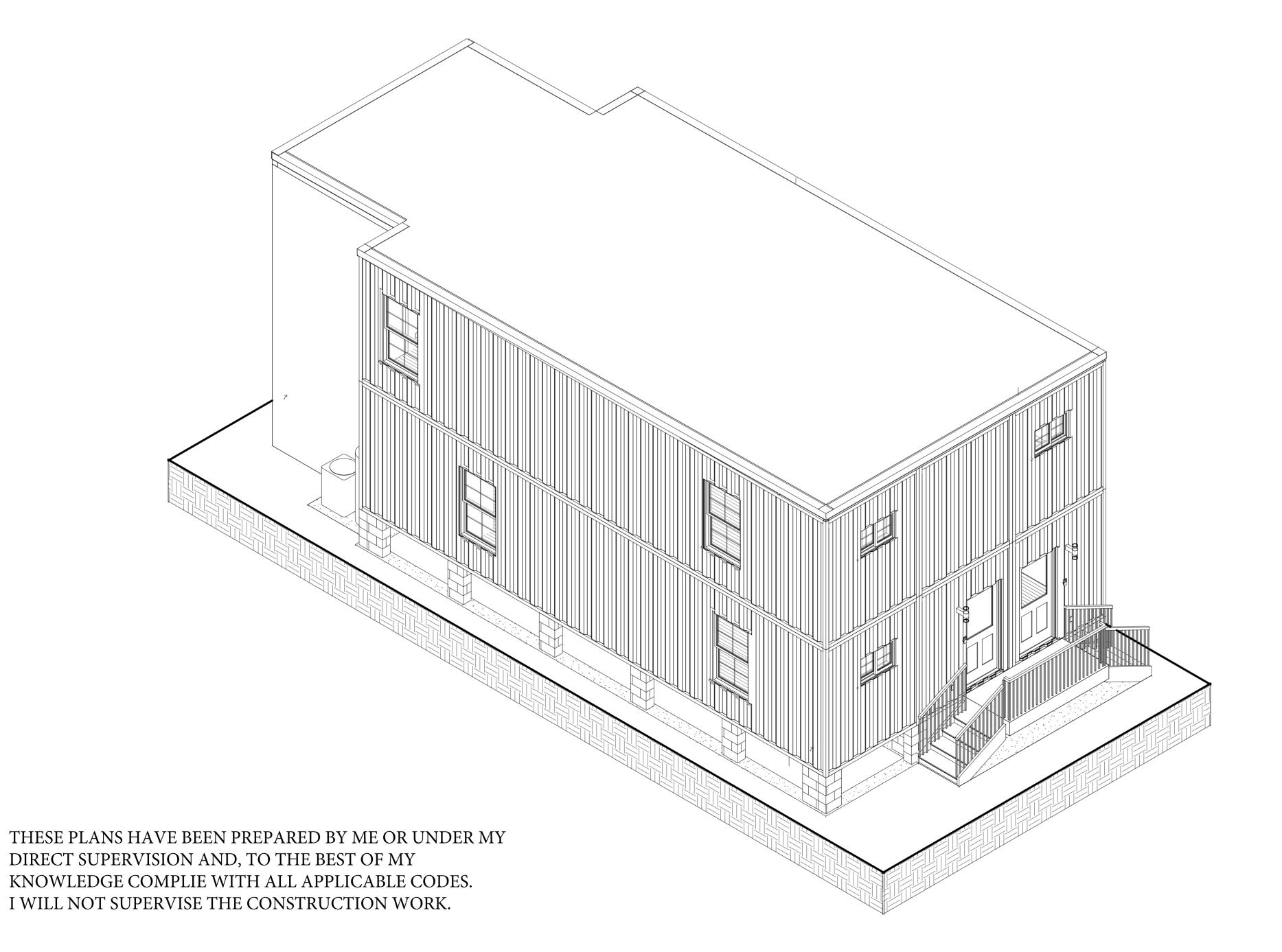
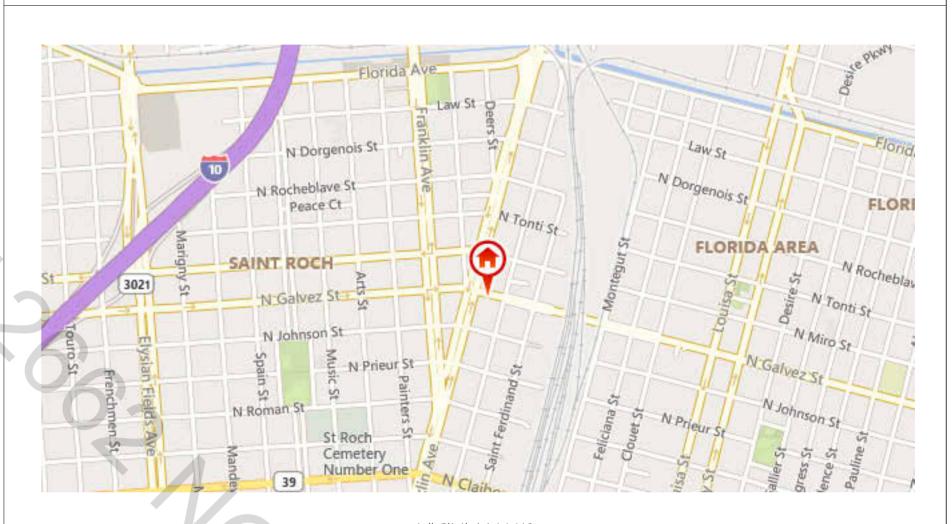
TWO STORY DUPLEX CONTAINER HOME 2662-64 N GALVEZ ST NEW ORLEANS, LA 70117



INDEX OF DRAWINGS

- 00 COVER SHEET
- OI SITE PLAN
- 02 NOTES AND SCHEDULES
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- A2 SECOND FLOOR AND ROOF PLAN
- A3 ELEVATIONS
- A4 BUILDING SECTIONS
- A5 ELECTRICAL PLANS
- A6 PLUMBING RISER DIAGRAM
- FOUNDATION FRAMING PLAN
- 52 FRAMING PLANS
- S3 FRAMING DETAILS
- CONTAINER CUT LAYOUT
- CONTAINER CUT LAYOUT
- 56 CONTAINER CUT LAYOUT



<u>VICINITY MAP</u>

BUILDING CODE (NEW ORLEANS):

