

REVISIONS		Scope
No.	Date	

CRISCO RESIDENCE
 2827-2831 CHIPPEWA STREET
 NEW ORLEANS, LOUISIANA 70115

SEAL:

ISSUE DATE:
 SEPTEMBER 06, 2022

DRAWING TITLE:
 CHIPPEWA STREET
 CONTEXT ELEVATIONS

DRAWING NUMBER:



2839 CHIPPEWA STREET

2835-2837 CHIPPEWA STREET

2827-2831 CHIPPEWA STREET

2823-2825 CHIPPEWA STREET

2821 CHIPPEWA STREET

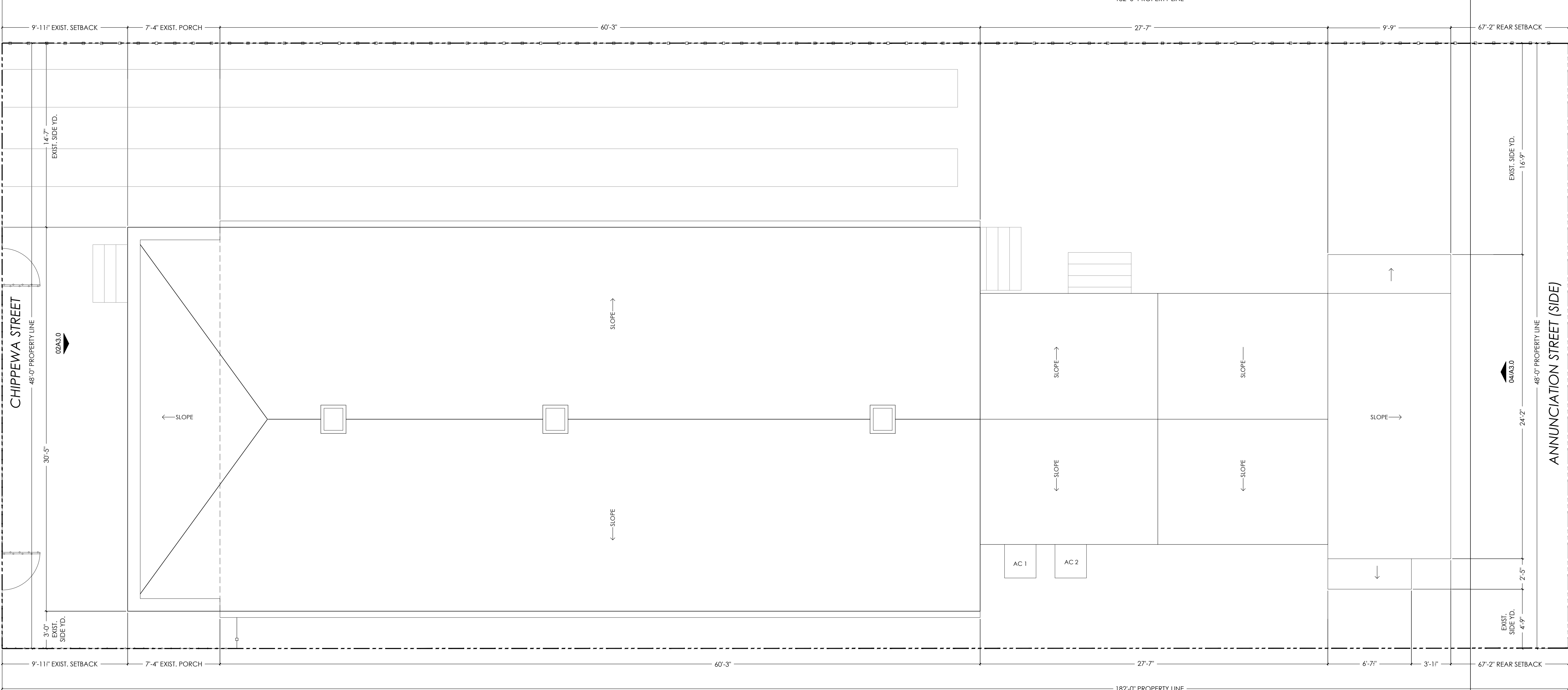
01 CHIPPEWA STREET CONTEXT ELEVATION
 SCALE: 3/16" = 1'-0"

SIXTH STREET (SIDE)

01/A3.0

182'-0" PROPERTY LINE

CUT LINE



WASHINGTON STREET (SIDE)

03/A3.0

182'-0" PROPERTY LINE

CUT LINE

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 DRAWING TITLE:
 EXISTING ROOF PLAN

