

GENERAL NOTES

1.

The contractor shall confirm and verify in writing (employ surveyor) that all property lines and setbacks are met prior to the start of construction.
2.

The contractor shall coordinate and obtain all necessary permits and approvals from authorities having jurisdiction. Construction work is not to begin until all required regulatory approvals have been issued.
3.

All materials and work shall be in accordance with current applicable federal, state and local building codes, amendments, rules, regulations, ordinances, laws, orders, and approvals that are required by public authorities having jurisdiction over the work. In the event of conflict, the most stringent requirements shall apply. No work shall be concealed until approved by local inspectors.
4.

It is the intent of the contract documents to provide for complete and finished work. Each trade (subcontractor) shall completely review plans for their respective work and related work by other trades (subcontractors). The contractor shall coordinate and provide all miscellaneous components and parts which are not shown on the contract documents but are required to complete the work shown. Incidental work and components which are required as an essential, functional or operational item or system, are required to complete any assembly and to complete full scope of work.
5.

The contractor shall subcontract with suppliers, fabricators, and installation companies which can demonstrate that they possess the knowledge, experience and proven capabilities to fully perform all aspects of work without omission.
6.

All products shall be installed in compliance with industry standards and as required by the product manufacturer's latest published specifications and installation requirements.
7.

The contractor shall protect all materials, construction, utilities and facilities from damage, including workers, theft and weather. Damaged components shall be replaced at no cost to Owner.
8.

All pipe chase walls shall be constructed to completely conceal and enclose pipes with full thickness of gypsum board on each side of the wall.
9.

The contractor shall install and provide all safety barriers during construction to protect the public from injury and access to the building and site.
10.

Fire rated assemblies shall be constructed in compliance with published UL Certifications Directory Listings and Classifications and shall be in accordance with continuoutity diagrams. Joints occurring in fire rated assemblies (walls and ceilings) shall be staggered both horizontally and vertically.
11.

Substitutions must be pre-approved in writing by architect prior to the start of construction. Any work or material requirements of such substitution shall be coordinated (with all trades) and provided by the contractor. Contractor must verify in writing all substitutions will not impact project cost or project schedule prior to request of such substitution. Substitutions shall be approved by regulatory agencies in writing prior to the start of construction.
12.

The contractor and subcontractors shall review and coordinate all architectural, electrical and mechanical work to confirm that all components will achieve their intended use an will maintain ceiling heights shown. Conflicts shall be brought to the attention of the architect prior to the start of construction.
13.

Asbestos abatement, lead paint removal, and other hazardous material removal is not in the contract. Should the contractor encounter the presence, or possible presence, of potentially hazardous materials, the contractor shall notify the owner for instructions prior to continuing work.
14.

Safety measures: at all times, the contractor shall be solely and completely responsible for the conditions of the job site, including the safety of persons and property, and for all necessary independent reviews of these conditions. The architect's, engineer's, or owner's job site review is not intended to review the adequacy of the contractor's safety measures.
15.

The contractor shall not submit final price or execute contract with Owner until all required changes requested by the regulatory agencies have been included in the contract price.
16.

Buildings shall be maintained in weatherproof and secure condition as early as possible throughout work.
17.

Erect and install all work level, plumb, square, true, straight and in proper alignment.
18.

The contractor shall be responsible for field verifying actual locations of all existing utilities and structures on the project site. Locations of existing utilities and structures indicated on the drawings are approximate only, and those indicated are not necessarily all that may exist on the project site. The contractor shall coordinate the location (horizontal and vertical) of the existing utilities (power, telephone, gas, water, sewer, etc) with the appropriate utility provider before construction begins and at no additional cost to the owner.
19.

All existing sanitary sewer manhole tops, water valve boxes, meters, storm sewers, or other related appurtenances shall be adjusted to finish grade by contractor at no additional cost to the owner.
20.

When project is complete, clean and polish glass, hardware, and other such items with factory finishes. Remove all dust with treated dust clothes or vacuum cleaners. Waste and refuse caused by the work shall be removed from premises and disposed of by contractor. Clean site at end of project. Remove dust, debris, oils, stains, fingerprints, and labels from exposed surfaces, including glazing.
21.

Furniture is for reference only. Furniture is not in project scope. Furniture, fixtures and equipment (FFE), if required, will be submitted in a separate design package.
22.

Do not scale drawings for field layout. Contact architect if dimensions are needed and cannot be found in drawing set.
23.

Floor plan dimensions taken from face of stud or centerline of stud / column unless otherwise noted. "Clear" refers to dimension between faces of finish surfaces. "EQ" or "Equal" indicates dimension to match adjacent. Lettered dimensions (A,B,C,D,ETC) indicate dimension to match opposite or remote (matching letter) dimension. "+/-" indicates approximate dimension based on field consition or flexible dimension that can be adjusted.
24.

All dimensions on reflected ceiling / lighting plans are clear dimensions.
25.

These drawings are accompanied by the Project Manual.



SITE / VICINITY PLAN

OWNER

Lisa Wade

836 Desire Street
New Orleans, LA 70117

ARCHITECT

Albert Architecture and
Urban Design, apllc

Richard Albert
3221 Tulane Avenue
New Orleans, LA 70119
504.827.0056

WADE RESIDENCE

Lisa Wade
836 Desire Street
New Orleans, LA 70117

HDLC REVIEW SET

08.25.22

DRAWING INDEX

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WADE
RESIDENCE

836 Desire Street
New Orleans, LA 70117

Project No. AA2136



08/25/22

Drawn by: AP
Checked by: JM

EXISTING CONDITIONS	01/06/22
SCHEMATICS	05/04/22
PERMIT SET	06/15/22
HDLC REVIEW	08/25/22

G-0.00

COVER SHEET

PROJECT INFORMATION / ZONING / CODE STUDY

PROJECT ADDRESS 836 DESIRE STREET NEW ORLEANS, LA 70117		
PROJECT DESCRIPTION INTERMEDIATE HALLWAY ADDITION TO CONNECT TWO EXISTING STRUCTURES.		
BUILDING AREA (IBC)		
EXISTING FIRST FLOOR	1,188	SF
EXISTING SECOND FLOOR	437	SF
EXISTING TOTAL	1,625	SF
ADDITION SQFT	22	SF
TOTAL SQFT	1,647	SF
AREA BY USE		
RESIDENTIAL	1,647	SF

MAJOR APPLICABLE CODES AND REGULATIONS
(NOT LIMITED TO THE FOLLOWING)

INTERNATIONAL BUILDING CODE, 2015 EDITION WITH THE 2006 CITY OF NEW ORLEANS AMENDMENTS
INTERNATIONAL EXISTING BUILDING CODE, 2015 EDITION
INTERNATIONAL MECHANICAL CODE, 2015 EDITION
NATIONAL ELECTRIC CODE, 2015 EDITION
INTERNATIONAL PLUMBING CODE, 2015 EDITION
NFPA LIFE SAFETY CODE, 2015
AMERICANS WITH DISABILITIES ACT, 2010 STANDARDS
NFPA 88A STANDARD FOR PARKING STRUCTURES, 2011 EDITION
COMMERCIAL BUILDING ENERGY CONSERVATION CODE, ASHRAE 90.1, 2007

