

PROJECT NOTES	
1.	CONTRACTOR SHALL PROVIDE ANY NECESSARY BLOCKING AND INSTALLATION OF APPLIANCES AND FIXTURES.
2.	CONTRACTOR SHALL COORDINATE AND CONNECT OWNER PROVIDED OR EXISTING APPLIANCES.
3.	ALL NEW APPLIANCES, LIGHT FIXTURES, MECHANICAL EQUIPMENT SHALL BE ENERGY STAR RATED.
4.	ALL PLUMBING FIXTURES SHALL BE LOW FLOW WITH FLOW RATHES AS REQUIRED BY EGC 2008: TOILETS: 1.3 GPM MIN; SHOWER HEADS: 2.0 GPM MIN; KITCHEN FAUCETS: 2.0 GPM MIN; BATHROOM FAUCETS: 2.0 GPM MIN.
5.	WINDOWS: PROVIDE CODE COMPLIANT PLYWOOD COVERS, WOOD SHUTTERS, OR PROVIDE IMPACT RESISTANT GLASS OR EQUALPER R301.2.1.2, IRC 2015. ALL IMPACT RESISTANT GLAZED OPENINGS SHALL MEET MIAMI DADE COUNTY PA 201, 202, AND 203 OR ASTM E 1886 AND ASTM E 1996 (MISSILE LEVEL C-91B)
6.	ALL PAINTS, PRIMERS, ADHESIVES AND SEALANTS SHALL BE LOW VOC. LIMITS FOR INTERIOR PAINTS AND PRIMERS: FLATS AND NON-FLATS: 50 G/L; FLOOR: 100 G/L. OIL BASED PAINT AND PRIMERS ARE TO BE USED ON ALL EXTERIOR SURFACES.
7.	KITCHEN COUNTERTOP TO BE SELECTED BY OWNER AND INSTALLED BY G.C.
8.	FLOOR FINISHES SHALL BE STORED INSIDE THE BUIDING FOR NO LESS THAN 10 DAYS TO ACCLIMATE TO THE INTERIOR CONDITIONS.
9.	PROVIDE WOOD SHELVING IN CLOSETS AND UTILITY ROOMS PER DETAILS .
10.	PROVIDE A RADIANT BARRIER AT ALL NEW AND MODIFIED ROOF FRAIMING.
11.	INSULATION: INSULATION INSTALLERS SHALL PROVIDE A CERTIFICATION LISTING THE TYPE, MANUFACTURER AND R-VALUE OF INSULATION INSTALLED IN EACH ELEMENT OF THE BUILDING THERMAL ENVELOPE. THE CERTIFICATION FOR FOAM SHALL INCLUDE: - INSTALLED THICKNESS FOR BLOWN IN CELLULOSE THE CERTIFICATION SHALL INCLUDE: - INITIAL INSTALLED THICKNESS - SETTLED THICKNESS - SETTLED R-VALUE - INSTALLED DENSITY - COVERAGE AREA - NUMBER OF BAGS INSTALLED THE INSULATION INSTALLER SHALL SIGN, DATE AND POST THE CERTIFICATION IN A CONSPICUOUS LOCATION ON THE JOB SITE. INSPECTION OF INSULATION WILL BE REQUIREMENT, THE BUILDER AND OWNER WILL NEED TO WORK ON SCHEDULE INSPECTION BEFORE SHEETROCK IS PUT UP. LOCATIONS AND VALUES (IECC 2009) - UNDER FLOOR INSULATION TO BE R-19 - FOAM OR BATT; SEE WALL SECTION. - WALL CAVITY INSULATION TO BE R-19 - BORATE CELLULOSE OR FOAM - CEILING INSULATION TO BE R-38 - BORATE CELLULOSE OR FOAM - BAFFLES TO BE INSTALLED AT ALL EAVE VENTS THICKNESS OF INSULATION SHALL BE WRITTEN IN INCHES ON MARKERS THAT ARE INSTALLED AT LEAST ONE FOR EVERY 300 FT TO THROUGHOUT THE ATTIC SPACE. THE MARKERS SHALL BE AFFIXED TO THE TRUSSES OR JOISTS AND MARKED WITH THE MINIMUM INITIAL INSTALLED THICKNESS WITH NUMBERS A MINIMUM OF 1 INCH HIGH.
12.	HVAC: -14 SEER, TWO CYCLE VARIABLE SPEED HEAT PUMP WITH GAS HEAT, AIR HANDLER LOCATED IN ATTIC -PROGRAMMABLE THERMOSTAT -INSTALL HUMIDITY CONTROLS - DEHUMIDIFIER -A HEAT PUMP WITH A HEATING SEASON PERFORMANCE FACTOR OF 8.5 -ALL JOINTS SHALL BE SEALED WITH FIBERGLASS MESH AND MASTIC TO PROVIDE 75 CFM AT 25 PASCALS IN DUCT LEAKAGE TESTING. -DUCTS INSTALLED PER MANUFACTURERS SPECIFICATIONS -ALL FLEXIBLE DUCT CONNECTIONS SHALL USE A MESH, MASTIC AND CLAMPS TO ESTABLISH AN AIRTIGHT CONNECTION -FLEXIBLE DUCT SHALL BE SUPPORTED AT MANUFACTURER'S RECOMMENDED INTERVALS, BUT AT NO GREATER DISTANCE THAN 5 FEET. MAXIMUM PERMISSIBLE SAG IS 1/4 INCH PER FOOT OF SPACING BETWEEN SUPPORTS. THE SUPPORTS SHALL NOT COMPRESS THE FLEXIBLE DUCT. -WHEN BENDING FLEXIBLE DUCTS THE RADIUS AT CENTER LINE SHALL NOT BE LESS THAN ONE DUCT DIAMETER -DUCTS TO BE INSULATED TO AT LEAST R-8 -PROVIDE A WHOLE HOUSE VENTILATION SYSTEM THAT PROVIDES FRESH AIR PER ASHRAE 62.2-2010; EQUIPMENT: APFILAIRE MODEL 8126 VENTILATION CONTROL SYSTEM OR APPROVED EQUAL. ALL FILTERS TO BE PROVIDED SHALL BE MERV 8 OR HIGHER. - HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL PARTS J AND S, ASHRAE HANDBOOKS OR EQUAL TO PROVIDE ADEQUATE DEHUMIDIFICATION.
13.	EXTERIOR LIGHTS WILL HAVE DAYLIGHT SENSORS OR TIMERS. ALL CAN LIGHTING THAT PENETRATES THE INSULATION LAYER MUST BE AIR TIGHT UNITS.
14.	PROVIDE 50 GAL GAS WATER HEATERS. MAINTAIN A MAXIMUM HOT WATER LINE RUN OF 30 FEET OR CONSULT WITH ARCHITECT.
15.	GAS SERVICE TO BUILDINGS IS PROVIDED; COORDINATE GAS LINE TO WASHER DRYER CLOSET.
16.	PROVIDE A CONTINUOUS SEALANT BEAD AT ALL TOP AND BOTTOM PLATES AND DOOR, WINDOW AND EQUIPMENT PENETRATIONS IN EXTERIOR ENVELOPE.
17.	DEDICATED EXHAUST FANS THAT EXHAUST TO THE EXTERIOR MUST BE PROVIDED TO VENT FANS IN KITCHEN, BATHROOMS AND LAUNDRIES. BATHROOM AND KITCHEN EXHAUST FANS SHALL BE COMPLIANT WITH ASHRAE 62.2. DRYERS SHALL HAVE A RIGID DUCT TO THE EXTERIOR. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR CERTIFIED AND BE ON A TIMER.
18.	FORMALDEHYDE FREE COMPOSITE WOOD: ALL PARTICLE BOARD, MDF AND COMPOSITE BOARDS WILL COMPLY WITH CALIFORNIA 93120.
19.	ALL TILE SHALL BE INSTALLED OVER CEMENTITIOUS BACKER BOARD. ALL TILE IN WET AREAS SHALL BE SEALED.
20.	ALL FLASHING AND SHEET METAL WORK SHALL COMPLY WITH NRCA AND SMACNA STANDARDS.
21.	ROOFING SHALL BE AN ASPHALT SEAL TAB ARCHITECTURAL SHINGLE OF LIGHT COLOR (SUBMIT FOR APPROVAL TO HDLC) WITH A 30 YEAR WARRANTY. ROOF INSTALLATION SHALL COMPLY WITH THE 130 MPH WIND ZONE REQUIREMENTS IN IRC 2015 ED. AND ASTM D 7158 G (130 MPH) RATING.