DRAWING NUMBER:
A0.1

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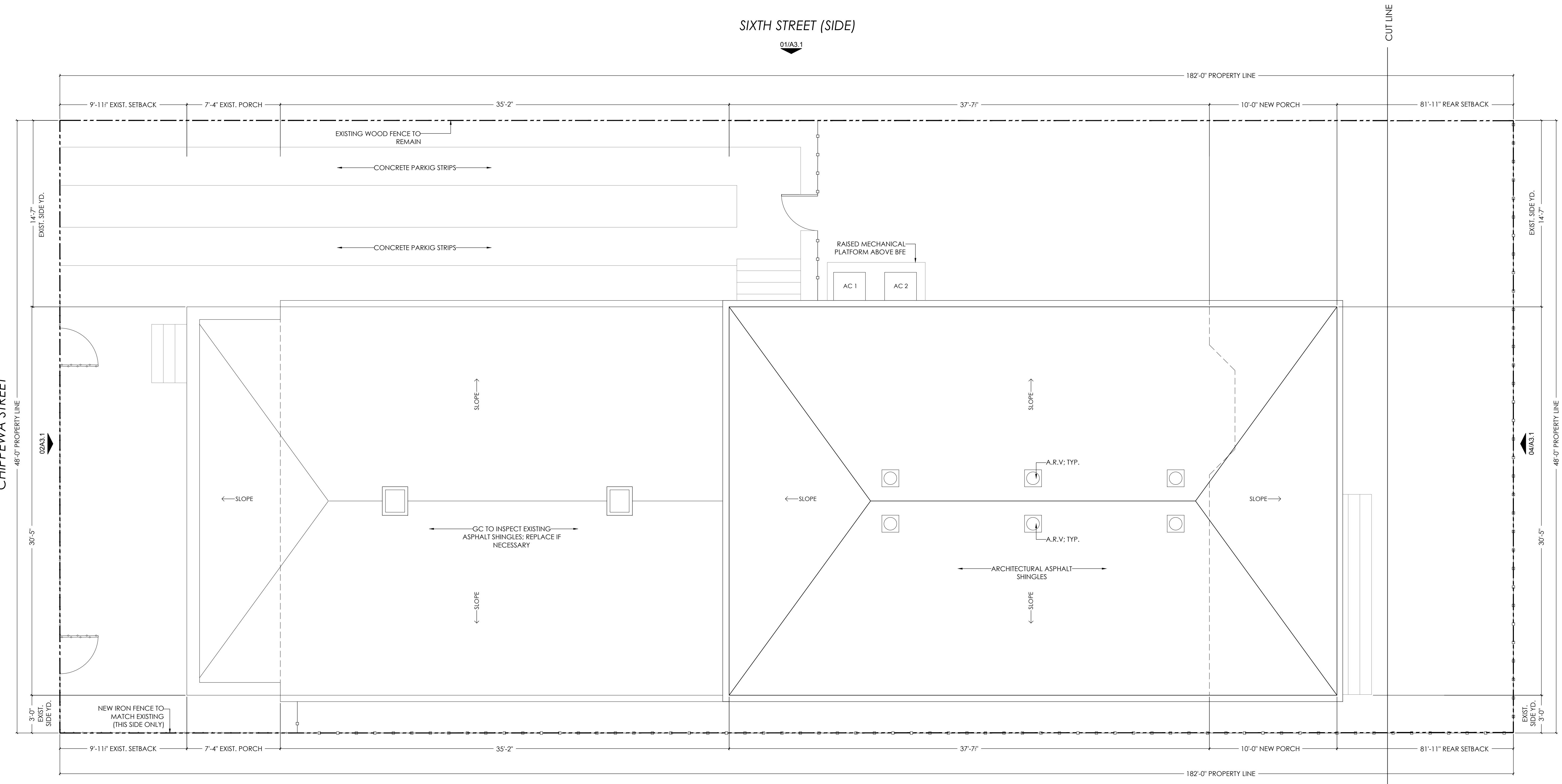
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DRAWING TITLE:
 PROPOSED ROOF PLAN

DRAWING NUMBER:

A0.2



SITE PLAN LEGEND:

	PROPERTY LINE
	NEW VERT. BD. WOOD FENCE
	EXIST. IRON FENCE: REPAIR & PAINT

- SITE NOTES:**
- GENERAL CONTRACTOR SHALL GRADE LOT PER REQUIREMENTS OF GOVERNING MUNICIPALITIES
 - EXISTING WOOD FENCING TO REMAIN
 - PLUMBING STACK VENTS, EXHAUST FAN VENTS, AND/OR OTHER ROOF PENETRATIONS SHALL NOT BE LOCATED ON THE FRONT ELEVATION. ROOF ATTACHMENTS SHALL BE PAINTED TO MATCH ROOF COLOR. REDUCE THE NUMBER OF ROOF PENETRATIONS AS ALLOWED BY CODE
 - ATTIC ROOF VENT (A.R.V.) LOCATION AND NUMBER TO BE VERIFIED BY GENERAL CONTRACTOR BASED ON ATTIC FREE SPACE AND SOFFIT VENTING
 - CONTRACTOR TO VERIFY THAT ROOF OVERHANG WILL NOT ENCROACH UPON ANY SERVITUDE, SETBACKS, BUILDING LINES OR PROPERTY LINES