ZONING CLASSIFICATION
HMR-3

PRIMARY USE
RESIDENTIAL

BOUNDING STREETS
DESIRE STREET, BURGUNDY STREET, PIETY STREET, DAUPHINE STREET

SITE AREA
3,240 SF

PARKING
NOT REQUIRED














LOADING
NOT REQUIRED

FLOOD ZONE
X















ABBREVIATIONS

2NDB SECOND FLOOR X-BRACING	HT. HEIGHT
AD AREA DRAIN	I.D. INSIDE DIMENSION
A.F.R ABOVE FINISH ROOF	IN. INCH
A.F.G ABOVE FINISH GRADE	INSUL INSULATION
ADJ. ADJUSTABLE	INT. INTERIOR
ALUM. ALUMINUM	INV. INVERT
APPROX. APPROXIMATELY	J.B. JUNCTION BOX
ASB ASBESTOS	JT. JOINT
ATTEN. ATTENUATION	LM LIMESTONE
B BRICK	LT. WT. LIGHT WEIGHT
BD. BOARD	MANUF. MANUFACTURER
BLDG. BUILDING	MAX MAXIMUM
BLK. BLOCK	MB MODIFIED BITUMEN
BM. BEAM	MBR MODIFIED BITUMEN ROOFING
BOL BOLLARD	MECH. MECHANICAL
BOT. BOTTOM	MTL. METAL
C.B. CATCH BASIN	MIN. MINIMUM
C.G. CORNER GUARD	M.H. METAL THRESHOLD
C.J. CONTROL JOINT	N.I.C. NOT IN CONTRACT
C.M.U. CONCRETE MASONRY UNIT	NOM. NOMINAL
C.O. CLEAN OUT	NTS. ALE
C.R. COLD ROLLED	O.C. CENTER
CEM. CEMENT	O.D. OUTSIDE DIAMETER
CLG. CEILING	OPG. OPENING
COL. COLUMN	P. PAINT
CONC. CONCRETE	PARTN. PARTITION
CONST. CONSTRUCTION	PLAS. PLASTER
CONT. CONTINUOUS	PLVD. PLYWOOD
CSB CLERESTORY BRACING	Q.T. QUARRY TILE
DBL. DOUBLE	MRF METAL ROOF FINISH
DEMO. DEMOLITION	R.D. ROOF DRAIN
DET. DETAIL	R.O. ROUGH OPENING
DIA. DIAMETER	RAD. RADIUS
DIAG. DIAGONAL	RE. REFERENCE
DIM. DIMENSION	REC. RECESSED
DISP. DISPENSER	REINF. REINFORCED
DN. DOWN	REQ'D REQUIRED
DS DOWNSPOUT	RET. RETAINING
DWG. DRAWING	RM. ROOM
EA. EACH	S SEALANT
EF EIFS	S.B.S. STYRENE BUTADIENE STYRENE
E.J. EXPANSION JOINT	S.S. STAINLESS STEEL
EL. ELEVATION	SCHED. SCHEDULE
ELECT. ELECTRICAL	SECT. SECTION
ENAM. ENAMEL	SH SHUTTER
EQ. EQUAL	SHT. SHEET
EQUIP. EQUIPMENT	SIM SIMILAR
E.W. EACH WAY	SL. SLOPE
E.W.C. ELECTRIC WATER COOLER	SPEC. SPECIFICATION
EXIST. EXISTING	SQ. SQUARE
EXP. EXPANSION	STC SOUND TRANSMISSION CLASS
EXT. EXTERIOR	STD. STANDARD
F.D. FLOOR DRAIN	STL. STEEL
F.H. FLAT HEAD	STRUCT. STRUCTURAL
FDN. FOUNDATION	SUSP. SUSPENDED
FIN. FINISH	T. TREADS
FLR. FLOOR	T.&B. TOP AND BOTTOM
FLUOR. FLUORESCENT	TC TERRA COTTA
FOC FACE OF CONC. (MAS.)	T.O.C. TOP OF CONCRETE
F.R. FIRE RESISTANCE	T.O.S. TOP OF STEEL
FRM. FRAME	THRU THROUGH
FRP. FIBERGLASS REINFORCED PANEL	TRD TREATED
FT. FOOT	TYP. TYPICAL
G.I. GALVANIZED IRON	U.N.O. UNLESS NOTED OTHERWISE
GA. GAUGE	U.O.N. UNLESS OTHERWISE NOTED
GALV. GALVANIZED	V.C.P. VERIFIED CLAY PIPE
GEN. GENERAL	VERT. VERTICAL
GYP. GYPSUM	W/ WITH
GYP. BD. GYPSUM BOARD	W.F. WIDE FLANGE
H.M. HOLLOW METAL	W.P. WATERPROOF
H.R. HANDRAIL	W.W.F. WELDED WIRE FABRIC
HORIZ. HORIZONTAL	WD. WOOD
	XB X-BRACING

MATERIALS

 CONCRETE	 GLASS IN ELEVATION	 WOOD (FINISH)	 RESILIENT MATERIAL
 CONCRETE MASONRY UNITS	 INSULATION (RIGID)	 INSULATION	 ACOUSTICAL TILE OR PANELS
 BRICK	 METAL	 SOIL, EARTH	 WOOD (ROUGH)
 PLASTER			

GRAPHICS LEGEND

 1 AS01	DRAWING NUMBER
 TITLE	DRAWING TITLE
 SCALE: 1/8" = 1'-0"	SCALE
 N	NORTH ARROW
 ROOM XXX	ROOM NAME ROOM NUMBER
 XX	DOOR NUMBER
 XX XX	DRAWING NUMBER ENLARGED AREA
 XX	SHEET NO. WHERE DRAWING APPEARS
 XX XX	DRAWING NUMBER DIRECTION OF SECTION CUT
 XX XX	DIRECTION OF EXTERIOR ELEVATION DRAWING NUMBER SHEET NO. WHERE DRAWING APPEARS
 XX XX	DRAWING NUMBER DIRECTION OF INTERIOR ELEVATION SHEET NO. WHERE DRAWING APPEARS
 010000.A	TAG NOTES
 X	WINDOW KEY
 X	WALL TYPE

ALBERT
ARCHITECTURE

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New Orleans, LA 70117

Project No. AA2136



08/25/22

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Checked by: Checker

EXISTING CONDITIONS 01/06/22

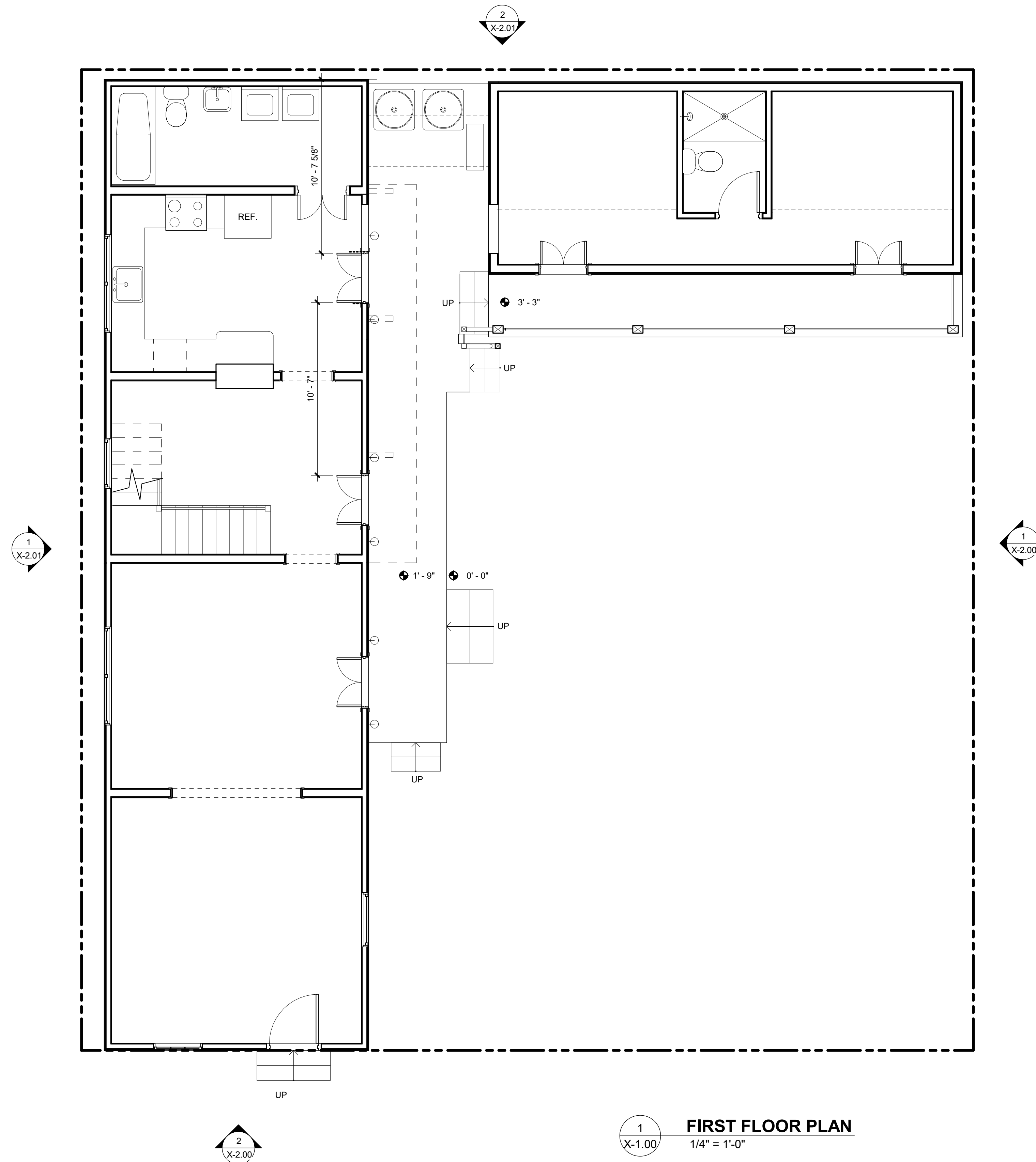
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PERMIT SET 06/15/22

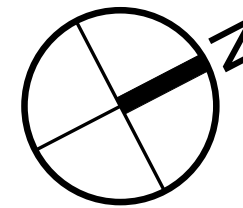
HDLIC REVIEW 08/25/22

G-0.01

INFORMATION SHEET



FIRST FLOOR PLAN
1/4" = 1'-0"