GENERAL NOTES	
1.	CONTRACTOR AND MAJOR SUBCONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE CONSTRUCTION SITE AND VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
2.	CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND THE OWNER. IN ADDITION REVIEW CAREFULLY ALL CONDITIONS AND SYSTEMS AND FAMILIARIZE HIMSELF WITH ALL ASPECTS OF THE REQUIRED WORK FOR A COMPLETE INSTALLATION. ALL DEVIATION OR CHANGES NECESSARY TO ACHIEVE THE INSTALLATION SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT OR OWNER PRIOR TO SUBMITTING FINAL PRICE TO MAKE NECESSARY ADJUSTMENTS SO AS TO AVOID ANY EXTRA COSTS DURING CONSTRUCTION.
3.	CONTRACTOR SHALL AT ALL TIMES KEEP PREMISES FREE FREE FROM ACCUMULATION OF DEMOLITION DEBRIS, WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATION AND SHALL REMOVE NO LESS THAN WEEKLY ALL DEBRIS FROM AND ABOUT THE PROJECT. ALL WASTE SHALL BE SEPARATED BY TYPE OF MATERIAL FOR RECYCLING. CONTRACTOR SHALL COORDINATE CONSTRUCTION LIMITS, STAGING LIMITS AND STAGING AREAS WITH OWNER.
4.	ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING CODES, REGULATIONS AND AGENCIES. NO WORK SHALL BE CONCEALED UNTIL APPROVED BY LOCAL INSPECTORS. CONTRACTOR SHALL ENSURE ALL MATERIALS AND WORK COMPLY WITH APPLICABLE GOVERNING CODES.
5.	CONTRACTOR SHALL INSTALL AND PROVIDE ALL SAFETY BARRIERS DURING CONSTRUCTION AS NECESSARY TO PROTECT THE PUBLIC FROM INJURY AND ACCESS TO THE BUILDING OR ADJACENT FLOORS.
6.	DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION OF AREA IN QUESTION.
7.	PERIMETER DIMENSIONS ARE TO BE FROM FINISH FACE TO FINISH FACE UNLESS NOTED OTHERWISE.
8.	ALL RATED PARTITIONS SHALL BE TIGHTLY SEALED TO THE UNDERSIDE OF STRUCTURE. INTEGRITY OF ONE-HOUR RATED PARTITIONS AND SMOKE PARTITIONS SHALL BE MAINTAINED AT CORNERS AND AT INTERSECTIONS OF OTHER PARTITION TYPES.
9.	UNLESS OTHERWISE NOTED OR DETAILED ALL PIPE CHASE WALLS WITH A THICKNESS GREATER THAN 4 INCHES ARE TO BE CONSTRUCTED OF 6" STUDS WITH ONE LAYER OF 5/8" TYPE X DRYWALL ON BOTH SIDES. PROVIDE METAL OR DRYWALL CROSS BRACES AS REQUIRED TO MAINTAIN THE REQUIRED FIRE RATING OF THE CONSTRUCTION. HOLD CHASE WALLS TO MINIMUM DIMENSIONS. VERTICAL PIPING LOCATED WITHIN THE STUD SPACE OF PARTITIONS SHALL BE COMPLETELY ENCLOSED WITH FULL THICKNESS OF DRYWALL ON EACH SIDE OF STUD.
10.	RECESSES FOR ELECTRICAL PANELS, FIRE EXTINGUISHER CABNETS, ANNUNCIATOR BOXES, ETC., LOCATED IN RATED PARTITIONS SHALL BE FACED WITH DRYWALL TO CREATE A FIVE SIDED ENCLOSURE AS REQUIRED TO RETAIN RATING OF WALL.
11.	JOINTS OCCURRING IN RATED DRYWALL PARTITIONS SHALL BE STAGGERED BOTH HORIZONTALLY AND VERTICALLY.
12.	ALL WALLS AND FLOOR OPENINGS SHALL BE FIRESTOPPED WITH AN APPROVED NON-COMBUSTIBLE MATERIAL MECHANICALLY FASTENED INPLACE TO PROVIDE AN EFFECTIVE AND APPROVED FIRE STOP. OPENING IN SLABS AND PARTITIONS FOR CONDUIT, PIPING AND OTHER ITEMS SHALL BE FILLED WITH AN APPROVED NON-COMBUSTIBLE MATERIAL TO PROVIDE AN APPROVED SEAL TO PROHIBIT THE PASSAGE OF FIRE OR SMOKE.
13.	PROVIDE 6 INCH STUDS BEHIND SINKS, AND WHERE NOTED OR OTHERWISE REQUIRED TO CONCEAL PIPING AND OTHER ITEMS OCCURRING WITHIN PARTITIONS.
14.	NAILERS, BLOCKING AND OTHER ROUGH CARPENTRY ITEMS INDICARED AS "WOOD", "P.T. WOOD", OR "TREATED WOOD" SHALL BE TREATED FOR WATER RESISTANCE.