01 PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"

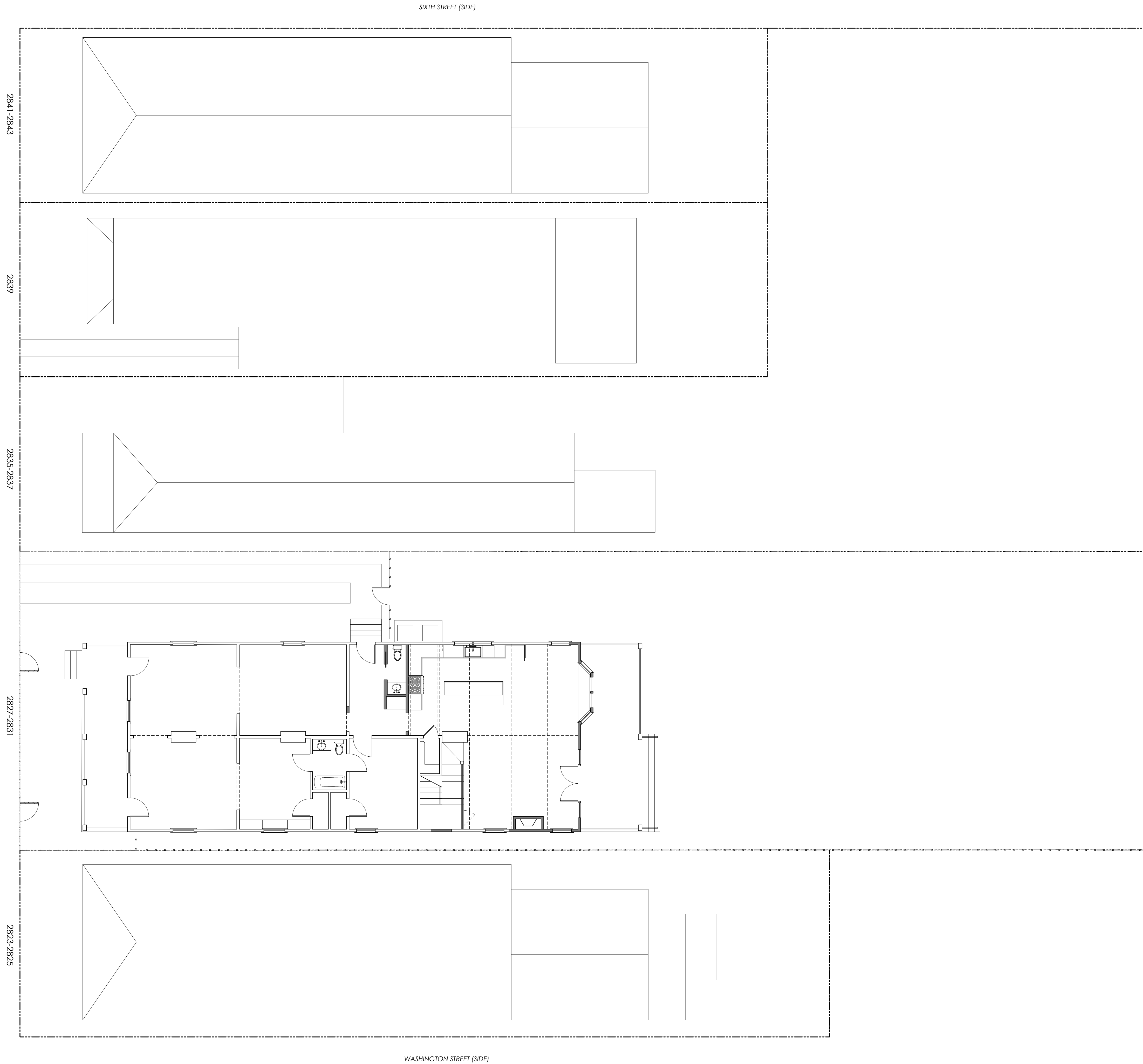
CHIPPEWA STREET

SIXTH STREET (SIDE)

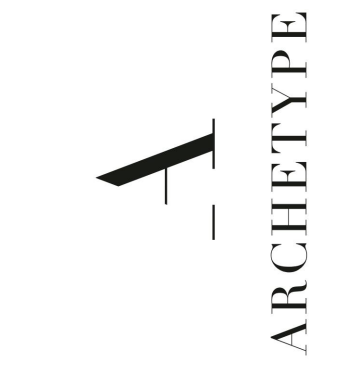
WASHINGTON STREET (SIDE)

ANNUNCIATION STREET (SIDE)

