



REVISION #	DESCRIPTION	DATE
1	PROGRESS SET	06/20/2022
2	PRICING SET	06/27/2022

GENERAL NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DRAWINGS. SHOULD INCONSISTENCIES OR DISCREPANCIES OCCUR, THE BETTER QUALITY, GREATER QUANTITY, AND MOST EXPENSIVE PRODUCT OR TASK SHALL BE PERFORMED OR FURNISHED UNLESS INSTRUCTED OTHERWISE BY THE ARCHITECT. DISCREPANCIES BETWEEN INSTALLATION METHODS FOR SPECIFIED ITEMS SHALL NOT BE CAUSE TO CHANGE THE CONTRACT SUM OR DELAY THE CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL VISIT THE JOB SITE TO INSPECT THE BALCONY AND ENTRY GALLERY IN THEIR ENTIRETY TO BECOME ACQUAINTED WITH THE JOB CONDITIONS AND SHALL CAREFULLY STUDY ALL DRAWINGS AND SPECIFICATIONS PERTAINING TO THE WORK. THE CONTRACTOR SHALL BE REQUIRED TO DO A COMPLETE AND THOROUGH WALK OF THE GALLERY TO DOCUMENT ALL CONDITIONS AND EXTENT OF EACH SCOPE PRIOR TO SUBMITTING A BID.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, ARRANGE FOR ALL REQUIRED INSPECTIONS, TEMPORARY TELEPHONE, TEMPORARY WASTE, AND TRASH REMOVAL.
- DO NOT SCALE DRAWINGS. ALL +/- DIMENSIONS ARE FOR REFERENCES OF EXISTING ELEMENTS ONLY. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT JOB SITE. IF ANY DISCREPANCIES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATIONS AND COORDINATION OF SUBCONTRACTORS WORK, TO SECURE COMPLIANCE TO THE CONSTRUCTION DOCUMENTS.
- VARIANCES OF ACTUAL EXISTING SITE CONDITIONS FROM THOSE ILLUSTRATED ON THESE DRAWINGS MAY OCCUR. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT.
- THE ENTIRE HOTEL AND EXISTING SECOND FLOOR KITCHEN WILL BE IN OPERATION THROUGH THE DURATION OF THE PROJECT. PROVIDE TEMPORARY WALLS, CEILINGS AND SHORING AS NEEDED TO MAINTAIN OPERATION AND CONSTRUCTION SIMULTANEOUSLY.
- ARCHITECTURAL DETAILS ARE PROVIDED INDICATING MEASUREMENTS THAT MUST MAINTAINED AND THAT MUST BE FIELD VERIFIED, BY GENERAL CONTRACTOR. THESE DETAILS ARE INTENDED TO BE USED AS REFERENCE WHEN INSTALLING THE NEW PORTIONS OF WORK.
- THIS SCOPE OF WORK IS TO INCLUDE ALL DEMOLITION, SHORING AND STEEL INSTALLATION. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE FIRE WATCH TO REVIEW WELDING THROUGHOUT THE DURATION OF CONSTRUCTION. PROTECT ALL AREAS OF EXISTING BUILDING THAT IS NOT IN SCOPE DURING CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGES CAUSED BY THEIR CONSTRUCTION.
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED (V.F.).
- EXISTING BEAM CONDITION BUT CLIMBING (AT ENTRY GALLERY) IS TO BE VERIFIED BY CONTRACTOR PRIOR TO PROVIDING FINAL PRICING.
- THE ENTIRE BALCONY AND ENTRY GALLERY IS TO BE PAINTED AFTER THE BEAMS REPAIRS ARE COMPLETE. THIS INCLUDES ALL NEW/EXISTING PURLINS, ALL NEW/EXISTING, ALL NEW/EXISTING FASCIA, ALL NEW AND EXISTING STUCCO CORNICES AND ALL NEW/EXISTING EXTERIOR ARCHITECTURAL MILLWORK; RAILS, INTERMEDIATE RAILS AND BALUSTERS. CLEAN, SAND AND PRIME PRIOR TO PAINTING.
- IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO CONTACT THE VIEUX CARRE STAFF (VCC) PRIOR TO STARTING PAINTING. A PAINTING PERMIT IS REQUIRED FROM THE AUTHORITY HAVING JURISDICTION (AHJ) PRIOR TO STARTING WORK.

DEMOLITION / REPAIR NOTES:

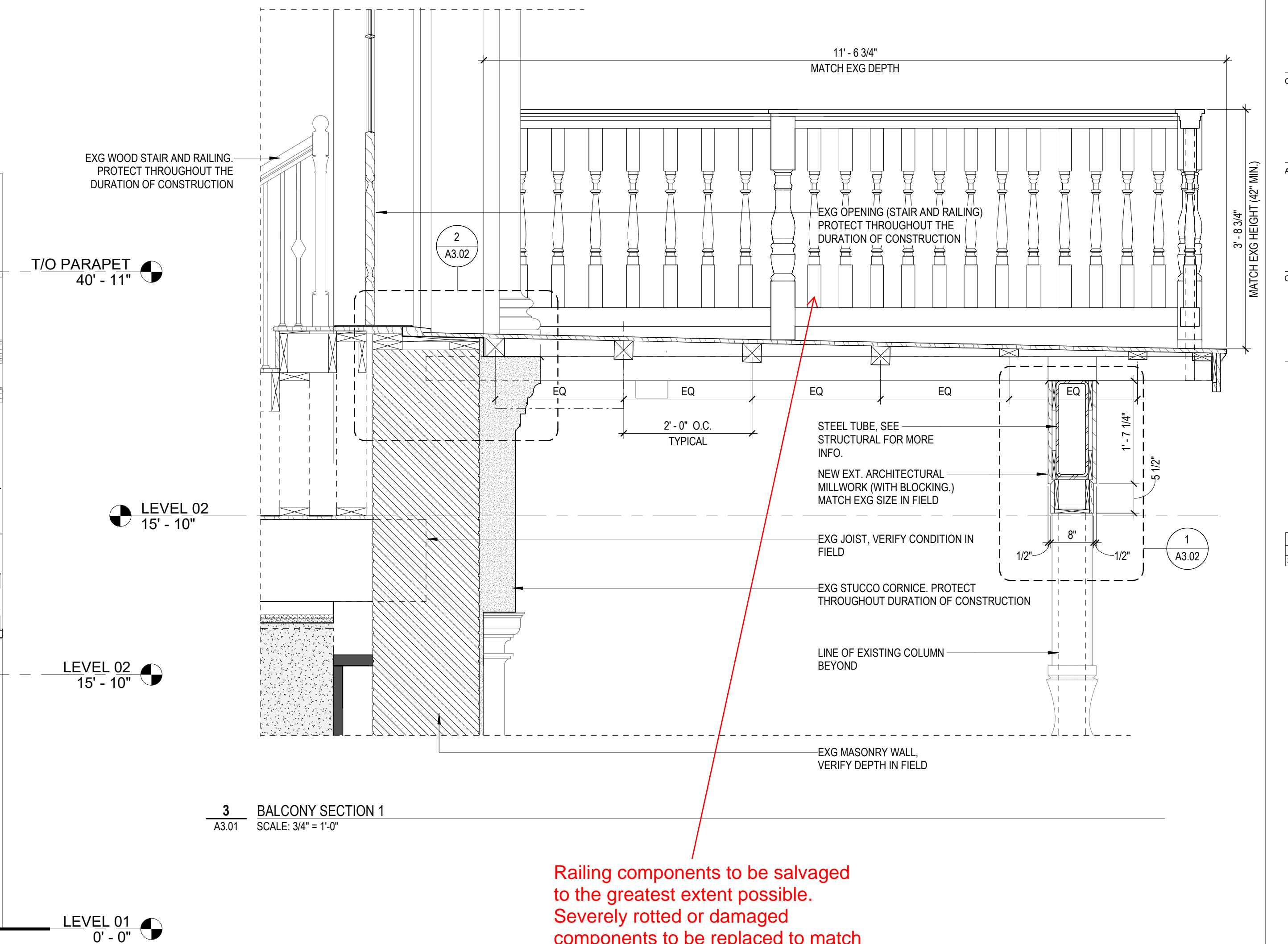
- SALVAGE ALL PORTIONS OF THE EXISTING WOOD RAILING (BALUSTER, RAILS & INTERMEDIATE RAILS) TO BE REUSED FOR REPLICATION OF NEW WOOD RAILING COMPONENTS.
- SALVAGE EXISTING WOOD RAILING TO THE GREATEST EXTENT POSSIBLE TO BE REUSED AS THE NEW RAILING. DO NOT REUSE ANY ROTTEN OR DAMAGED MILLWORK.
- PROTECT EXISTING STUCCO CORNICE THROUGHOUT CONSTRUCTION. DEMOLISH EXISTING CORNICE AS NEEDED TO INSTALL NEW METAL OUTRIGGERS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REINSTALLATION OF ALL EXISTING ELECTRICAL FIXTURES AND ASSOCIATED CONDUIT. THESE FIXTURES WILL NEED TO BE RELOCATED TO PERFORM THE REPAIRS. MODIFICATIONS TO THE MASONRY WALL IS REQUIRED TO PERFORM REPAIRS. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO PERFORM DEMOLITION AND REPAIRS TO MASONRY WALL AS REQUIRED TO COMPLETE THE ENTIRE SCOPE OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE EXISTING CONDITIONS AND SHALL BE INCLUDED IN THIS WORK IN THE BASE PRICE.
- IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO PROVIDE ALL TEMPORARY SHORING NEEDED TO PERFORM DEMOLITION (AND REPAIRS) TO THE ENTIRE BALCONY AND GALLERY ENTRY UNTIL ALL WORK IS COMPLETE.

EXTERIOR WOOD / EXTERIOR ARCHITECTURAL MILLWORK:

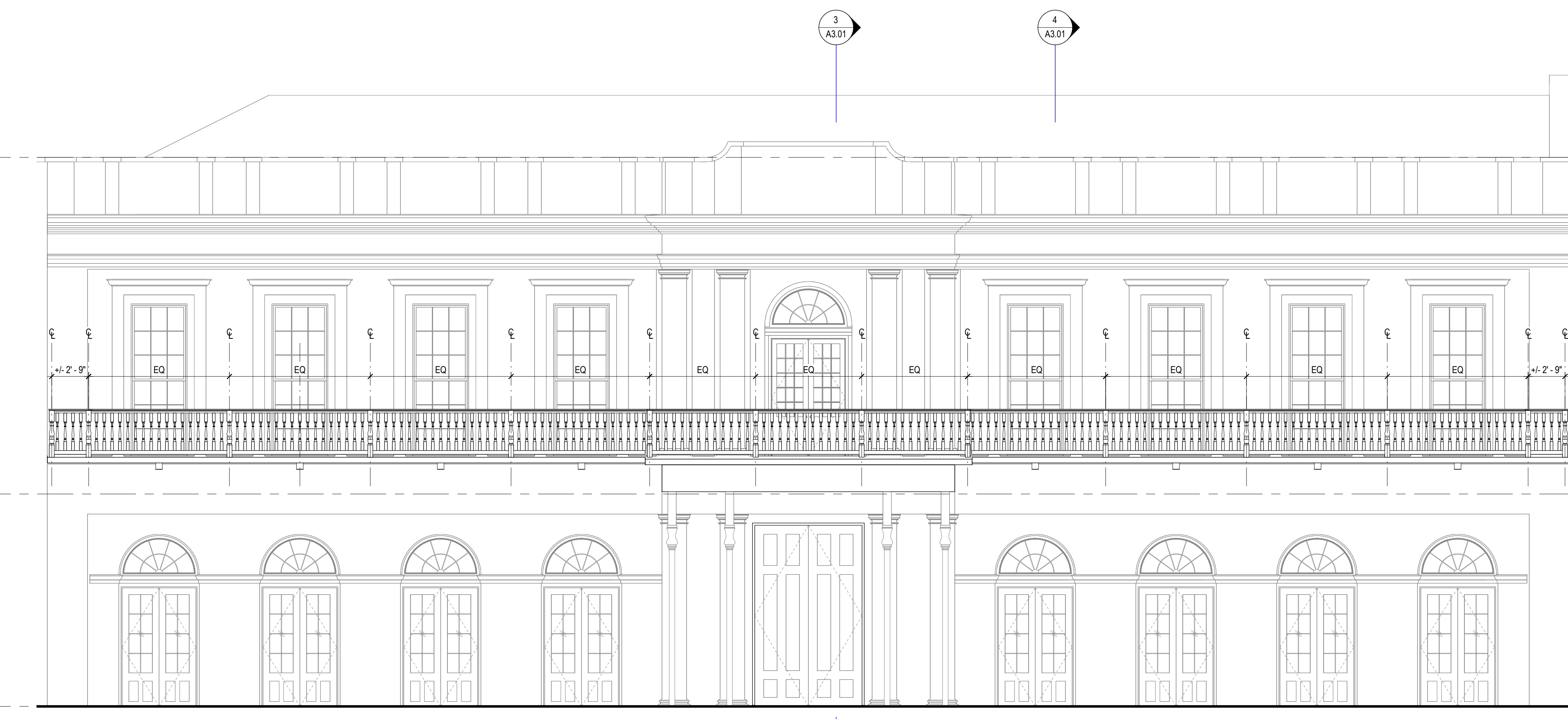
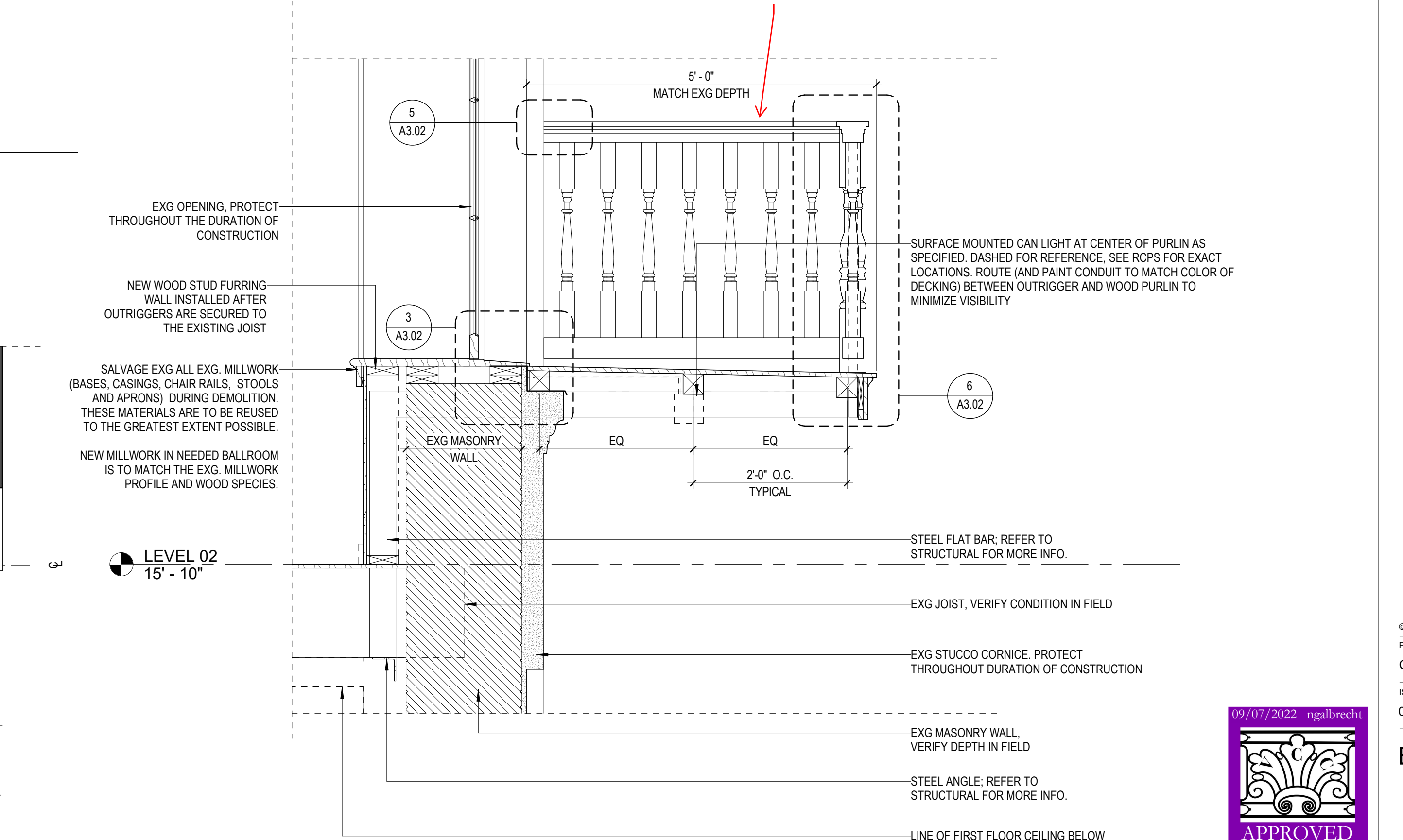
- NEW PRESSURE TREATED GRADE #1 T&G DECKING IS TO BE INSTALLED ON THE ENTIRE BALCONY AND ENTRY GALLERY.
- ALL MILLWORK NOTED IN THE DOCUMENTS AS EXTERIOR ARCHITECTURAL MILLWORK IS TO BE RED GRANITE OR EQUAL (APPROVALS ARE REQUIRED BY ARCHITECT). ALL EXTERIOR ARCHITECTURAL MILLWORK IS TO BE PRIMED ON ALL SIDES PRIOR TO INSTALLATION.
- OTHER EXTERIOR MILLWORK NOT NOTED AS EXTERIOR ARCHITECTURAL MILLWORK IS TO BE PRESSURE TREATED GRADE #1 LUMBER.

METAL:

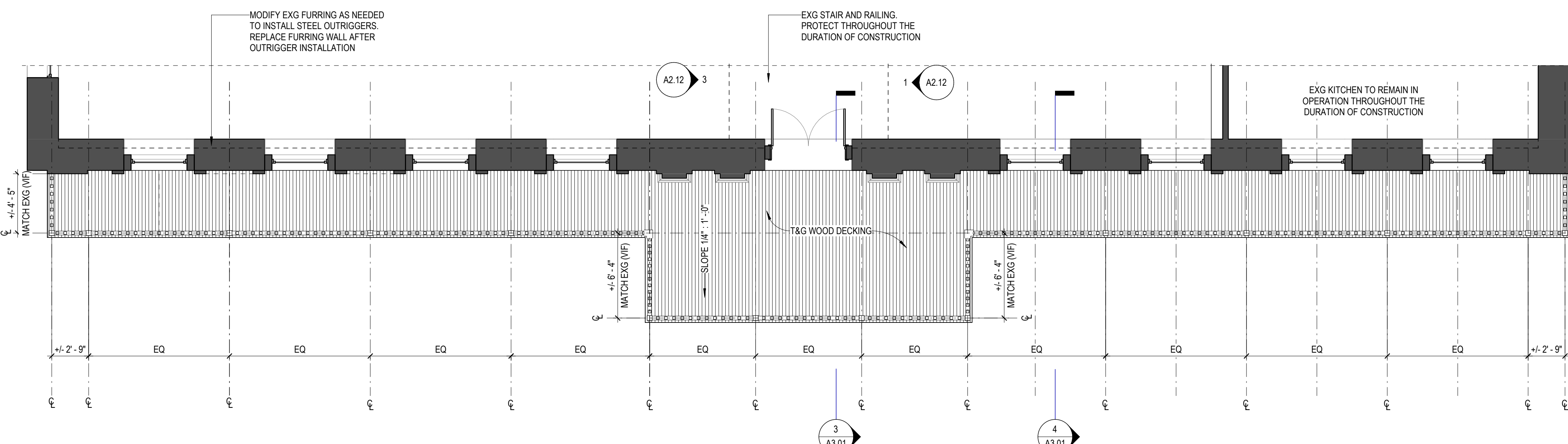
- ALL NEW STEEL IS TO BE GALVANIZED HDG (HOT DIPPED GALVANIZED).
- ALL NEW / EXISTING STEEL IS TO BE CLEAN, PRIMED AND PAINTED.
- ALL METAL FLASHING IS TO BE COPPER, UNLESS OTHERWISE NOTED.



Railing components to be salvaged to the greatest extent possible. Severely rotted or damaged components to be replaced to match existing.

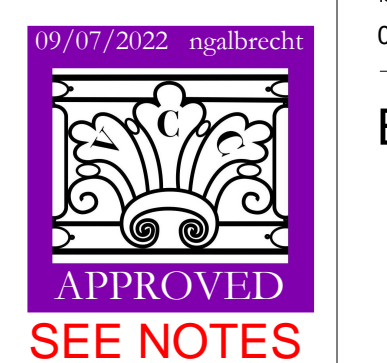


1 BUILDING ELEVATION - ORLEANS ST SCALE: 3/16" = 1'-0"



2 ENLARGED PLAN - BALCONY SCALE: 3/16" = 1'-0"

4 BALCONY SECTION 2 SCALE: 3/4" = 1'-0"



APPROVED SEE NOTES

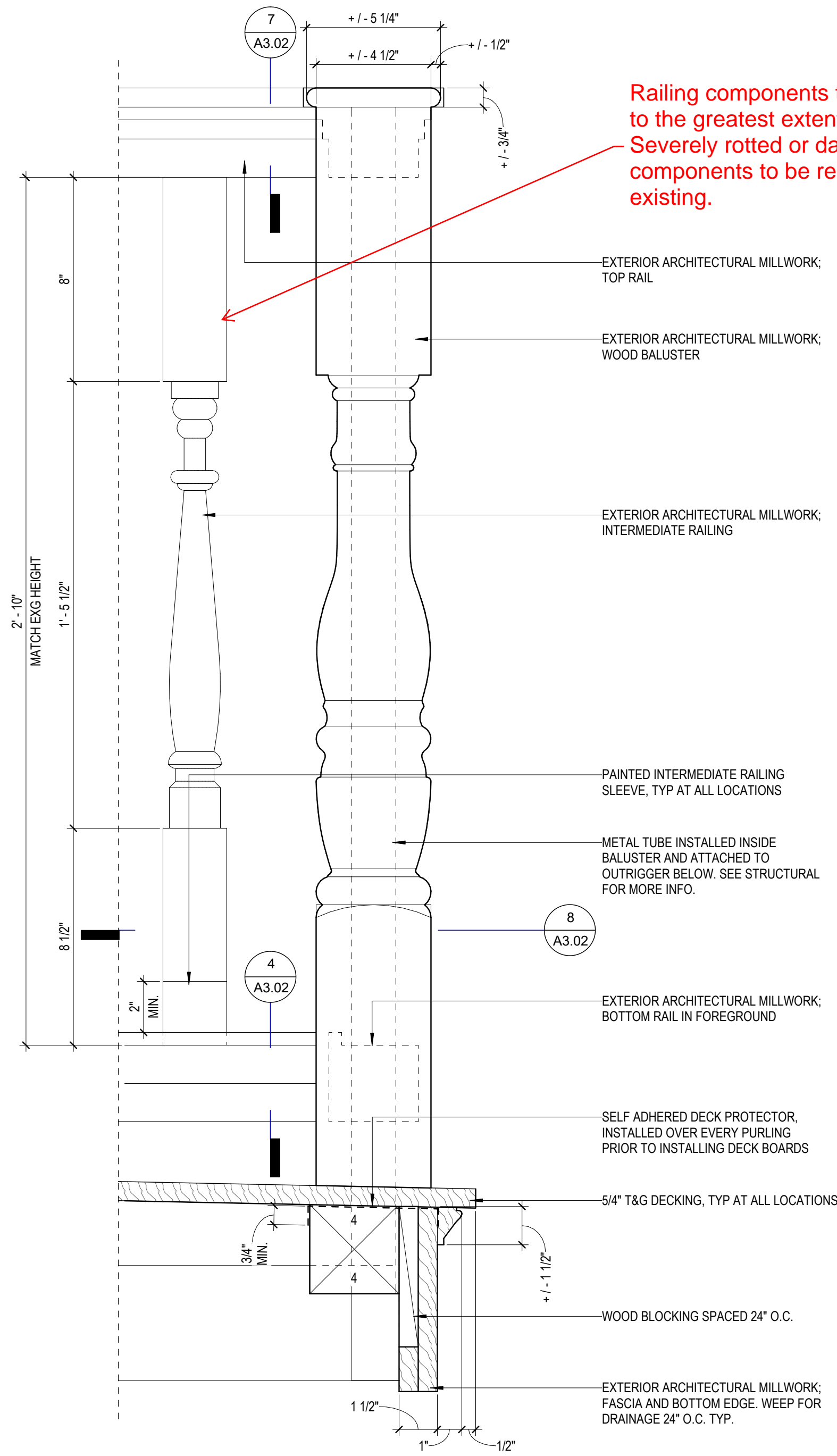
OWNER: **DiamondRock Hospitality**
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ARCHITECT: **TRAPOLIN-PEER**
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NEW ORLEANS, LA 70130
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CONTRACTOR: **GIBBS CONSTRUCTION**
5736 Citrus Blvd
New Orleans, LA 70123
(area code) number