15.	THE CONTRACTOR AND SUBCONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE FOLLOWING ABBREVIATIONS AND THE STANDARD ABBREVIATIONS WHICH MAY USED IN THIS SET OF DRAWINGS: F.O.F. - FACE OF FINISH F.O.S.H. - FACE OF SHEATHING F.O.S. - FACE OF STUD F.O.E. - FACE OF EXISTING F.O.C. - FACE OF CONCRETE (MASONRY) A.F.F. - ABOVE FINISHED FLOOR N.T.S. - NOT TO SCALE R.O. - ROUGH OPENING M.O. - MASONRY OPENING U.N.O. - UNLESS NOTED OTHERWISE T.O.S. - TOP OF STEEL T.O.F.F. - TOP OF FINISH FLOOR
16.	CONTRACTOR TO PROVIDE FINISH MATERIALS SUBMITTALS TO ARCHITECT FOR OWNER REVIEW
17.	ANY REQUEST FOR CONSIDERATION BY THE OWNER OF SUBSTITUTIONS OF SPECIFIED MATERIALS OR PRODUCTS CALLED FOR OR SHOWN ON THE DRAWINGS OR IN THE SPECIFICATIONS SHALL BE SUBMITTED TO THE OWNER IN WRITING FOR A WRITTEN APPROVAL BY THE OWNER. SHALL BE RECIEVED AT THE OWNER'S OFFICE TEN (10) BUSINESS DAYS PRIOR TO THE SPECIFIED BID DATE. ANY BID BASED UPON OR CONTAINING AN UNAPPROVED PRODUCT OR MATERIAL SUBSTITUTION MAY BE DISALLOWED.
18.	DO NOT SUBSTITUTE MATERIALS, PRODUCTS OR EQUIPMENT UNLESS SUCH SUBSTITUTION HAVE BEEN "SPECIFICALLY APPROVED IN WRITING" FOR THIS WORK BY THE OWNER.
19.	WHERE THE PHRASE "OR EQUAL" OR "AS APPROVED BY THE ARCHITECT" OCCURS IN THE CONTRACT DOCUMENTS, DO NOT ASSUME THAT MATERIALS, PRODUCTS OR EQUIPMENT WILL BE APPROVED AS EQUAL UNLESS THE ITEM HAS BEEN SPECIFICALLY APPROVED IN WRITING FOR THIS WORK BY THE ARCHITECT. THE DECISION OF THE OWNER SHALL BE FINAL IN RELATION TO SUBSTITUTIONS.
20.	ANY SUBSTITUTIONS FOR SPECIFIED MATERIALS CALLED FOR ON THE DRAWINGS OR SPECIFICATIONS, SHALL BE SUBMITTED TO THE OWNER IN WRITING FOR A WRITTEN APPROVAL 10 DAYS PRIOR TO THE SPECIFIED BID DATE.
21.	DIMENSIONS, ALIGNMENTS, DETAILS AND FLOOR PLAN DIMENSIONS SHOWN ON THESE DOCUMENTS ARE BASED UPON AN ASSUMED MANUFACTURER'S STANDARD DETAILS. IF A MANUFACTURER IS SUBSTITUTED AND/OR "APPROVED AS EQUAL" BY THE ARCHITECT AS SPECIFIED IN THE "BIDDING REQUIREMENTS"; THEN IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO RECOORDINATE THE DIMENSIONAL AND DETAIL REQUIREMENTS OF THE SUBSTITUTED MANUFACTUER TO THE REQUIREMENTS OF THIS PROJECT AND/OR TO ENGAGE THE ARCHITECT TO REVISE AND RECOORDINATE THE CONTRACT DOCUMENTS AS MAY BE REQUIRED.
22.	CONTRACTOR TO COORDINATE ALL FINISHES WITH OWNER AND ARCHITECT OF RECORD.
23.	CONTRACTOR TO PROVIDE BLOCKING FOR ALL CABINETS AND CASEWORK.
24.	PROVIDE BLOCKING FOR ALL SURFACE MOUNTED, SEMI-RECESSED OR RECESSED ITEMS SUCH AS ACCESSORIES, GRAB-BARS, CLOSET RODS AND SHELVES, DRAPERY ROD, SHOWER CURTAIN RODS, COUNTERTOPS, ETC.
25.	CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF MECHANICAL, ELECTRICAL, PLUMBING, ETC WORK SO THAT THE WORK IN THE FIELD WILL ACHIEVE THE DESIGN CRITERION SET OUT IN THE ARCHITECTUAL PACKAGE.
26.	CONSTRUCTION OF ALL VERTICAL OPENINGS (SHAFTS) SHALL BE IN ACCORDANCE WITH ALL CODE REQUIREMENTS.
27.	ALL SUBCONTRACTORS TO SEAL ALL PENETRATIONS, SEAMS, OPENINGS THROUGH RATED WALLS AND/OR FLOOR-CEILING ASSEMBLIES WITH FIRE SEALANT AND/OR INTUMESCENT PIPE WRAPS. INTUMESCENT PIPE WRAPS TO BE USED AT ALL PVC PIPING THAT PENETRATES RATED ASSEMBLIES.
28.	SEAL ALL PENETRATIONS THROUGH ALL PARTITIONS.
29.	ALL WALL AND FLOOR ASSEMBLIES MUST MEET THE REQUIREMENTS OF THE U.L. ASSEMBLY SYSTEM REFERENCED.
30.	CONSULT ARCHITECT FOR APPROVAL OF PARTITION LAYOUT ON EACH FLOOR BEFORE CONSTRUCTION PROCEEDS. NOTIFY ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARISE.