CHIPPEWA STREET
01/A3.2



01 PROPOSED SITE PLAN
SCALE: 1/4" = 1'-0"



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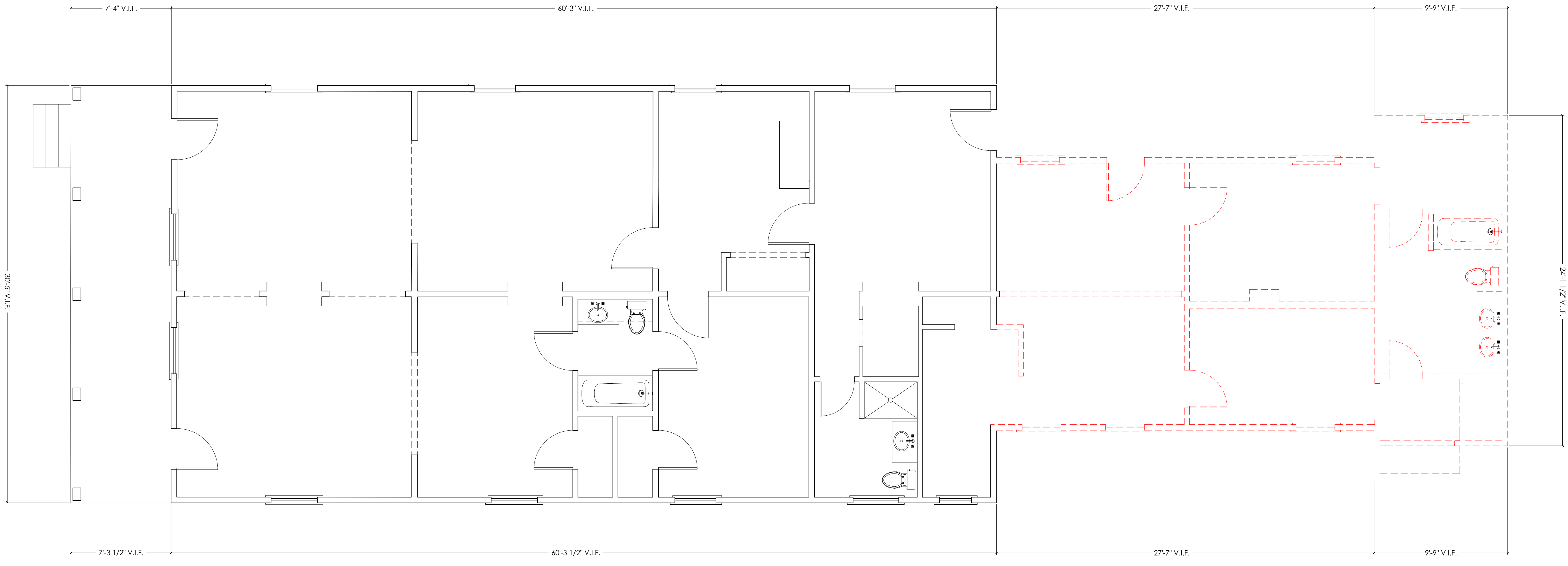
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EXISTING FLOOR PLAN

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- DEMOLITION NOTES:**
- 1. RED DASHED LINES INDICATE SCOPE OF DEMO WORK TO BE REMOVED
 - 2. GC TO VERIFY WITH OWNER ANY ITEMS NOT INDICATED
 - 3. GC TO SALVAGE AND SAFELY STORE ALL ITEMS INDICATED