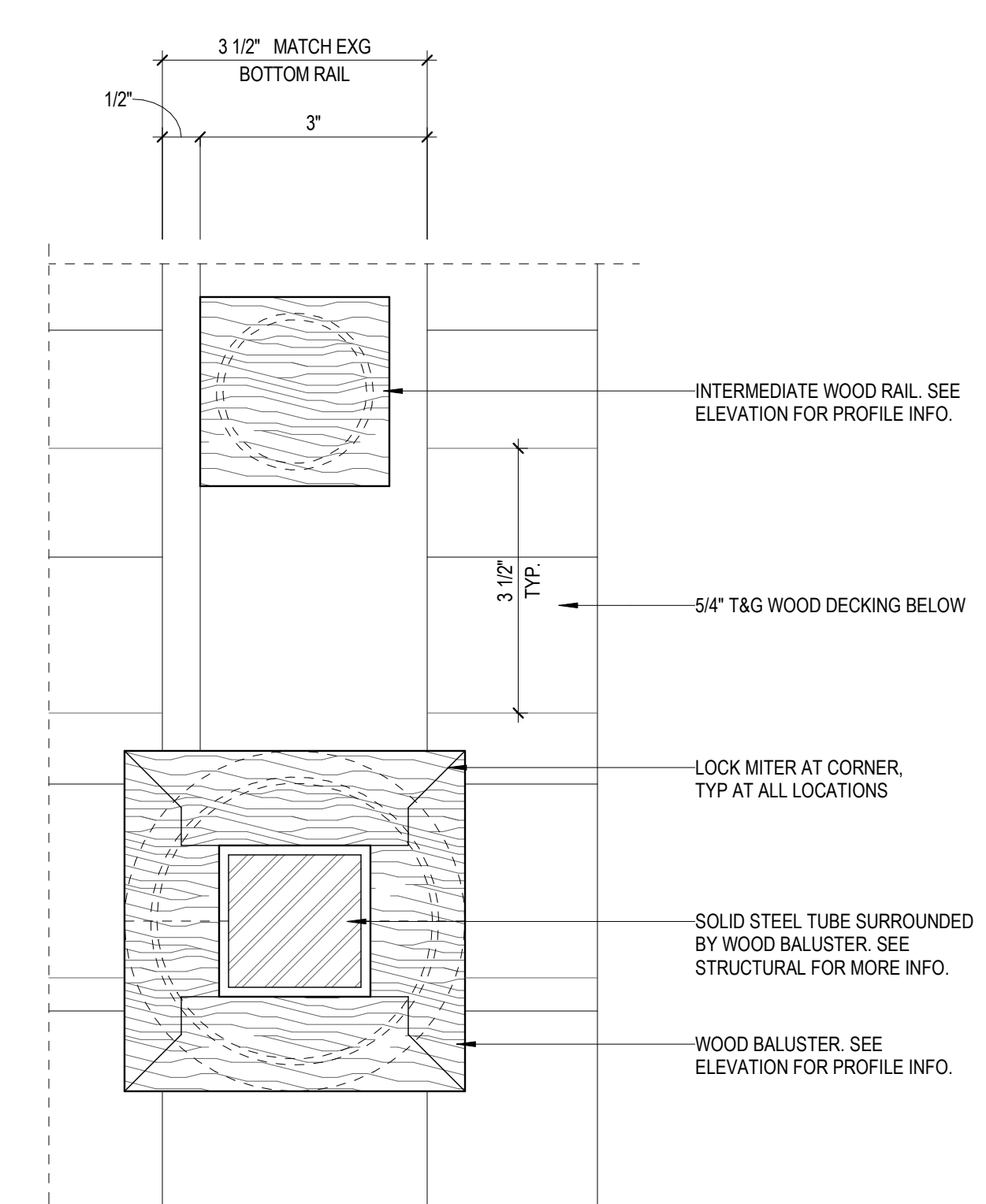


REVISION #	DESCRIPTION	DATE
1	PROGRESS SET	06/27/2022
2	PRICING SET	06/27/2022

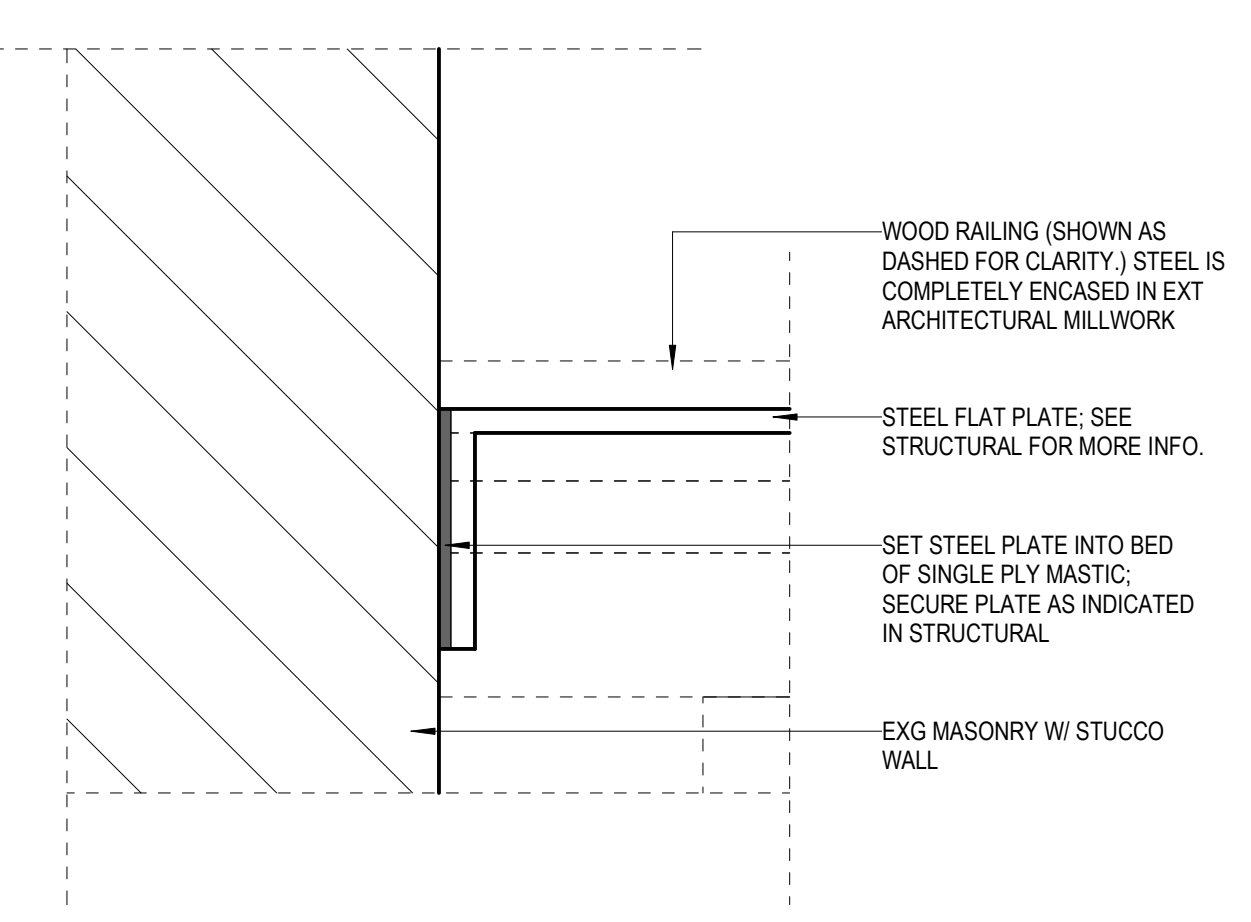


6 ELEVATION - TYP BALUSTER & RAIL
A3.02 SCALE: 3" = 1'-0"

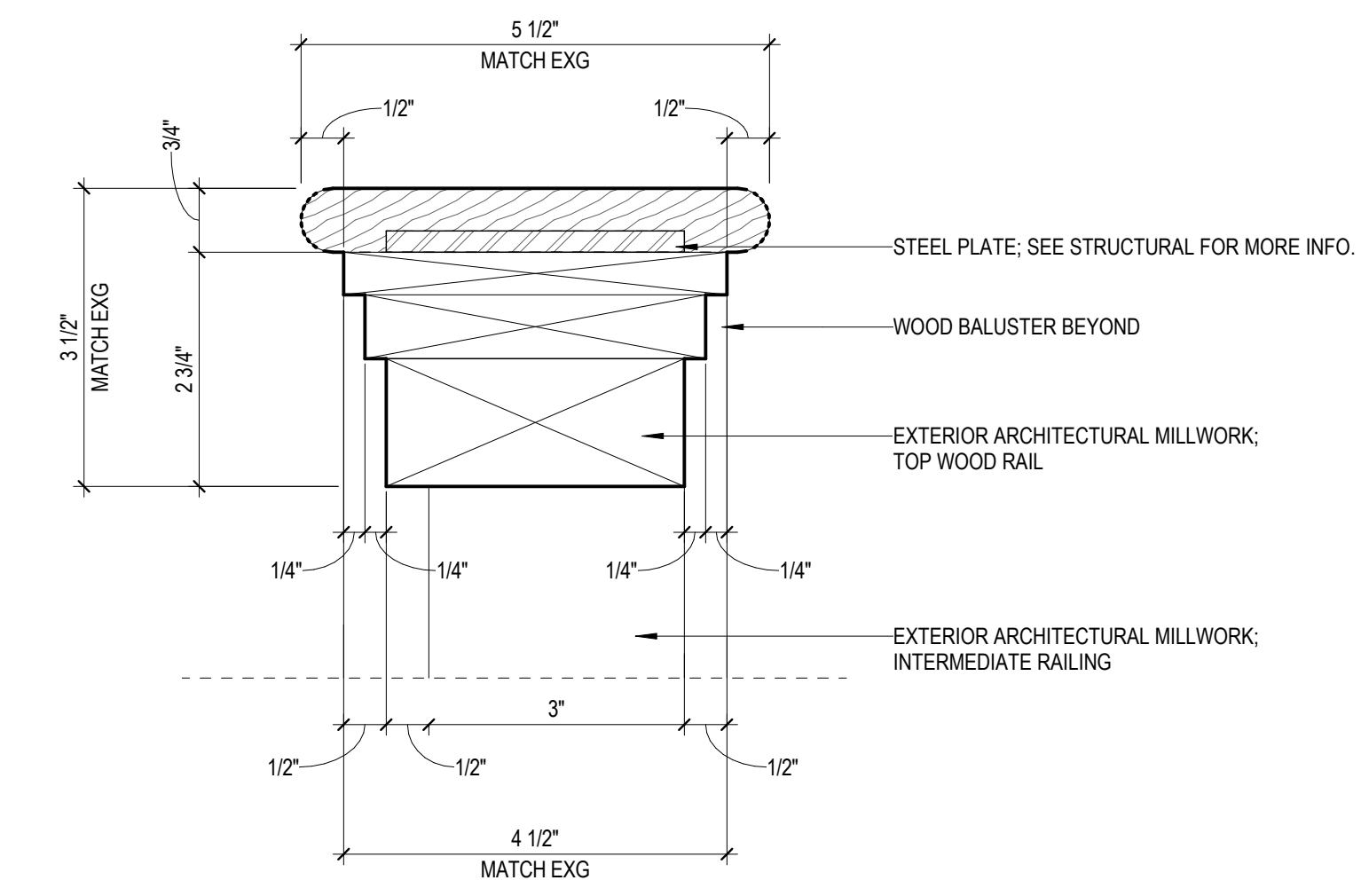
Railing components to be salvaged to the greatest extent possible. Severely rotted or damaged components to be replaced to match existing.