2015 INTERNATIONAL RESIDENTIAL CODE W/ AMENDMENTS

2015 INTERNATIONAL PLUMBING CODE

2015 NATIONAL ELECTRICAL CODE

2015 PROPERTY MAINTENANCE CODE

2015 INTERNATIONAL FIRE CODE W/ AMENDMENTS

2015 INTERNATIONAL ENERGY CONSERVATION CODE

2015 INTERNATIONAL FLIEL AND GAS CODE W/ AMENDMENTS

<u>UNIT A</u>

FIRST FLOOR

LIVING A/C SECOND FLOOR

- 693 SF

LIVING A/C TOTAL A/C SPACE - 551 54 - 1,244 SF

<u>UNIT B</u>

FIRST FLOOR

LIVING A/C SECOND FLOOR

- 377 SF

LIVING A/C TOTAL A/C SPACE - 551 54 - 928 SF

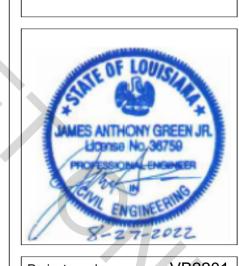
TOTAL A/C LIVING SPACE

- 2,172 SF - 34 SF

UNCOVERED SPACE TOTAL SQUARE FOOTAGE

- 2,206 SF

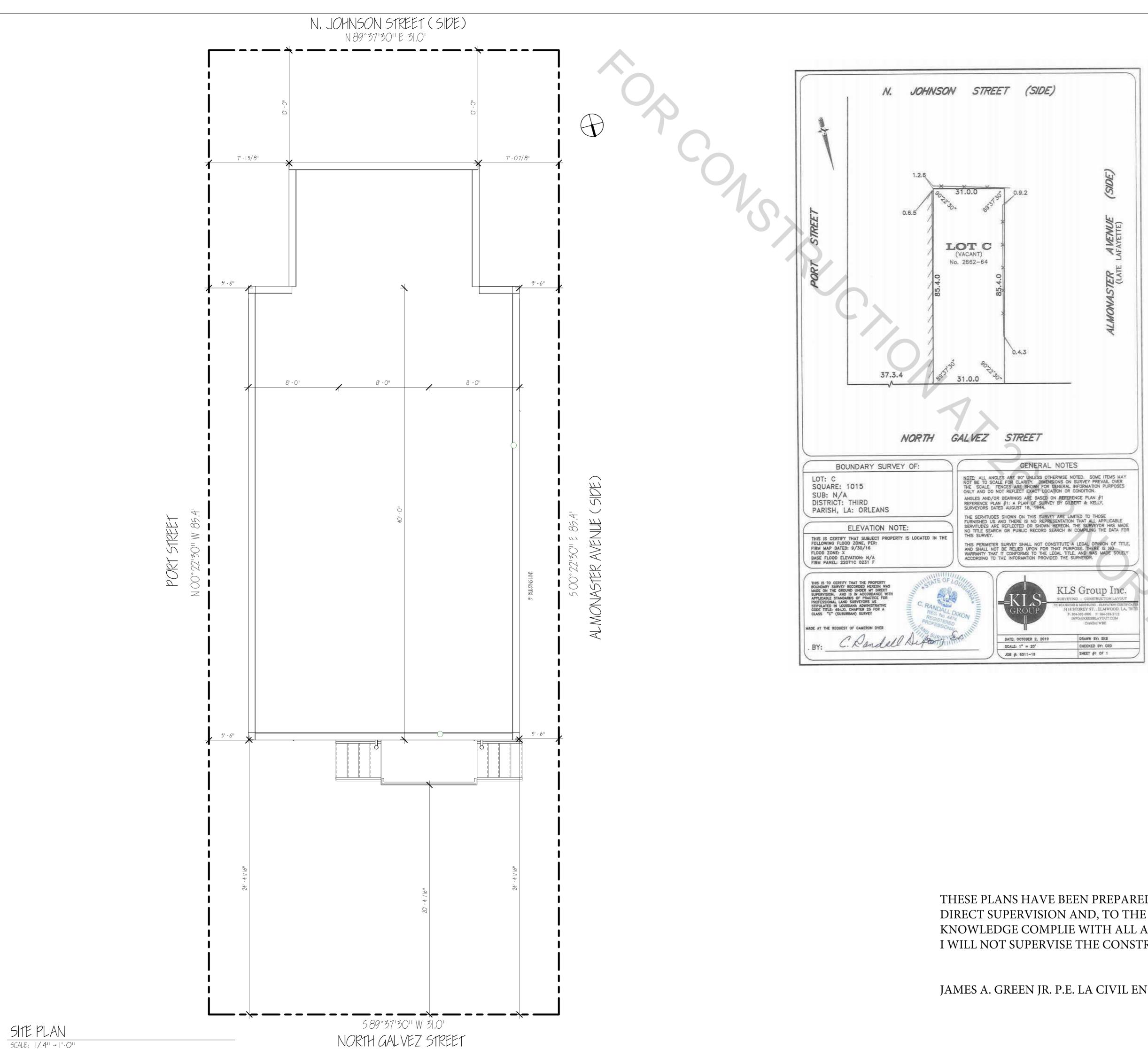


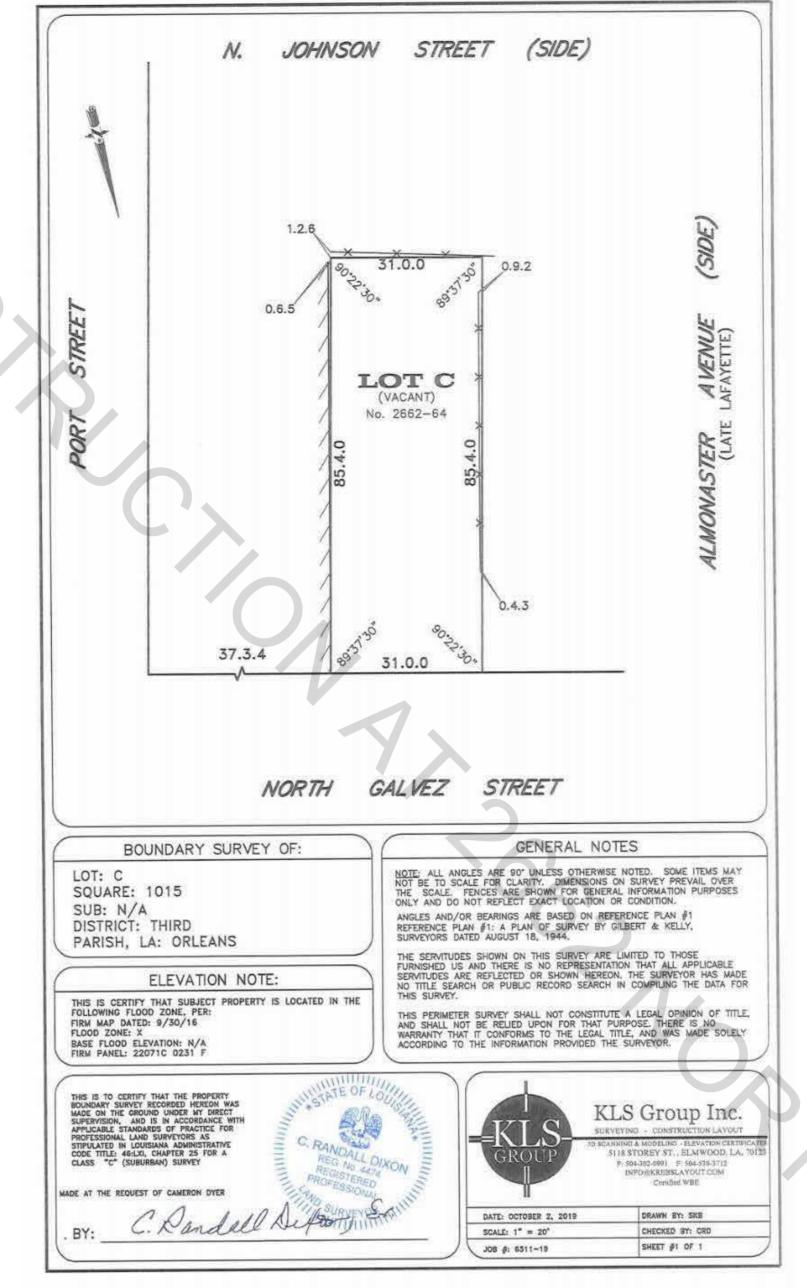


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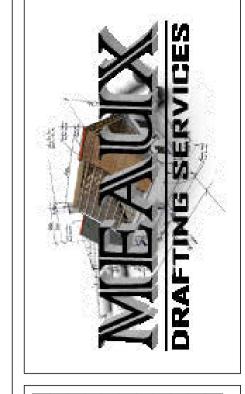
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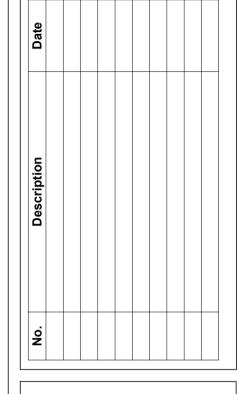




