

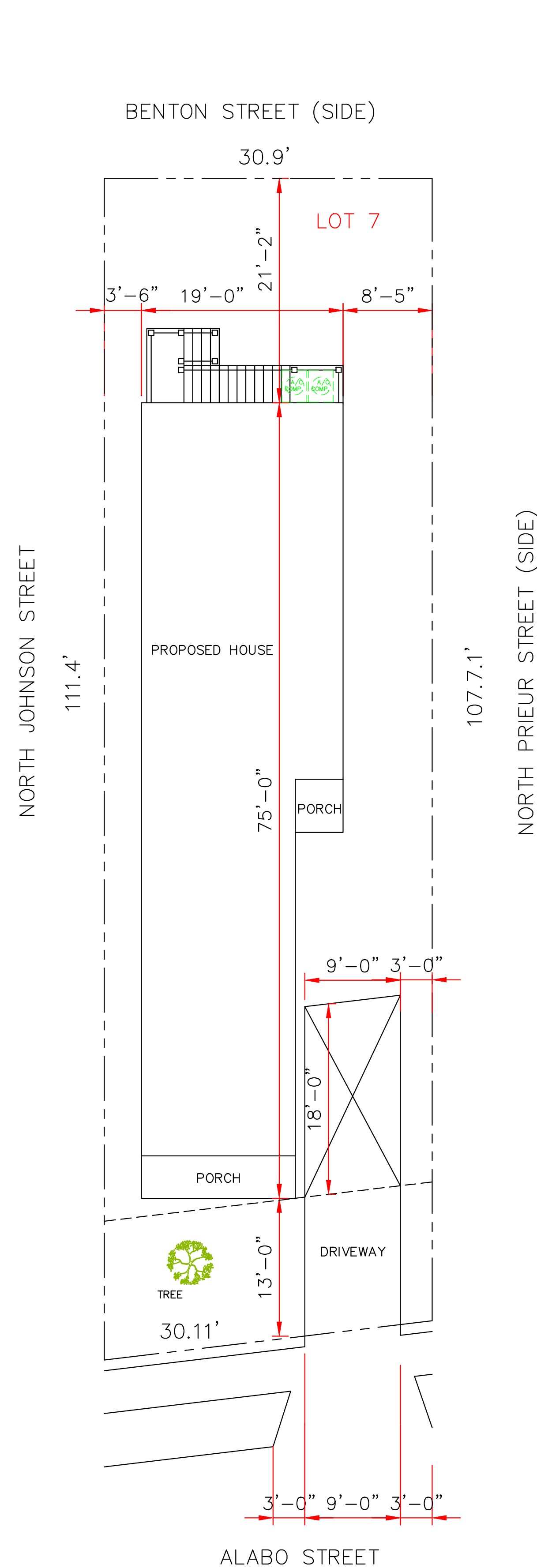
WIND BORNE DEBRIS PROTECTION

WINDOWS IN BUILDING LOCATED IN WIND BORNE DEBRIS REGIONS SHALL HAVE GLAZED OPENINGS PROTECTED FROM WIND BORNE DEBRIS. WOOD STRUCTURAL PANELS WITH A MIN. THICKNESS OF 1/2" AND A MAX. SPAN OF 8 FEET SHALL BE PERMITTED FOR OPENING PROTECTION IN ONE AND TWO STORY BUILDINGS. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED.

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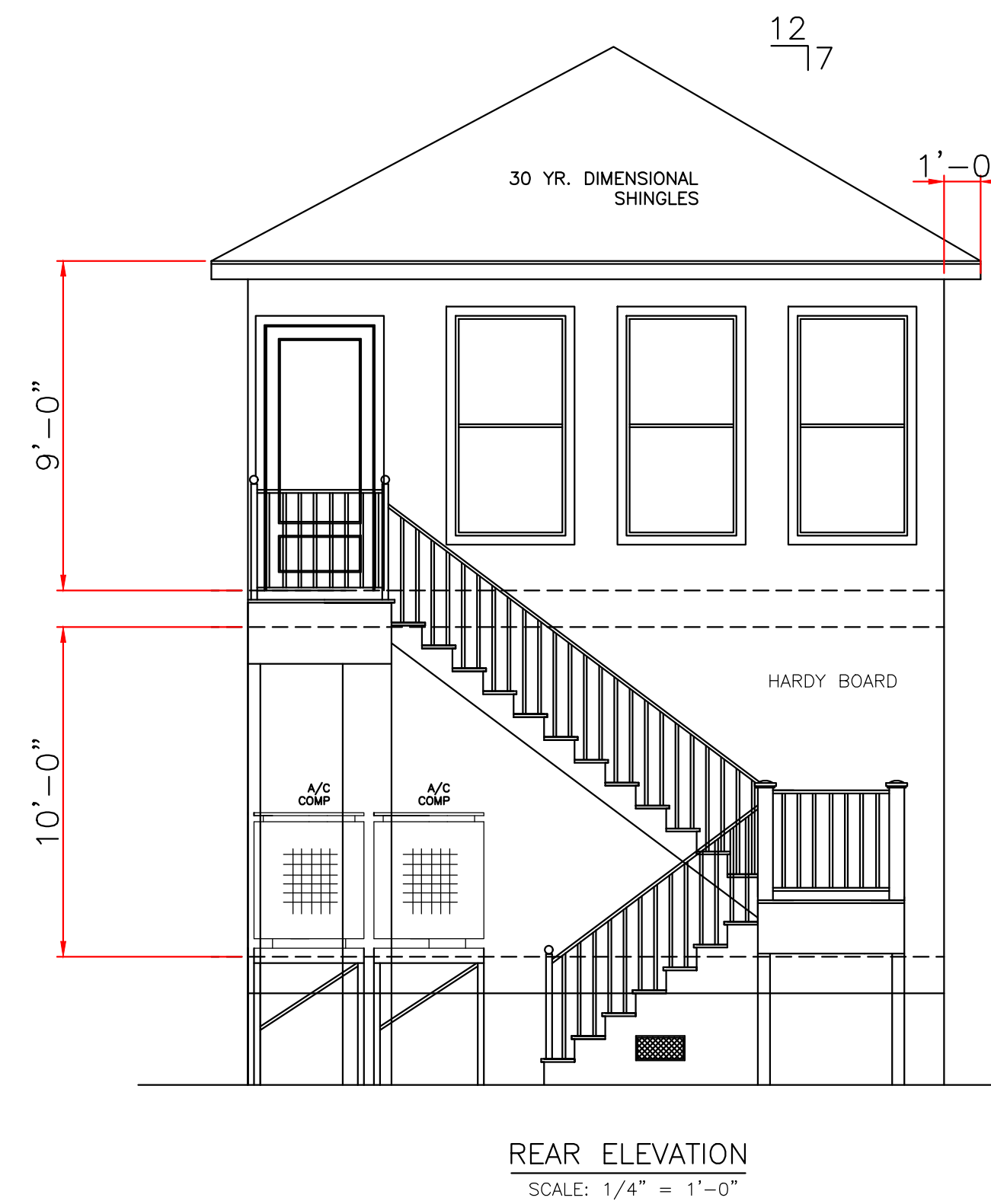
WIND SPEED 130 MPH.

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3. INTERNATIONAL CODE COUNCIL (ICC) STANDARD FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS (ICC600).

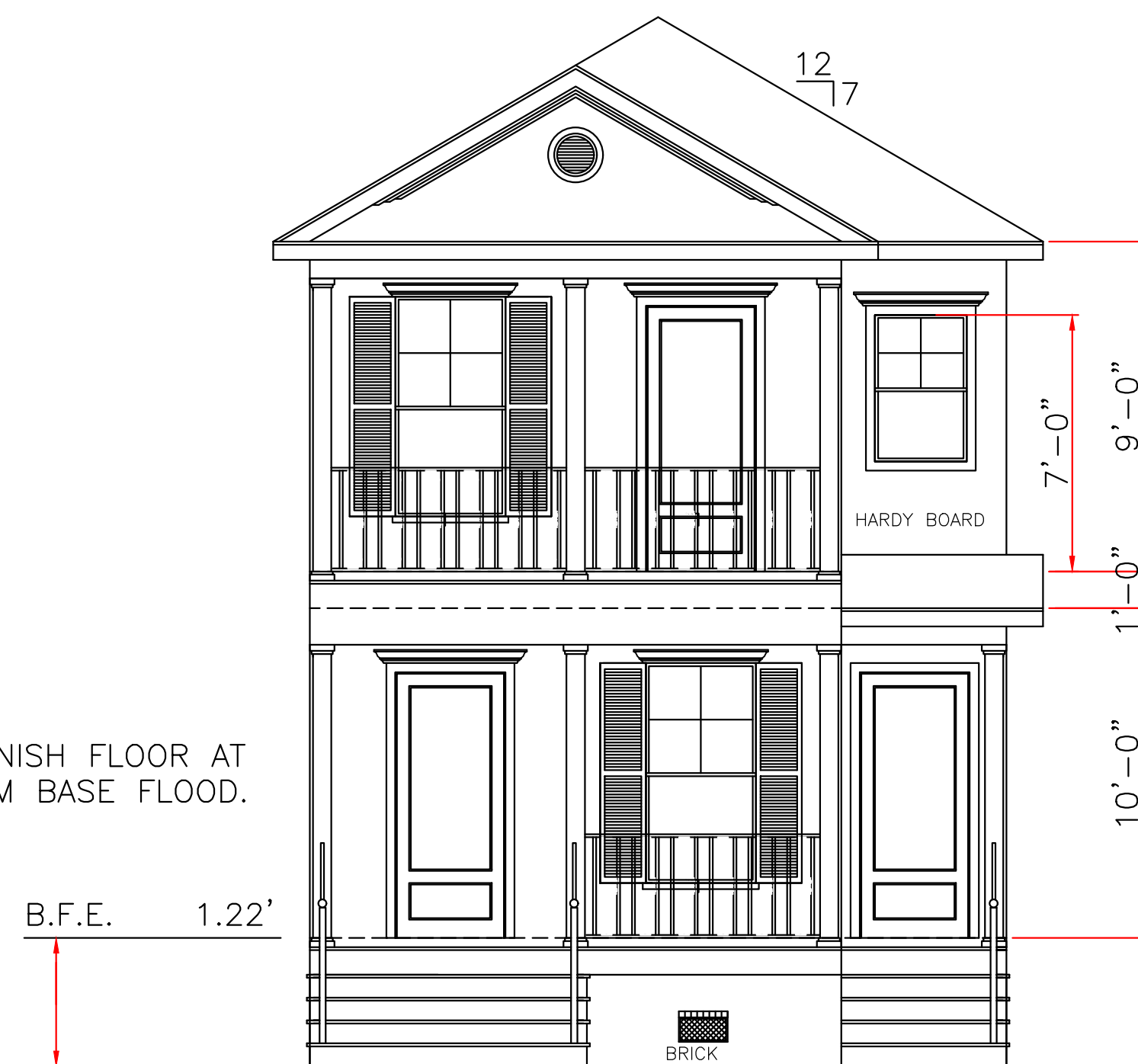


SITE PLAN
SCALE: 1/8" = 1'-0"

LOT# 7
SQ# 961
THIRD DISTRICT
ORLEANS PARISH, LA



REAR ELEVATION
SCALE: 1/4" = 1'-0"

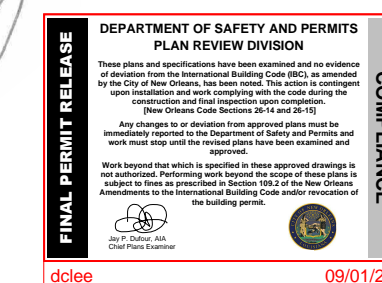


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

TOP OF FINISH FLOOR AT
OR ABOVE MINIMUM BASE FLOOD.