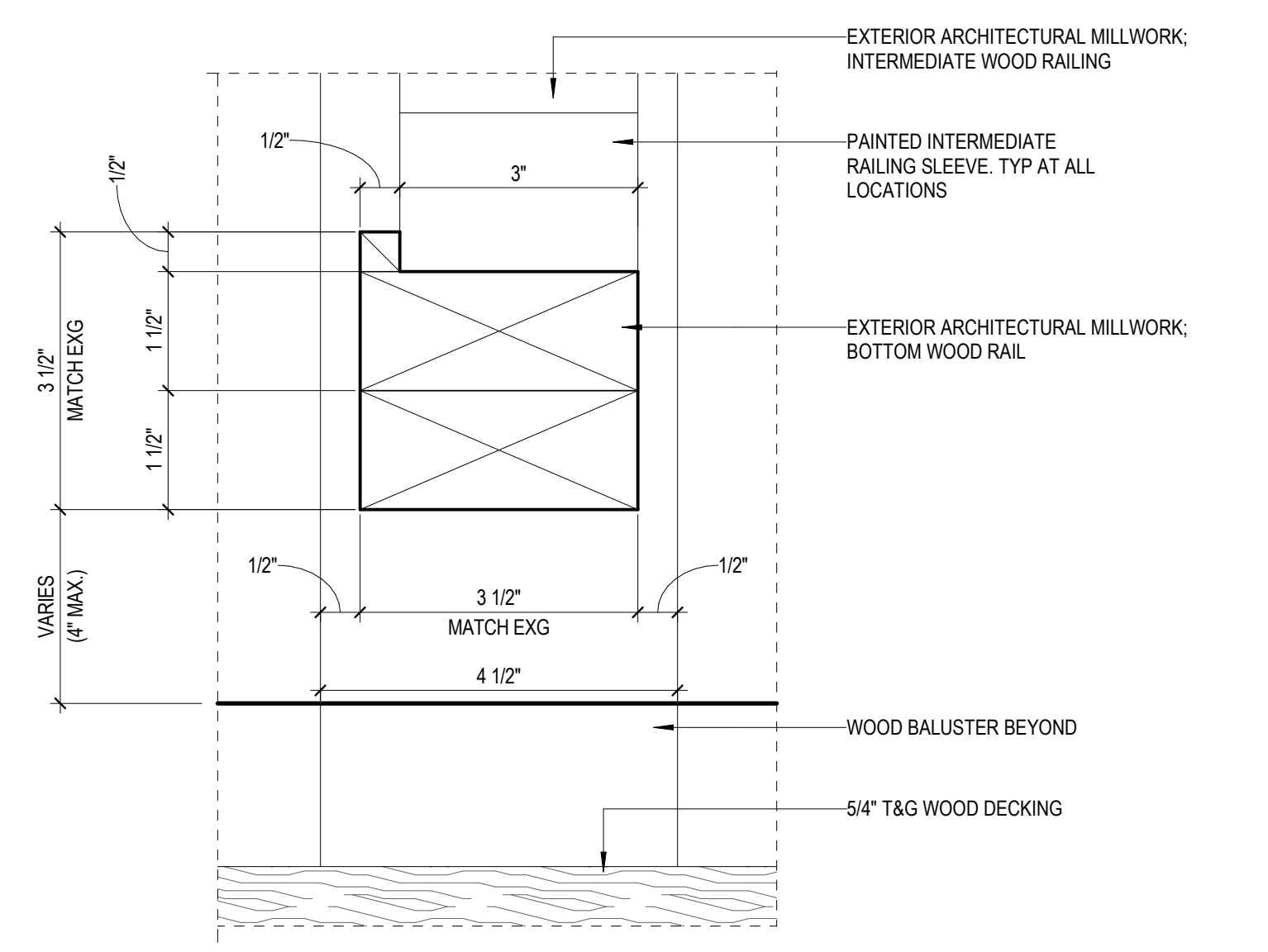
8 PLAN DETAIL - BALUSTER & RAIL
A3.02 SCALE: 6" = 1'-0"



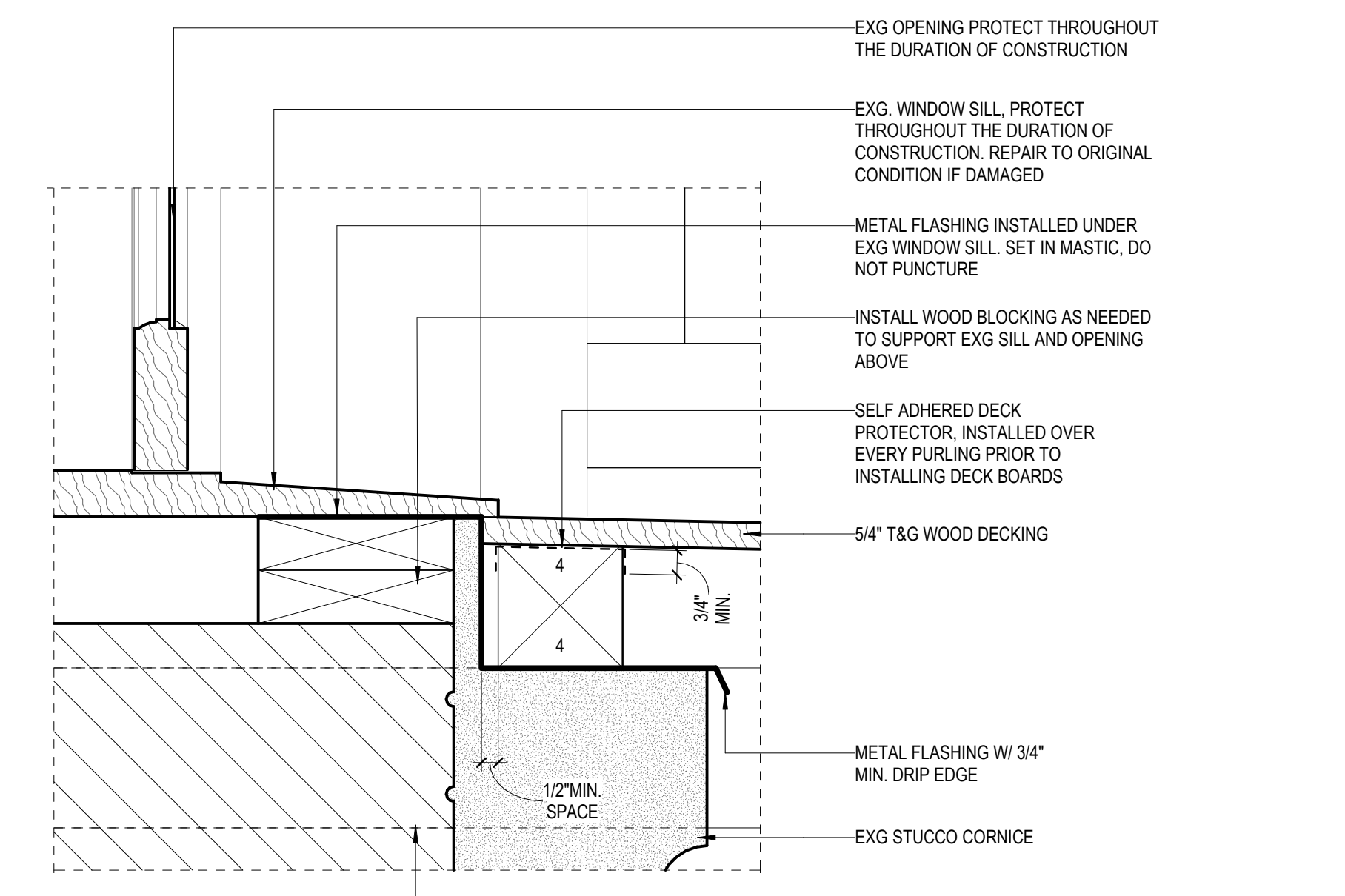
5 SECTION DETAIL - RAILING ATTACHMENT
A3.02 SCALE: 6" = 1'-0"