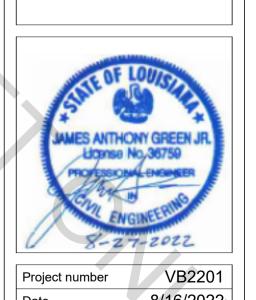
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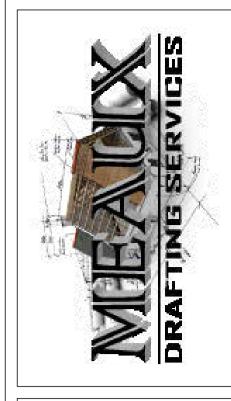
STORY DUPLEX CONTA 2662 N GALVEZ S NEW ORLEANS, LA 7

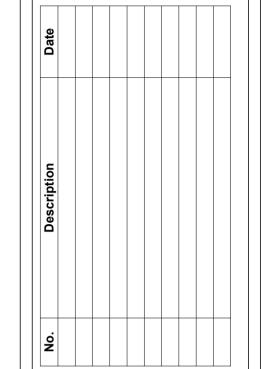


8/16/2022

Door Schedule				
Mark	Туре	Comments		
1	32" x 80"			
2	32" x 80"			
3	36" x 80"			
4	36" x 80"			
5	24" x 80"			
6	36" x 80"			
7	36" x 80"			
8	24" x 80"			
9	60" x 80"			
10	34" x 80"			
11	34" x 84"			
12	30" x 80"			
13	30" x 80"			
14	32" x 80"			
15	36" x 80"			
16	32" x 80"			
17	36" x 80"			
18	32" x 80"			
19	36" x 80"			
20	32" x 80"			
21	36" x 80"			
22	36" x 80"			
23	60" x 80"			

Window Schedule				
Mark	Туре	Comments		
2	38" x 62"			
4	38" x 62"			
6	38" x 62"			
8	38" x 62"			
10	38" x 62"			
11	38" x 62"			
12	30" x 12"			
15	36" x 24"			
16	36" x 24"			
17	36" x 24"			
19	38" x 62"			