B.F.E. 1.22'

ALL MATERIALS BELOW
BASE FLOOD MUST
BE WATER RESISTANT



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REVISED DATE: 05/10/22

	MAILSON DASILVA ALABO STREET LOT 7 ORLEANS PARISH 504-249-0641	
	8307 LAFITTE CT. CHALMETTE, LA 70043 504-279-3508	DATE: 05/09/22 JOB NO: 7820

IN THE EVENT THAT A DIMENSIONAL DISCREPANCY IN THE DRAWINGS IS DISCOVERED BY THE GENERAL CONTRACTOR, SUBCONTRACTORS, ENGINEER, CONSULTANT, OR A SUPPLIER, SAID PARTY SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND SUSPEND ALL ASSOCIATED WORK UNTIL SUCH TIME THAT A PROPER DETERMINATION HAS BEEN MADE BY THE ARCHITECT, WITH APPROPRIATE INSTRUCTIONS FOR RESOLUTION OF THE ISSUE. FAILURE TO REPORT KNOWN DISCREPANCIES AND CONTINUING WITH THE WORK WITHOUT NOTIFYING THE ARCHITECT SHALL RESULT IN AN ASSUMPTION OF RESPONSIBILITY FOR CORRECTIVE WORK TO ACHIEVE THE INTENDED DESIGN.

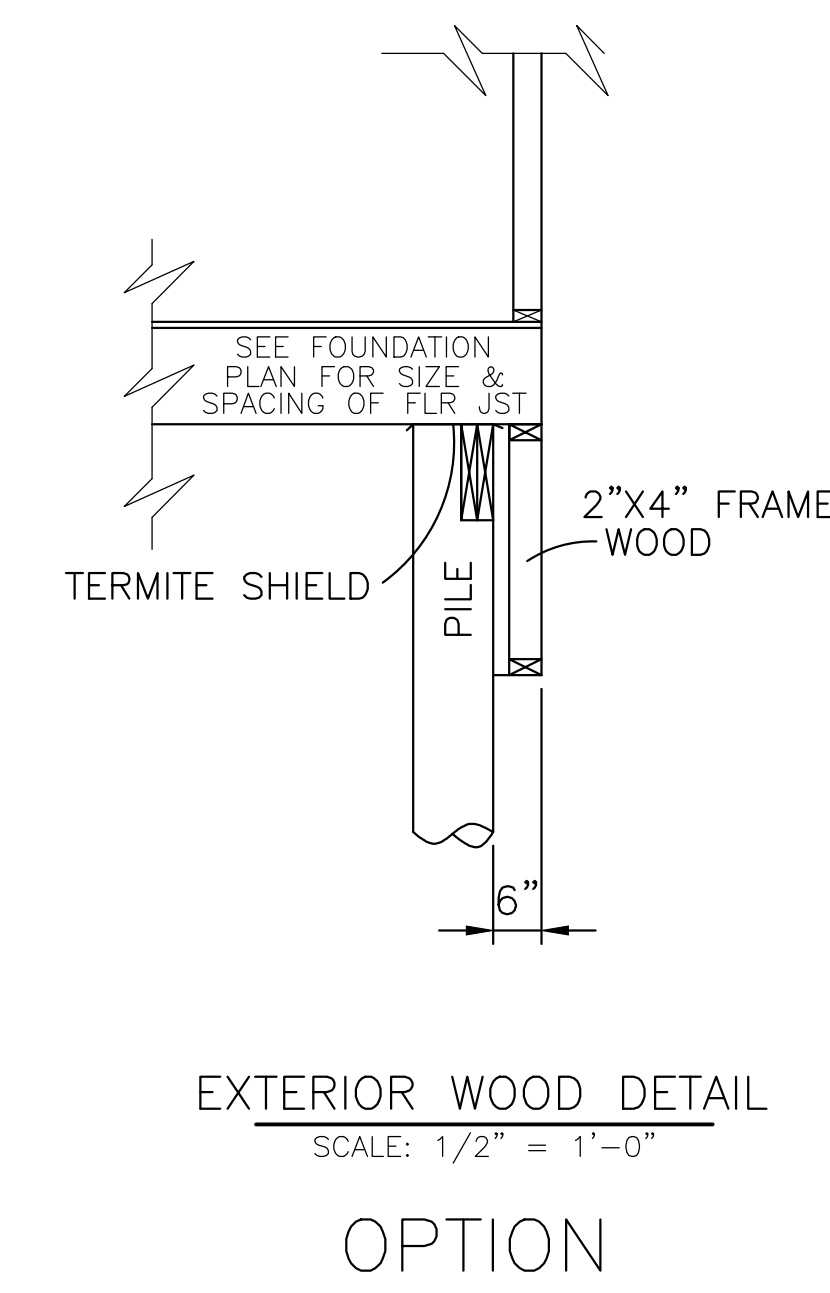
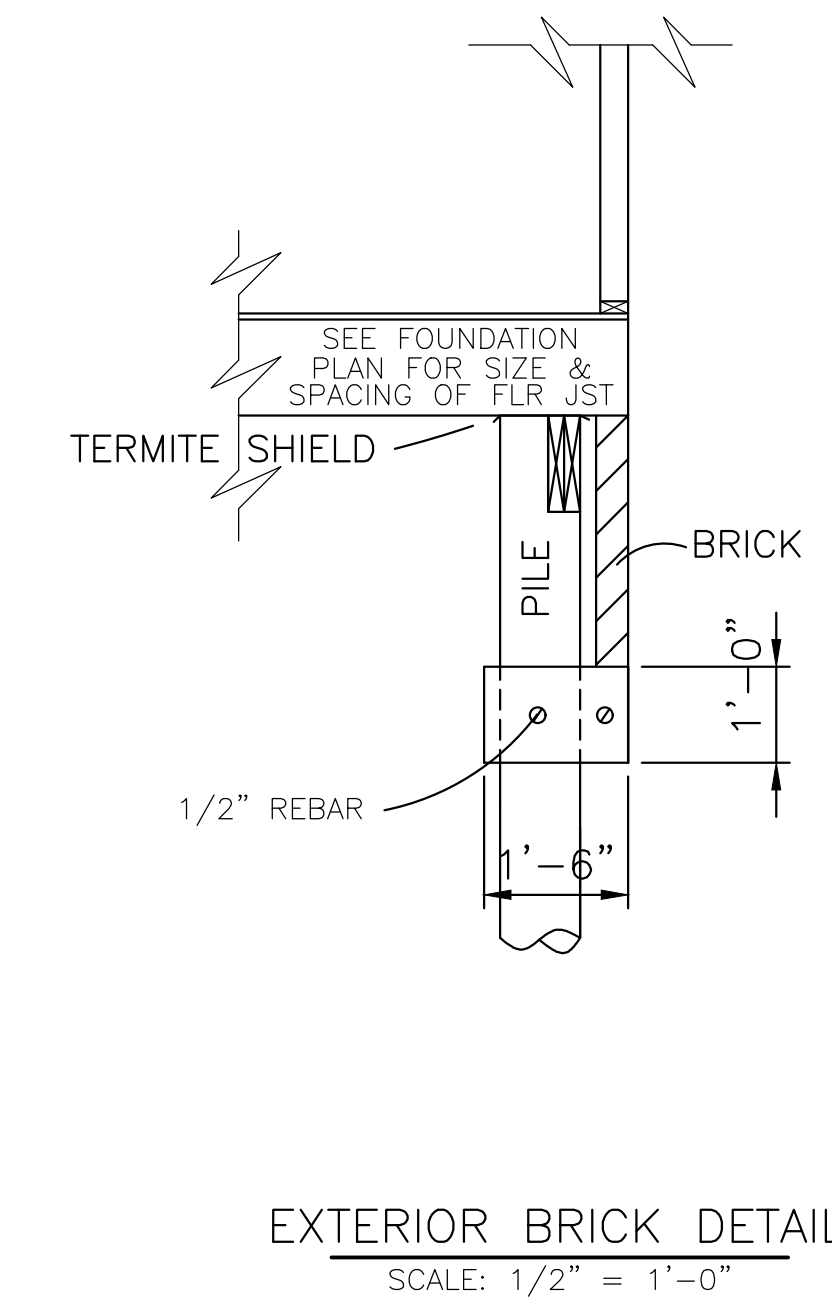
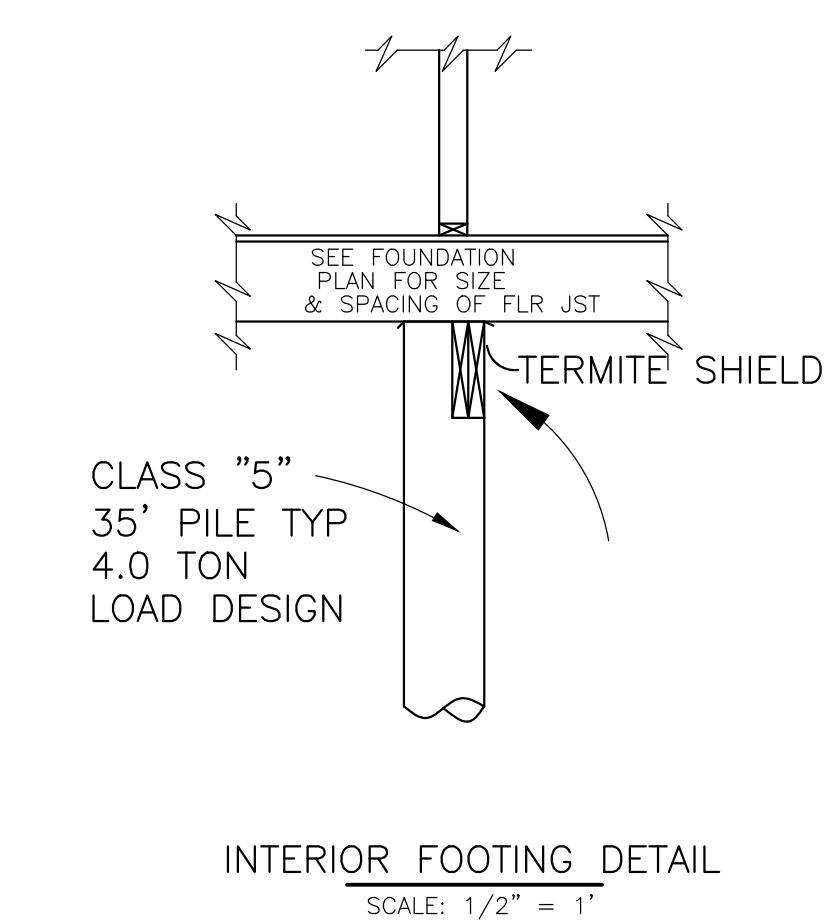
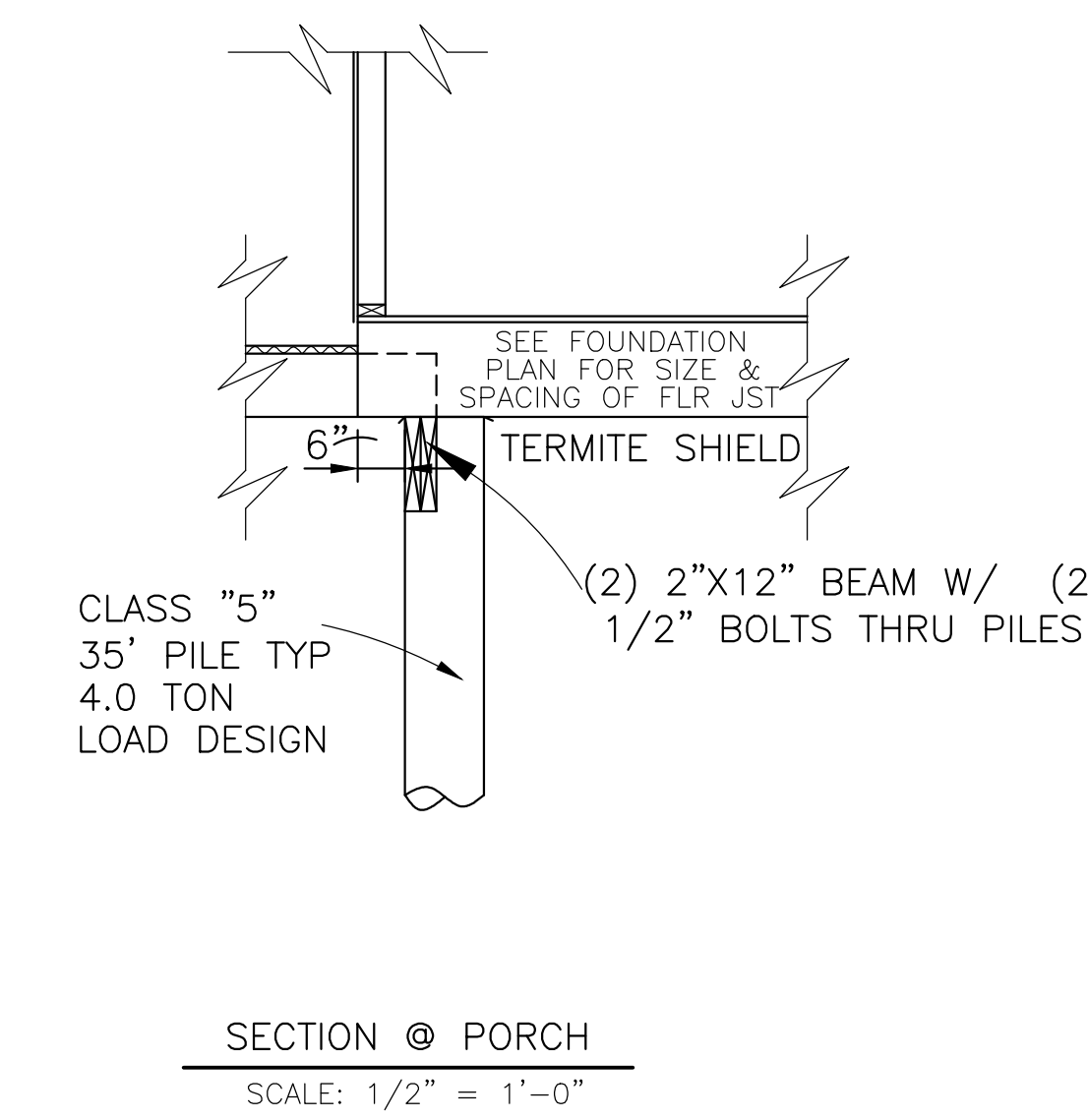
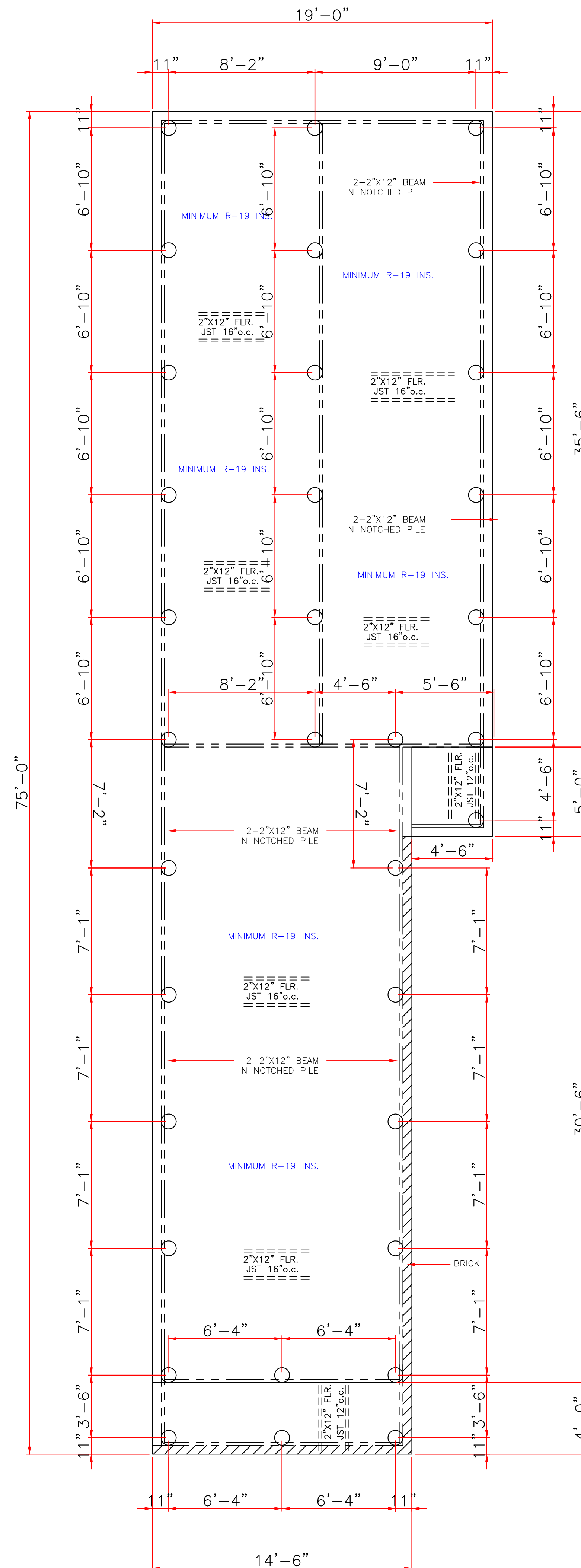
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WIND BORNE DEBRIS PROTECTION