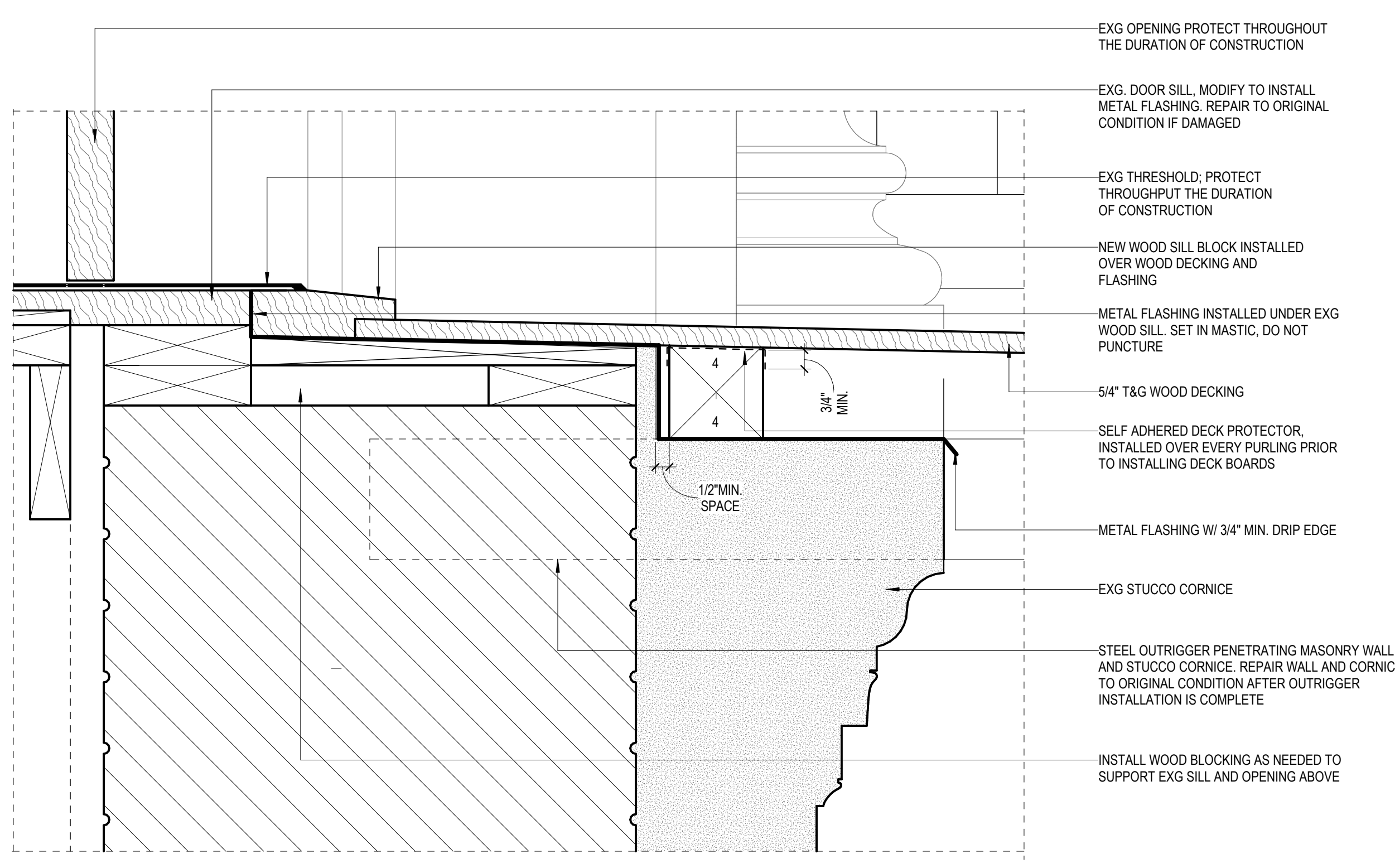
7 SECTION DETAIL - TOP RAIL
A3.02 SCALE: 6" = 1'-0"



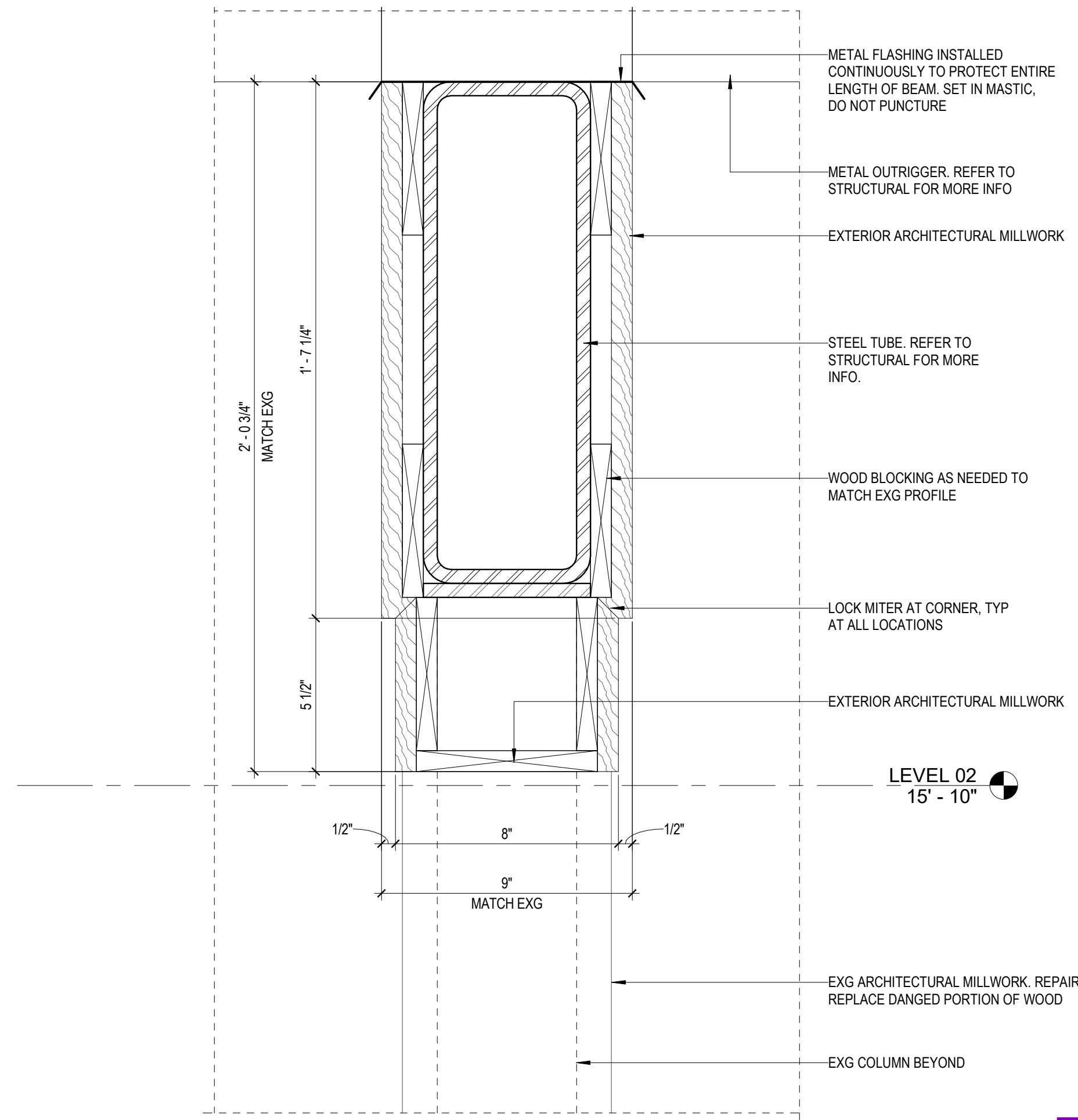
4 SECTION DETAIL - BOTTOM RAIL
A3.02 SCALE: 6" = 1'-0"



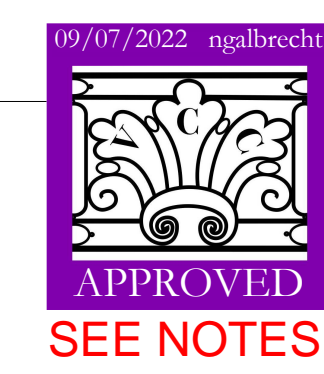
3 SECTION DETAIL - WINDOW SILL
A3.02 SCALE: 3" = 1'-0"



2 SECTION DETAIL - DOOR SILL
A3.02 SCALE: 3" = 1'-0"



1 SECTION DETAIL - GALLERY BEAM
A3.02 SCALE: 3" = 1'-0"



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PROJECT NUMBER: CN 22174
ISSUE DATE: 08/02/2022

BALCONY
A3.02

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Autodesk Doc 102-20174 - Bourbon Orleans Hotel/2022/74 Bourbon Orleans Hotel.rvt

REVISION #	DESCRIPTION	DATE
1	PROGRESS SET	06/01/2022
2	PRICING SET	06/21/2022
3	FINAL PRICING SET	07/28/2022

GENERAL STRUCTURAL NOTES

I. GENERAL

- A. Contractor Responsibility - Construction documents represent the finished structure. Contractor is responsible for construction means, methods, sequences and safety precautions, including but not limited to shoring and temporary bracing.
- B. Omissions & Conflicts - Omissions or conflicts between various elements of the construction documents should be brought to the attention of the design team. If certain features are not fully delineated in the construction documents, their construction shall be of the same character as for similar conditions that are delineated.
- C. Existing Conditions - The Contractor shall verify the existing conditions and dimensions in the field. The Contractor shall report any discrepancies between the drawings and the actual existing conditions and dimensions to the Engineer.

II. DESIGN BASIS

- A. Applicable Codes and Standards
 International Building Code 2015
 ASCE 7-2010

B. Design Loads

Balcony and Gallery

Live Load 100 psf
 Dead Load 7 psf

Wind Load

The criteria is based on ASCE 7-2010 Minimum Design Loads for Buildings and Other Structures:

Basic Wind Velocity 143 mph
 Risk Category II
 Exposure B

III. MATERIALS

A. STRUCTURAL STEEL

All detailing, fabrication and erection of structural steel shall conform to AISC Specification for the Design, Fabrication and Erection of Structural Steel for Buildings, the AWS D1.1 Structural Welding Code and meet the following requirements:

- Wide Flange Shapes: ASTM A992, yield strength 50 ksi.
- Steel Channels, Angles, Rods and Plates: ASTM A 36, yield strength 36 ksi except where noted otherwise in sections.
- Tube - ASTM A500 Grade B.
- Pipe - ASTM A53 Grade B.
- High Strength Bolts - ASTM A325N
- Welding Materials - E70XX.

All structural steel shall be hot dipped galvanized.

All welding by certified welders and in accordance with AWS D1.1, structural welding code. All electrodes used for submerged arc and shielded metal arc welding shall be compatible with the structural steel as specified in AWS and AISC.

B. WOOD FRAMING

All wood framing fabrication and erection shall conform to the National Design Specification for Wood Construction by the NFPA, the Plywood Design Specification by the APA and meet the requirements below. Unless noted otherwise all wood connections shall be in accordance with the fastening schedule of the International Residential Code. All lumber in contact with concrete or masonry shall be treated.

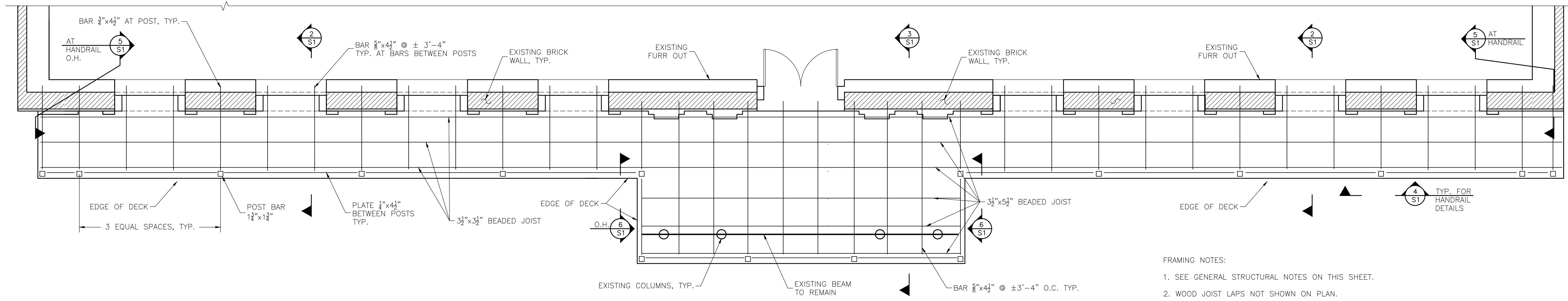
Framing Lumber - Southern Yellow Pine, S4S, No. 2, maximum moisture content 19%.

IV. MISCELLANEOUS

1. No change in size or dimension of structural members shall be made without the written approval of the professional of record.
2. The contractor is responsible for limiting the amount of construction load imposed upon structural framing. Construction loads shall not exceed the design capacity of the framing at the time the loads are imposed.
3. The structure is designed to function as a unit upon completion. The contractor is responsible for furnishing all temporary bracing and/or support that may be required as the result of the contractor's construction methods and/or sequences.
4. Do not scale these drawings, use dimensions.
5. The contractor shall inform the professional of record in writing of any deviation from the contract documents. The contractor shall not be relieved of the responsibility of such deviation by the professional of record review of shop drawings, product data, etc., unless the contractor has specifically informed the professional of record of such deviation at the time of submission, and the professional of record has given written approval to the specific deviation.