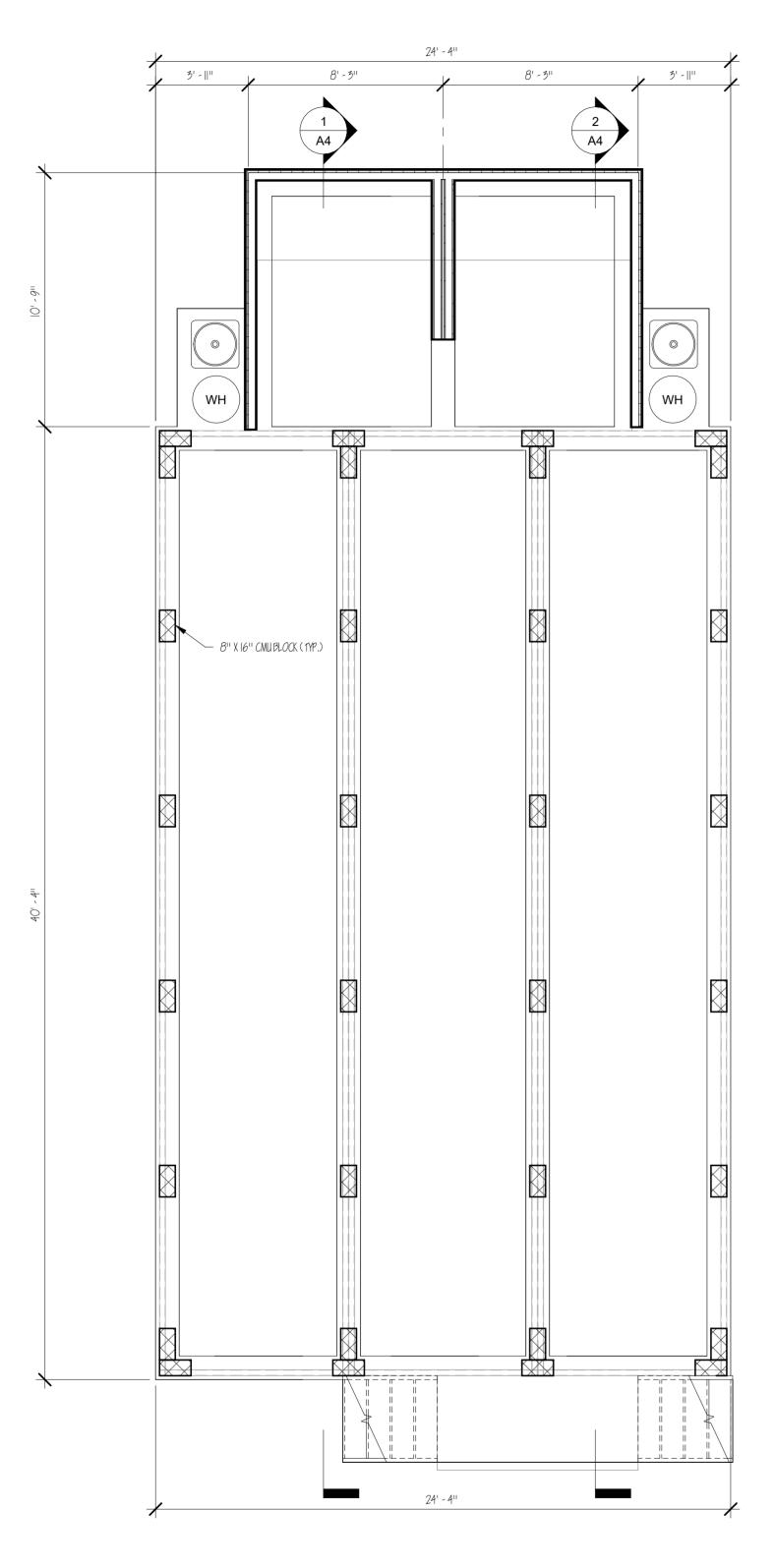




TWO STORY DUPLEX CONTAINER HOM
2662 N GALVEZ ST
NEW ORLEANS, LA 70117

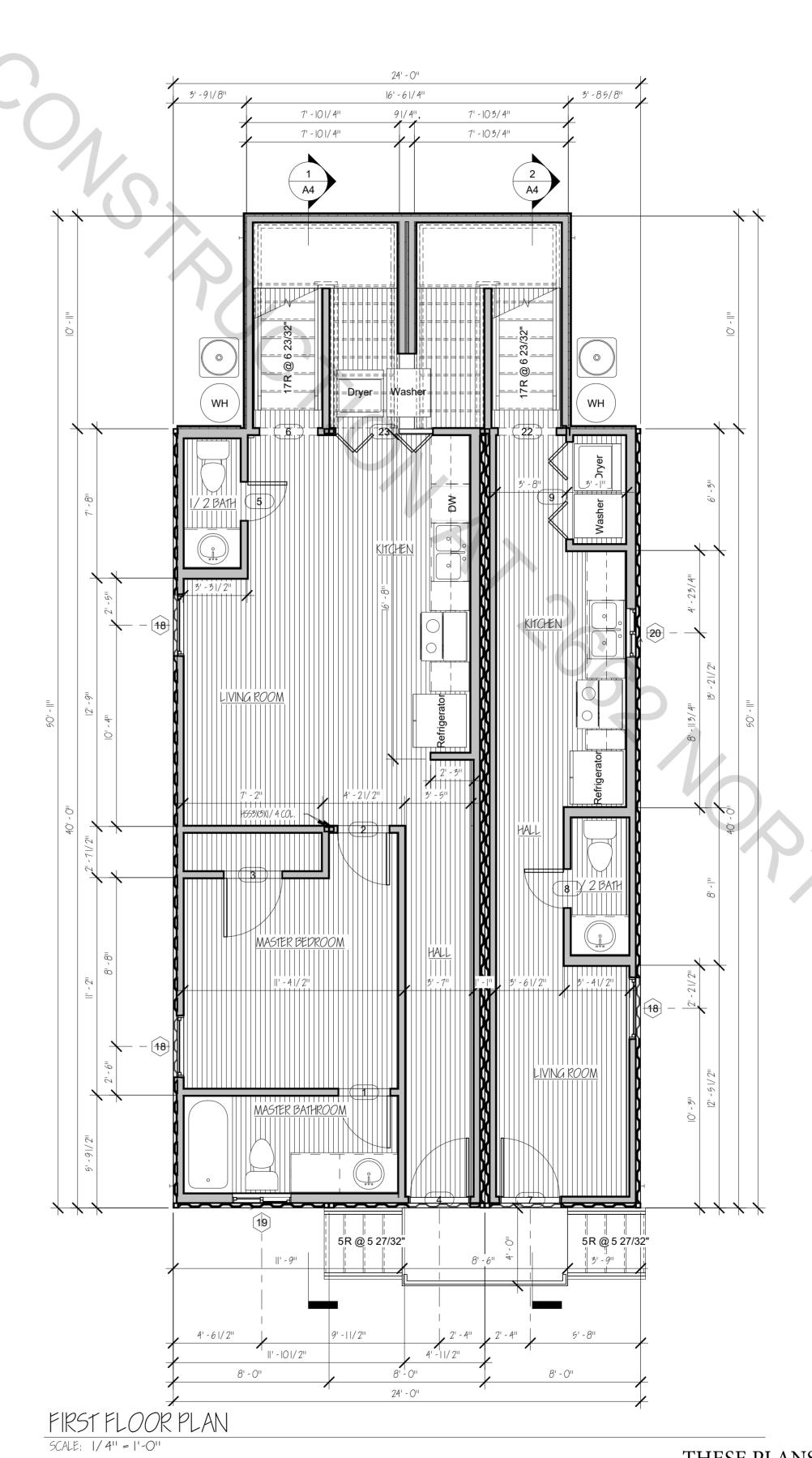
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FOUNDATION PLAN

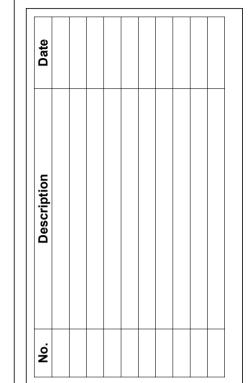
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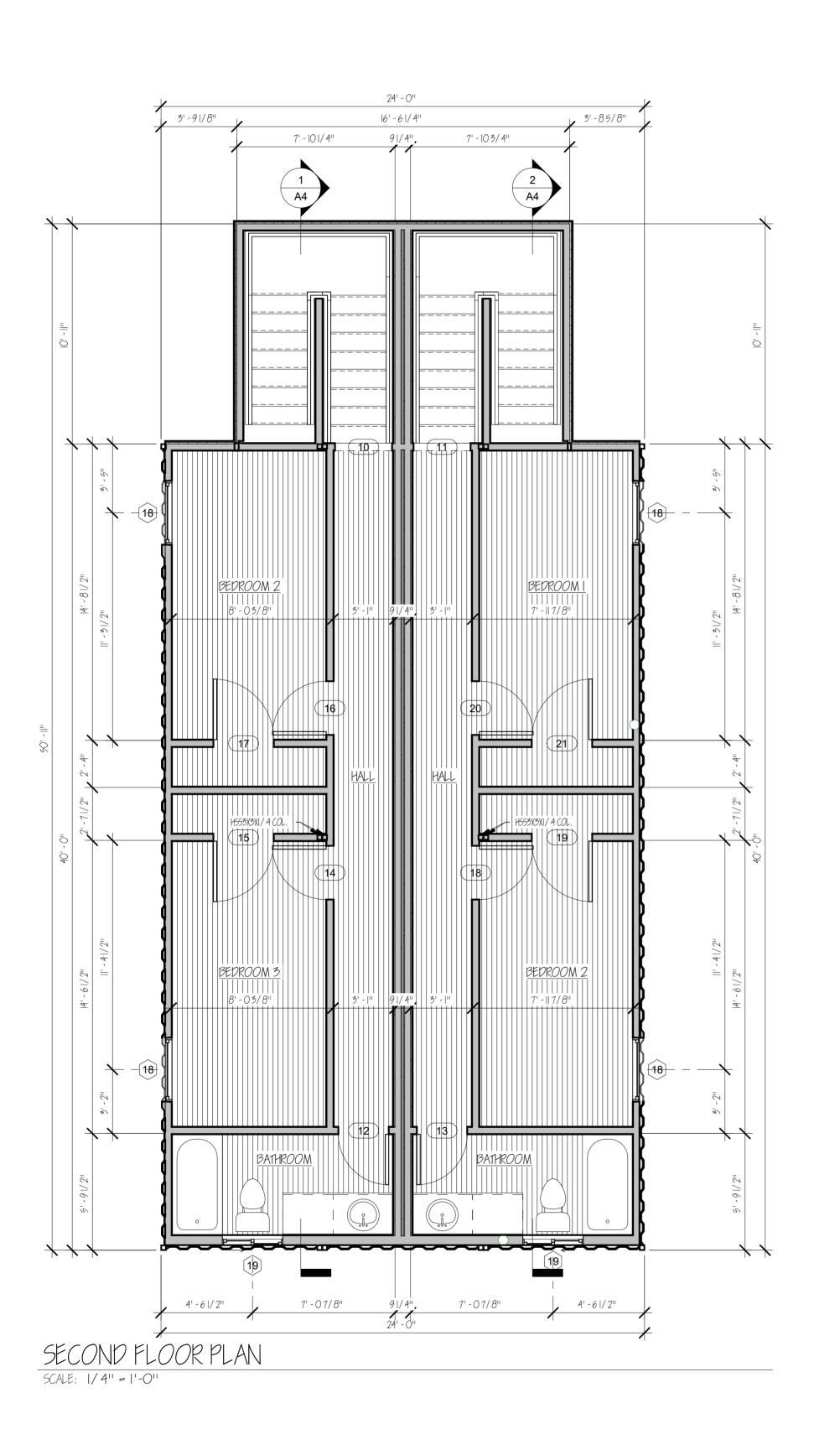
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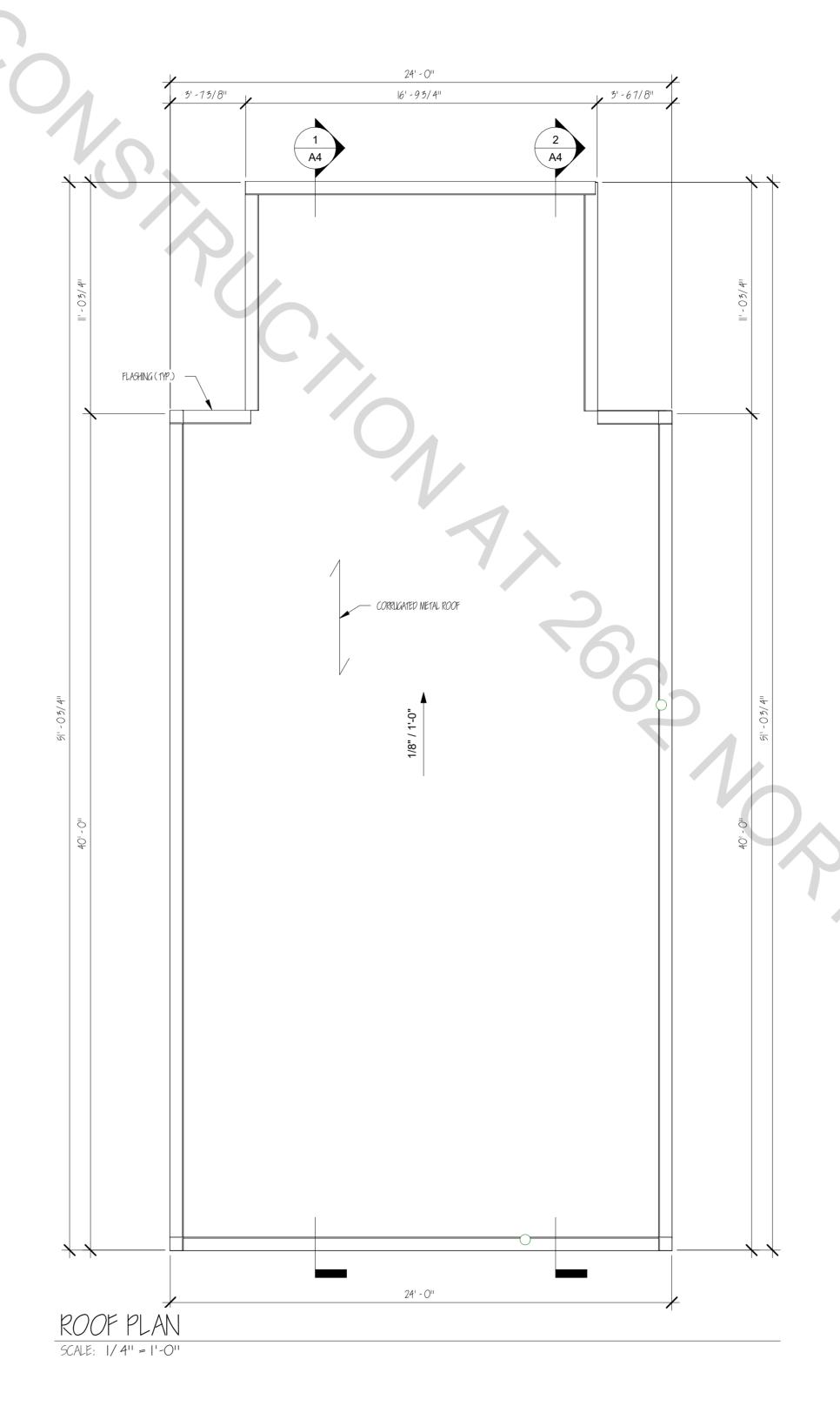