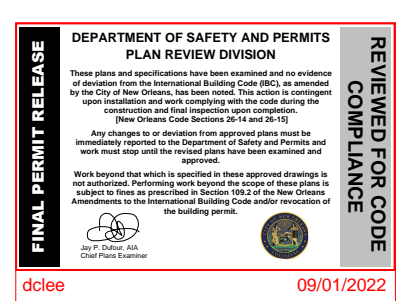
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EXTERIOR BRICK DETAIL
SCALE: 1/2" = 1'-0"

EXTERIOR WOOD DETAIL
SCALE: 1/2" = 1'-0"

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



SOIL TREATMENT, CHEMICAL TERMITICIDE OR TERMITE SHIELDS WILL BE USED FOR TERMITE PROTECTION, BUILDER VERIFY

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CLASS 5 35' PILE WITH 4.0 TON LOAD DESIGN
DRIVEN WITH STEEL DROP HAMMER OR RAPID
IMPACT HAMMER METHOD, TO REFUSAL

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<p>LARRY TRUMBATURI</p> <p>8307 LAFITTE CT. CHALMETTE, LA 70043 504-279-3508</p>	<p>MAILSON DASILVA ALABO STREET LOT 7 ORLEANS PARISH 504-249-0641</p>	DATE	SHEET NO
		05/09/22	2 OF 6

CODE COMPLIANCE:

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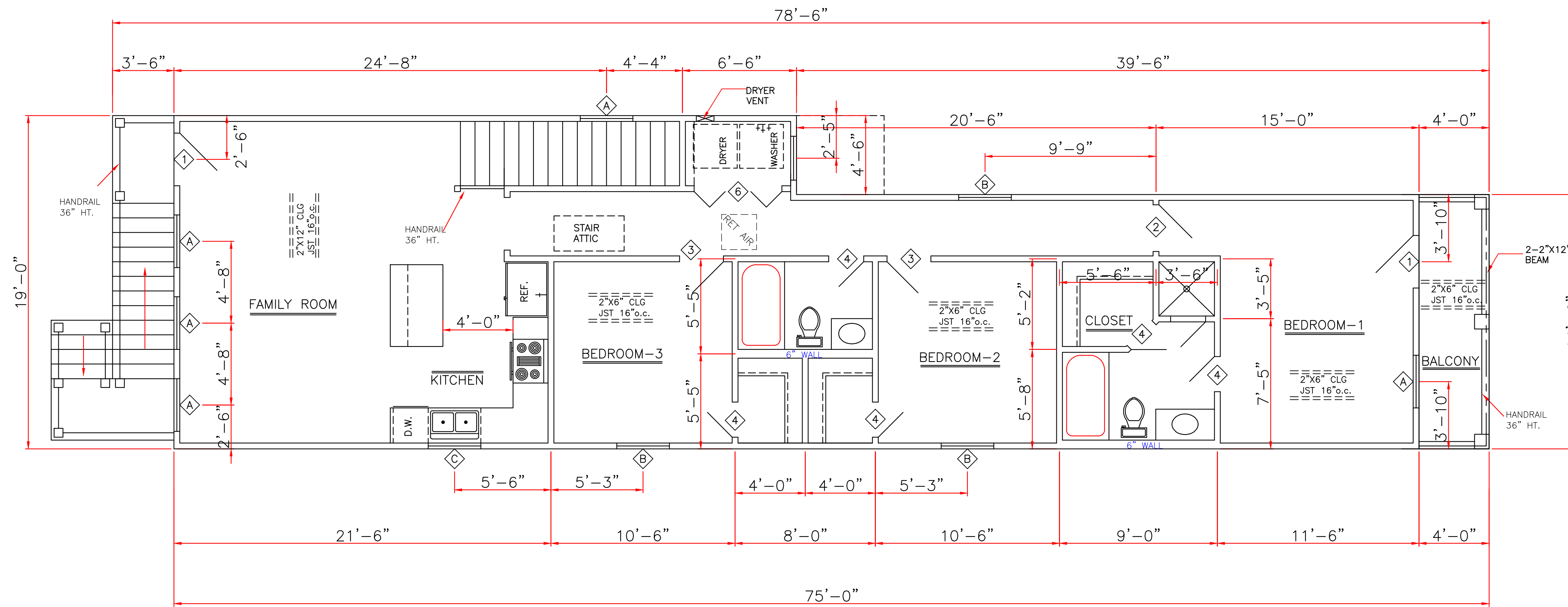
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GENERAL NOTES:

- ATTIC VENTILATION WILL BE CONTINUOUS RIDGE VENTS AND PERFORATED SOFFITS. OR EQUAL
- TERMITE SHIELDS WILL BE 26 GA GALVANIZED AT EACH PIER UNDER SILLS
- #2 PINE LUMBER WILL BE USED FOR FRAMING LUMBER
- CONTRACTOR TO REMOVE DEBRIS FROM PROPERTY
- ENCLOSED AREAS BELOW FLOOD GRADE SHALL HAVE A MINIMUM OF 1 SQ. IN. PER 1 SQ. FT. OF WATER FLOW VENTING.
- MINIMUM INSULATION REQUIRED
FLOORS- R-19
WALL- R-13
CEILING- R-38
- BUILDING MATERIAL USED BELOW DESIGN FLOOD ELEVATION MUST BE WATER RESISTANT
- WINDOWS INSTALLED IN BATHTUB ENCLOSURES LESS THAN 60" F.F.F. REQUIRE SAFETY GLAZING AND WINDOWS WITHIN 2' OF DOORS AND WITHIN 5' OF STAIRS
- FLOOD VENTS WHERE APPLICABLE SHALL BE 1'-0" OR LESS ABOVE GRADE.
- WINDOWS WHERE BOTTOM EDGE IS LESS THAN 18" REQUIRES SAFETY FIREBLOCKING IS REQUIRED BETWEEN STORIES & AT THE TOP STORY & ROOF SPACE. BLOCKING IS REQUIRED IN CONCEALED SPACES IF STUD WALLS & PARTITIONS, INCLUDING FURRED SPACES & PARALLEL ROWS OF STUDS, OR STAGGERED STUDS, VERTICALLY AT THE CEILING & FLOOR LEVELS. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'. BLOCKING REQUIRED IN CONCEALED SPACES BETWEEN STAIRS STRINGERS AT THE TOP & BOTTOM OF THE RUN. ALSO REQUIRED AROUND VENTS, PIPES, & DUCTS AT CEILING & FLOOR LEVEL, W/ AN APPROVED MATERIAL. PENETRATIONS OF THE FIREBLOCKING SHALL BE PACKED W/ ACCEPTANCE FIREBLOCKING MATERIALS. IRC R602.8



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WINDOWS		
A	3'0"x6'0"	VINYL S.H. 1/1 LTS
B	3'0"x5'2"	VINYL S.H. 1/1 LTS
C	3'0"x3'0"	VINYL S.H. 1/1 LTS
D	4'0"x2'0"	FIXED W/ SAFETY GLAZING (SECT. R308 IRC)
E	2'6"x4'0"	VINYL S.H. 4/2 LTS

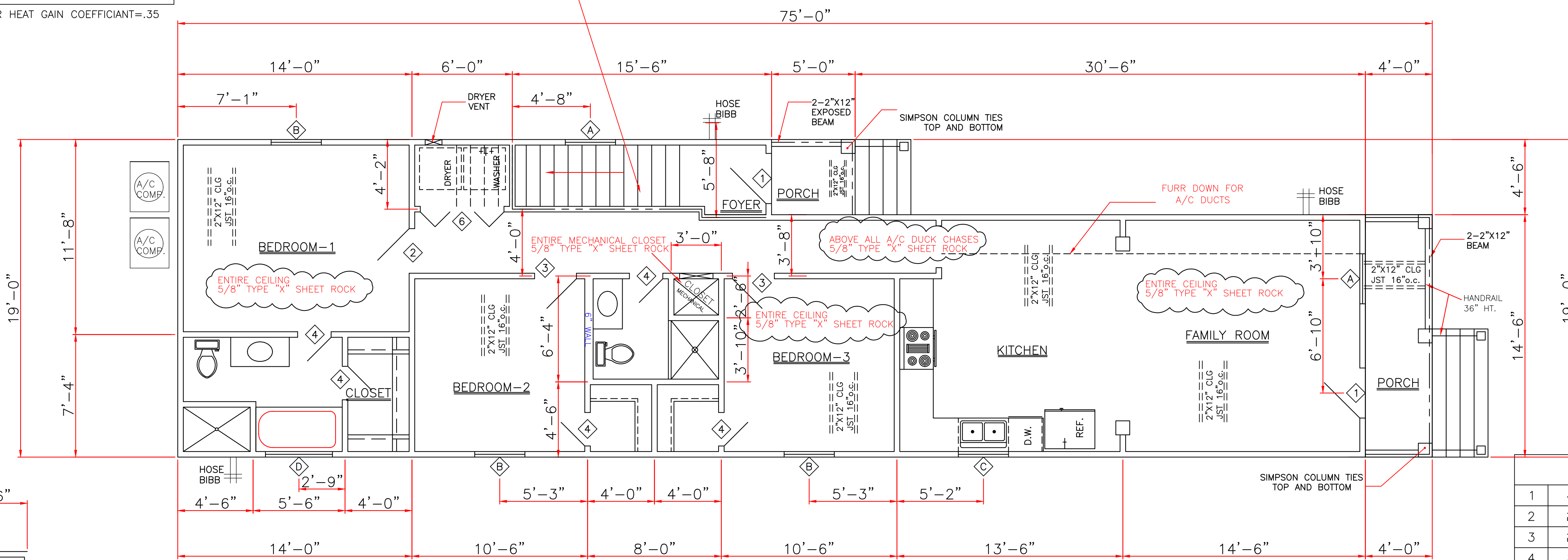
UNIT SEPARATION WALL TO BE 2"x4" STUDS, STAGGERED AT 16" O.C. ON EACH SIDE OF 2"x6" PLATES W/ 5/8" FIRE RATED GYPSUM BOARD W/ FIBERGLASS BATTS OR SPRAYED CELLULOSE INSULATION. UL DESIGN NO. U340. FIRE RATING BE TIGHT AGAINST THE EXTERIOR WALLS & SHALL EXTEND FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING. IN ACCORDANCE W/ SECTION R3023, IRC 2015.

ALL PENETRATIONS OF THE UNIT SEPARATION WALL SHALL BE PROTECTED IN ACCORDANCE W/ SECTION R3024, IRC 2015.

ENERGY PERFORMANCE RATING: U-FACTOR=.55; SOLAR HEAT GAIN COEFFICIENT=.35

NOTE:

FURR DOWN KITCHEN AND FAMILY ROOM HALL FOR A/C DUCTS

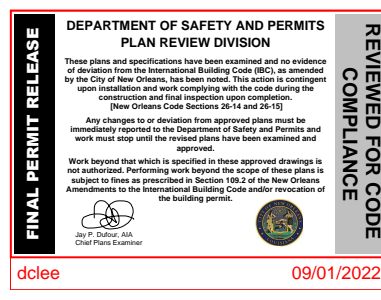


FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE	
1ST LIVING	1189
2ND LIVING	1189
PORCH	58
BALCONY	58
TOTAL	2494

DOORS		
1	3'0"x6'8"x1 3/4"	EXT. INSUL.
2	2'8"x6'8"x1 3/8"	INTERIOR RAISED PANEL
3	2'6"x6'8"x1 3/8"	INTERIOR RAISED PANEL
4	2'0"x6'8"x1 3/8"	INTERIOR RAISED PANEL
5	1'0"x6'8"x1 3/8"	INTERIOR RAISED PANEL
6	2-3'0"x6'8"x1 3/8"	BI-FOLD RAISED PANEL

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8307 LAFITTE CT. CHALMETTE, LA 70043
504-279-3508 | JOB NO 7820