SITE LOCATOR MAP	
GRAPHIC SYMBOLS	
NORTH INDICATOR	
CENTER LINE	
WINDOW DESIGNINATION (ALPHABETICAL REFERENCE)	
DOOR DESIGNINATION (NUMERICAL REFERENCE)	
REFERENCE NOTE	
ELEVATION MARKER	
ENLARGED DETAIL	
DRAWING DESIGNATION	
SECTION	
ELEVATIONS	
WALL TYPE	
SURVEY	

SCOPE OF WORK	
ARCHITECTURAL CONSTRUCTION OF A NEW TWO STORY DUPLEX RESIDENCE.	
MECHANICAL HVAC SYSTEM TO BE INSTALLED PER PER APPLICABLE CODES.	
ELECTRICAL NEW ELECTRICAL SYSTEM TO BE INSTALLED PER PLANS PER APPLICABLE CODES.	
PLUMBING NEW PLUMBING SUPPLY AND DRAIN LINES TO BE INSTALLED PER APPLICABLE CODES. FIXTURES TO BE INSTALLED PER PLANS.	
STRUCTURAL NEW FRAMING AND FOUNDAITON PER PLANS	
PROJECT INFORMATION	
CLASSIFICATION OF WORK	CONSTRUCTION OF A TWO FAMILY RESIDENCE
ZONING:	HU-RD2
LOT AREA	3600
BUILDING FOOTPRINT AREA	2237
PAVED AREA	96
PERMEABLE LOT AREA REQ'D	30% 1080
PERMEABLE LOT AREA PROPOSED	1267
OPEN SPACE REQUIRED	30% 1080
OPEN SPACE PROVIDED	1363
TOTAL OCCUPANCY AREA	2066
AREA UNDER BEAM	2237
FRONT YARD PROVIDED	258
IMPERVIOUS FRONT YARD MAX	103
FRONT /CORNER YARD PAVING	48
PERVIOUS FRONT YARD PROPOSED	210
BUILDING HEIGHT	18'-7 3/4"
SEE A4.1	
- THESE DRAWINGS HAVE BEEN PREPARED TO MEET THE DESIGN SPECIFICATIONS OF THE INTERNATIONAL RESIDENTIAL CODE 2015 EDITION.	
- WIND LOADS = 130 MPH. BASIC WIND SPEED EXPOSURE "B" (R301.2 (4))	
- I HAVE RESEARCHED THIS CHAPTER AND THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS.	
- THESE PLANS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE INTERNATIONAL BUILDING CODE.	
PROJECT DIRECTORY	
OWNER LJT INVESTMENTS LLC 11227 MIDPOINT DRIVE NEW ORLEANS, LA 70128	
ARCHITECT OF RECORD J. A. MODINGER ARCHITECT, LLC 1558 ANNUNCIATION ST NEW ORLEANS, LA 70130 T: 512.535.2085	
STUDIO@JAMODINGER.COM	
CONTACT: J.A. MODINGER, ARCHITECT PRINCIPAL ALEX@JAMODINGER.COM	
CONTRACTOR TBD	
DRAWING INDEX	
SHEET	DESCRIPTION
A0.0	GENERAL INFORMATION
A0.1	SITE PLAN AND SITE DETAILS
A1.1	INTERIOR DETAILS
A1.2	EXTERIOR DETAILS
A2.0	FOUNDATION PLAN
A2.1	FLOOR PLANS
A3.1	REFLECTED CEILING PLANS
A4.1	EXTERIOR ELEVATIONS
A5.1	BUILDING SECTIONS
A6.1	INTERIOR ELEVATIONS AND SCHEDULES
GENERAL INFORMATION	
3 AUGUST 2022	
A0.0	

CONSTRUCTION OF A NEW DUPLEX RESIDENCE AT 9004 FORSHEY ST FOR LJT INVESTMENTS, LLC NEW ORLEANS, LA 70118	
REVISION DATE:	REVISION:
ISSUED DATE:	ISSUED FOR:
3 AUG 22	PERMIT
PROJECT NO. 19-13-16 R11	DRAWN BY: AM, MM
APPROVED BY: AM	
GENERAL INFORMATION	
3 AUGUST 2022	
A0.0	



9004 FORSHEY ST

FOR LJT INVESTMENTS, LLC

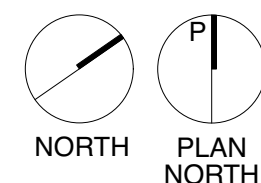
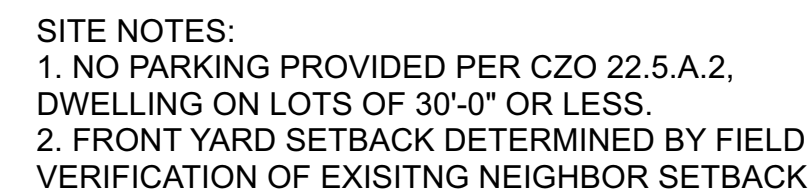
NEW ORLEANS, LA 70118