TWO STORY DUPLEX CONTAIN
2662 N GALVEZ ST
NEW ORLEANS, LA 701

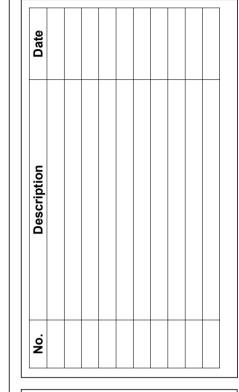
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Date 8/16/2022
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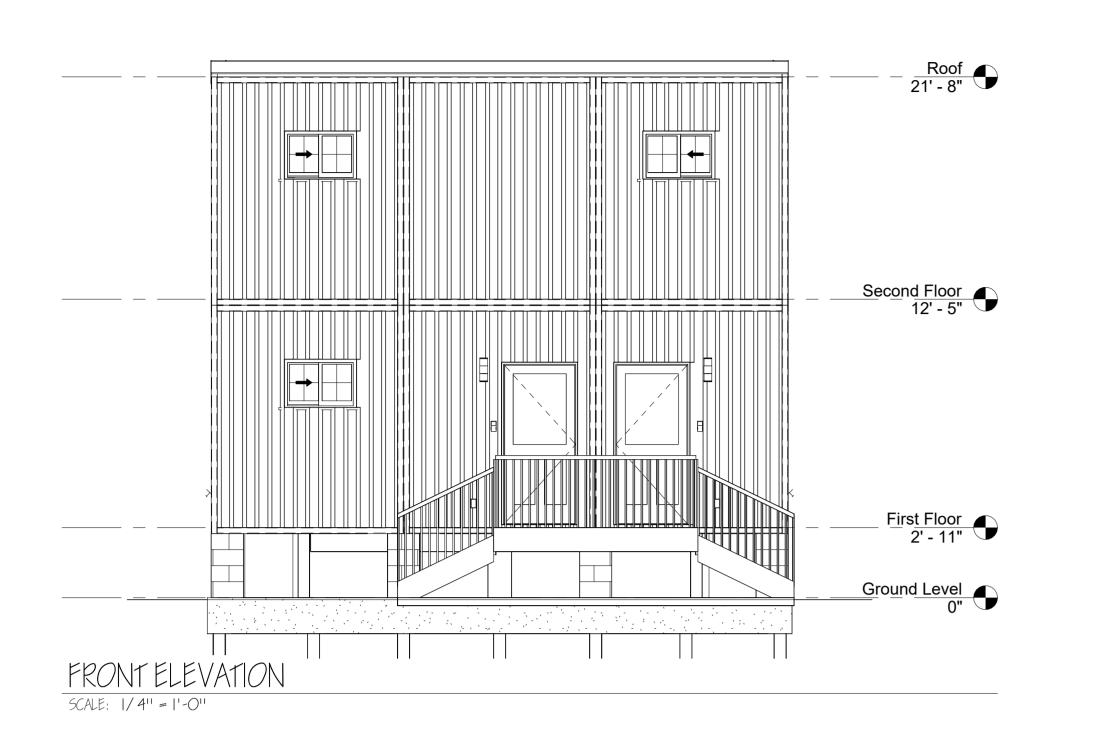