MAILSON DASILVA
ALABO STREET
LOT 7
ORLEANS PARISH
504-249-0641

DATE: 05/09/22
SHEET NO: 3 OF 6

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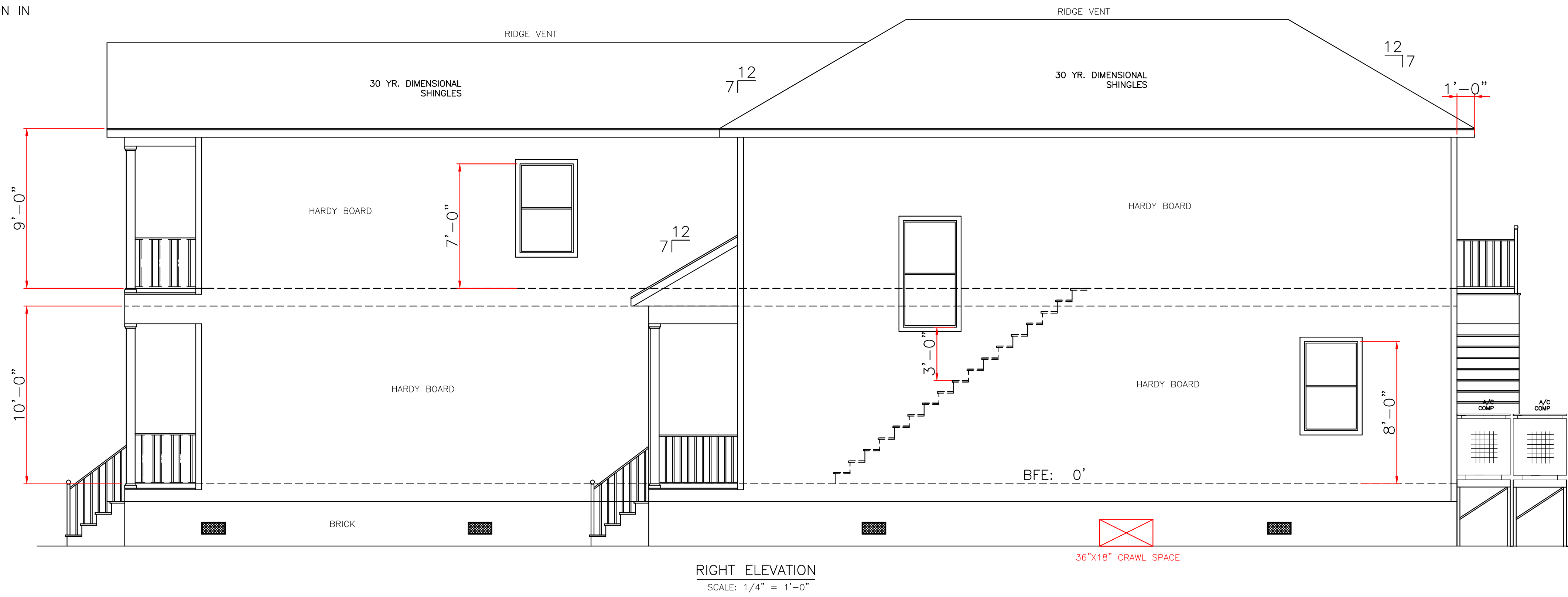
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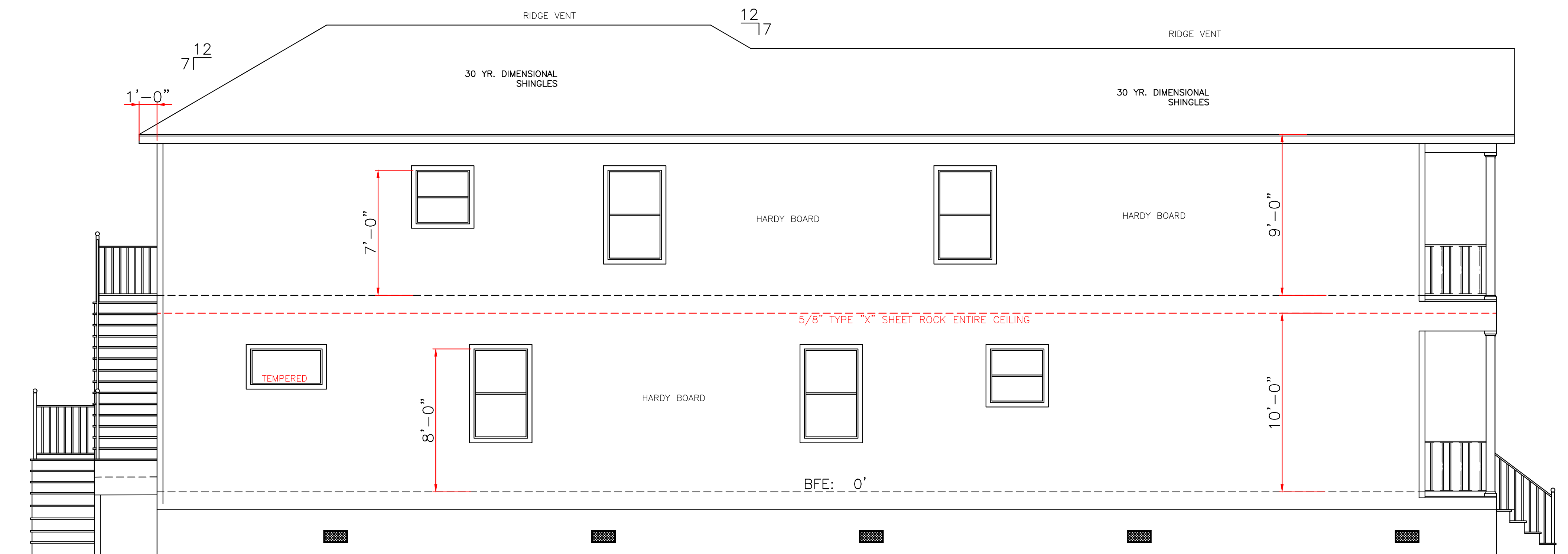
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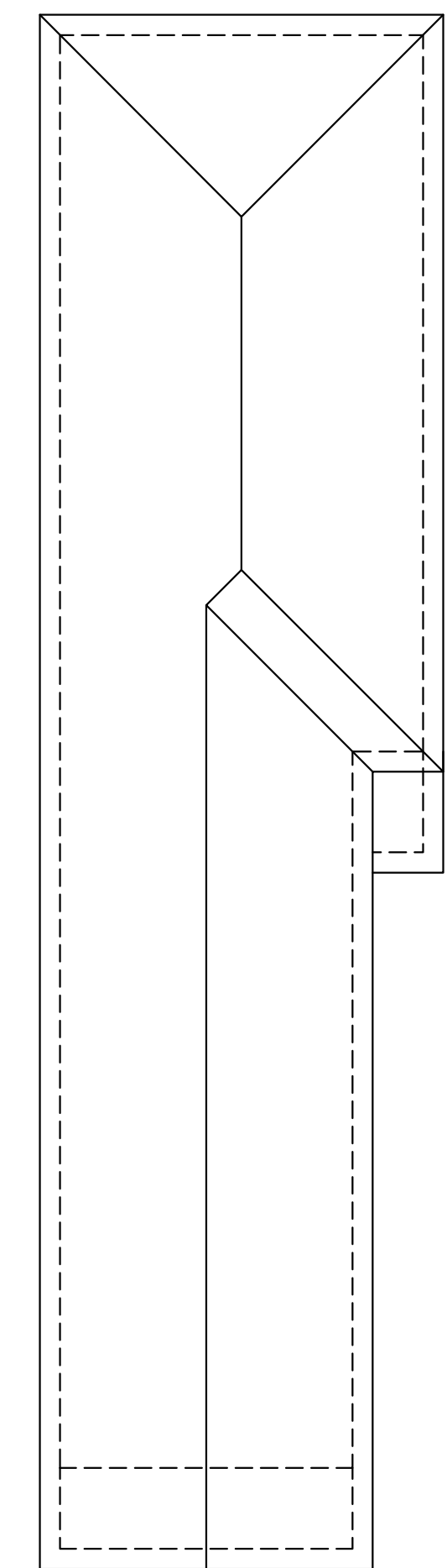
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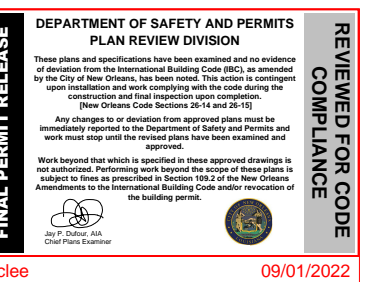
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"



ALL MATERIALS BELOW BASE FLOOD MUST BE WATER RESISTANT

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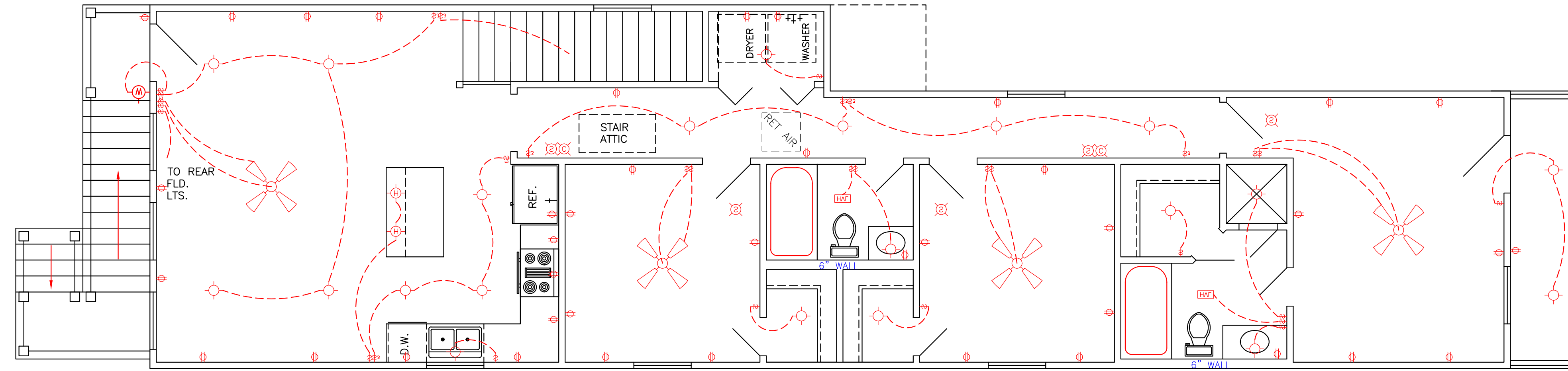
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ELECTRICAL NOTES

1. AFCI PROTECTION SHALL BE PROVIDED FOR DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, HALLWAYS, CLOSETS, BEDROOMS, ETC.
2. SMOKE DETECTORS: (A) SHALL BE INSTALLED IN EACH SLEEPING ROOM. (B) SHALL BE INSTALLED OUTSIDE, IN THE VICINITY OF EACH SLEEPING ROOM. (C) SHALL BE 120 VOLT, HARDWIRED, INTERCONNECTED, WITH A BATTERY BACKUP. (D) SHALL NOT BE INSTALLED WITHIN 36 INCHES OF A RETURN AIR GRILLE OR ANY PADDLE FAN BLADE.
3. KITCHEN: (A) ALL RECEPTACLES OVER COUNTERTOP SHALL BE GFI PROTECTED REGARDLESS OF DISTANCE FROM THE SINK. (B) THE DISHWASHER SHALL BE CONNECTED BY MEANS OF AN APPLIANCE CORD TO A RECEPTACLE UNDER THE SINK. THE RECEPTACLE WILL NOT BE GFI PROTECTED.
4. BATHROOMS: (A) ALL RECEPTACLES SHALL BE GFI PROTECTED. (B) LIGHTS OVER BATHTUBS SHALL HAVE COVERS THAT ARE LISTED FOR "DAMP LOCATION" (C) LIGHTS OVER SHOWERS SHALL HAVE COVERS LISTED FOR "WET LOCATION."
5. EXTERIOR RECEPTACLES SHALL ALL BE GFI PROTECTED AND SHALL HAVE WEATHERPROOF COVERS.
6. A RECEPTACLE (NOT SHOWN ON THE PLAN) WILL BE INSTALLED ON THE EXTERIOR WALL WITHIN 25 FEET OF THE AIR CONDITIONING EQUIPMENT.

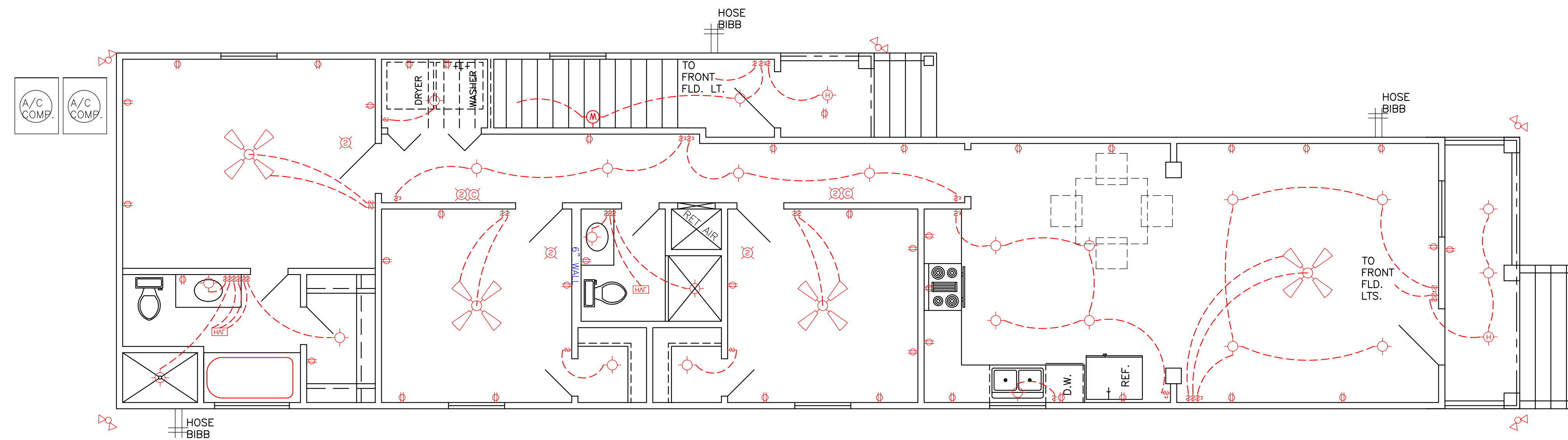
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SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