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X-1.00

EXISTING FIRST
FLOOR



2
X-2.00
EXISTING EAST ELEVATION
1/4" = 1'-0"



1
X-2.00
EXISTING NORTH ELEVATION
1/4" = 1'-0"



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X-2.00

EXISTING
ELEVATIONS



1
X-2.01
EXISTING SOUTH ELEVATION
1/4" = 1'-0"



2
X-2.01
EXISTING WEST ELEVATION
1/4" = 1'-0"



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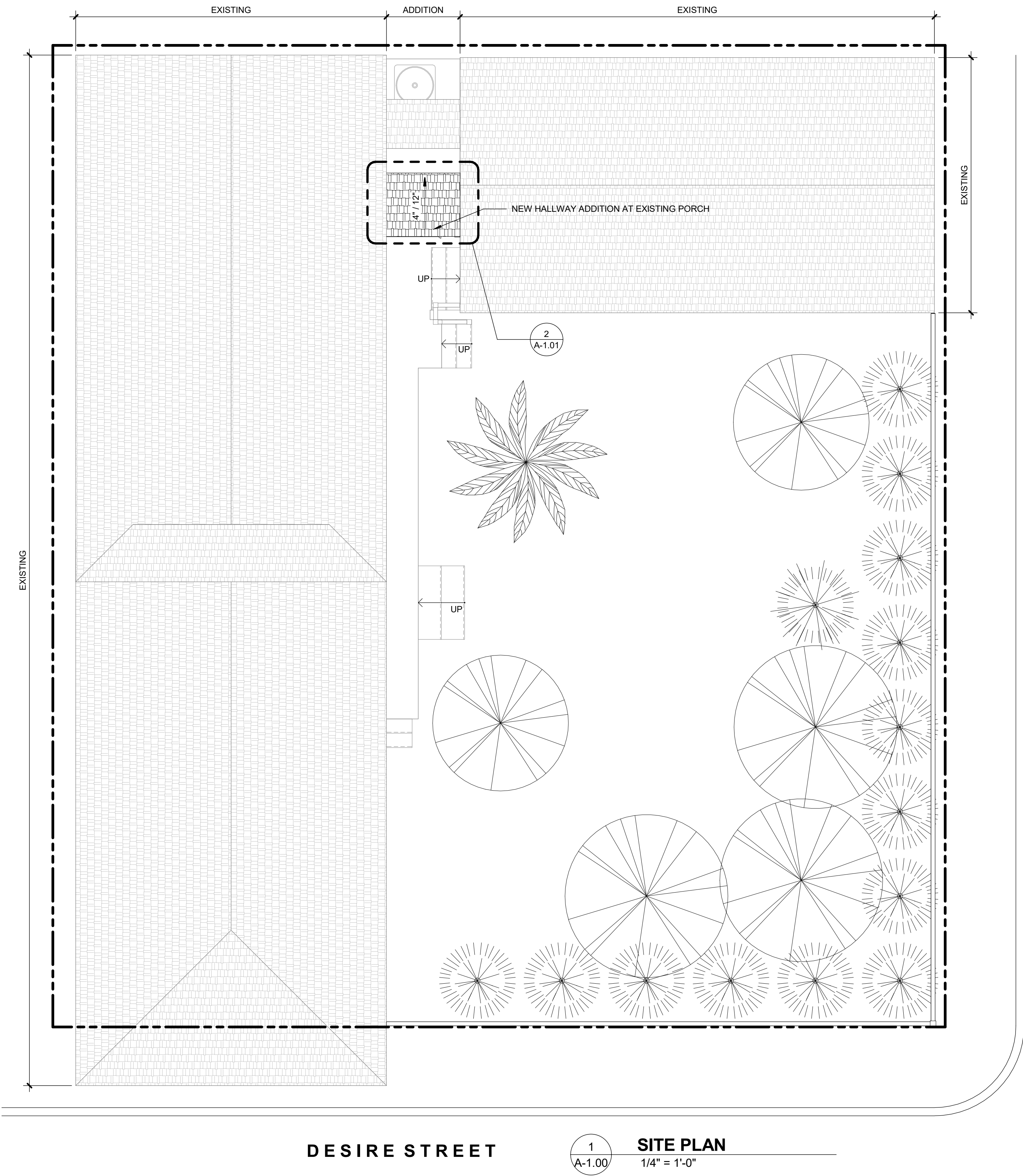
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X-2.01

EXISTING EXTERIOR
ELEVATIONS