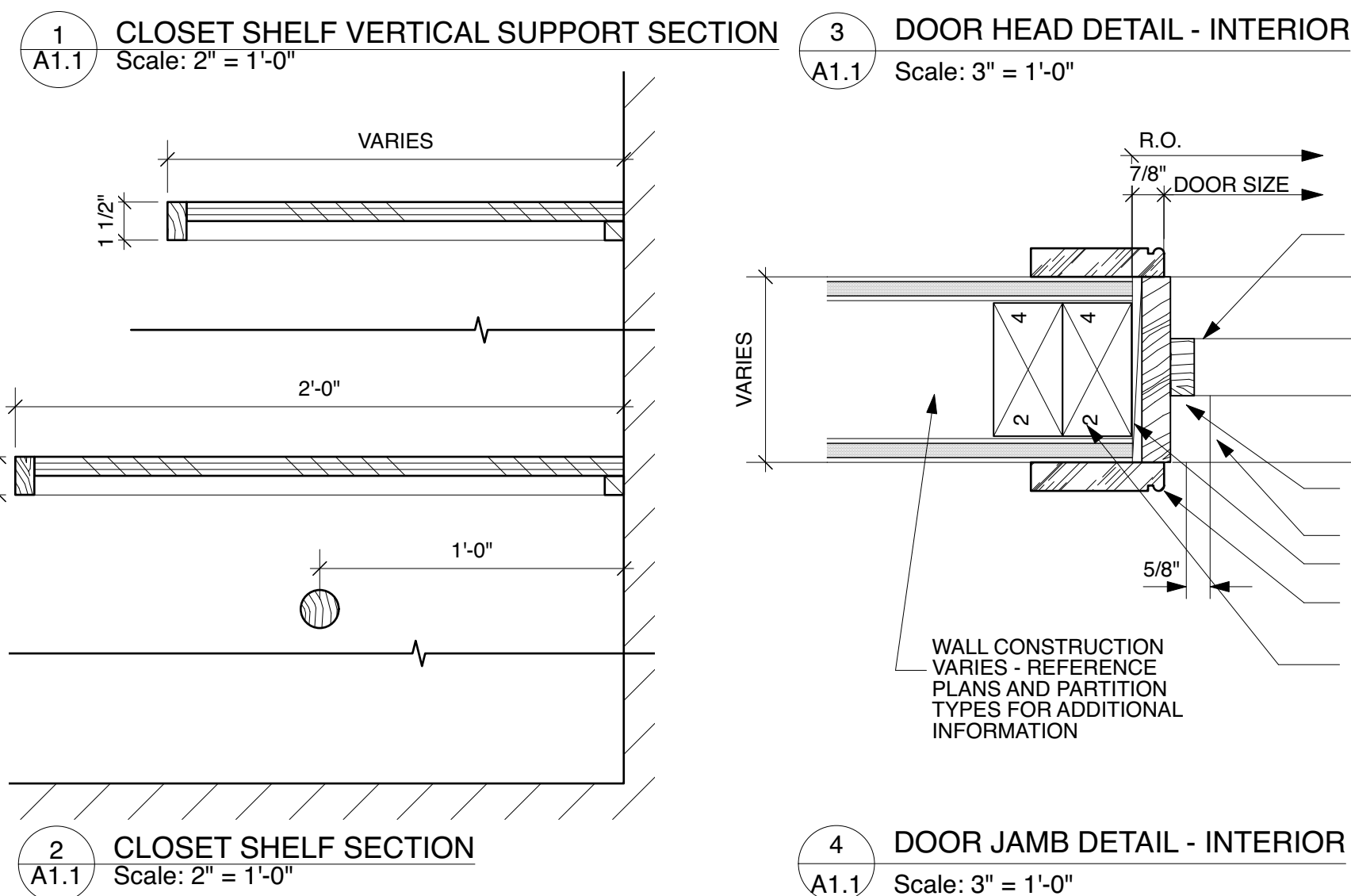
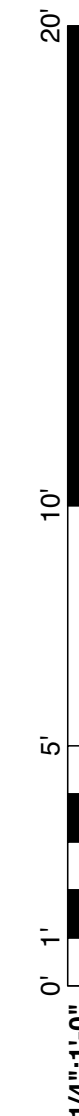
ISSUED FOR: PERMIT	ISSUED DATE: 3 AUG 22	REVISION:	REVISION DATE:
		PROJECT NO.	19-13 16 R11
		DRAWN BY:	AM, MM
		APPROVED BY:	AM

XX

3 AUGUST 2022

A0.1





NEW ORLEANS. LA 70118

ISSUED FOR: PERMIT	ISSUED DATE: 3 AUG 22	REVISION:	REVISION DATE:
		PROJECT NO. 19-13.16 R11	
		DRAWN BY: AM, AG	
		APPROVED BY: AM	

A1.1



4 DOOR HEAD (TRANSOM SIM)
A1.2 Scale: 3" = 1'-0"

5 TRANSOM BAR
A1.2 Scale: 3" = 1'-0"

6 EXTERIOR DOOR JAMB
A1.2 Scale: 3" = 1'-0"

7
A1.1

DETAIL - EXTERIOR STAIR - WOOD
Scale: 1 1/2" = 1'-0"

8
A1.2

DETAIL - EXTERIOR STAIR - BRICK
Scale: 1 1/2" = 1'-0"

9 PORCH CANTILEVER FRAMING PLAN
A1.2 Scale: 1/4" = 1'-0"

ISSUED FOR:	ISSUED DATE:	REVISION:	REVISION DATE:
PERMIT	3 AUG 22		
		PROJECT NO.	19-13-16 R11
		DRAWN BY:	AM, AG, MM
		APPROVED BY:	AM





OPENING SCHEDULE NOTES	FINISH SCHEDULE NOTES
<ol style="list-style-type: none"> 1. PROVIDE WIND-BORNE DEBRIS PROTECTION FOR WINDOWS IN ACCORDANCE WITH R301.2.1.2 IRC 2015 2. MAINTAIN 1/2" DIFFERENTIAL BETWEEN INTERIOR AND EXTERIOR FINISH FLOOR ELEVATIONS AT EXTERIOR DOORS. SLPE PORCH SURFACES AWAY FROM EXTERIOR WALLS. 3. ALL DOORS SHAL RECEIVE A PAINT FINISH 4. INSTALL WEATHER STRIPPING AT ALL EXTERIOR DOORS 5. ALL WOOD SHALL BE KILN DRIED, MOISTURE CONTENT 6-12% 6. ALL DOOR GLASS SHALL BE TEMPERED 7. ALL HARDWARE SHALL BE BRUSHED NICKEL 8. PROVIDE DOOR STOPS OR BUMPERS AT ALL DOORS 9. PROVIDE GASKETED ALUMINUM THRESHOLD SET IN SEALANT AT ALL EXTERIOR DOORS 	<ol style="list-style-type: none"> 1. MAINTAIN 1/2" DIFFERENTIAL BETWEEN TILE AND WOOD FINISHES 2. ALL CERAMIC TILE SHALL BE SEALED 3. FLOORING SHALL BE LEFT IN HOUSE TO ACCLIMATE PRIOR TO INSTALLATION - SEE PROJECT NOTES 4. 4. ALL FLOOR LEVEL TRANSITIONS NOT TO EXCEED 1/2"