LEGEND	
	CEILING FAN
	RECESSED LIGHTS
	WALL SWITCH 15A., 120V., SINGLE POLE SINGLE THROW, MOUNT AT 60" AFF
	3 WAY WALL SWITCH 15A., 120V. MOUNT AT 60" AFF
	CEILING LIGHT INCANDESCENT, 2-60 WATT
	VENT/LIGHT FIXTURE
	CARBON MONOXIDE DETECTOR
	110 VOLT WATER PROOF OUTLET
	FLOOD LIGHTS
	110 VOLT SMOKE DETECTOR
	110 VOLT OUTLET
	HANGING LIGHT FIXTURE



PROVIDE POWER VENTILATION

FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

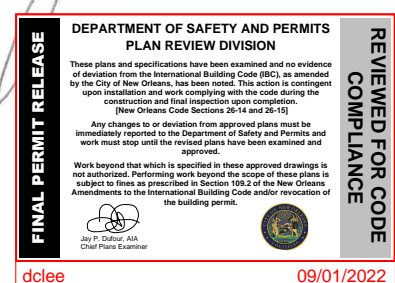
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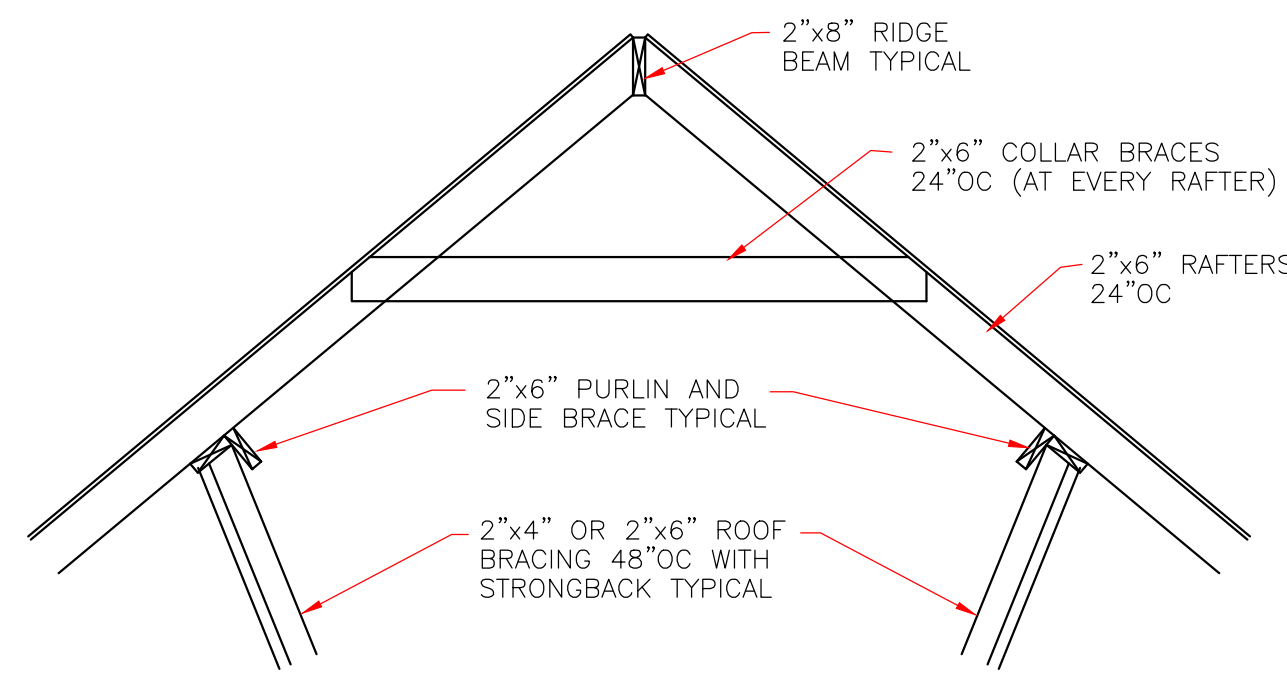
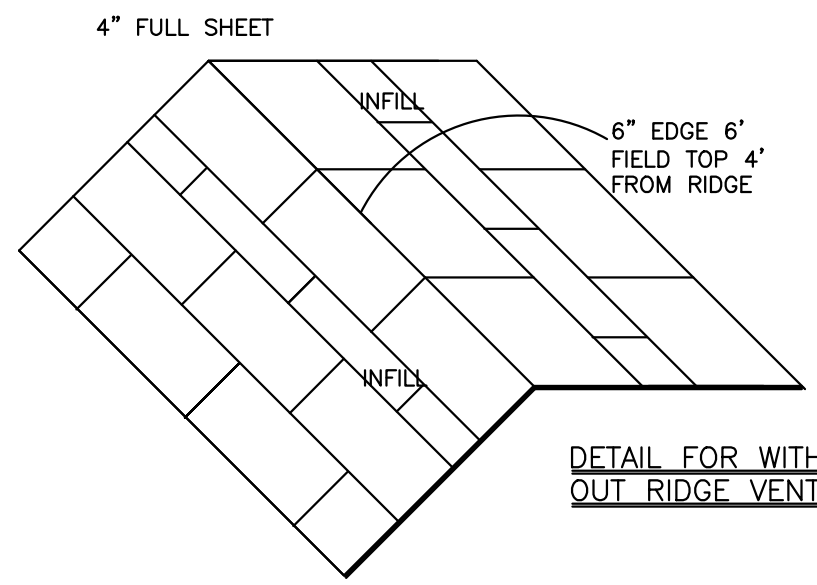
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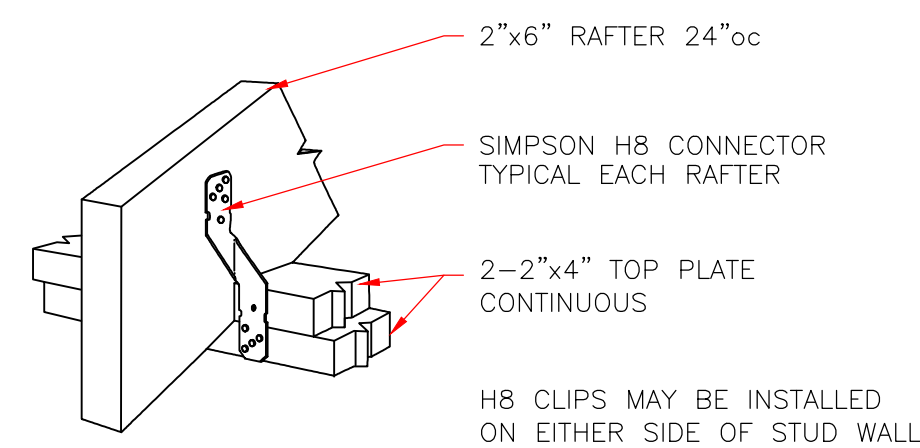
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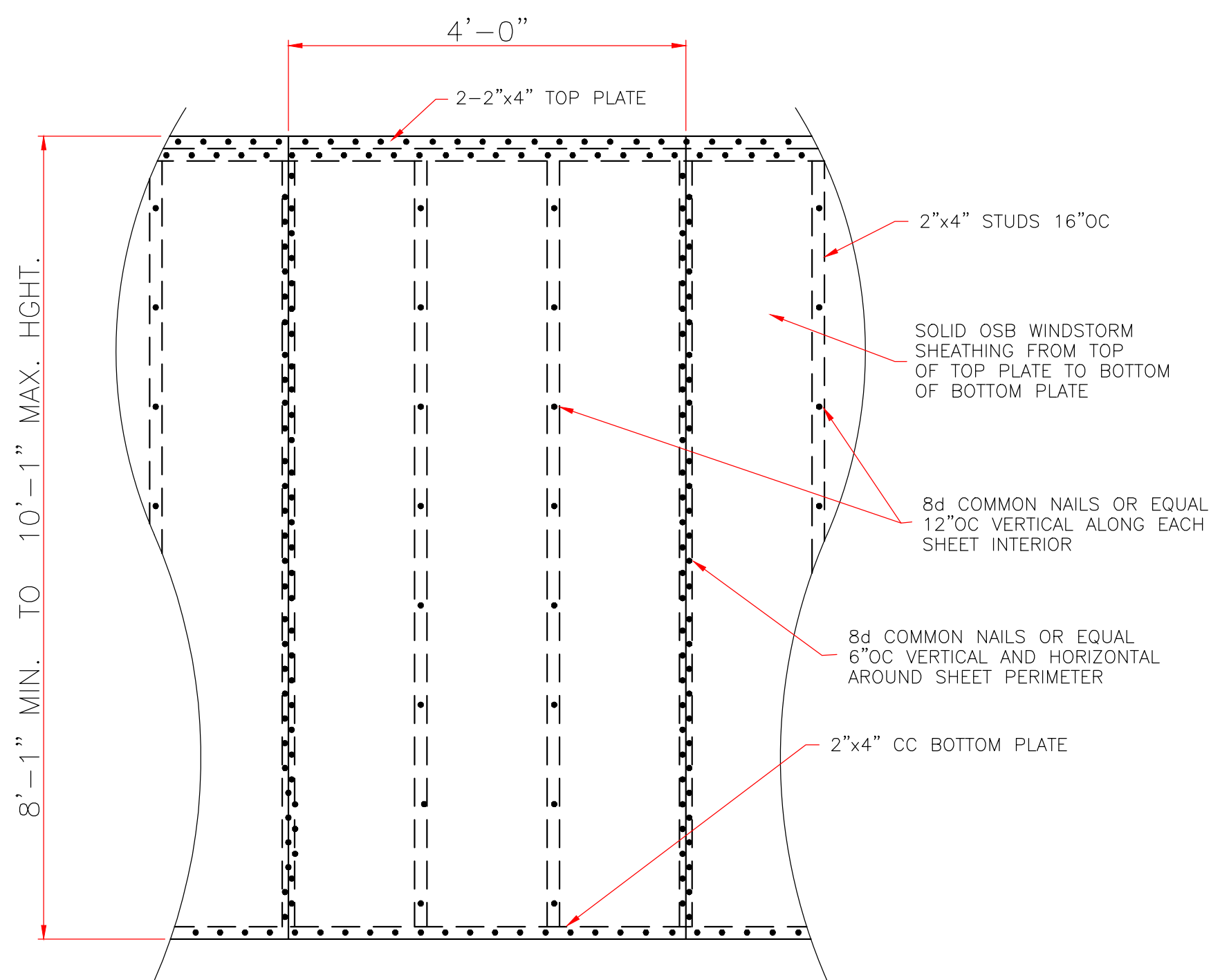
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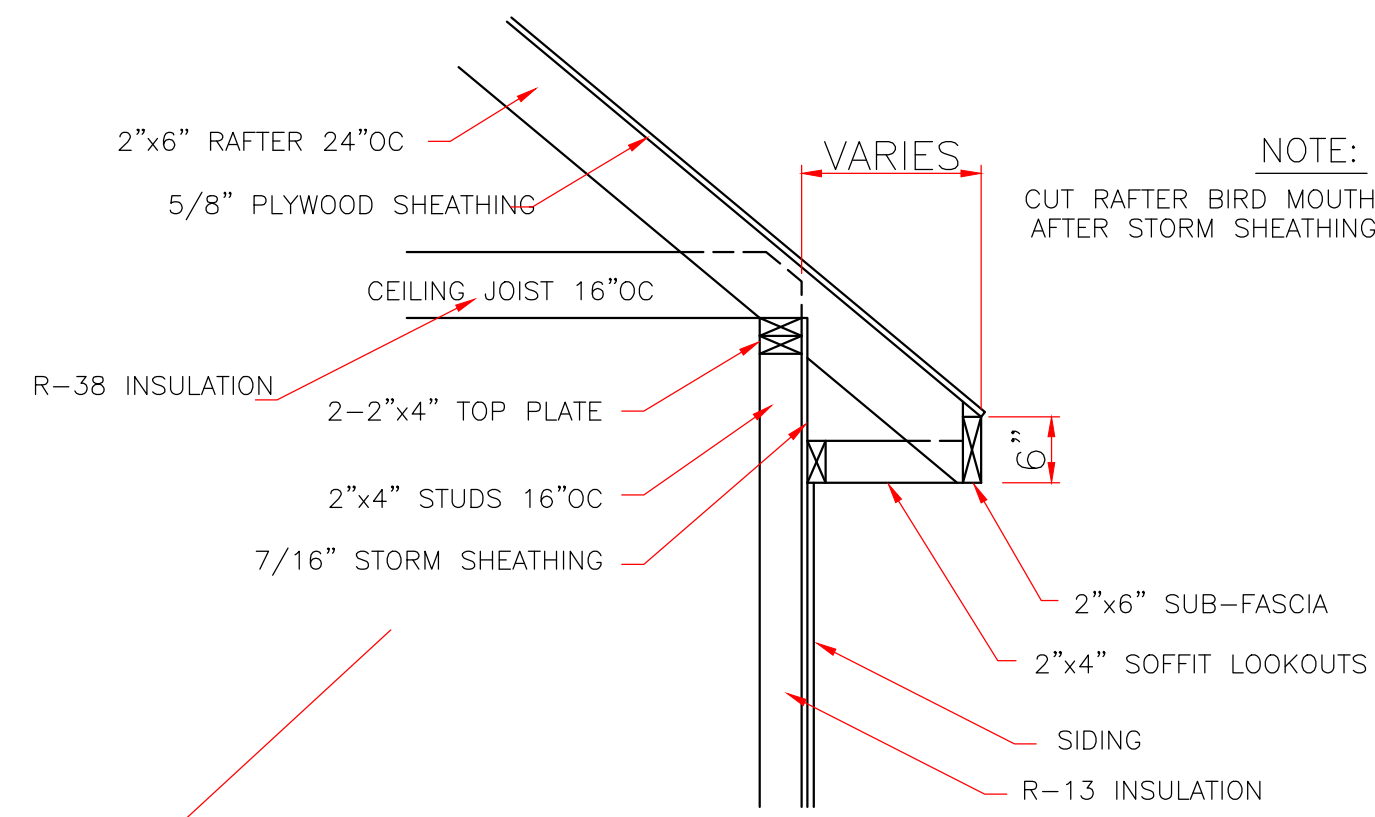
TYPICAL ROOF BRACING DETAIL
NOT TO SCALE



