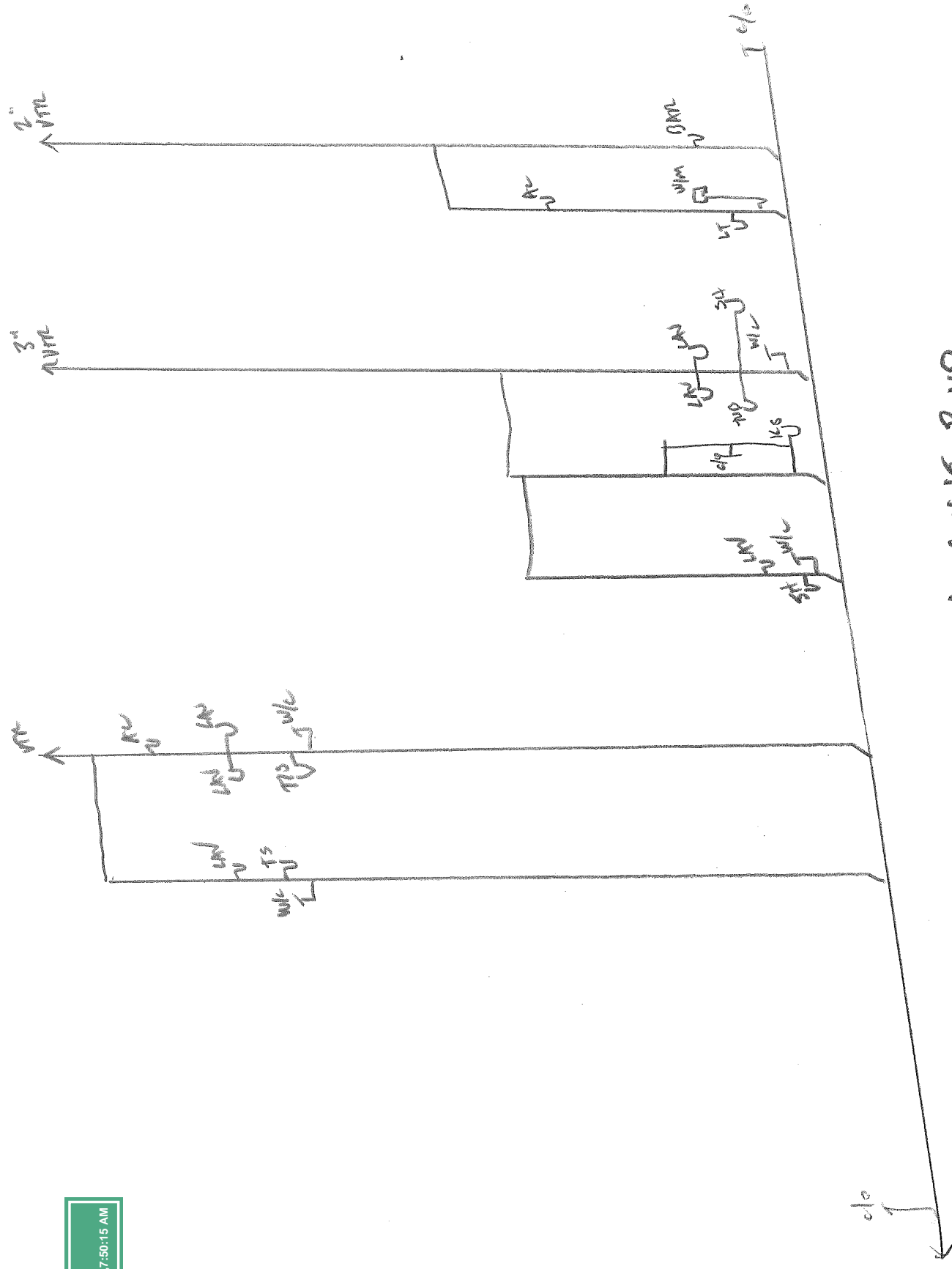


APPROVED
maevans . 9/13/2022 7:50:15 AM



SINGLE FAMILY RESIDENCE:

**6838 ARGONNE BOULEVARD
LAKEVIEW SUBDIVISION
SQUARE 100 LOT 35 & 36
SECOND DISTRICT
NEW ORLEANS, LA
ZONING DIST: S-LRS1**

Please be advised that these plans have been prepared by myself, being a registered Architect in the State of Louisiana, or under my supervision, and that to the best of my knowledge and belief, these drawings and specifications are in compliance with all local requirements.