FLOOR PLAN WALL KEY

NEW INTERIOR WALL

EXISTING WALL

EXISTING MASONRY WALL

NEW EXTERIOR WALL

RATED WALL TO DECK LEVEL

EXTERIOR ROOF BACKING

NEW INTERIOR SHEAR WALL; PROVIDE CONTINUOUS SHEATHING PER CODE AT DECK LOCATION

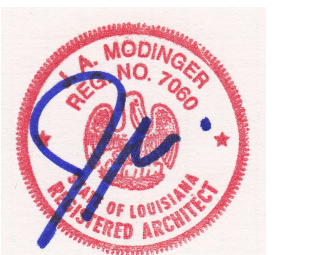
WALL FIRE RATING KEY

1-HR RATED WALL - SEE WALL TYPES

2-HR RATED WALL - SEE WALL TYPES

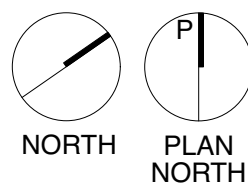
3-HR RATED WALL - SEE WALL TYPES

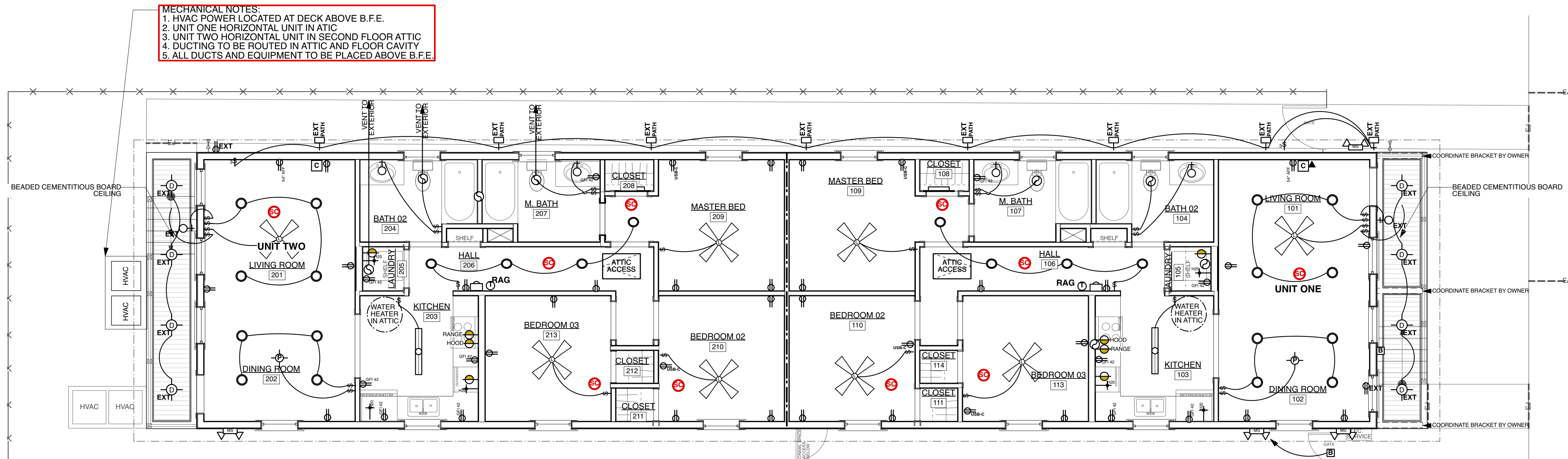
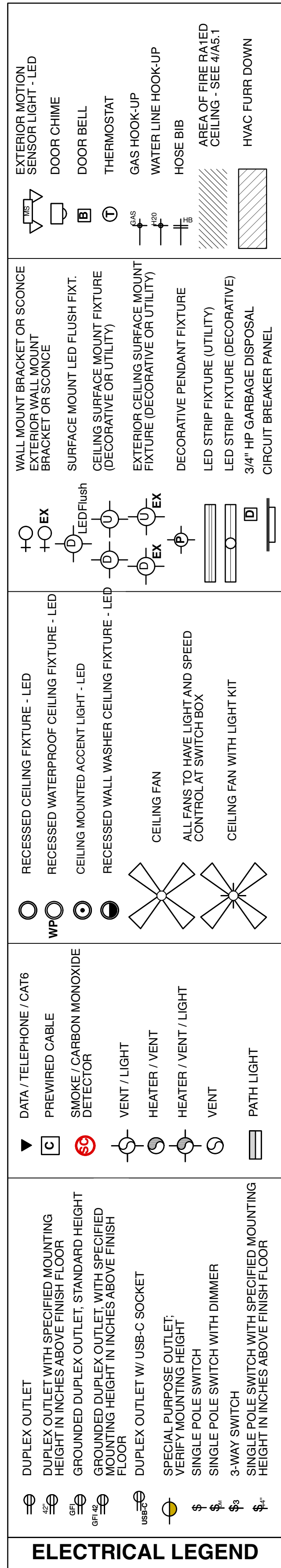
NOT ALL RATINGS ARE USED IN THIS PRODUCT - SEE SHEET A11 FOR WALL TYPE ASSEMBLIES