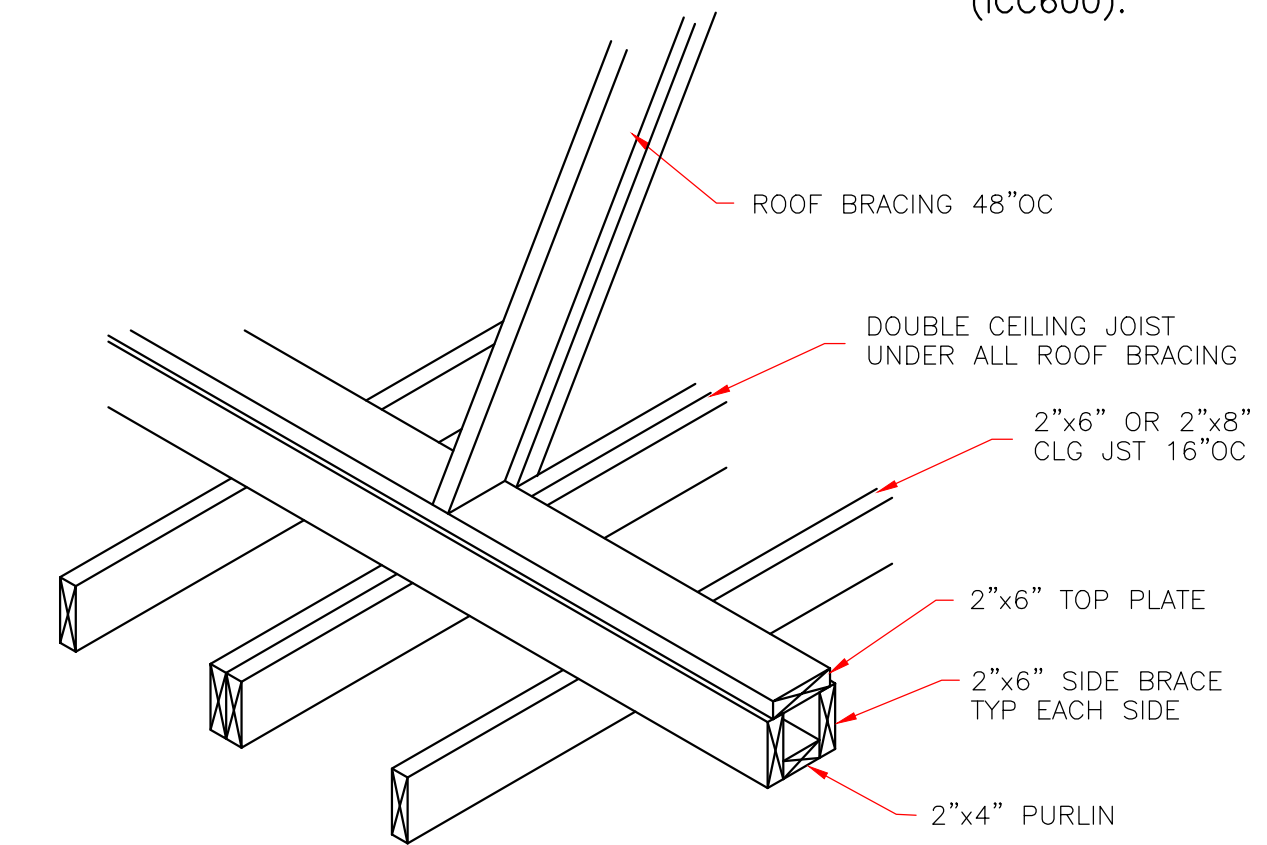
RAFTER TO TOP PLATES
NOT TO SCALE



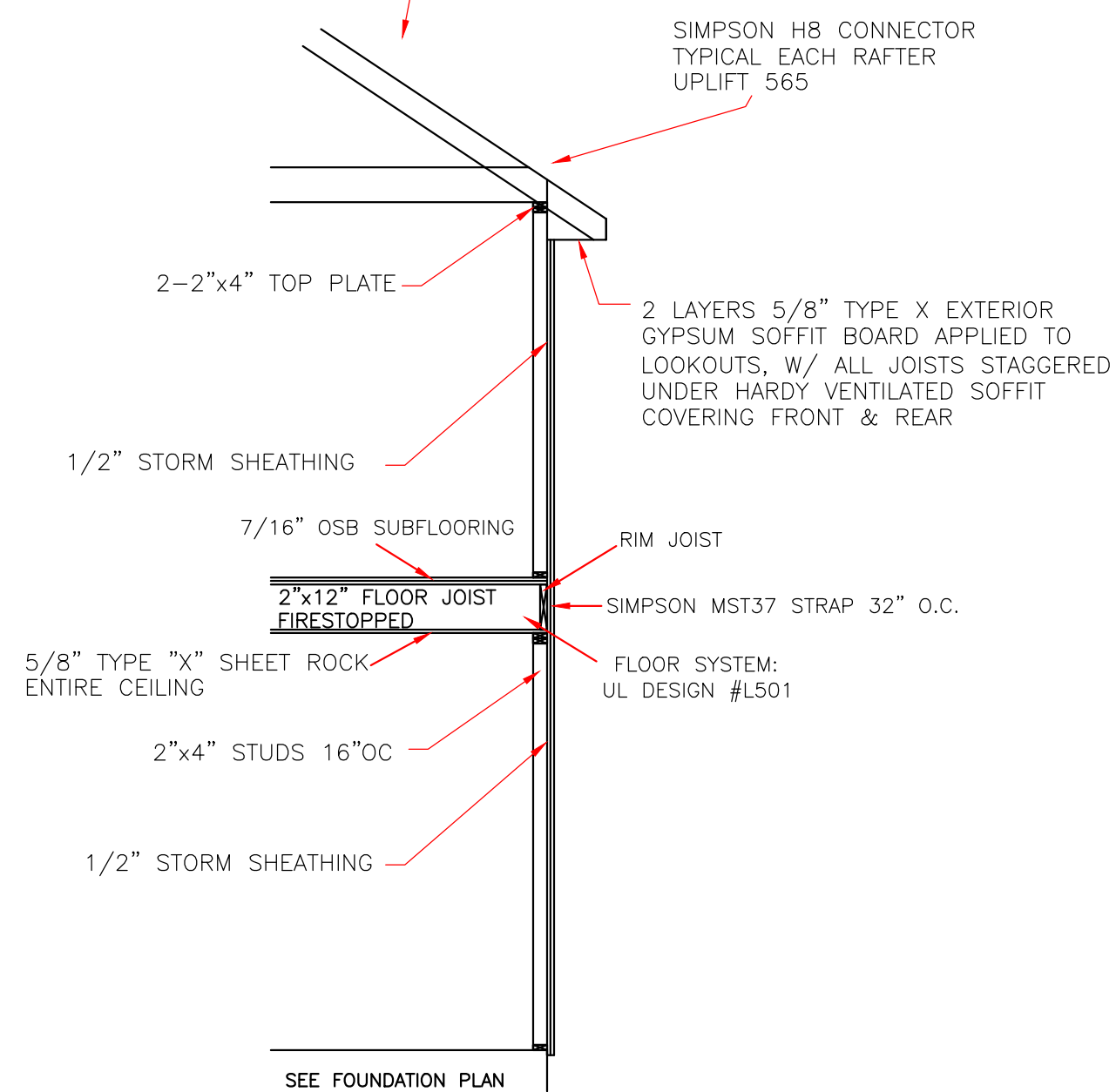
7/16" STORM SHEATHING
TYPICAL ALL EXTERIOR WALLS
SCALE: 3/4" = 1'-0"