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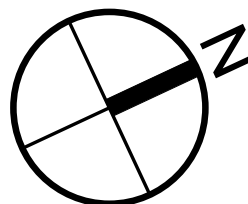
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SCHEMATICS 05/04/22
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A-1.00

SITE PLAN





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Project No. AA2136



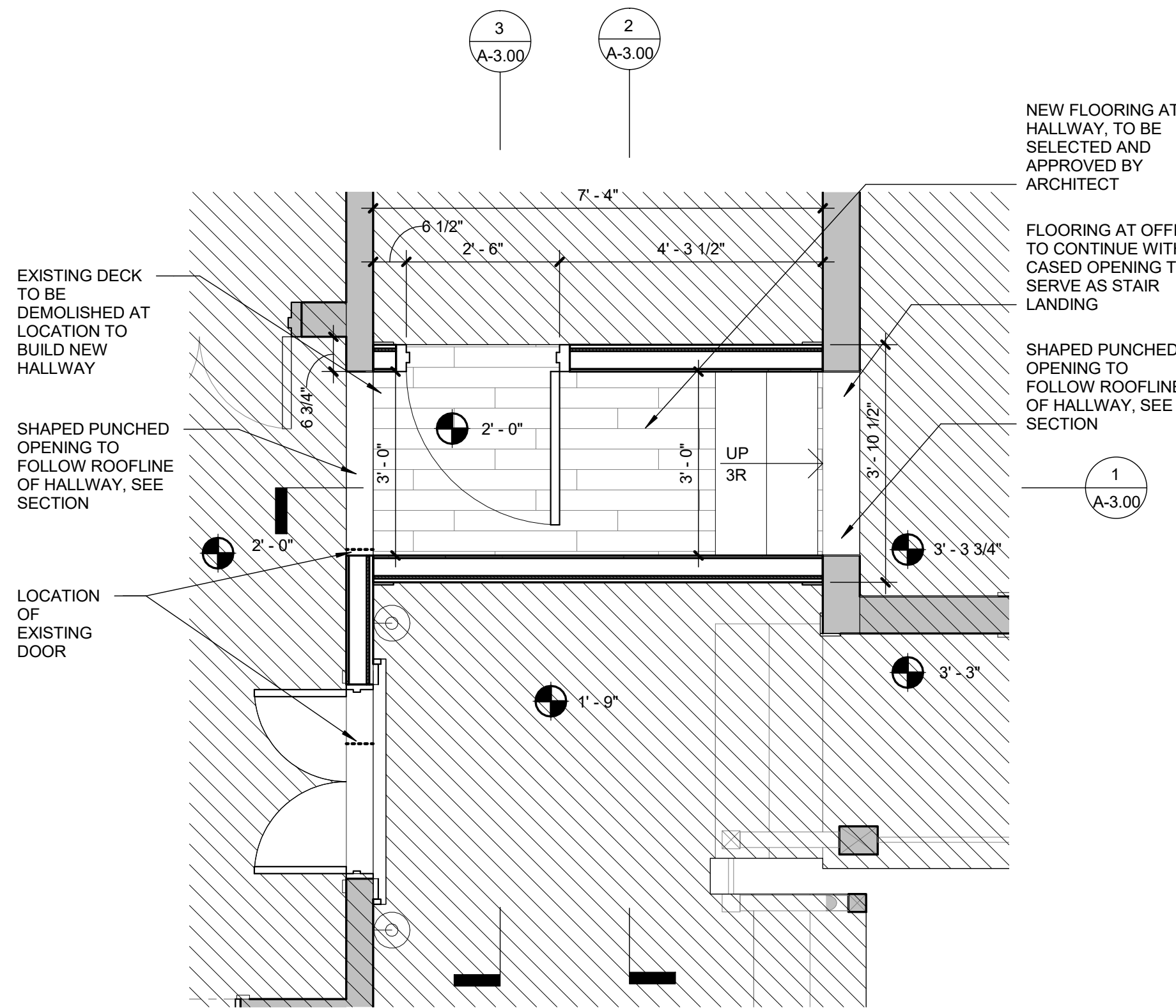
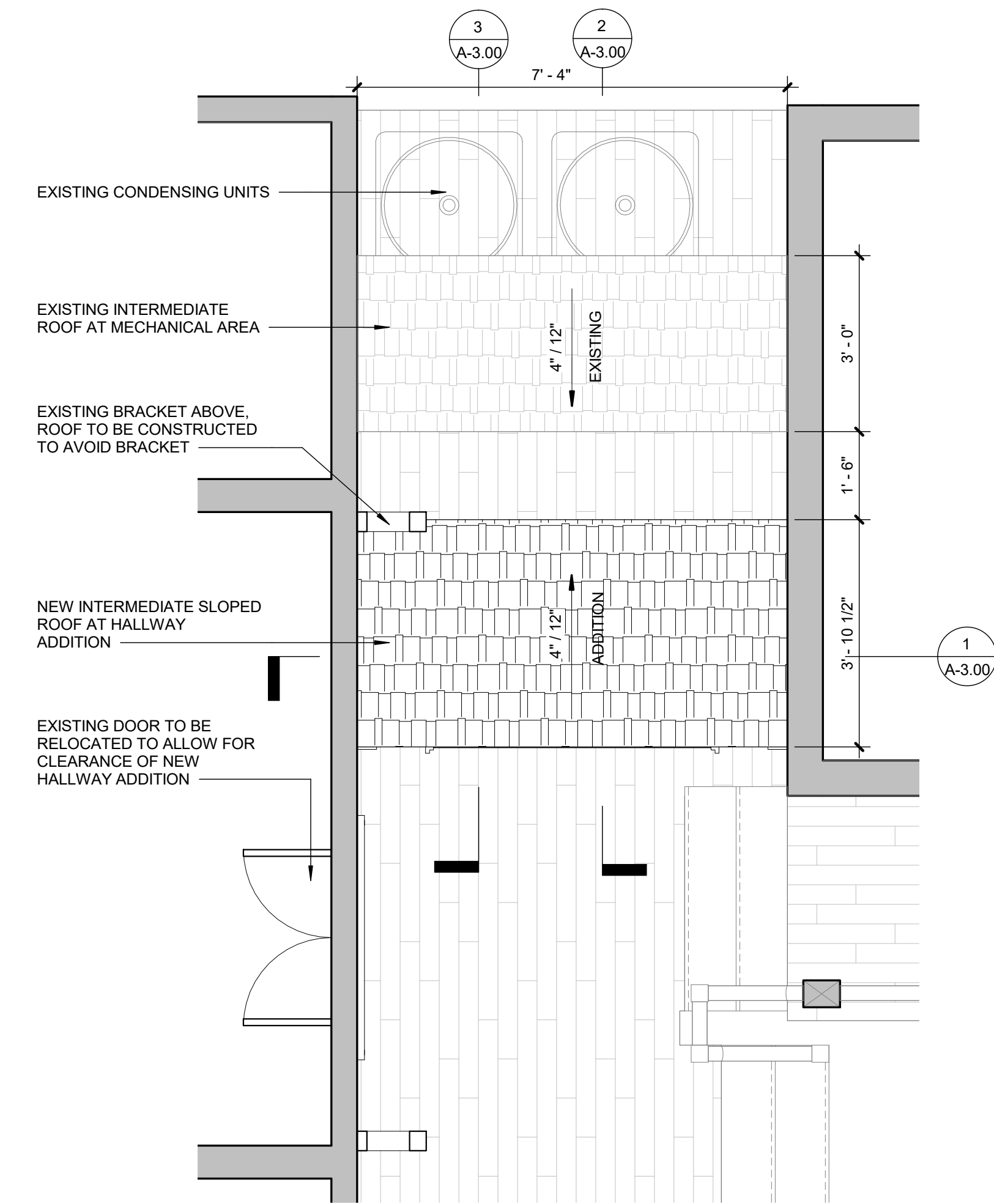
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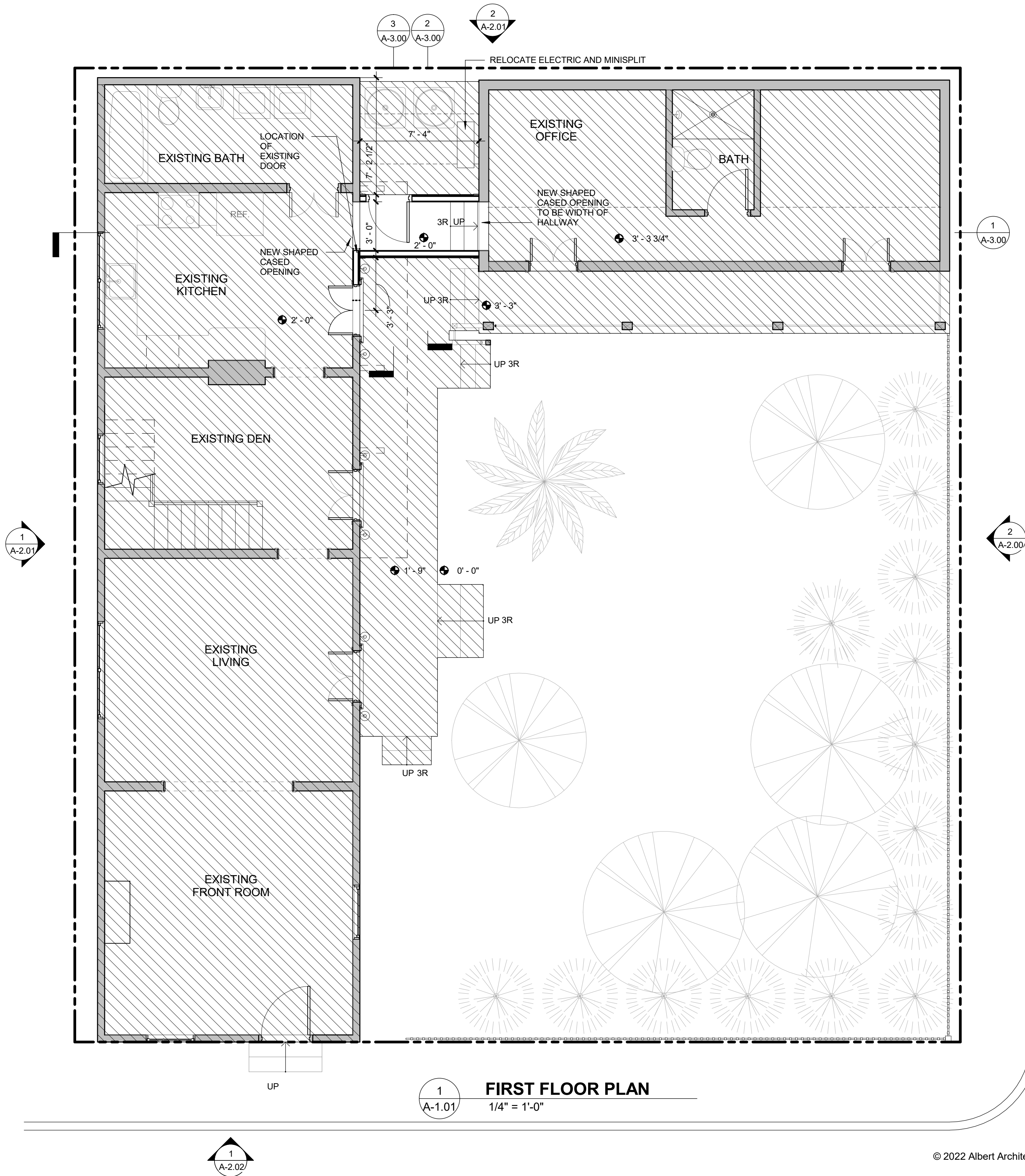
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HDLC REVIEW	08/25/22