01 EXISTING FLOOR PLAN
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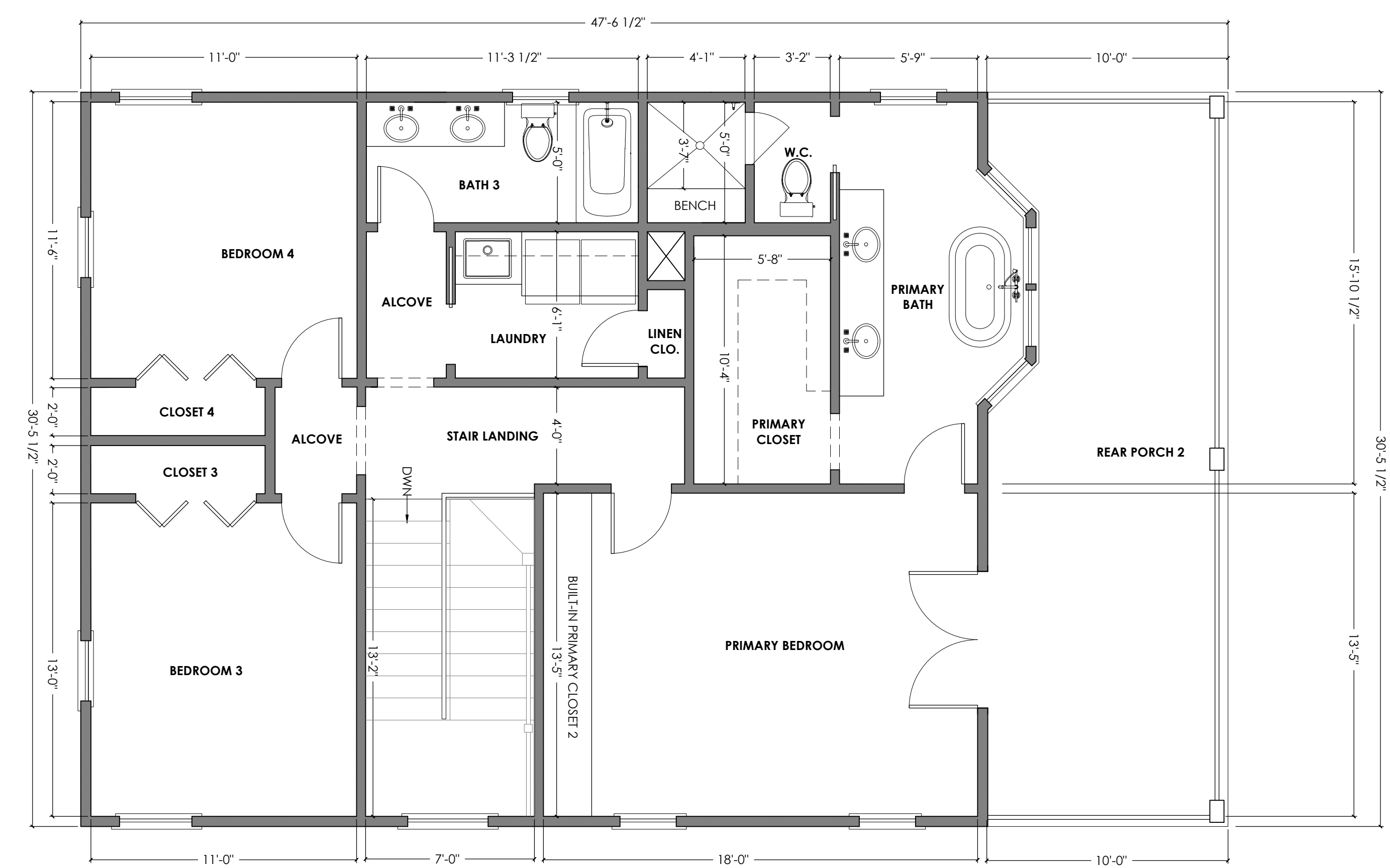
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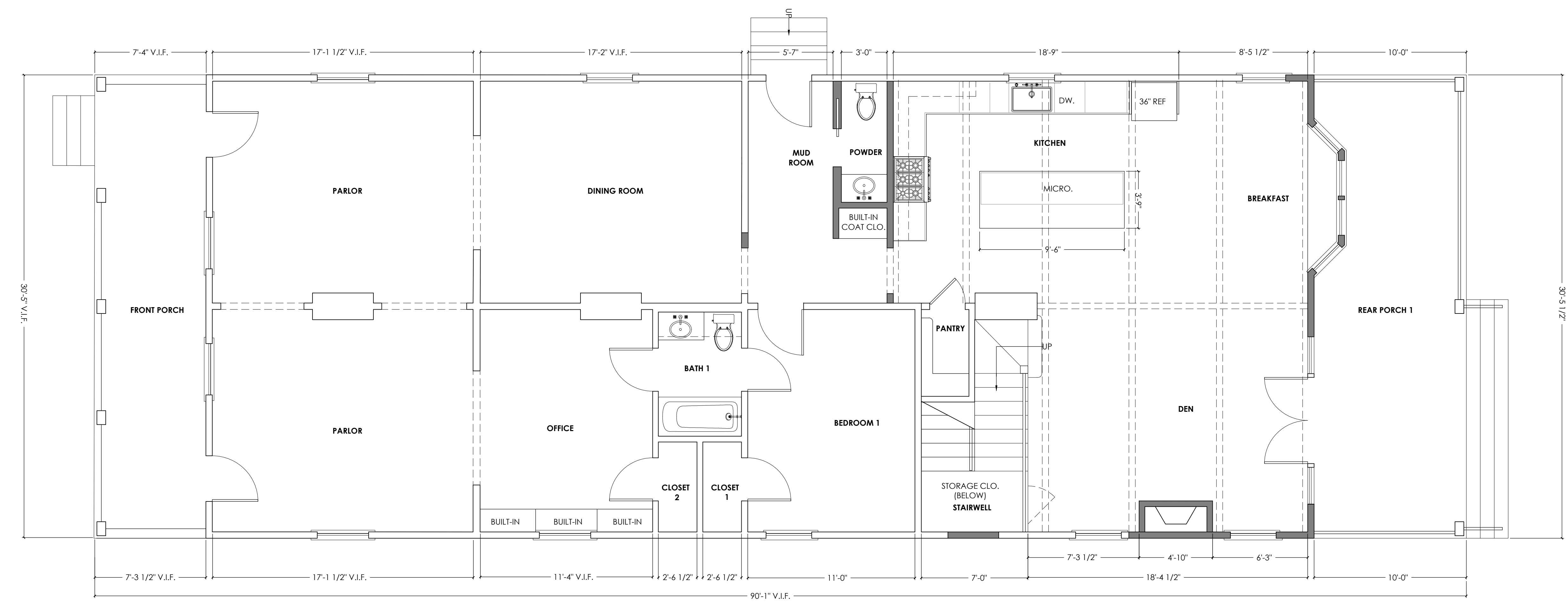
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02 PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



SQUARE FOOTAGE CALCULATIONS:

FIRST FLOOR:	2,234 SF
SECOND FLOOR:	1,162 SF
TOTAL:	3,396 SF

- GENERAL NOTES:**
1. PLAN DIMENSIONS AT ALL PARTITIONS ARE TO FACE OF STUD UNLESS OTHERWISE INDICATED. DIMENSIONS DO NOT TAKE APPLIED FINISHES INTO ACCOUNT.
 2. PLAN DIMENSIONS AT ALL EXTERIOR WALLS ARE TO FACE OF SHEATHING UNLESS OTHERWISE INDICATED. DIMENSIONS DO NOT TAKE APPLIED FINISHES INTO ACCOUNT.
 3. PLAN DIMENSIONS TO DOORS AND WINDOWS ARE TO CENTER OF OPENINGS.
 4. SEE FRAMING PLANS AND ARCHITECTURAL SECTIONS FOR FRAMING DIMENSIONS
 5. PER SEC. R318, IRC 2015 ED., CONTRACTOR TO ENSURE THE FOLLOWING PEST CONTROL MEASURES ARE TAKEN:
 2.1 SEAL ALL EXTERNAL CRACKS, JOINTS, PENETRATIONS, EDGES, AND ENTRY POINTS WITH CAULKING OR SPRAY FOAM
 2.2 SEPARATE ALL WOOD TO CONCRETE CONNECTIONS WITH METAL OR WATERPROOFING TAPE
 6. SMOKE DETECTORS ARE TO BE PROVIDED IN ALL SLEEPING AREAS AND IN HALLWAYS OUTSIDE OF SLEEPING AREAS PER R313, IRC 2015
 7. ALL MEP EQUIPMENT SHALL BE LOCATED ABOVE THE BASE FLOOD ELEVATION.
 8. BATHROOMS ARE TO BE MECHANICALLY VENTILATED TO EXTERIOR

01 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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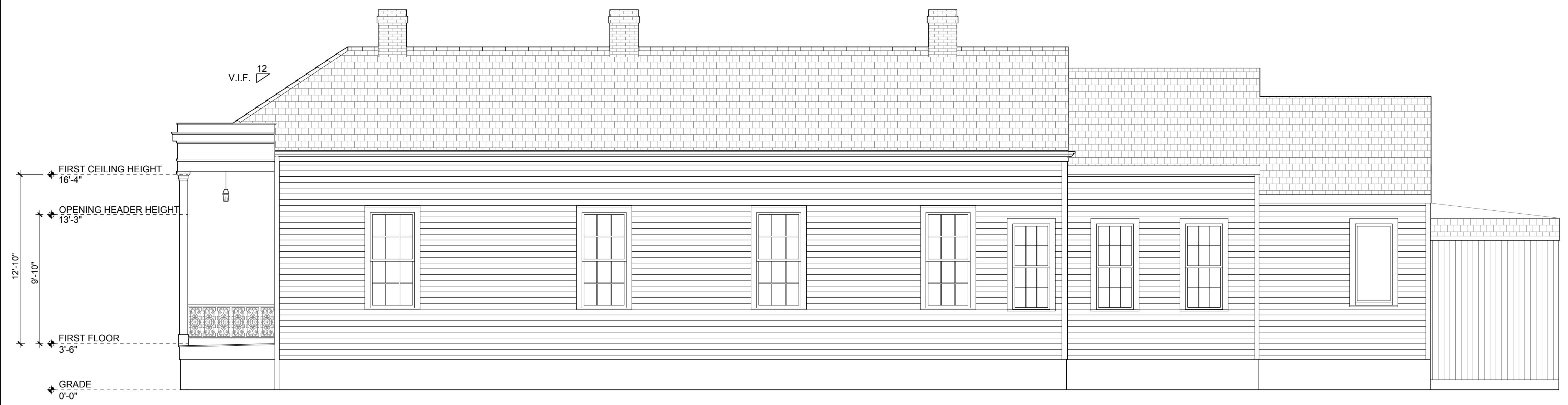
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 EXTERIOR ELEVATIONS