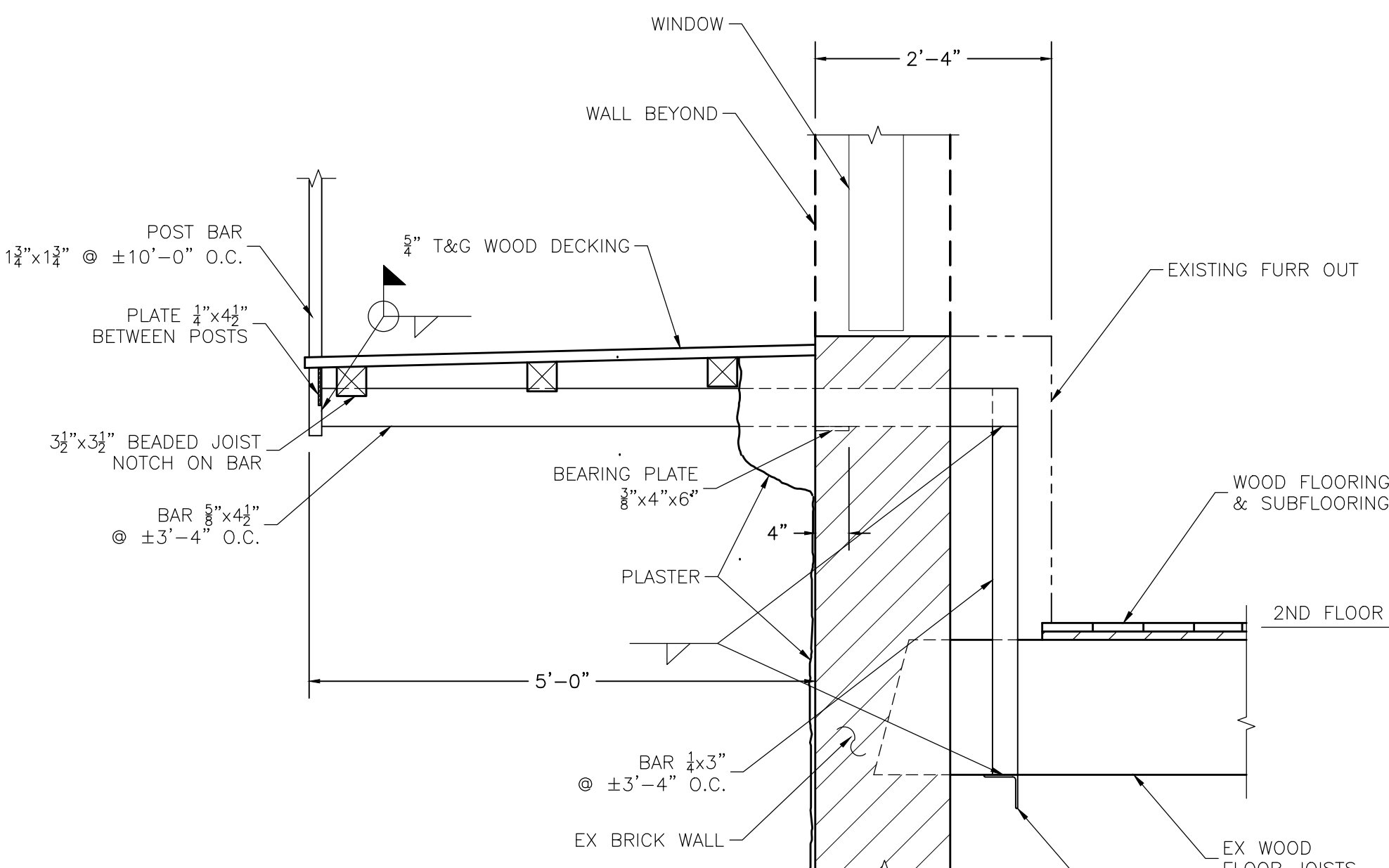
V. QUALITY CONTROL

- A. The following work requires tests and/or inspections for specific requirements see specification.
 1. Structural Steel Welding and Bolts
- B. A partial listing of required structural submittals follows. Consult the specification for a complete listing of submittal requirements.
 1. Structural Steel
- C. No work shall be done without testing laboratory/inspectors knowledge.

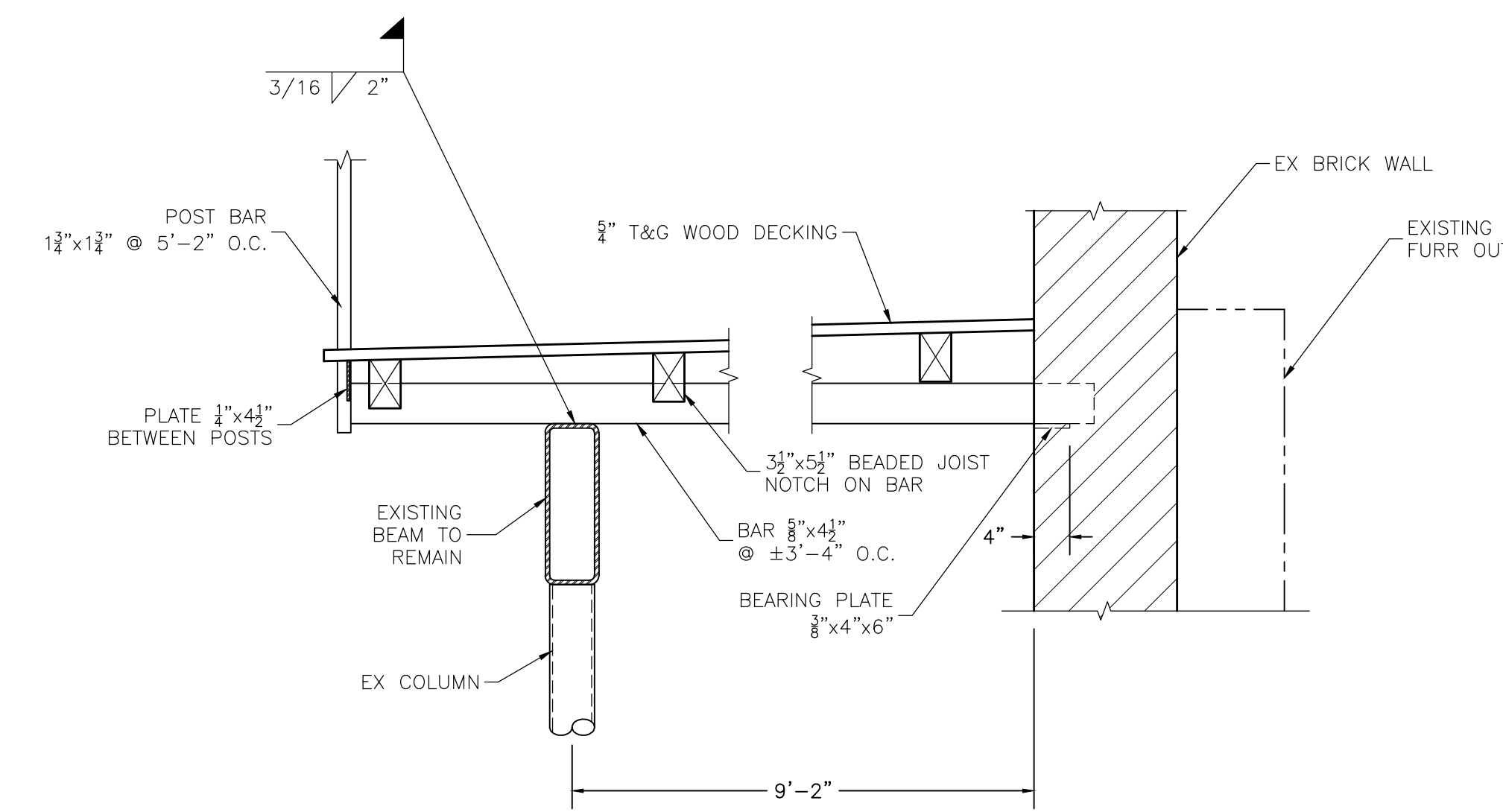


1 BALCONY AND GALLERY PLAN
 1/4" = 1'-0"

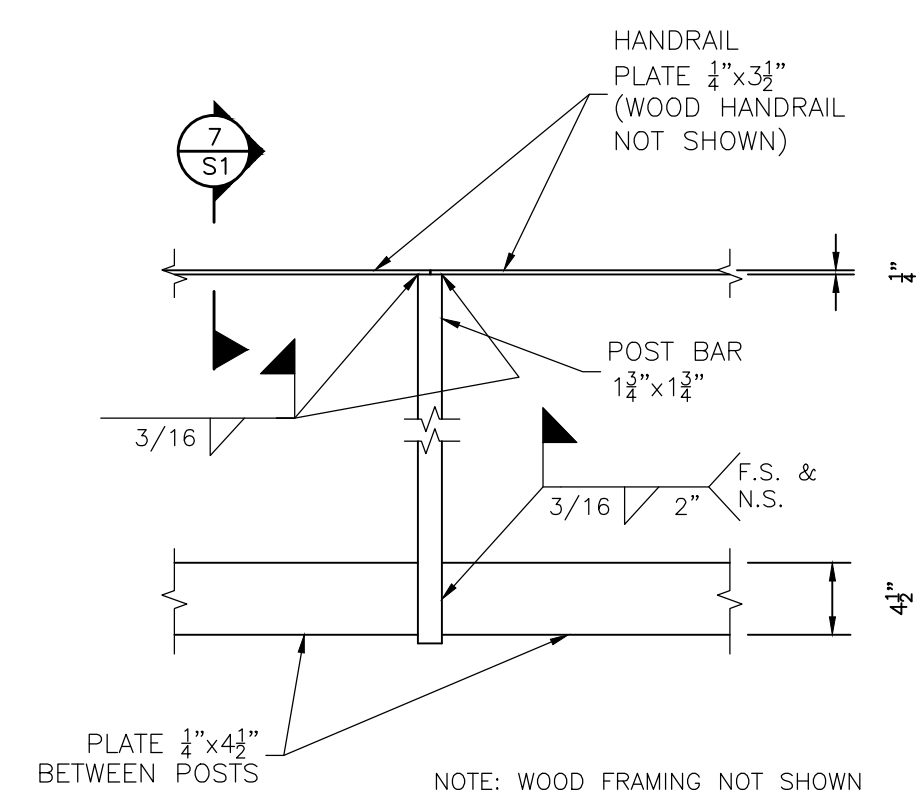
FRAMING NOTES:
 1. SEE GENERAL STRUCTURAL NOTES ON THIS SHEET.
 2. WOOD JOIST LAPS NOT SHOWN ON PLAN.