A-1.01

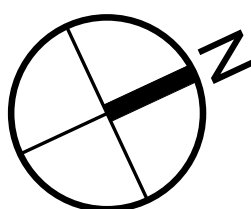
PROPOSED FIRST
FLOOR PLAN



2
A-1.01
ENLARGED PLAN AT HALLWAY
1/2" = 1'-0"



1
A-1.01
FIRST FLOOR PLAN
1/4" = 1'-0"





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A-1.04

FIRST FLOOR PLAN -
REFLECTED CEILING

GENERAL RCP NOTES

- EXISTING CEILING AND LIGHTING TO REMAIN, MODIFY AS REQUIRED.
- OUTLETS TO BE INSTALLED PER CODE. FINISH OF ALL OUTLETS, EXISTING AND NEW, TO BE COORDINATED WITH OWNER AND ARCHITECT.
- CARBON MONOXIDE DETECTORS AND SMOKE DETECTORS TO BE INSTALLED AS SHOWN AND AS REQUIRED TO MEET CURRENT BUILDING CODE REQUIREMENTS.
- COORDINATE ALL RECESSED LIGHT HOUSING LOCATIONS WITH ARCHITECT IN FIELD PRIOR TO INSTALLATION TO ACCOMMODATE CENTERLINES WITH FRAMING.
- ELECTRICIAN SHALL VERIFY SWITCH LOCATIONS WITH ARCHITECT/OWNER PRIOR TO START OF INSTALLATION.
- PROVIDE SUBMITTALS OF ALL LIGHT FIXTURES, FANS, AND SWITCHES FOR ARCHITECT'S REVIEW PRIOR TO THE START OF CONSTRUCTION.
- ALL WALL-MOUNTED VANITY, PICTURE LIGHTS, SCONCES, AND DECORATIVE FIXTURES TO BE LOCATED IN THE FIELD WITH ARCHITECT.
- PROVIDE BLOCKING AT ALL DECORATIVE LIGHT FIXTURES, COORDINATE WITH THE ARCHITECT.
- V.I.F. ALL CENTERLINES WITH ARCHITECT IN FIELD.
- CONTRACTOR TO PROVIDE DESIGN / BUILD PRICE FOR COMPLETE ELECTRICAL SYSTEM ACCOMMODATING THE ILLUSTRATED LAYOUT. PROVIDE SHOP DRAWINGS FOR OWNER'S REVIEW PRIOR TO THE START OF CONSTRUCTION, TYP.