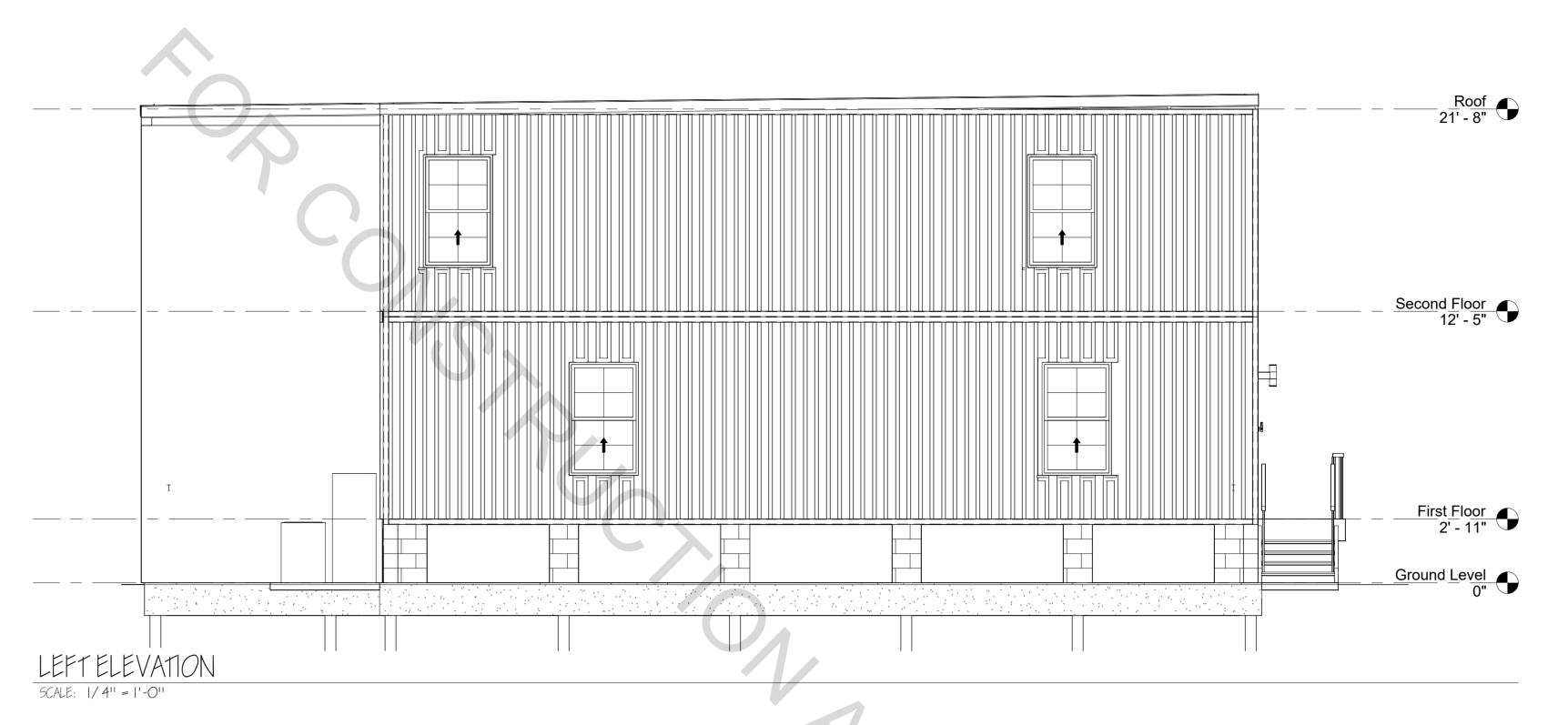


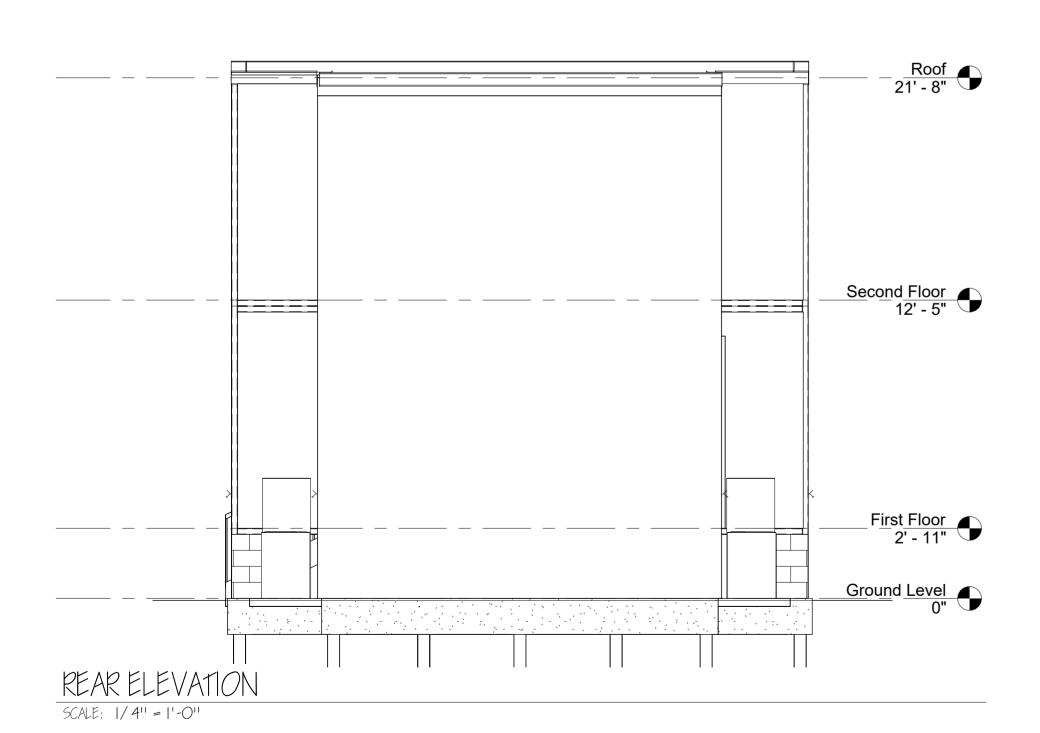
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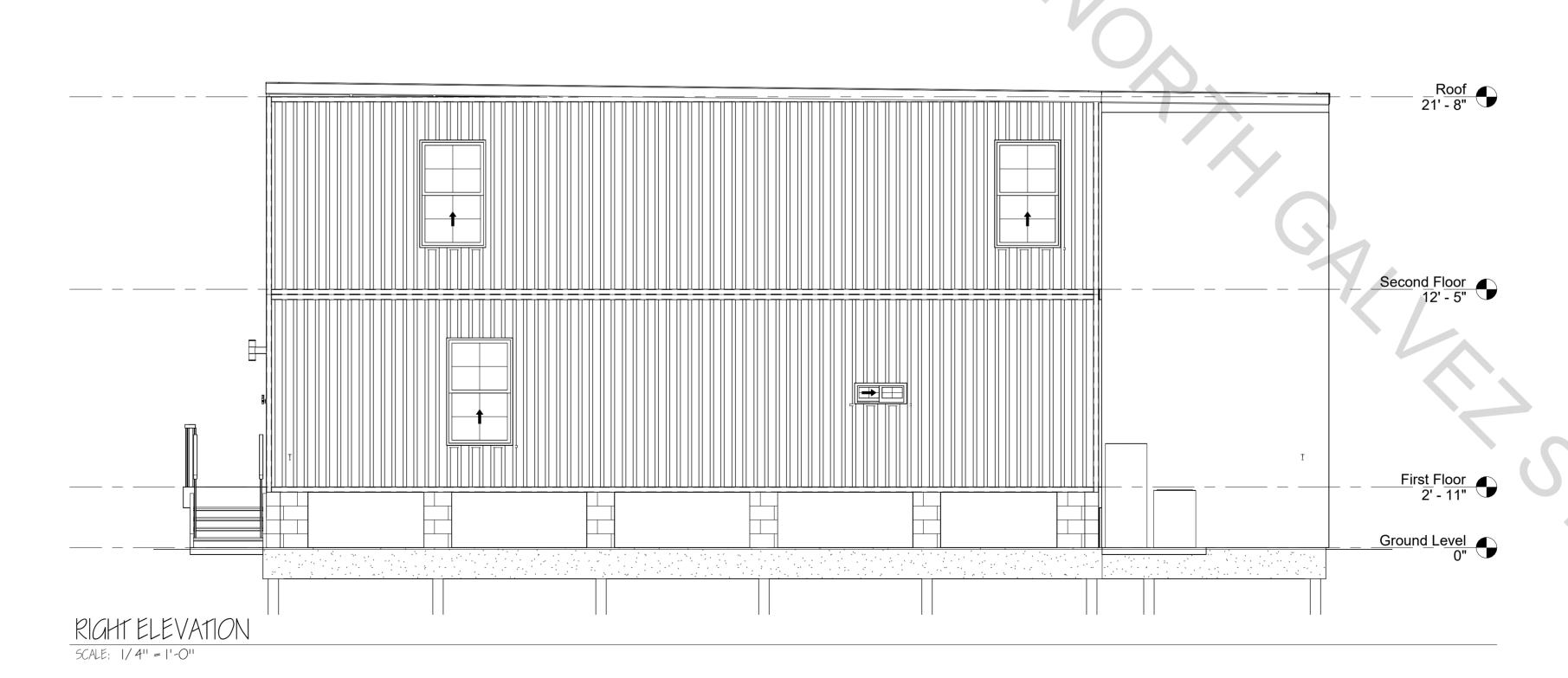