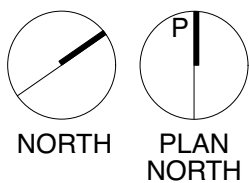
NEW ORLEANS, LA 70118

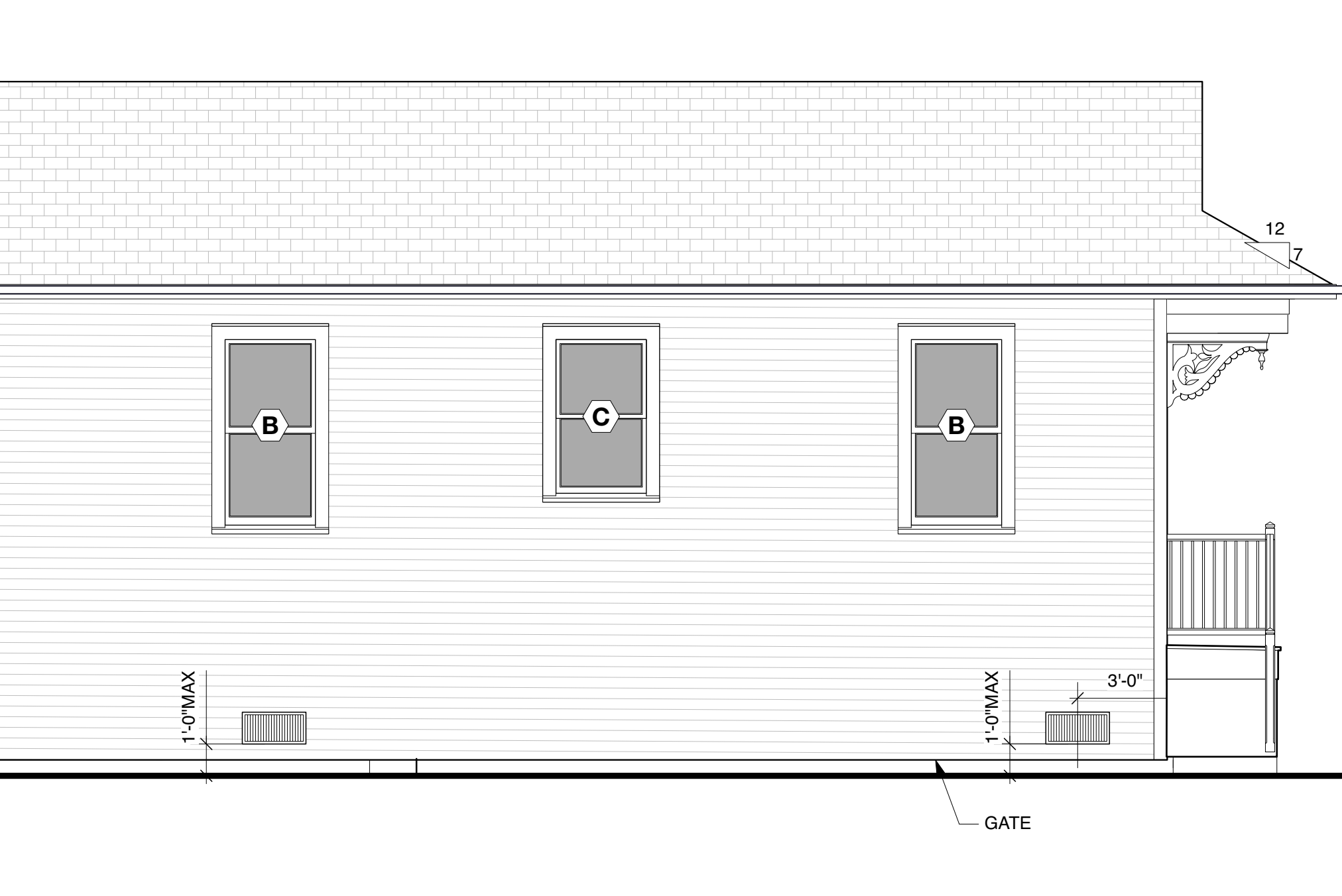
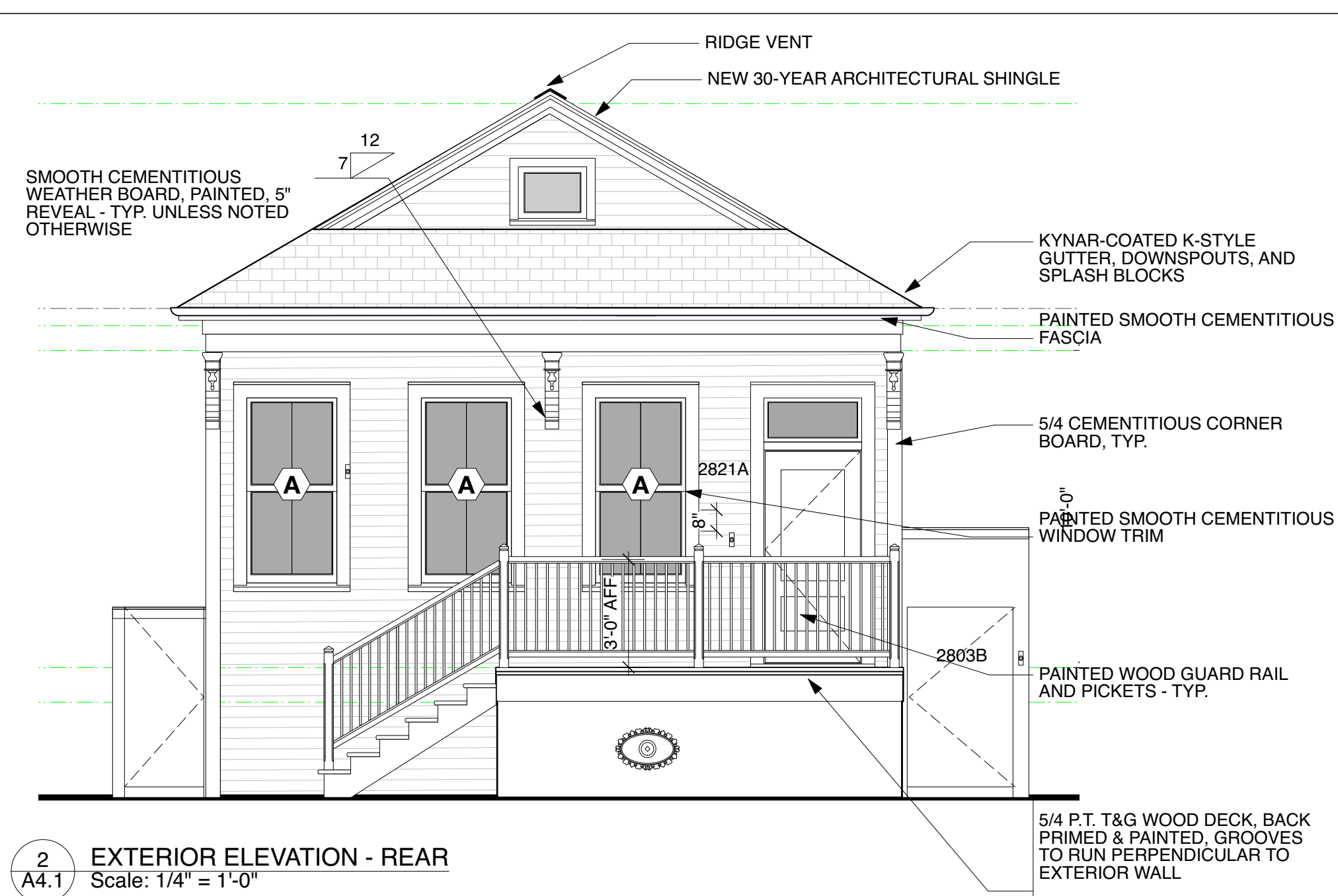
A2.1