LEGEND

- GYPSUM BOARD CEILING
- VARIES

CEILING HEIGHT
- F1

CEILING MOUNTED PENDANT LIGHT- TO BE MOUNTED ON SLOPED CEILING
- RETURN VENT
- SUPPLY VENT
- WIRE RUN
- \$

LIGHT SWITCH
- \$3

MULTIPLE POINT LIGHT SWITCH
- \$D

DIMMER LIGHT SWITCH
- Φ

DUPLEX OUTLET
- ΦGFI

DUPLEX OUTLET, GROUND FAULT
- SM

SMOKE DETECTOR

1
A-1.04 REFLECTED CEILING PLAN
1/2" = 1'-0"



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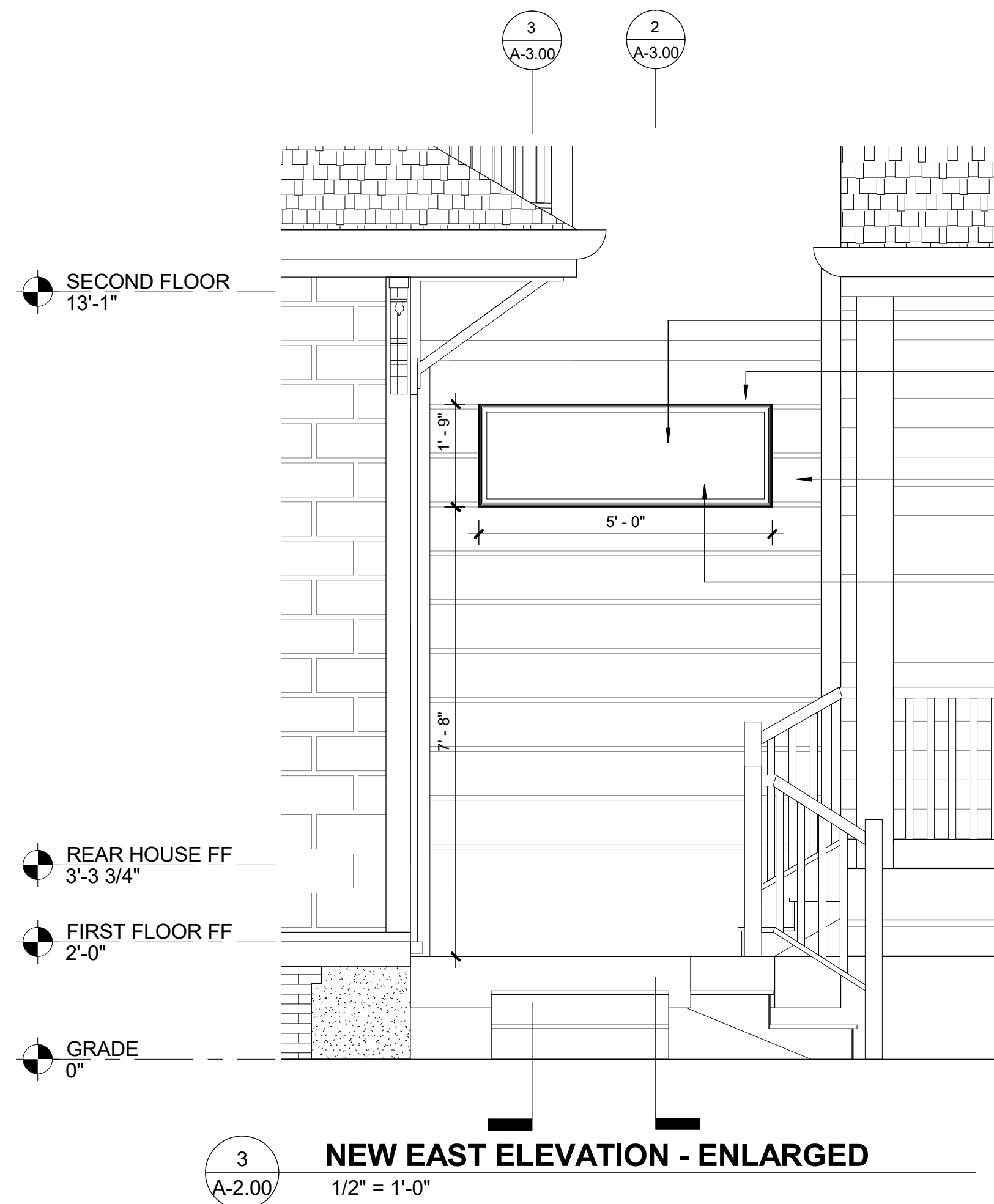
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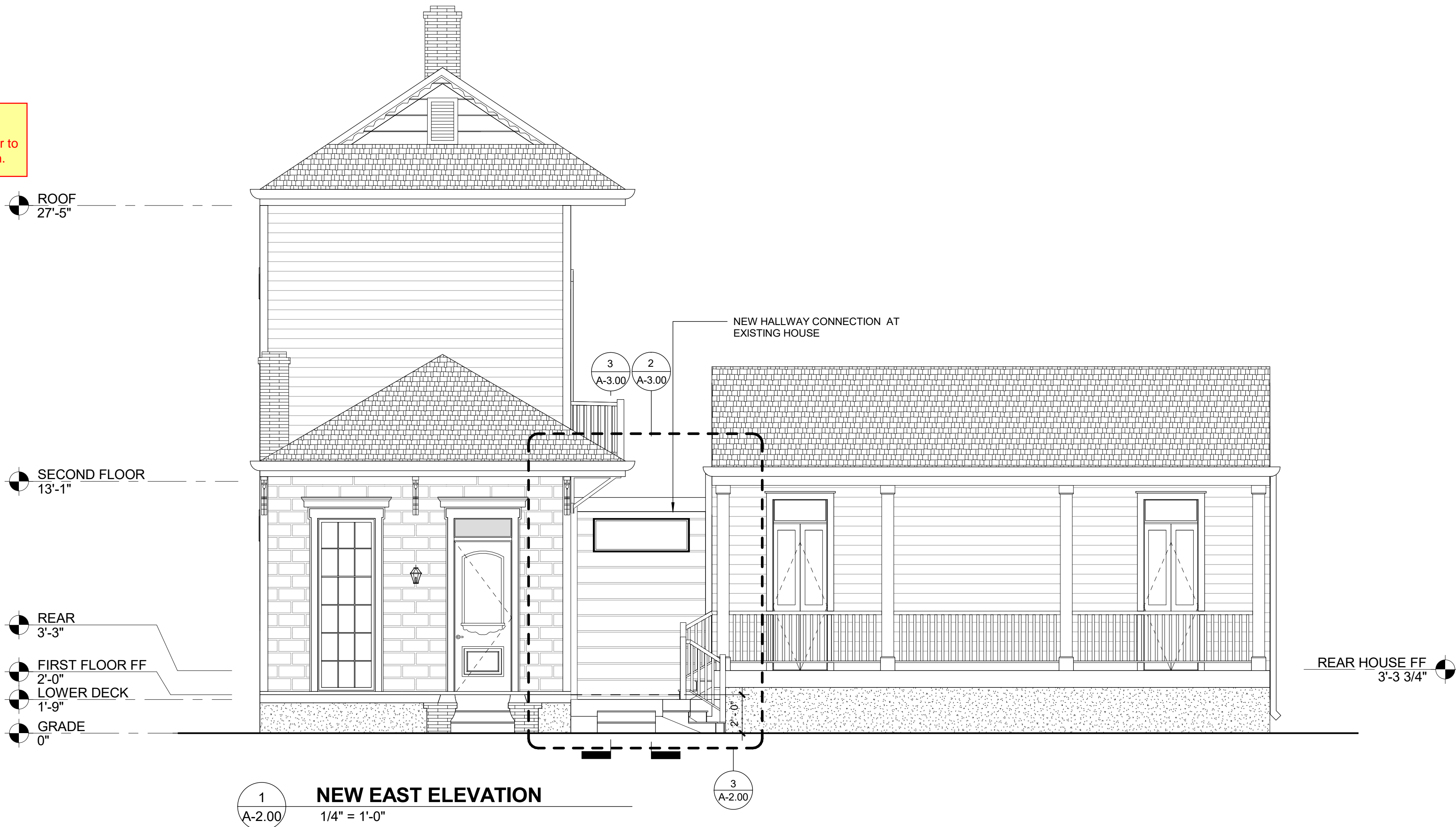
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A-2.00

EXTERIOR
ELEVATIONS



Submit new window specifications for HDLC review and approval prior to purchase and installation.



SIDING SELECTION



HARDIE ARTISAN
SQUARE CHANNEL



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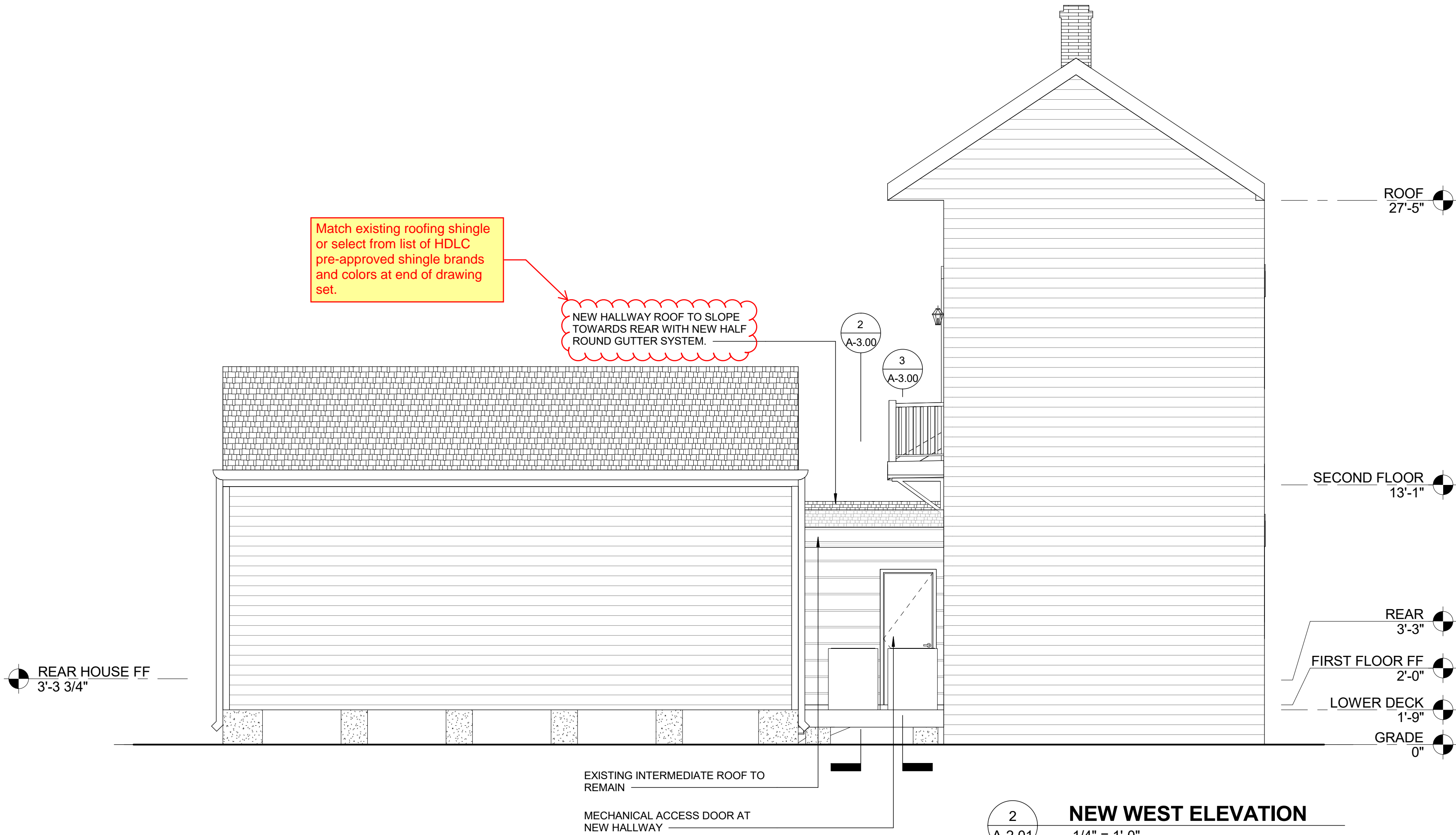
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A-2.01