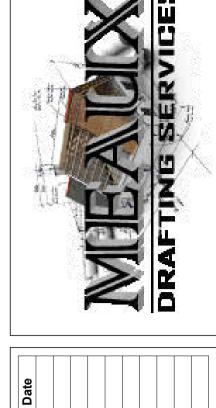


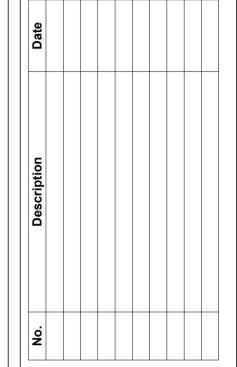




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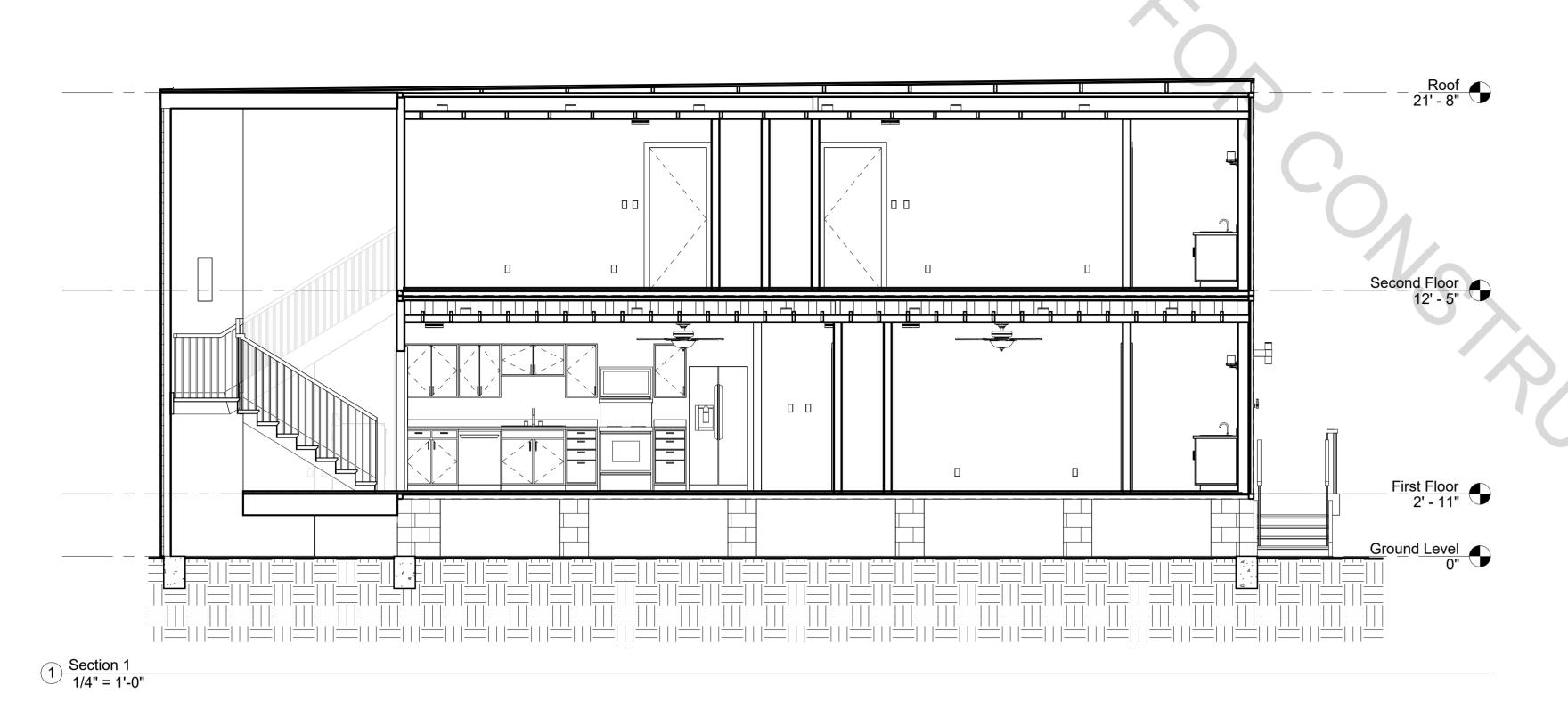