Name _____

License # 6538

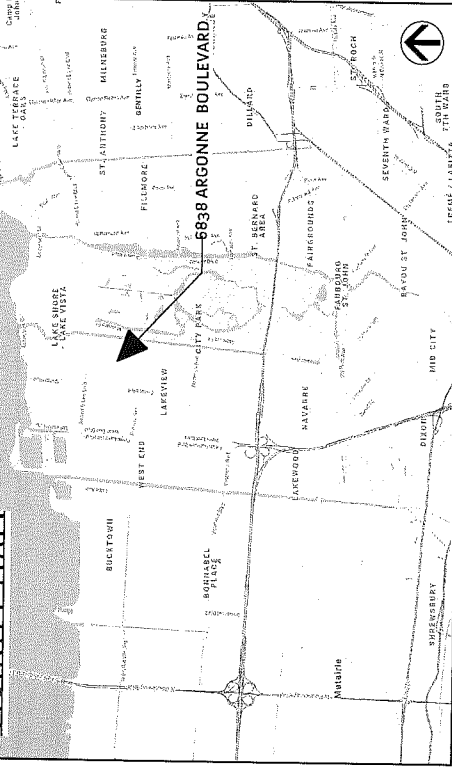
I (will / will not) be making periodic visits to the site.

BUILDING AREA CALCS:

Lot Area	6138 SF
1st Floor	2412 SF
2nd Floor	1242 SF
Total Living	3654 SF
Porches	278 SF
Carport/Stor.	343 SF
Total Non-Living	621 SF
TOTAL:	4275 SF

Driveway Area	33 SF
Walkway/Hardscape Area	150 SF

VICINITY MAP:



DRAWING INDEX:

Architectural	
A1:	Cover Sheet & Site Plan
A2:	Floor Plans
A3:	Schedules
A3.1:	Framing Plans
A3.1.1:	Roof Framing Plan
A4:	RCP/Elec. Plans
A5:	Exterior Elevations
A5.1:	Exterior Elevations
A6:	Wall Sections
A7:	Details
A8:	Window Flashing Details
Structural	
S1.0A:	General Notes
S1.0B:	General Notes
S1.1:	Pile Plan
S1.2:	Post Tension Plan
S1.3:	Foundation Plan
S1.4:	Foundation Sections & Details
S1.5:	Details
S1.6:	Details
S1.7:	Garage Foundation Plans

GENERAL NOTES:

- Dimensions shown on the floor plan are face to face of stud unless noted otherwise.
- Contractor shall verify and coordinate clear dimensions required for equipment (furnished by others and casework which is located in new work).
- Contractor shall not hang any equipment and/or materials from the HVAC ducts. All suspended equipment shall be hung from the structure above. Contractor shall not puncture HVAC ducts with sprinkler pipes or any other building materials.
- Plumbing fixture locations are shown on the floor plan. Plumbing system is to be designed by the Plumbing Contractor in accordance with the 2015 International Plumbing Code.
- HVAC system is to be designed by the Mechanical Contractor in accordance with the 2015 International Mechanical Code. Additionally, outside air at the rate of 0.07 CFM per sq.ft. of conditioned space shall be incorporated at the return plenum with sufficient means to balance to the required air flow.
- Electrical panel location, outlet & lighting locations shown on floor plan. Electrical system is to be designed by the electrical contractor in accordance with the 2014 National Electrical Code.
- Coordinate with Owner regarding selection of specific finishes.
- General Contractor shall coordinate, apply & pay for all permits, inspections and/or certifications from the appropriate agencies.
- General Contractor shall be responsible for all means, methods, techniques, requirements, procedures and required safety precautions to accomplish the work.
- All roof & exterior wall penetrations shall be flashed and waterproofed per applicable codes and manufacturer's standards and recommendations.
- All materials, systems and building components shall be installed in accordance with applicable codes and manufacturer's standards and recommendations.
- Window protection is to be provided per IRC Section R302.2.1.1 with wood (1/2" plywood) protective panels w/attachment hardware to be attached per Table R302.2.2.2.
- Residence is to be constructed to withstand 150 MPH wind speeds in accordance with Section R302.2.1.4, IRC 2015. See Wall Cladding Details & Load Tables for Continuous Load Path Construction on attached structural drawings.
- Vapor barrier on top of soil under slab to be Stago Industries ASTM E 1745 Class A Vapor Barrier or approved equal. Install per manufacturer's requirements.
- All material shall be new and U.S. local.
- The contractor shall inform the Architect in writing, during the bidding period, of any discrepancies or omissions noted in the drawings or specifications or of any variances needed to conform to codes, rules and regulations. Upon receipt of such information, the Architect will send written instructions to all concerned. Any such discrepancy, omission, or variation not reported shall be the responsibility of the contractor, and work shall be performed in a manner as directed by the Architect.
- Firestopping & encapsulating shall be per local building codes.
- Termite protection shall be provided in compliance with Sec. 8248 IRC 2015 and, by EPA registered & labeled Chemical Termitecide treatment or Termite Baiting System. Installed and maintained per manufacturer's requirements.
- Provide 6 inch. Corrosion Resistant Steel Decking at all 1st & 2nd floor Slab.
- All existing trees to remain shall be protected during construction to avoid damage from adjacent work, equipment and soil or fill being piled on or against root system 6 feet.
- No drywall products used for this project shall be manufactured in China or be from manufacturers known to be involved in ongoing litigation involving high sulphur levels. Contractor shall provide material data sheets to Owner for drywall products provided.



ARCHITECTS

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Single Family Residence
6838 Argonne Blvd.
New Orleans, Louisiana

Date	To	Use / Revision
08/20/23	Owner	Schematic Design
08/29/23	Owner	Revised SD
07/29/23	Owner	CD Review
08/23/23	Owner	CD Review (A Sheet)
08/28/23	Owner	Permitting