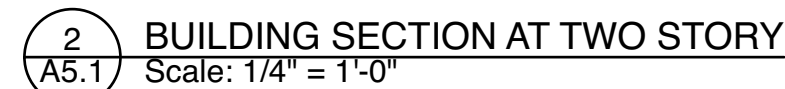
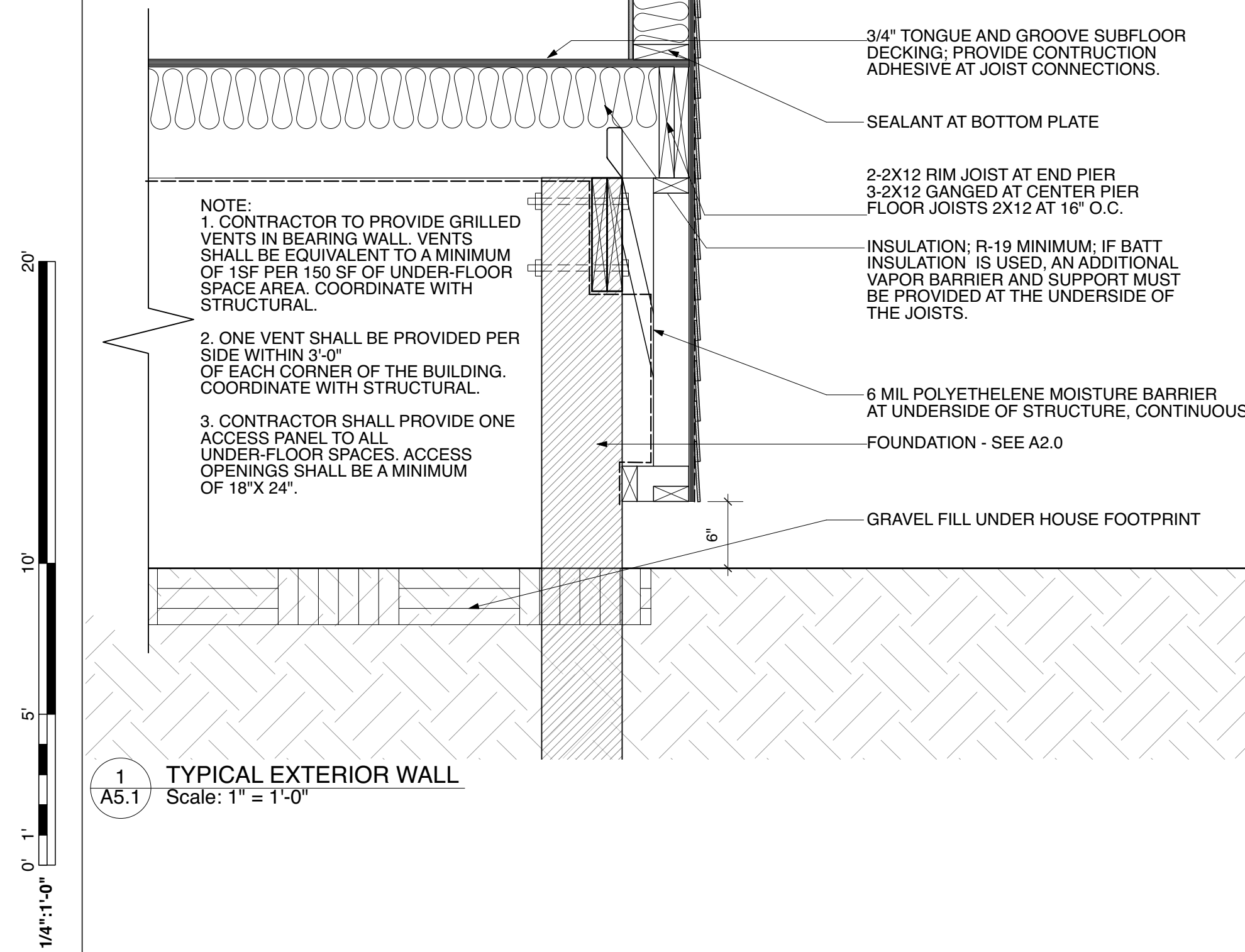




1 REFLECTED CEILING PLAN
A3.1 Scale: 3/16" = 1'-0"

[illegible]





1. ALL FRAMING TO COMPLY WITH THE WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS, 2015 ED. AND INTERNATIONAL RESIDENTIAL CODE 2015 ED. UNLESS NOTED OTHERWISE, ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE FOR THE INTERNATIONAL BUILDING CODE AND/OR THE CODES REFERENCED THEREIN. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
2. FRAMING LUMBER: SOUTHERN YELLOW PINE NO. 2 DENSE K.D. (15%) OR BETTER, U.N.O
3. FLOOR FRAMING SHALL BE SIZED AS INDICATED ON FRAMING PLANS. PROVIDE WOOD CROSS BRIDGING WHERE INDICATED ON DRAWINGS OR WHEN JOIST SPAN EXCEEDS EIGHT (8) FEET.
4. COORDINATE FRAMING LAYOUT WITH HVAC, ELECTRICAL, AND PLUMBING REQUIREMENTS.
5. SUBSTITUTIONS FOR FRAMING SIZE, SPACING GRADE AND SPECIED WITH PERMISSION FROM THE ARCHITECT ONLY.
6. BORED HOLES SHALL BE 2" CLEAR FROM TOP OR BOTTOM EDGE OF JOIST AND SHALL NOT BE LARGER THAN 1 1/4" IN DIAMETER AND SHALL NOT BE LOCATED IN THE MIDDLE OF A SPAN.
7. ALL WALL SHEATHING SHALL BE APA STRUCTURALLY RATED SHEATHING. FLOOR AND ROOF SHEATHING SHALL BE APA RATED SHEATHING. SHEATHING SHALL BE NAILED AT 4" O.C. ALONG SUPPORTED PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS, WITH 8D COMMON NAIL.
8. PLYWOOD SUB FLOORING SHALL BE APA RATED 48/24, 3/4" THICK TONGUE AND GROOVE, GLUED AND FASTENED TO FLOOR JOISTS AS INDICATED IN THE BUILDING SECTION, OR EQUAL.
9. PARALLAM JOISTS SHALL HAVE A MIN. E=2,000,000 PSI AND FB OF 2900 PSI.
10. THE NUMBER AND SIZE OF NAILS AT ALL WOOD CONNECTIONS SHALL BE PER THE INTERNATIONAL RESIDENTIAL CODE 2015 ED. TABLE R602.3(1).
11. CONNECTORS SPECIFIED AS "SIMPSON" TYPE ARE TO BE MFR'D BY SIMPSON TIE CO. OR APPROVED EQUAL. COMPLY WITH MFR'S FASTENING PROCEDURES. ALL CONNECTIONS SHALL BE GALVANIZED.
12. JOIST HANGERS SHALL BE 16 GAUGE TYPE "U" AS MANUFACTURED BY SIMPSON STRONG TIE, OR EQUAL. INSTALL JOIST HANGERS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. USE JOIST HANGERS FOR BEAMS AND JOISTS WHICH FRAME TO BEAMS AT SAME ELEVATION. JOIST HANGERS SHALL BE OF A SIZE APPROPRIATE FOR THE MEMBER SUPPORTED.
13. STRAP ALL PLATES CUT AWAY FOR PLUMBING WITH 1 1/2" WIDE, 24 GAUGE GALVANIZED STRAPS 18" LONG, BOTH SIDES OF WALL, SPIKED TO PLATES.
14. ALL LUMBER BELOW BASE FLOOD ELEVATION SHALL BE PRESSURE TREATED (P.T.)
15. TOP OF FINISH FLOOR SHALL BE AT OR ABOVE BASE FLOOD ELEVATION, TYP (SEE EXTERIOR ELEVATIONS).



CONSTRUCTION OF A NEW DUPLEX RESIDENCE AT

9004 FORSHEY ST

FOR LJT INVESTMENTS, LLC

NEW ORLEANS, LA 70118

[illegible]

BUILDING SECTIONS AND STRUCTURAL DETAILS

3 AUGUST 2022

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