ROOF SOFFIT DETAIL
SCALE: 3/4" = 1'-0"
WITH FRAME CONSTRUCTION

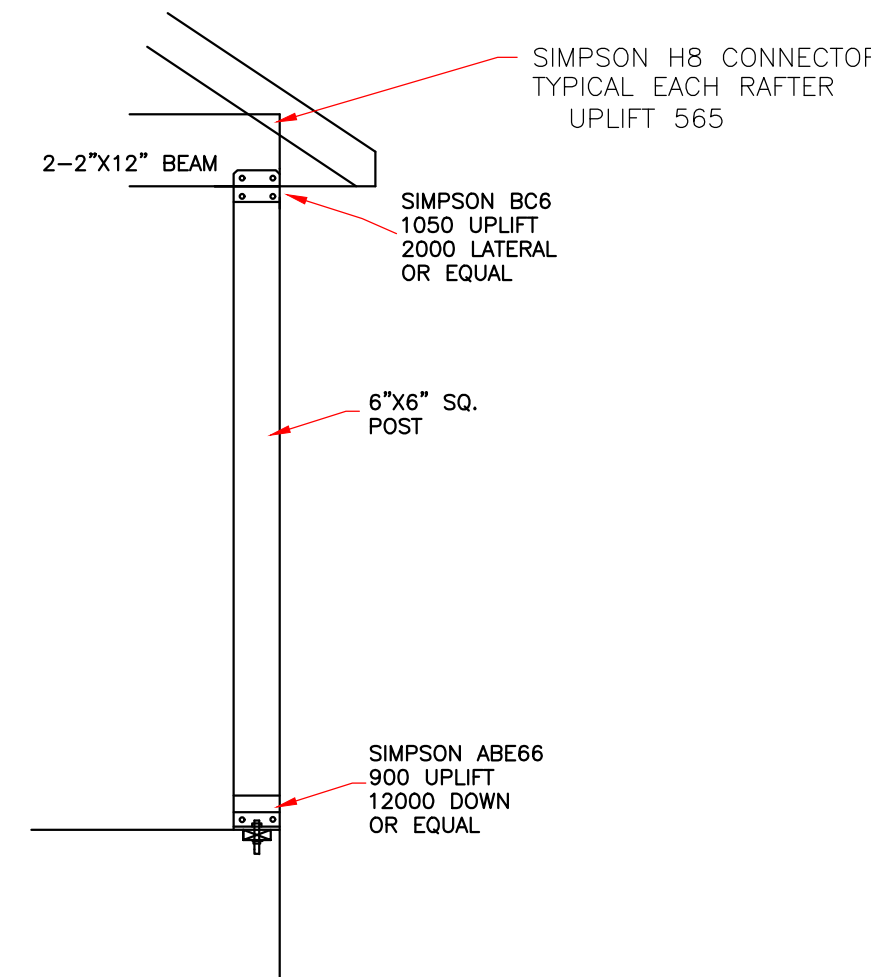


STRONGBACK DETAIL
FOR 2"x6" OR 2"x8" JOIST
NOT TO SCALE

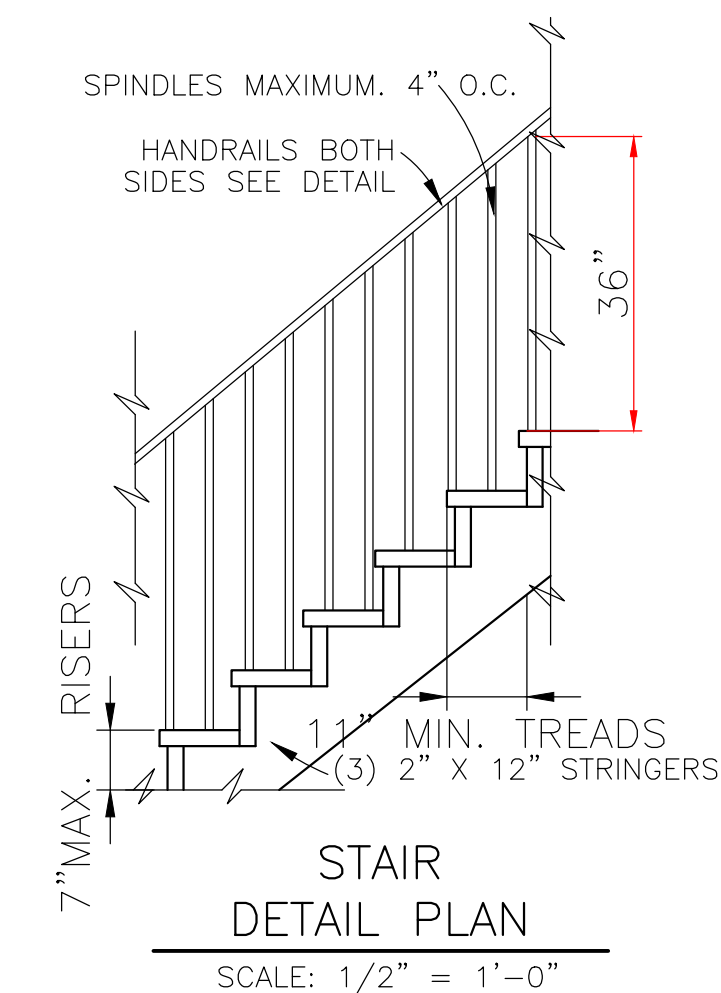
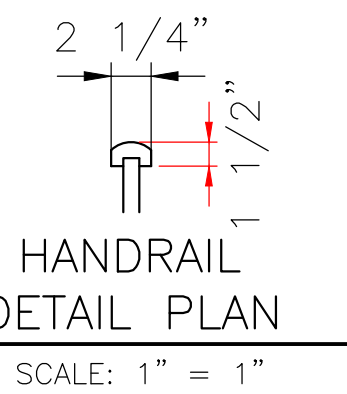


SEE FOUNDATION DETAIL

CONTINUOUS LOAD PATH
1/2" SCALE



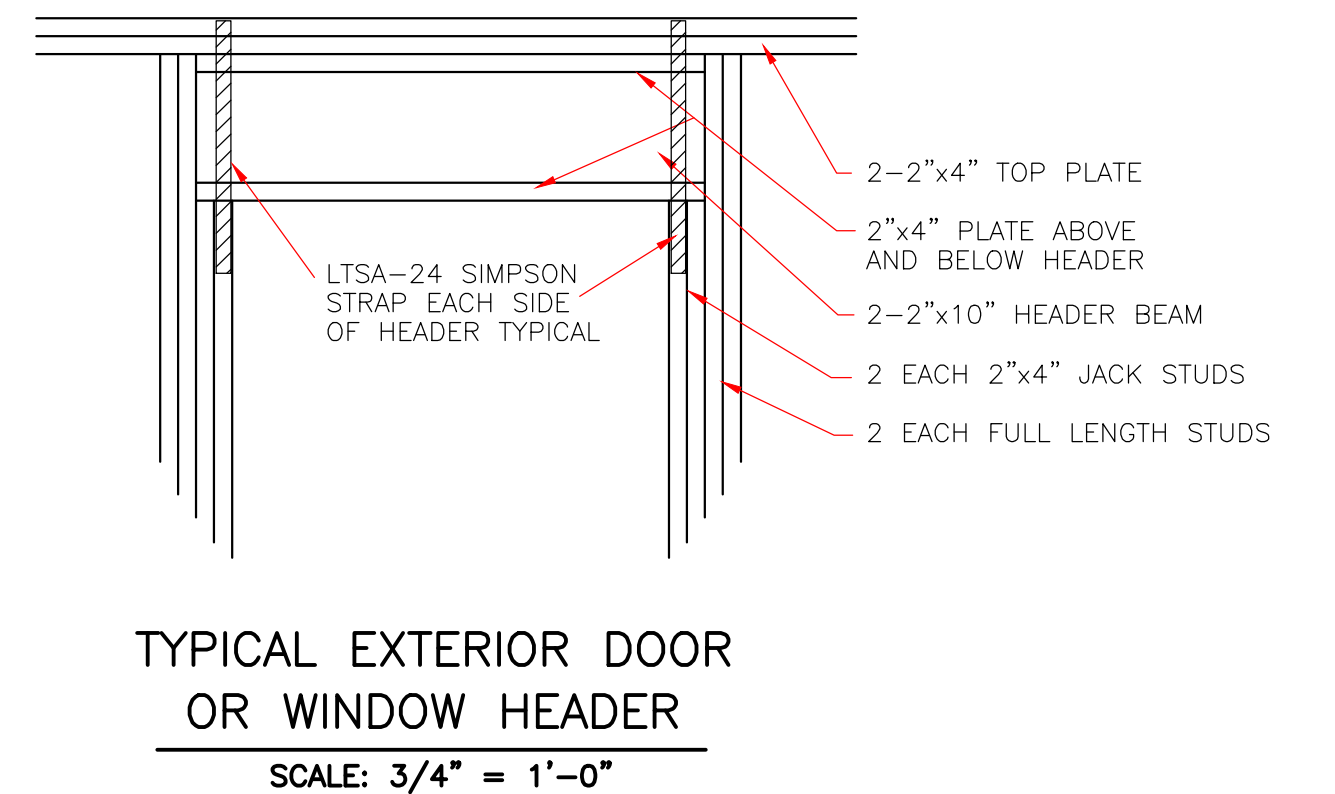
COLUMN SECTION
NOT TO SCALE



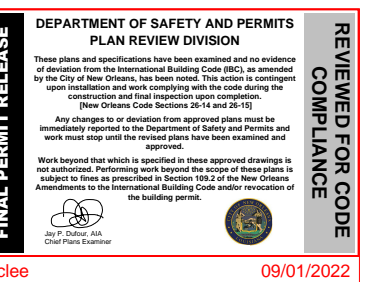
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TYPICAL EXTERIOR DOOR OR WINDOW HEADER
SCALE: 3/4" = 1'-0"



THESE PLANS HAVE BEEN PROPERLY EXAMINED BY THE UNDERSIGNED. I HAVE DETERMINED THAT THEY COMPLY WITH THE FOLLOWING EXISTING STATE AND LOCAL BUILDING CODES FOR THE JURISDICTION IN WHICH THE RESIDENCE IS TO BE LOCATED.

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	DATE: 05/09/22 SHEET NO: 6 OF 6

IN THE EVENT THAT A DIMENSIONAL DISCREPANCY IN THE DRAWINGS IS DISCOVERED BY THE GENERAL CONTRACTOR, SUBCONTRACTORS, ENGINEER, CONSULTANT, OR A SUPPLIER, SAID PARTY SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND SUSPEND ALL ASSOCIATED WORK UNTIL SUCH TIME THAT A PROPER DETERMINATION HAS BEEN MADE BY THE ARCHITECT, WITH APPROPRIATE INSTRUCTIONS FOR RESOLUTION OF THE ISSUE. FAILURE TO REPORT KNOWN DISCREPANCIES AND CONTINUING WITH THE WORK WITHOUT NOTIFYING THE ARCHITECT SHALL RESULT IN AN ASSUMPTION OF RESPONSIBILITY FOR CORRECTIVE WORK TO ACHIEVE THE INTENDED DESIGN.