Progress X
Release

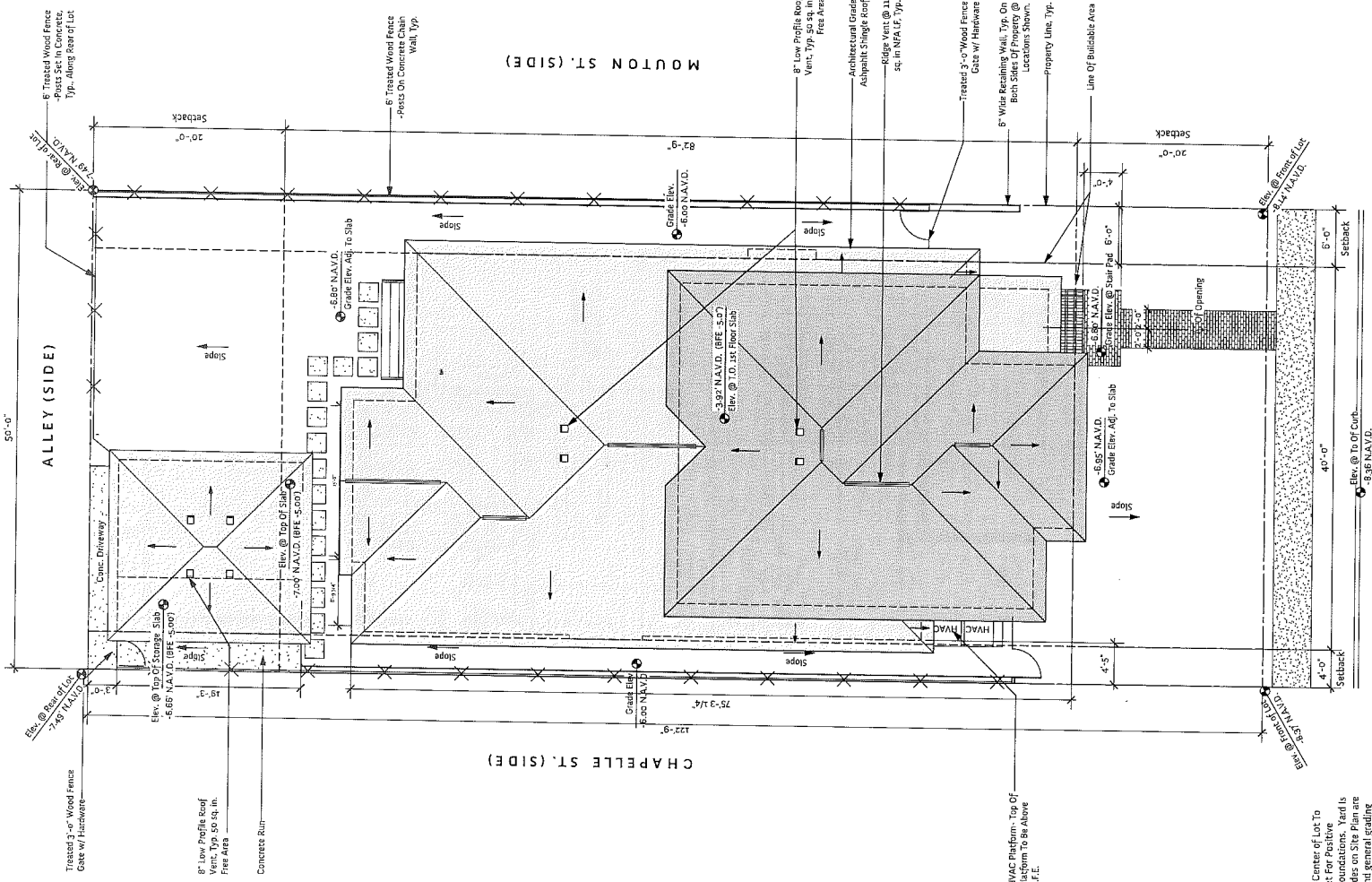


Project No. 2214 Drawn By JWZ

Cover Sheet & Site Plan

A1

LAYOUT NOTES:
1. ALL PLAN DIMENSIONS REFER TO FACE OF EXTERIOR WALL UNLESS NOTED OTHERWISE.
2. SEE FOUNDATION PLAN FOR FULL FOUNDATION DIMENSIONS.



SITE PLAN NOTES:

- NOTE: Grade Yards To Generally Slope From Center of Lot To Rear Alley, and From Center of Lot To Street For Positive Drainage. Slope Yard Away From Building Foundations. Yards Is Not To Drain Onto Adjacent Properties. Grades on Site Plan are shown to provide building slab elevations and general grading of property. Very conditions in the field and adjust as required for site conditions and slopes work functionality and soil field conditions.
- NOTE: Landscaping to be Design Build by Landscaping Contractor in Accordance with Applicable Codes, Ordinances & Covenants.
- NOTE: F.V. Exact Location Exist. Power Poles.
- NOTE: Venting is To Comply With IRC 2015 R608 R609 Minimum Vent Area.