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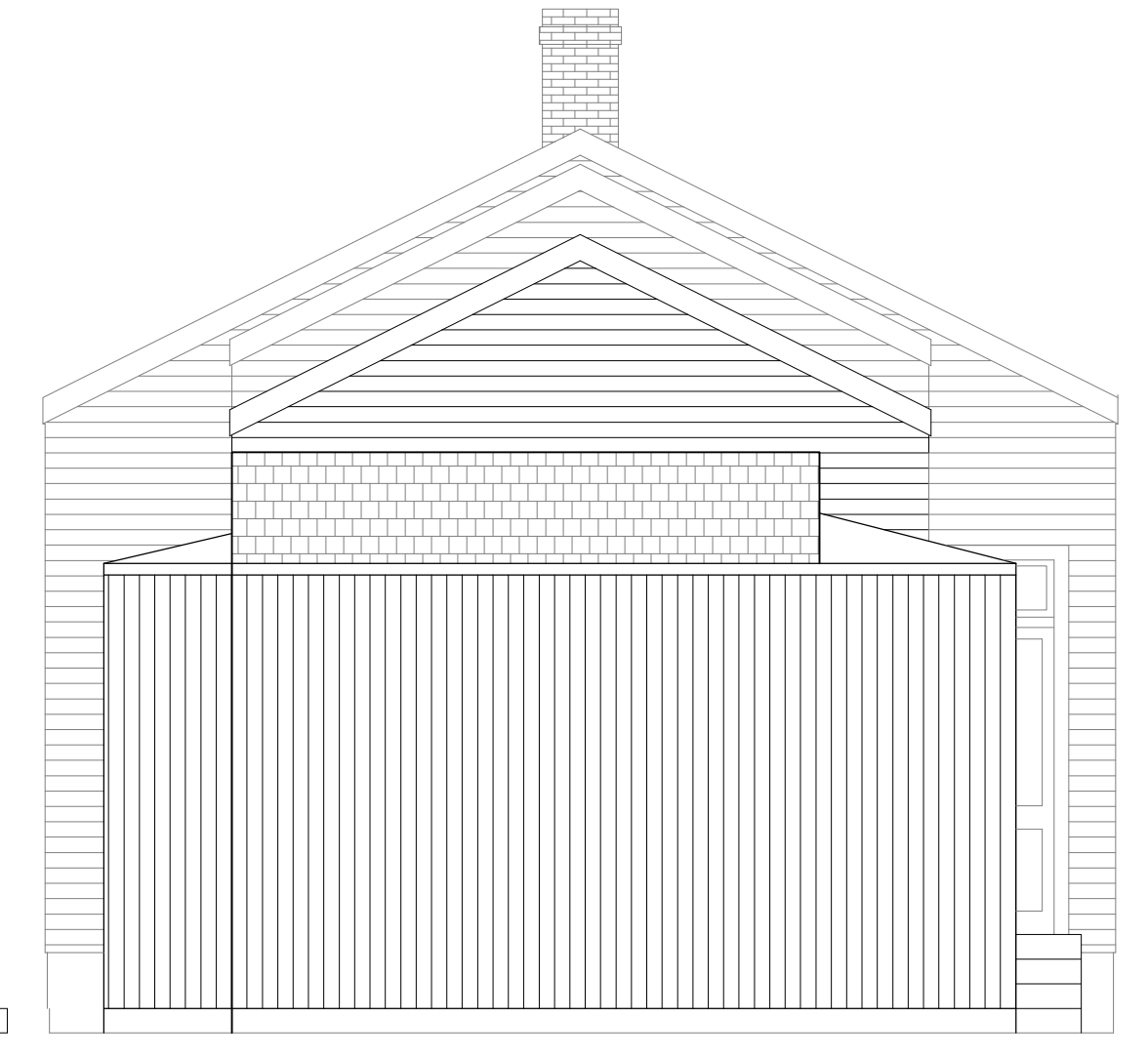
03 WASHINGTON AVENUE (SIDE) ELEVATION
 SCALE: 3/16" = 1'-0"