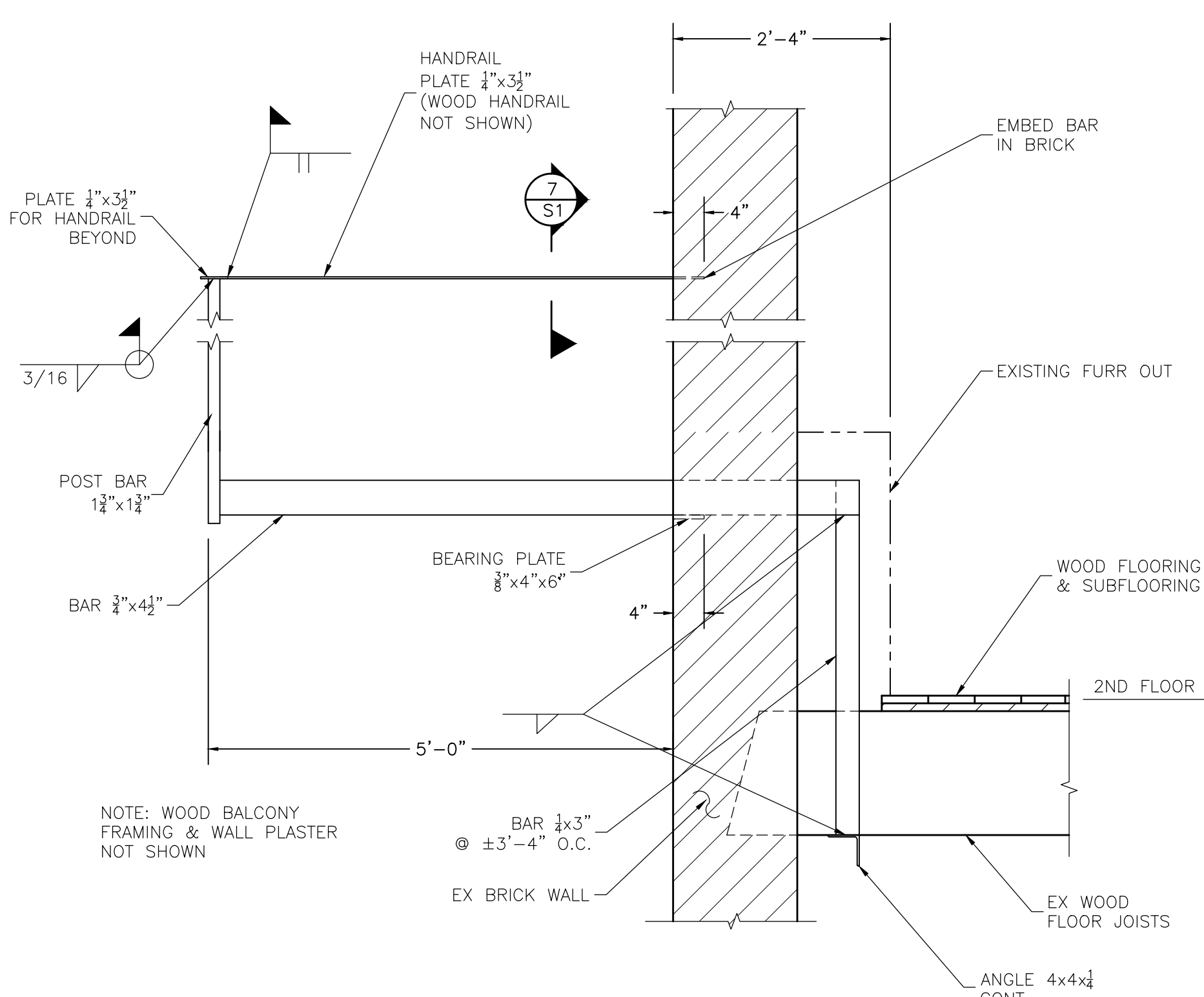
2 SECTION
 3/4" = 1'-0"



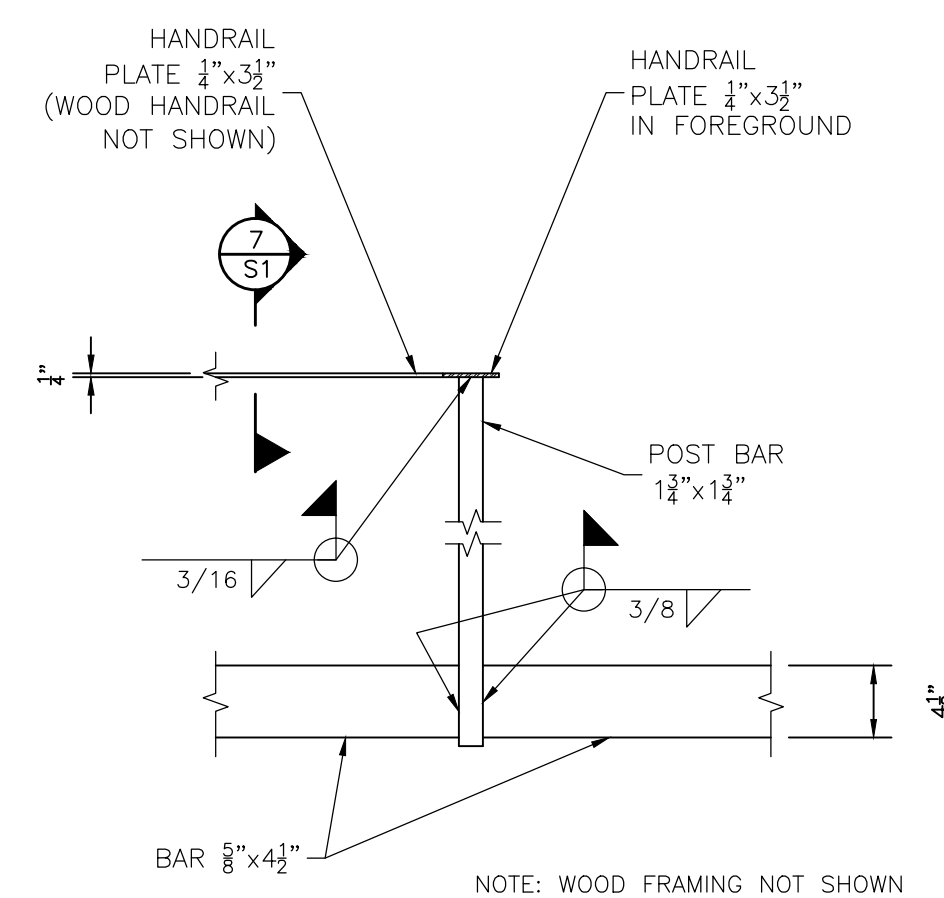
3 SECTION
 3/4" = 1'-0"



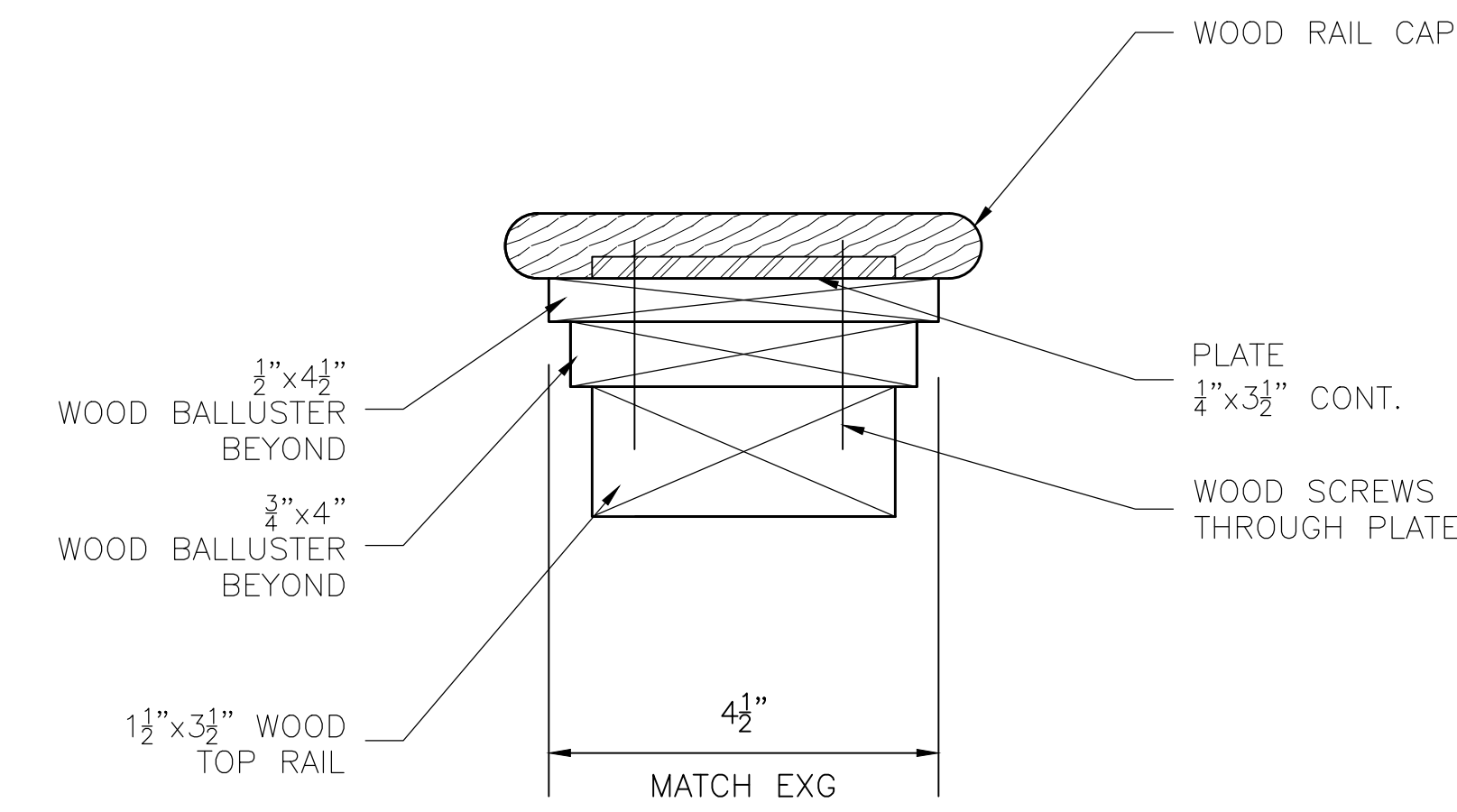
4 SECTION
 1" = 1'-0"



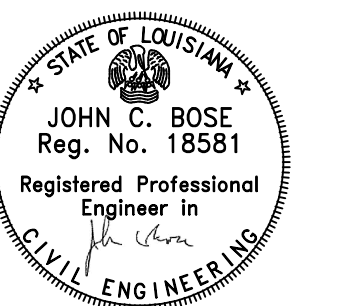
5 SECTION
 3/4" = 1'-0"



6 SECTION
 1" = 1'-0"



7 TOP RAIL DETAIL
 6" = 1'-0"



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 PROJECT NUMBER
 CN 22174
 ISSUE DATE
 08/02/2022

John C. Bose
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 A PROFESSIONAL LIMITED LIABILITY COMPANY
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 NEW ORLEANS, LOUISIANA 70115
 (504) 866-9941

STRUCTURAL GENERAL NOTES, PLAN & DETAILS

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 (202) 950-9556

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CONTRACTOR: **GIBBS CONSTRUCTION**
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 New Orleans, LA 70123
 (area code) number



REVISION #	DESCRIPTION	DATE
1	PROGRESS SET	06/29/2022
2	PRICING SET	06/27/2022
3	VCC PERMIT REV 01	08/25/2022

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 PROJECT NUMBER: CN 22174
 ISSUE DATE: 08/12/2022