1 Site Plan/Roof Plan
A1
Scale: 1/8" = 1'-0"



Site Plan is DIMENSIONED FROM FACE OF EXTERIOR WALL



ARCHITECTS

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New Orleans, Louisiana 70130
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Single Family Residence
6838 Argonne Blvd.
New Orleans, Louisiana

Date	To	Use / Restriction
06-20-22	Owner	Schematic Design
06-29-22	Owner	Approved SD
07-19-22	Owner	DD Review
08-03-22	Owner	DD Review / A Sketch
08-18-22	Owner	Remodeling

Progress
Release



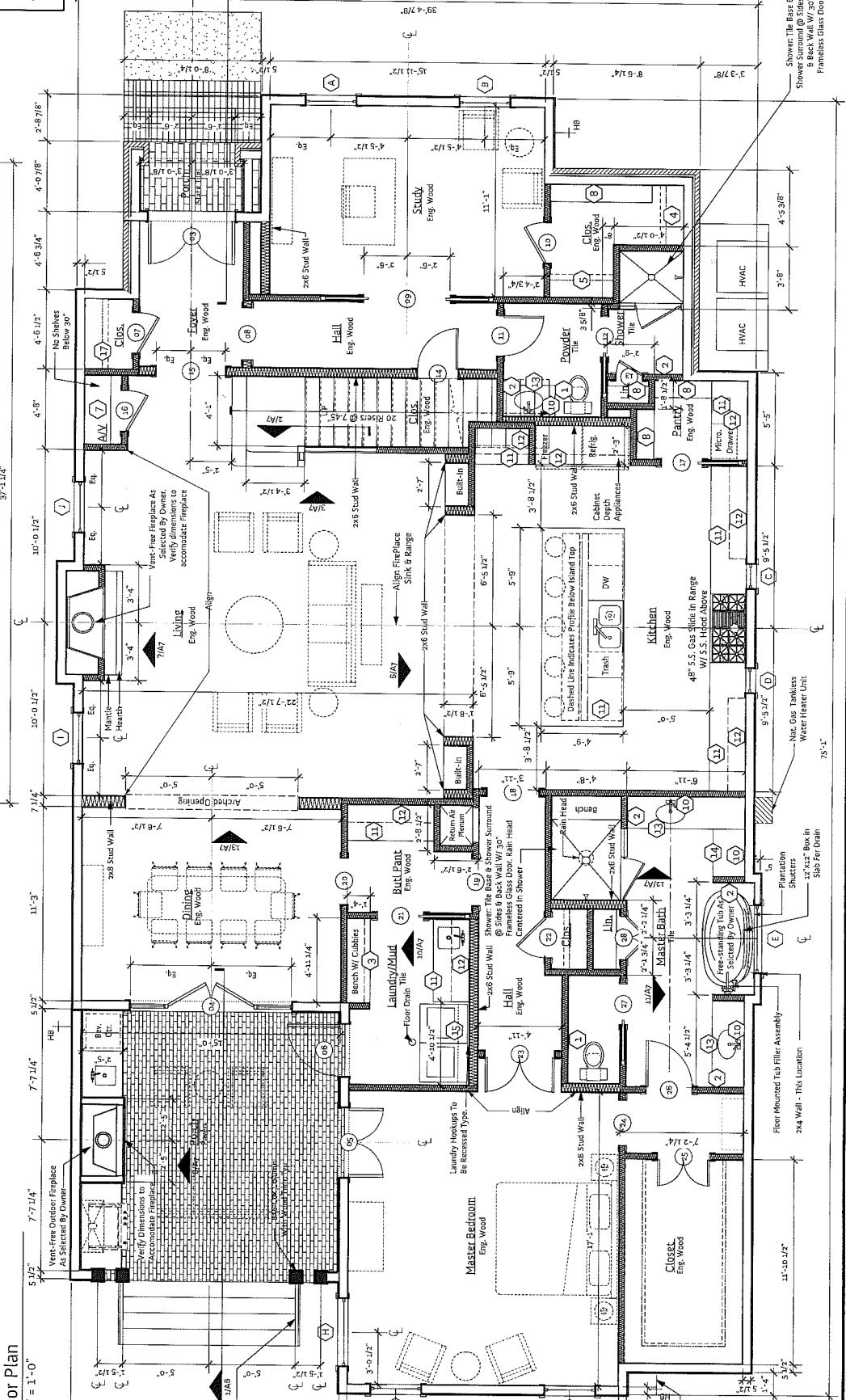
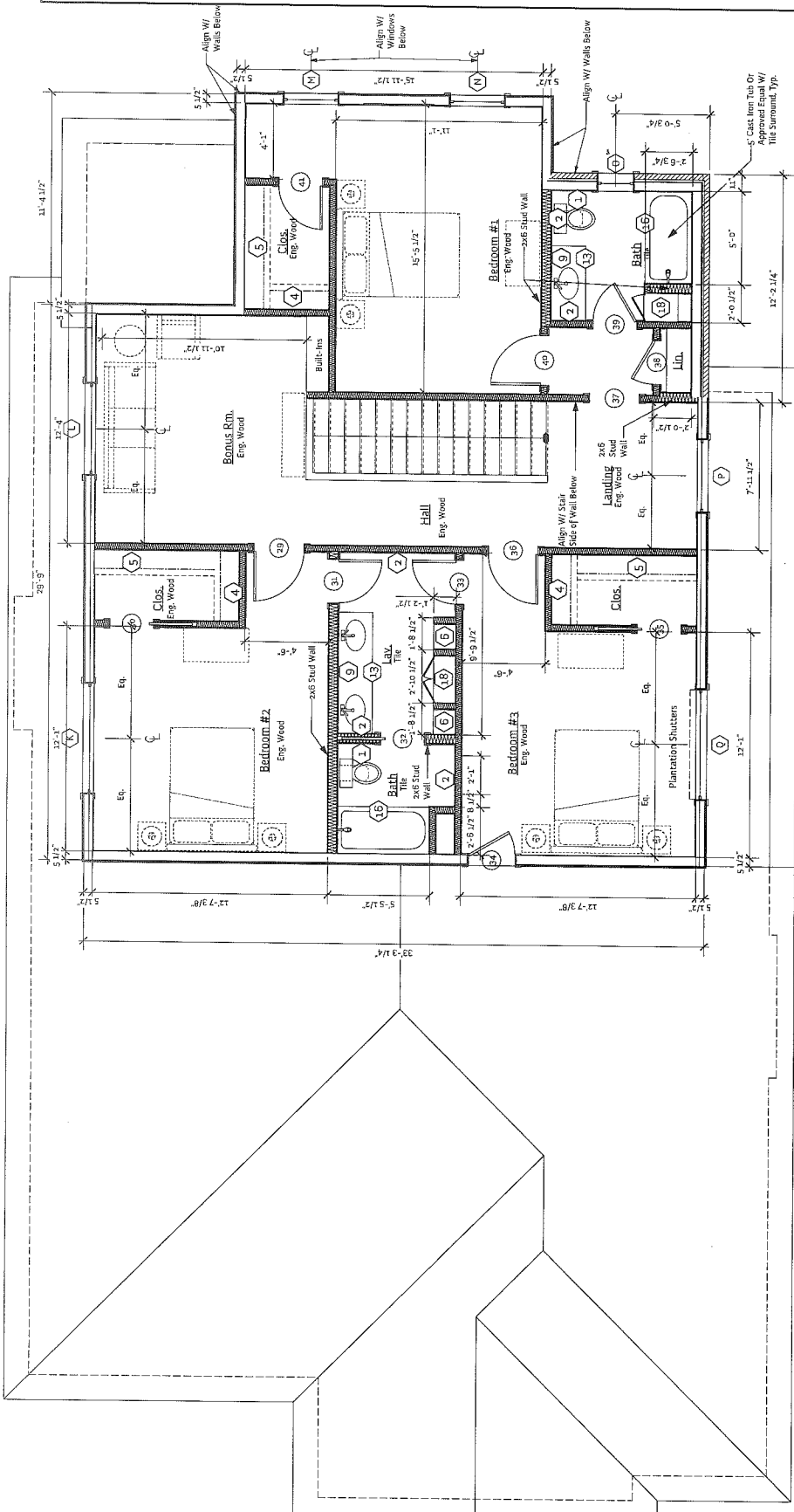
Project No. 2214 Drawn By: J.W.Z.