04 ANNUNCIATION STREET (SIDE) ELEVATION
 SCALE: 3/16" = 1'-0"



01 SIXTH STREET (SIDE) ELEVATION
 SCALE: 3/16" = 1'-0"



02 CHIPPEWA STREET ELEVATION
 SCALE: 3/16" = 1'-0"

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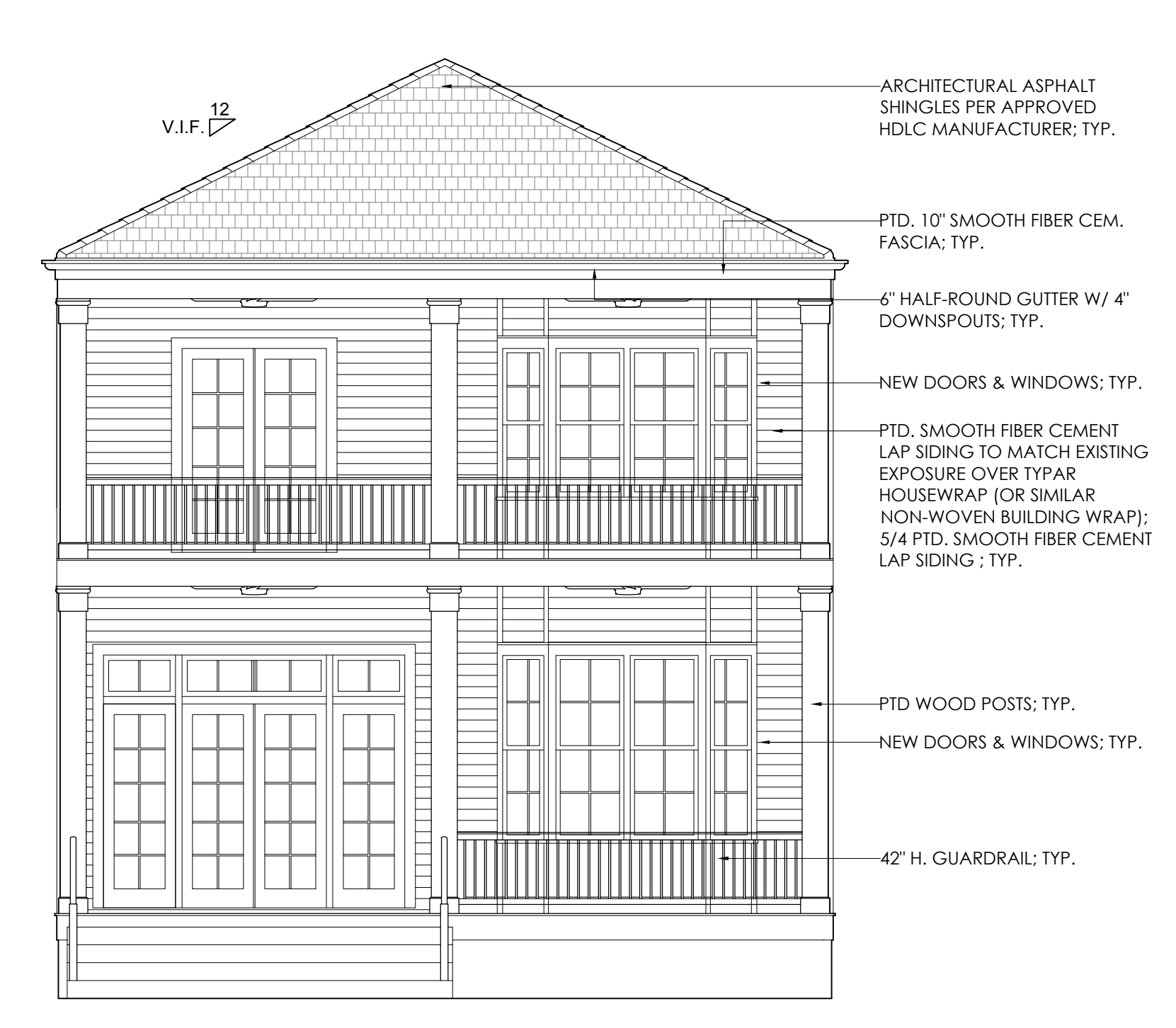
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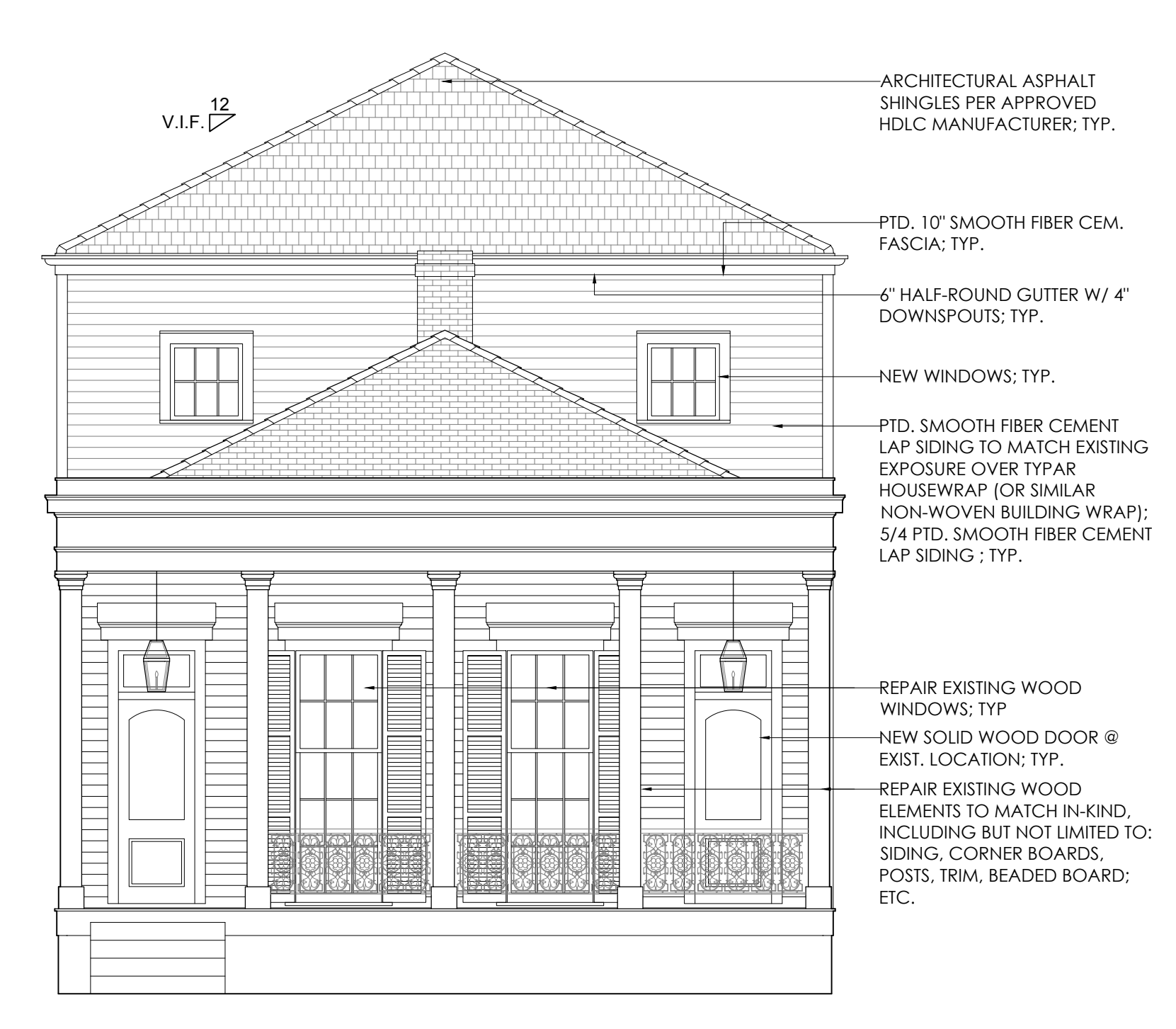
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02 CHIPPEWA STREET ELEVATION
 SCALE: 3/16" = 1'-0"