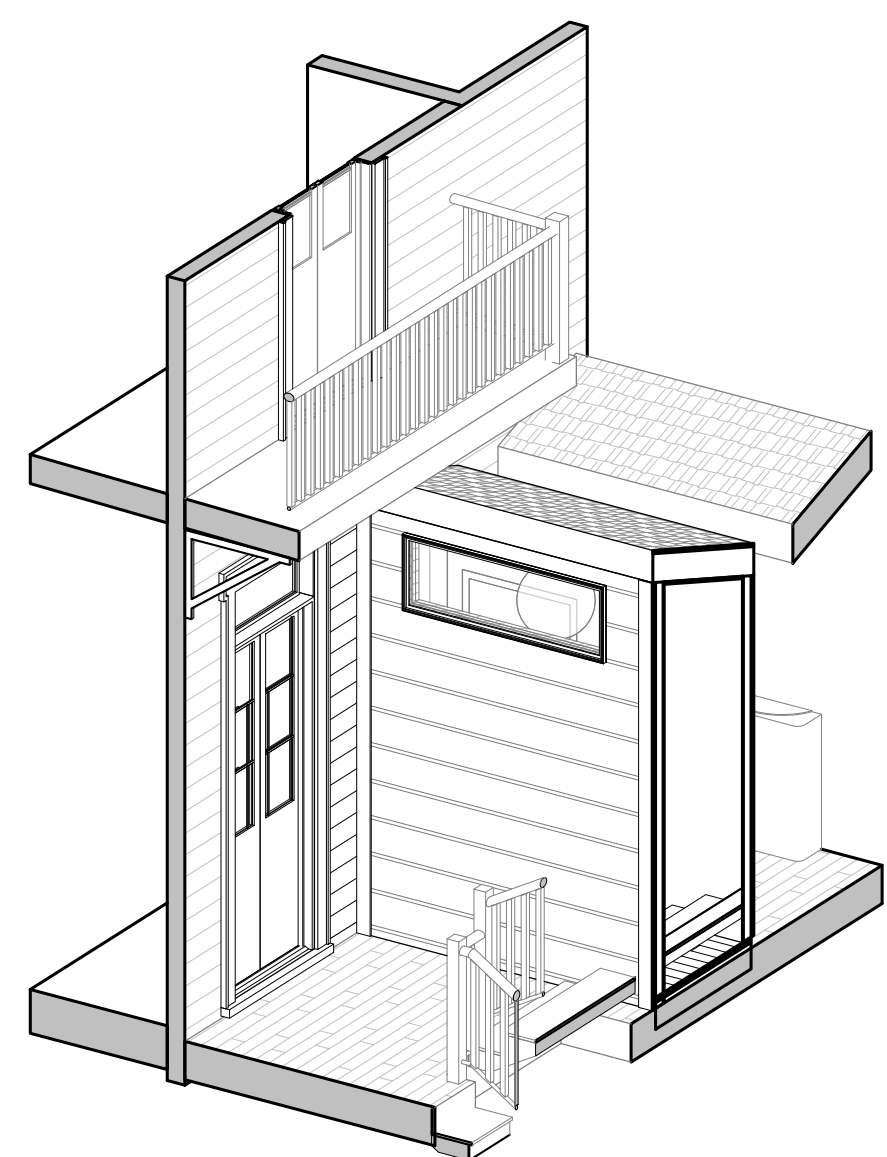
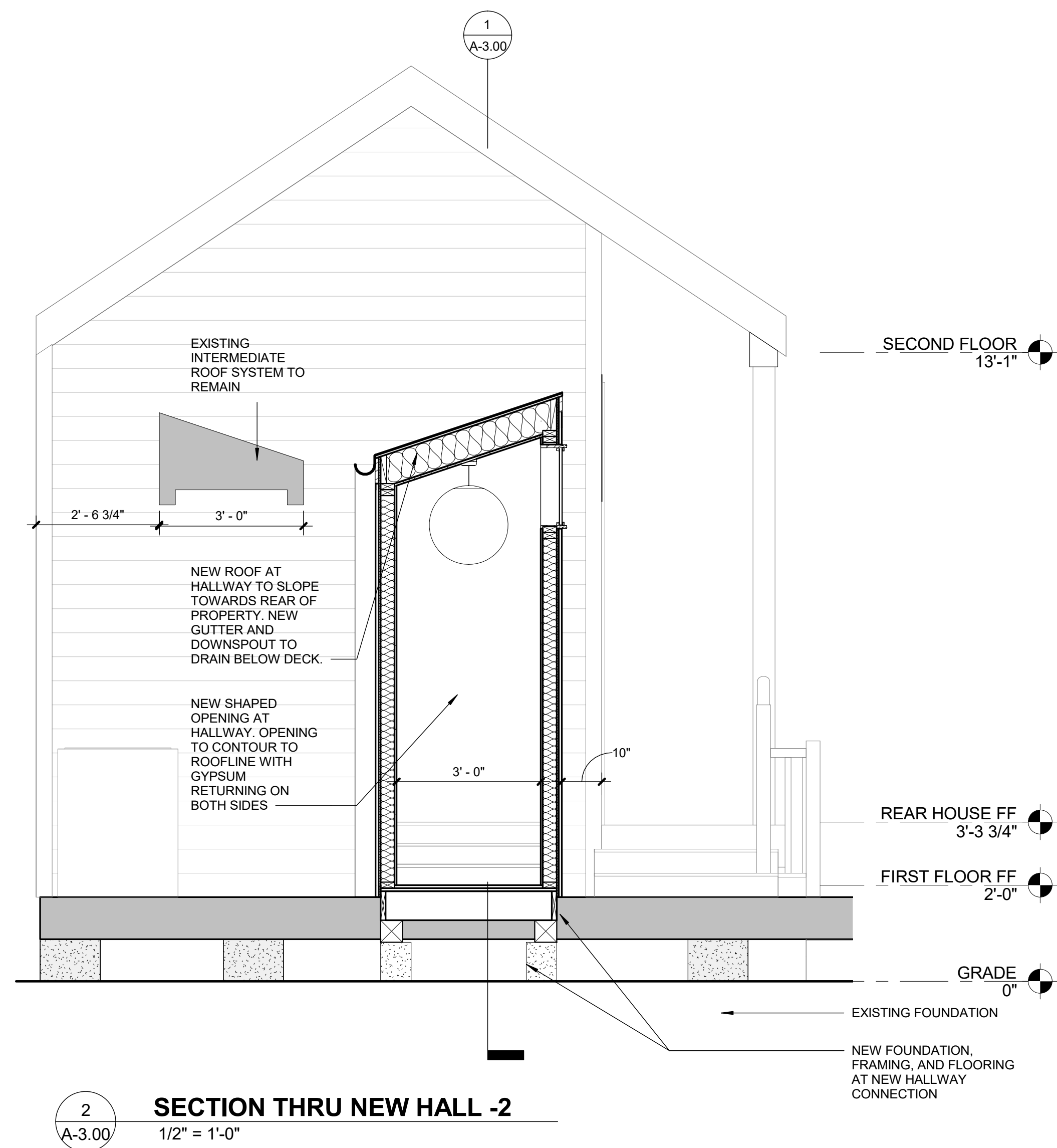
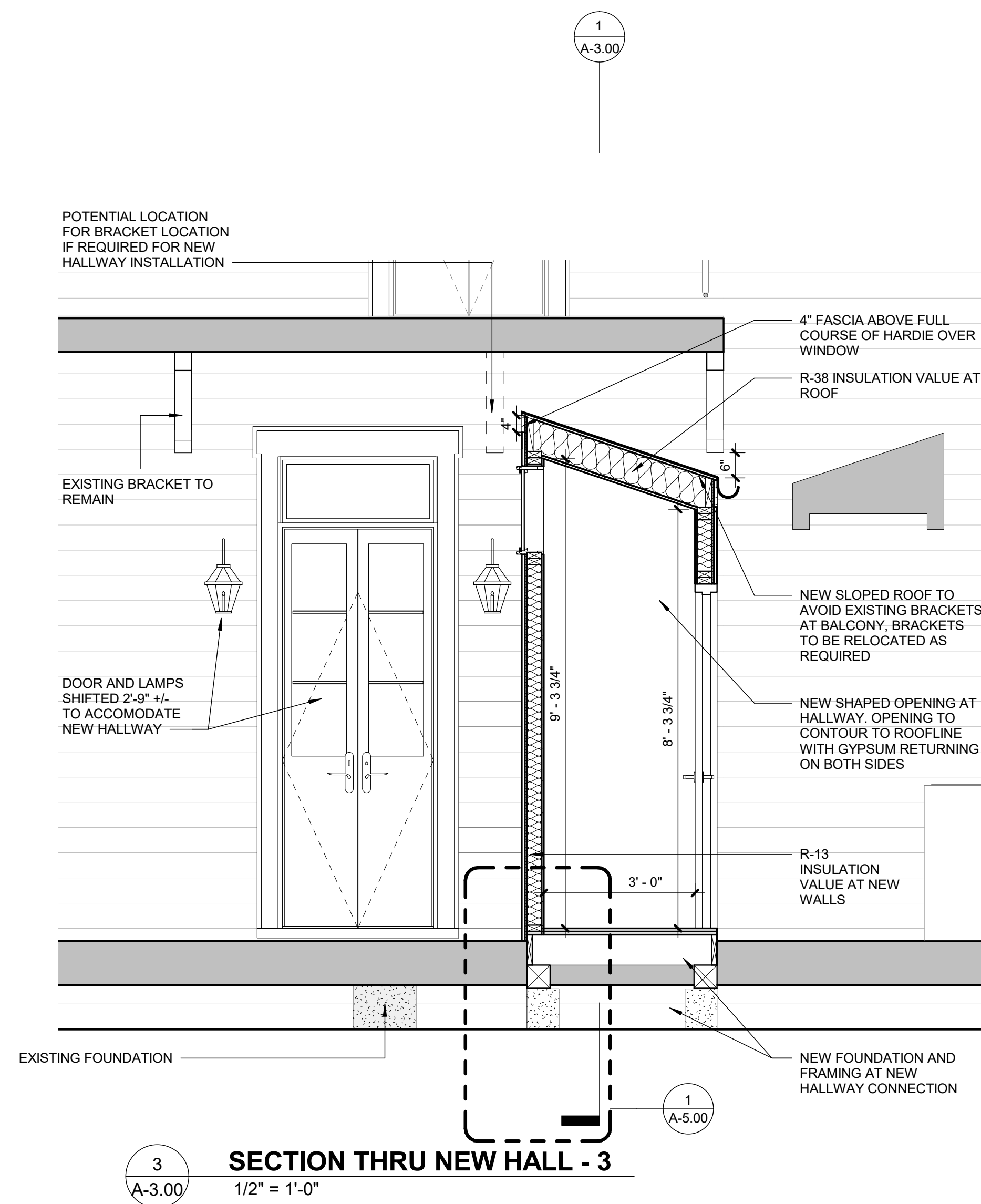
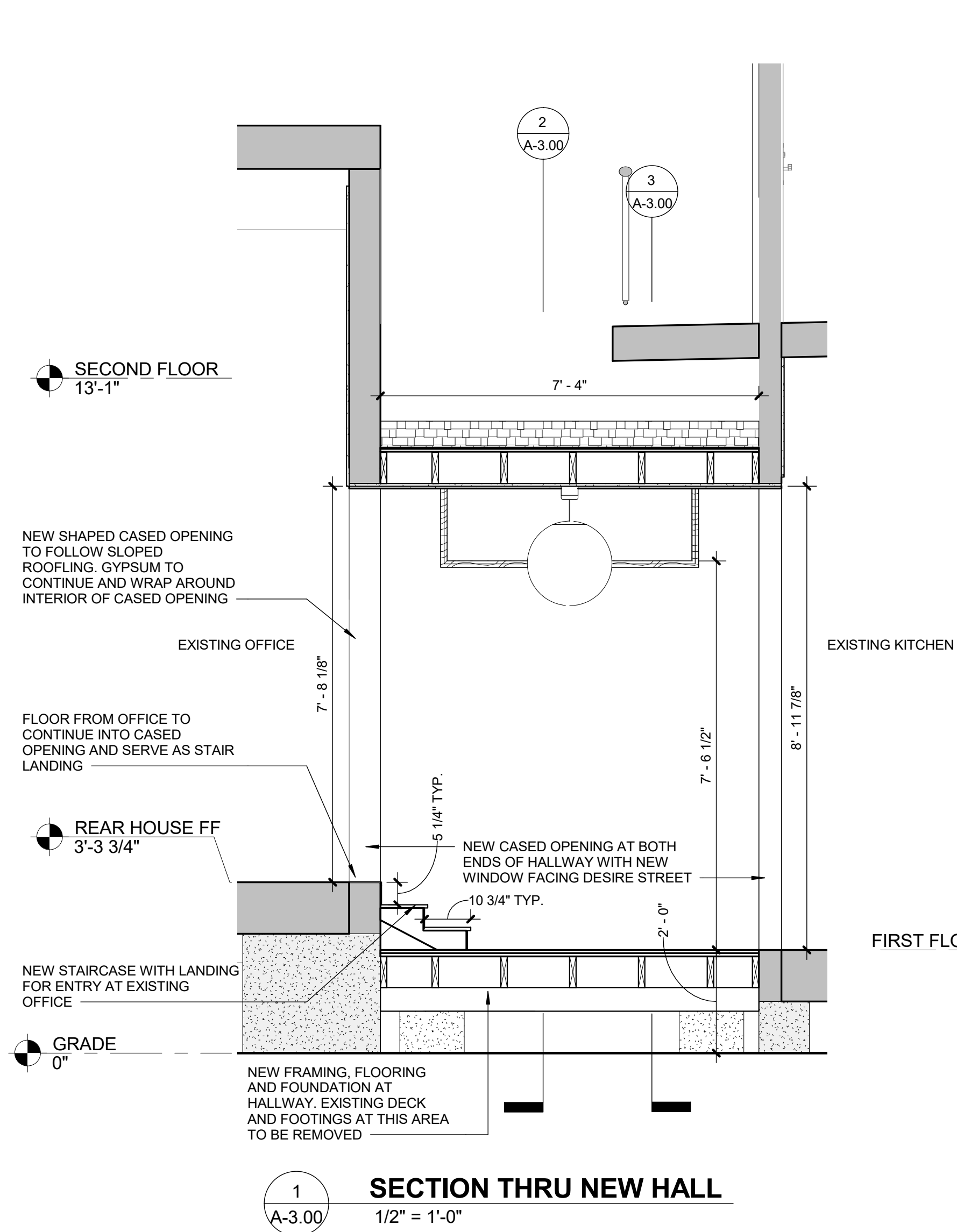
EXTERIOR
ELEVATIONS