Floor Plans

A2

KEY NOTES:

1. Toilet Paper Dispenser
2. Towel Bar
3. Wood Cabinets - See Detail
4. 18" x 3/4" Wall Mounted Painted Wood Shelves @ 5'-4" AFF. Provide Breaker Support At Mid-Point Of Cleches Rods Over 5'-0" Long
5. 18" x 3/4" Wall Mounted Painted Wood Shelf @ 7'-0" w/ no Brackets. Cleches Rods @ 5'-2" & 5'-4" AFF. Provide Breaker Support At Mid-Point Of Cleches Rods.
6. Five 18" x 3/4" Fixed Painted Wood Shelves, Wall Mounted (Confirm Access To Top Shelf w/ Owner Before Installing).
7. Five 18" x 3/4" Fixed Painted Wood Shelves, Wall Mounted (Confirm Access To Top Shelf w/ Owner Before Installing).
8. Five 18" x 3/4" Fixed Painted Wood Shelves, Wall Mounted (Confirm Access To Top Shelf w/ Owner Before Installing).
9. Framed Mirror 3'-6" x Counter Length Lites 1/2" Wx. Mtd. Above Vanity Backsplash
10. Wall Mounted Decorative Mirror
11. 30 mm Granite Counter Top w/ Base Cabinets
12. Upper Cabinets
13. 30 mm Marble Counter Top w/ Base Cabinets
14. 30 mm Marble Counter Top w/ Above Space Below
15. Wall Mounted Metal Cleches Rod @ 5'-5" AFF & 12" Painted Wood Shelves @ 5'-2" AFF. Provide Breaker Support At Mid-Point Of Cleches Rods Over 5'-0" Long
16. Metal Shower Curtain Rod
17. 12" x 3/4" Wall Mounted Painted Wood Shelves @ 5'-4" AFF & 12" Painted Wood Shelves @ 5'-2" AFF. Provide Breaker Support At Mid-Point Of Cleches Rods Over 5'-0" Long
18. Full Height Cabinet



WALL LEGEND:

- NEW INTERIOR WALL:**
2x4 Wood Studs @ 16" O.C. w/ 1/2" Gyp. Bd. Ea. Side. - Refer To Framing Notes
- NEW EXTERIOR WALL:**
See Wall Sections. Refer To Framing Notes
- NEW EXTERIOR WALL:**
See Wall Sections. Refer To Framing Notes
- NOTE:** "Green Board" To Be Used For All Walls In "Damp" Areas. Cement Tile Backer Board To Be Used In Tub & Shower Surrounds.

FINISH NOTES

- Floors to be Engineered Wood T & G Plank or Owner approved substitute throughout except Bathrooms & Laundry which are to be ceramic tile or Owner approved substitute.
- Cabinets to be all wood w/ easy close drawers or Owner approved substitute.
- Baseboards to be 7" MDF throughout, except at tile locations which are to be tile base.
- Plumbing fixtures & hardware to be Delta or Owner approved substitute.
- 4" piece 7/32" MDF crown moulding or Owner approved substitute throughout except at Bedrooms 1, 2 & 3, which receive 7" MDF crown mouldings and bases.

NOTE: Dimensions shown on the Floor Plan are face-of-stud to face-of-stud, unless noted otherwise.

*NOTE: Slim Coat Over Concrete. Slim Coat To Be Applied To All Concrete Surfaces, Incl. Vertical Faces (Risers, Sills, Exposed Brick Ledger, Etc.)

General Construction Notes:
2x4 @ 16" O.C. Treated Wood Wall Studs
1/2" Cementitious Board At Interior To 4'-0" AFF. Green Gypsum Board At Exterior
All Electrical Outlets, Fixtures and Connections Above BFE

Source On 2x6 Garage Openings