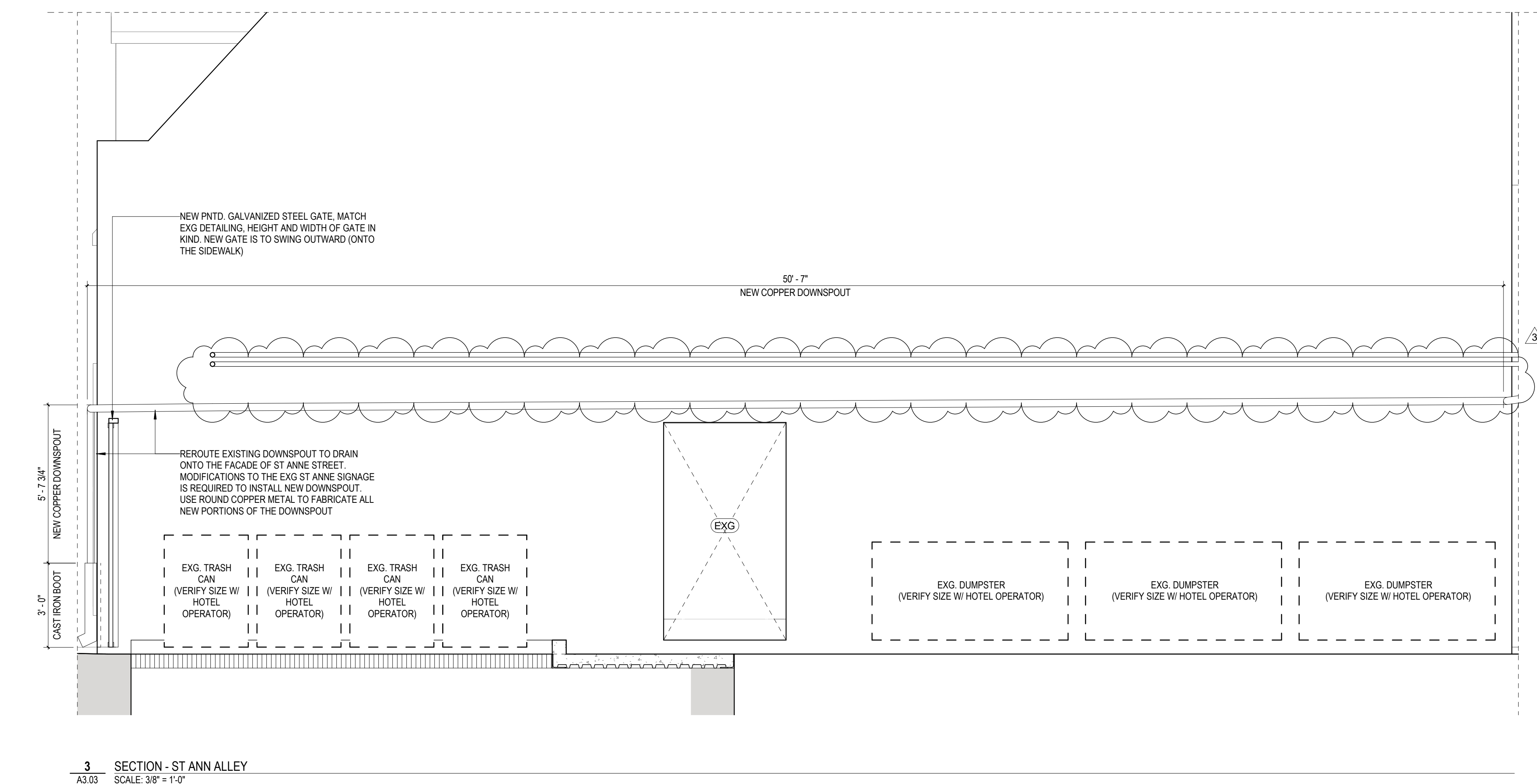
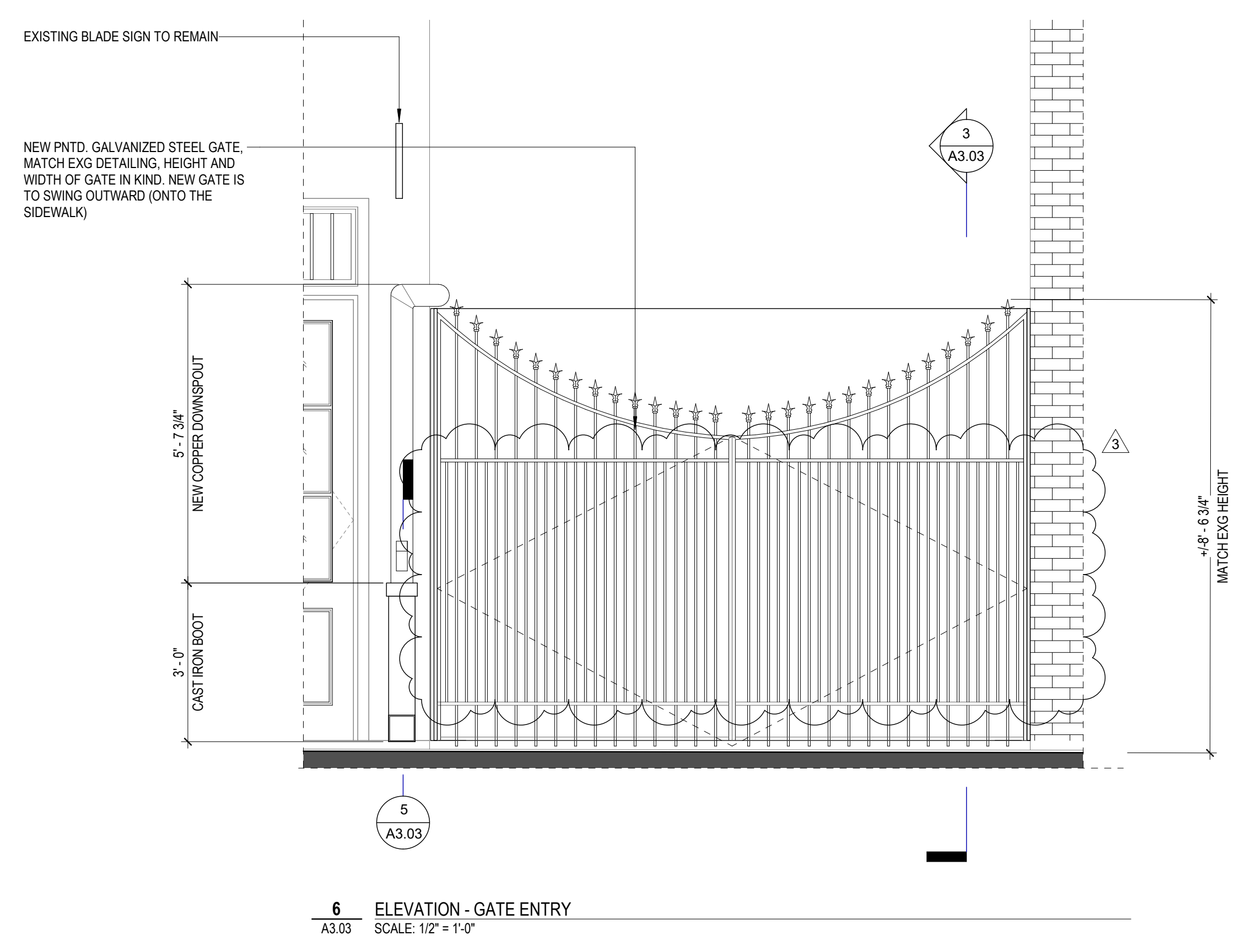
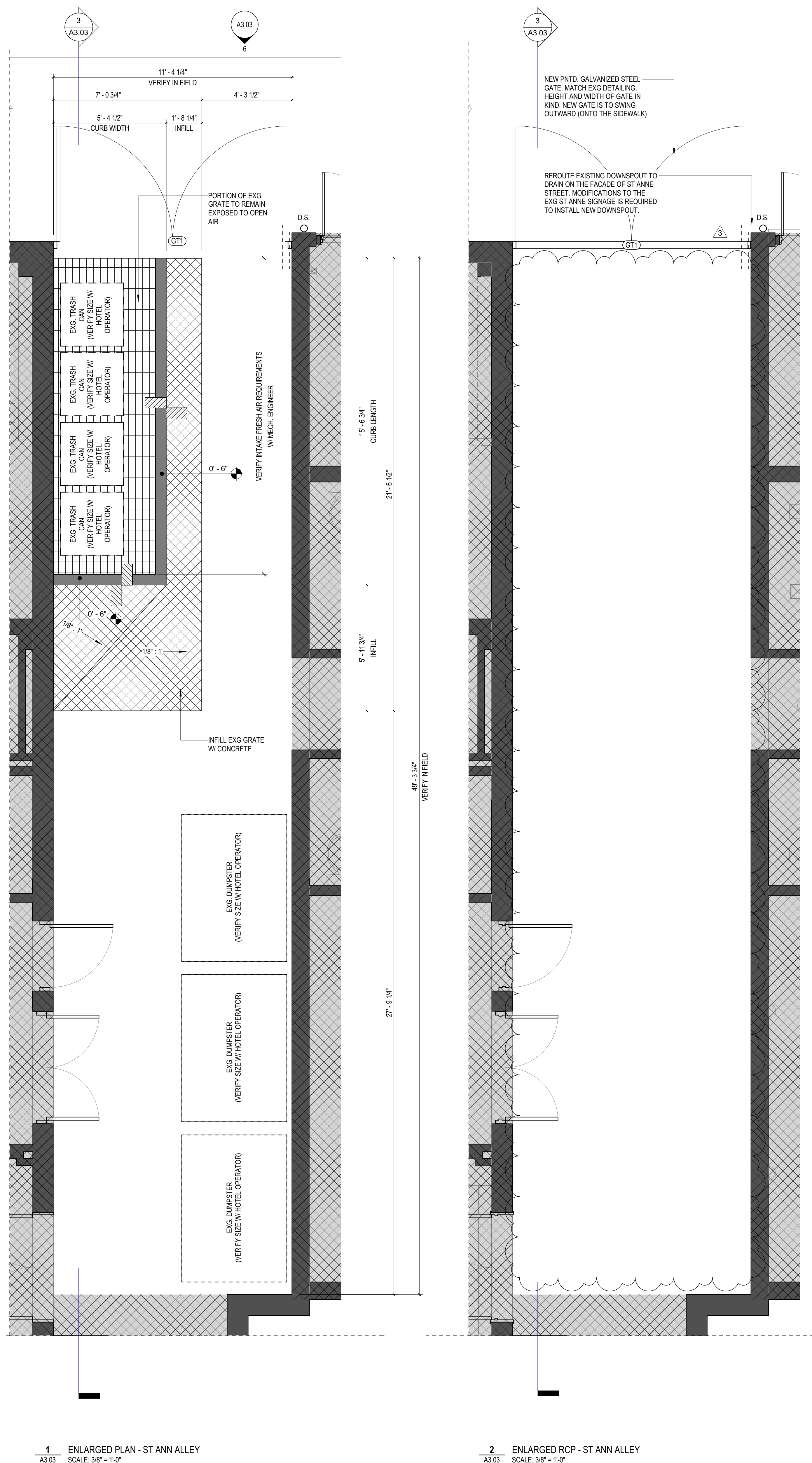
ST ANN ALLEY

SLAB LEGEND

- EXISTING
- INFILL PORTION OF CONCRETE FLOOR (3000 PSI / 6" MIN THICKNESS) DOWEL NEW PORTIONS OF CONCRETE FLOOR INTO EXG SLAB
- NEW CONCRETE CURB W/ BEVELED EDGES. SEE DRAWING FOR SIZE AND ADDITIONAL INFORMATION
- CHANGE IN ELEVATION

ALLEY GENERAL NOTES

1. SLOPE CONCRETE TO ALL FLOOR DRAINS AT 1/8" / 12' MIN.; REFERENCE PLAN FOR EXTENTS OF SLOPE
2. COPPER DOWNSPOUTS TO INCLUDE OVERFLOWS LOCATED 6'-0" ABOVE EXTERIOR GRADE
3. ALL NEW STEEL STRUCTURE IS REQUIRED TO BE GALVANIZED (HDG)
4. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO VERIFY ALL CONDITIONS IN FIELD PRIOR TO EXECUTING WORK
5. VERIFY BASEMENT SUPPLY REQUIREMENTS W/ THE MECH ENGINEER PRIOR TO ENCLOSING ANY PORTION OF THE EXTERIOR GRATE.
6. VERIFY CONCRETE INFILL DETAILING W/ A LICENSED STRUCTURAL ENGINEER.
7. REVIEW AND APPROVAL FROM THE VCC IS REQUIRED PRIOR TO PERFORMING ANY EXTERIOR WORK.



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