1
A-2.01
NEW SOUTH ELEVATION
1/4" = 1'-0"



2
A-2.01
NEW WEST ELEVATION
1/4" = 1'-0"



6
A-3.00

AXON VIEW OF ADDITION



WADE RESIDENCE

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SECTIONS



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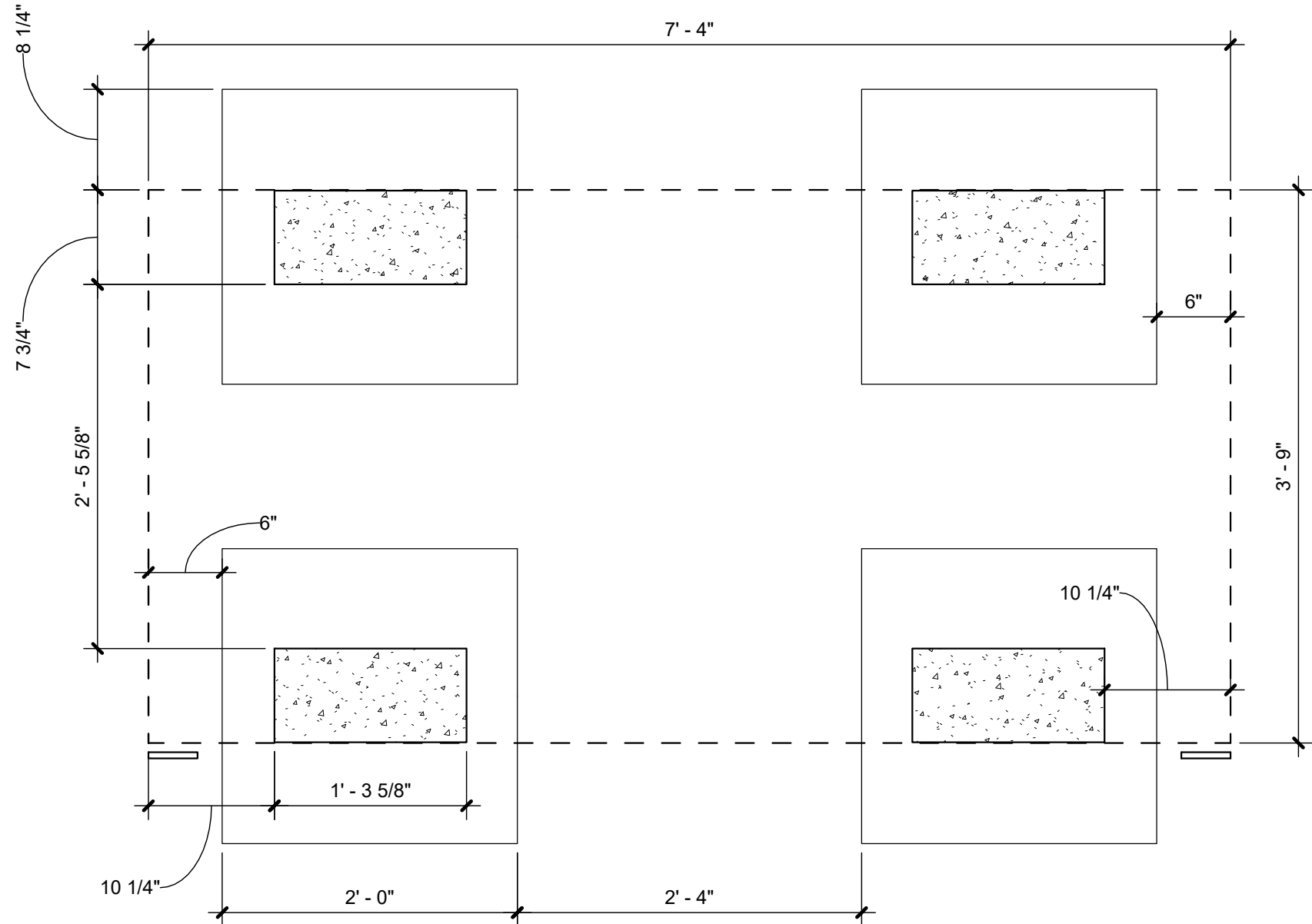
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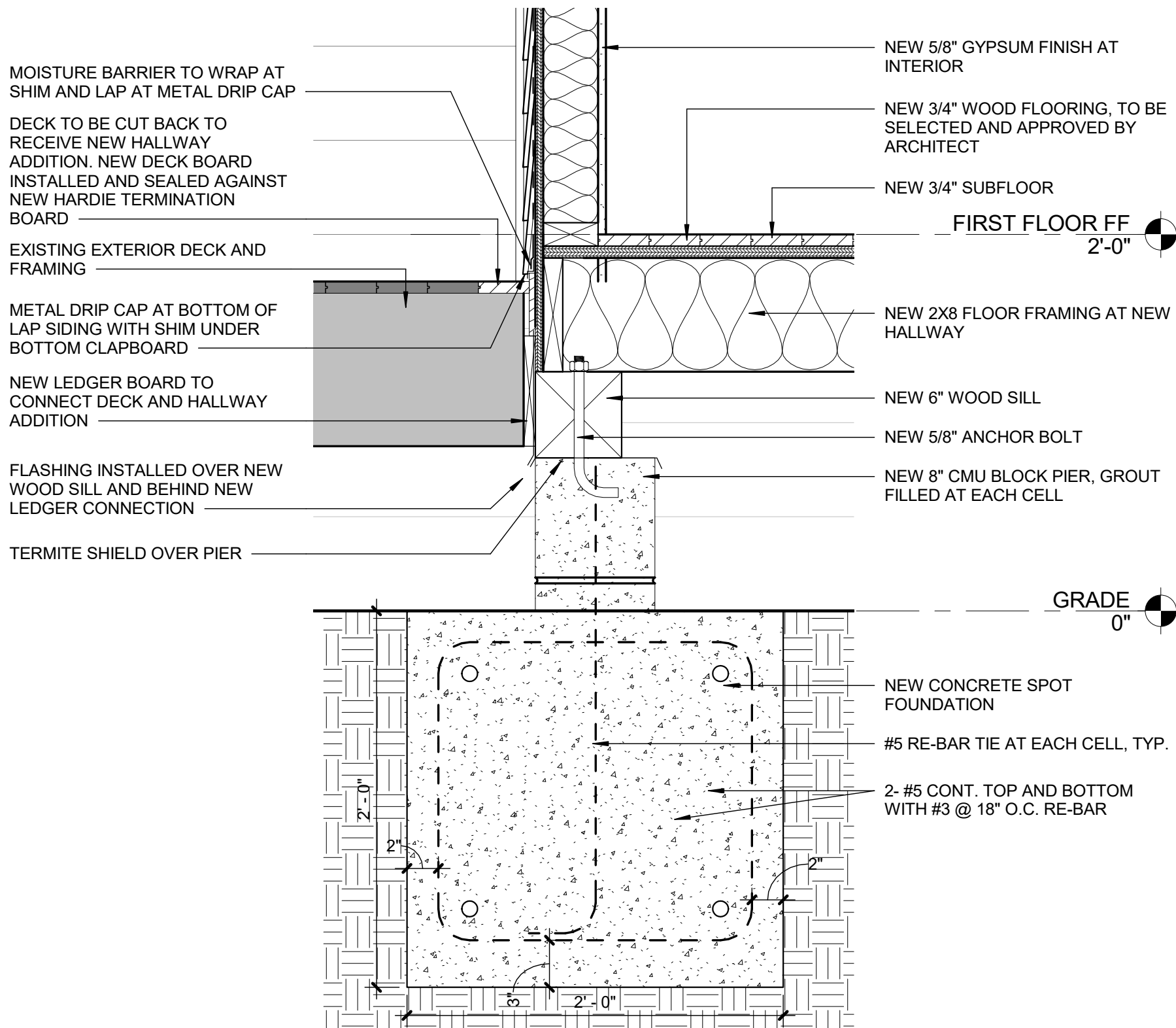
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A-5.00

EXTERIOR DETAILS

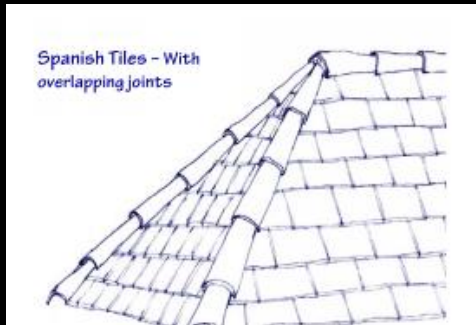


2
A-5.00
ENLARGED PLAN - FOUNDATION
1" = 1'-0"



1
A-5.00
SECTION THRU NEW FOOTING/FOUNDATION
1 1/2" = 1'-0"

By the Way, Did You Know?



Existing ridge tiles should be salvaged and reinstalled!



The HDLC does NOT approve wind turbines. The HDLC does approve Chinese Cap and Low Profile Power Vents!

Atlas

Atlas Stormmaster Shake

Black Shadow, Heathstone Grey, Pewter, Weathered Wood

Atlas Pinnacle Pristine

Pristine Black, Pristine Hearthstone, Pristine Pewter, Pristine Weathered wood

Certainteed

Certainteed – Landmark

Colonial Slate, Georgetown Grey, Max Def Georgian Grey, Max Def Maine Black, Moire Block, Weathered Wood

Certainteed Landmark IR

Colonial Slate, Cumberland, Moire Black, Weathered Wood

Certainteed Landmark Premium

Max Def Moire Black

Certainteed Landmark Pro

Max Def Colonial Slate, Max Def Georgetown, Max Def Moire

Certainteed Landmark TL

Max Def Colonial Slate, Max Def Moire Black, Max Def Old Overton

Certainteed Grand Manor

Black Pearl, Colonial Slate, Gatehouse Slate, Stonegate Grey

Certainteed Climateflex

Colonial Slate, Weathered Wood, Moire Black

BP

Everest 42

Silver Grey, Fossil Wood, Twilight Grey, Brownstone, Driftwood

Vanguard – Class IV

Twilight Grey, Shadow Black, Silver Grey



GAF

GAF – Timberline UHD
Slate, Pewter Gray, Charcoal, Weathered Wood
GAF- Timberline HDZ
Pewter Grey, Charcoal, Oyster Gray, Weathered wood
GAF – Timberline – NS
Charcoal, Weathered Wood, Slate, Pewter Grey
GAF – Timberline – AS II
Charcoal, Slate, Weathered Wood, Pewter Grey
GAF – CS
Antique Slate, Weathered Wood

IKO

Cambridge Collection
Dual Black, Dual Grey, Weathered Wood, Harvard Slate, Charcoal Grey
Cambridge Natural Cool
Dual Gray
Cambridge Cool Plus
Harvard Slate, Graphite Black
Dynasty
Castle Grey, Glacier, Granite Black

Malarkey

Legacy/Legacy Scotchguard/Highlander NEX AR/Vista AR
Midnight Black, Black Oak, Weathered Wood, Storm Grey

Owens Corning

Owens Corning – Oakridge
Driftwood, Estate Gray, Flagstone, Onyx Black, Peppermill, Twilight Black
Owens Corning –Duration
Driftwood, Estate Grey, Onyx Black, Quarry Grey
Owens Corning – Duration Flex
Estate Grey, Onyx Black, Driftwood,
Owens Corning – Berkshire Collection
Canterbury Black, Colonial, Concord, Manchester Grey

Tamko

Tamko Heritage Woodgate
Antique Wood, Weathered Wood, Black Sage
Tamko Titan
Rustic Black, Virginia Slate, Weathered Wood
Tamko Stormfighter
Weathered Wood, Rustic Black
Tamko Heritage
Antique Slate, Oxford Grey, Weathered Wood, Rustic Black, Shadow grey, Virginia Slate