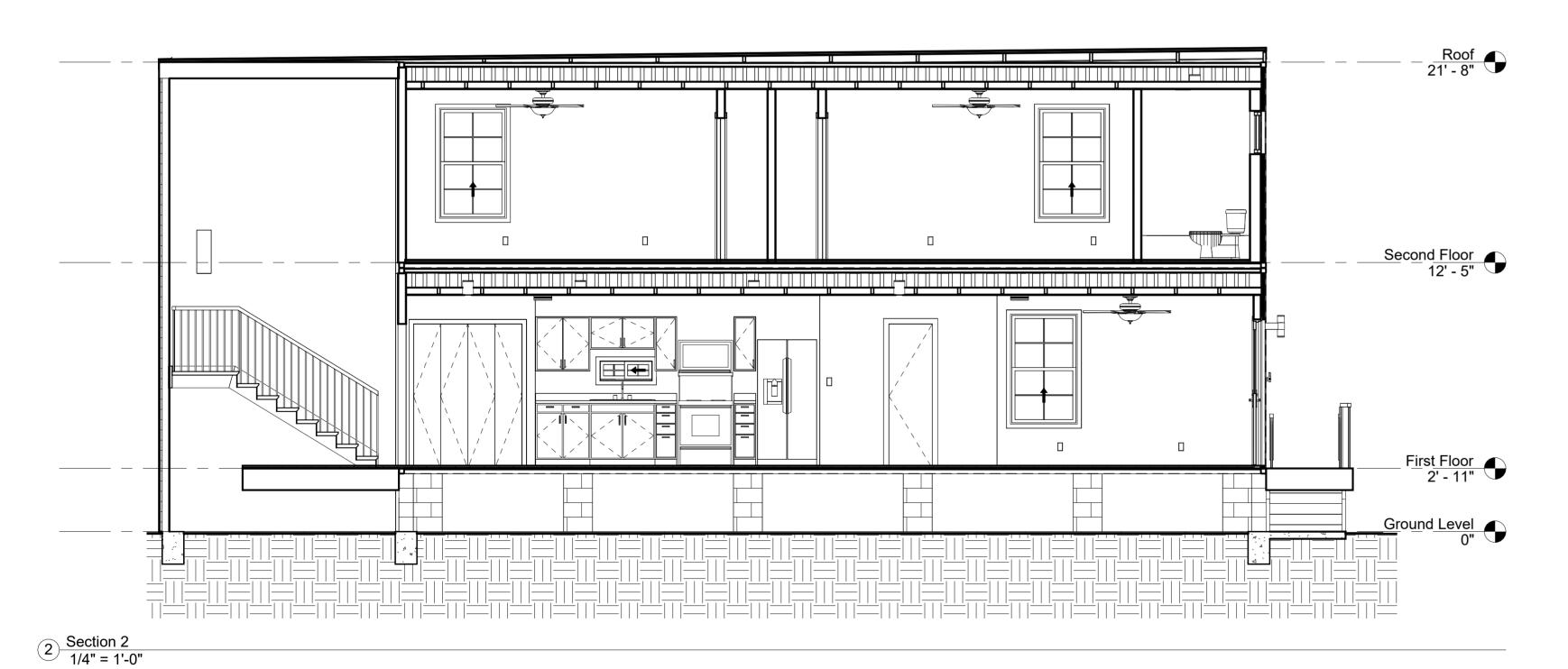


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O STORY DUPLEX CONTAINER H
2662 N GALVEZ ST
NEW ORLEANS, LA 70117
ELEVATIONS

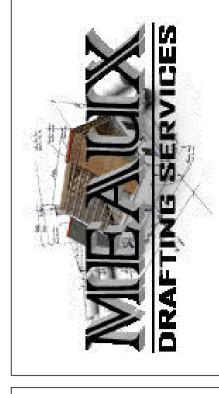
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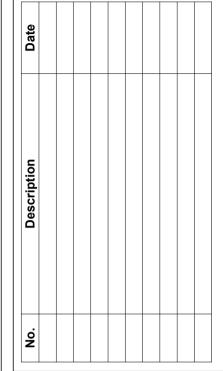




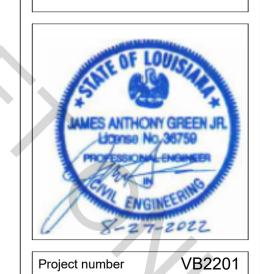
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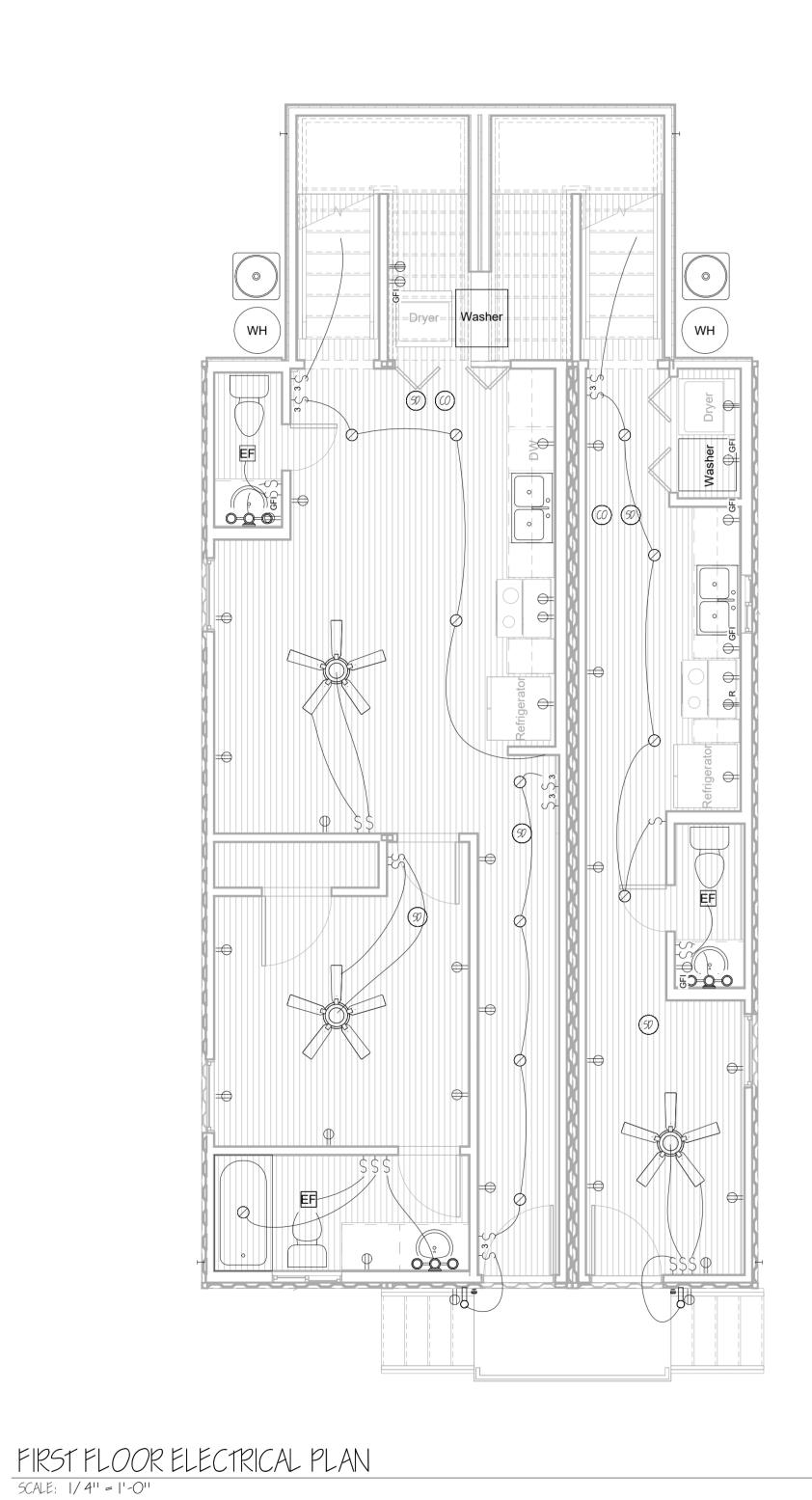


1 WO STORY DUPLEX CONTAINER
2662 N GALVEZ ST
NEW ORLEANS, LA 70117
BUILDING SECTIONS



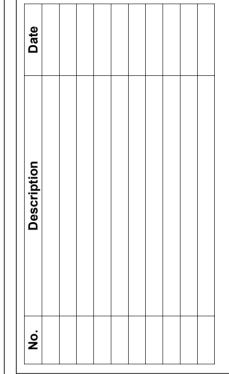
Project number VB2201
Date 8/16/2022
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A4Scale 1/4" = 1'-0"



SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



1/4" = 1'-0"

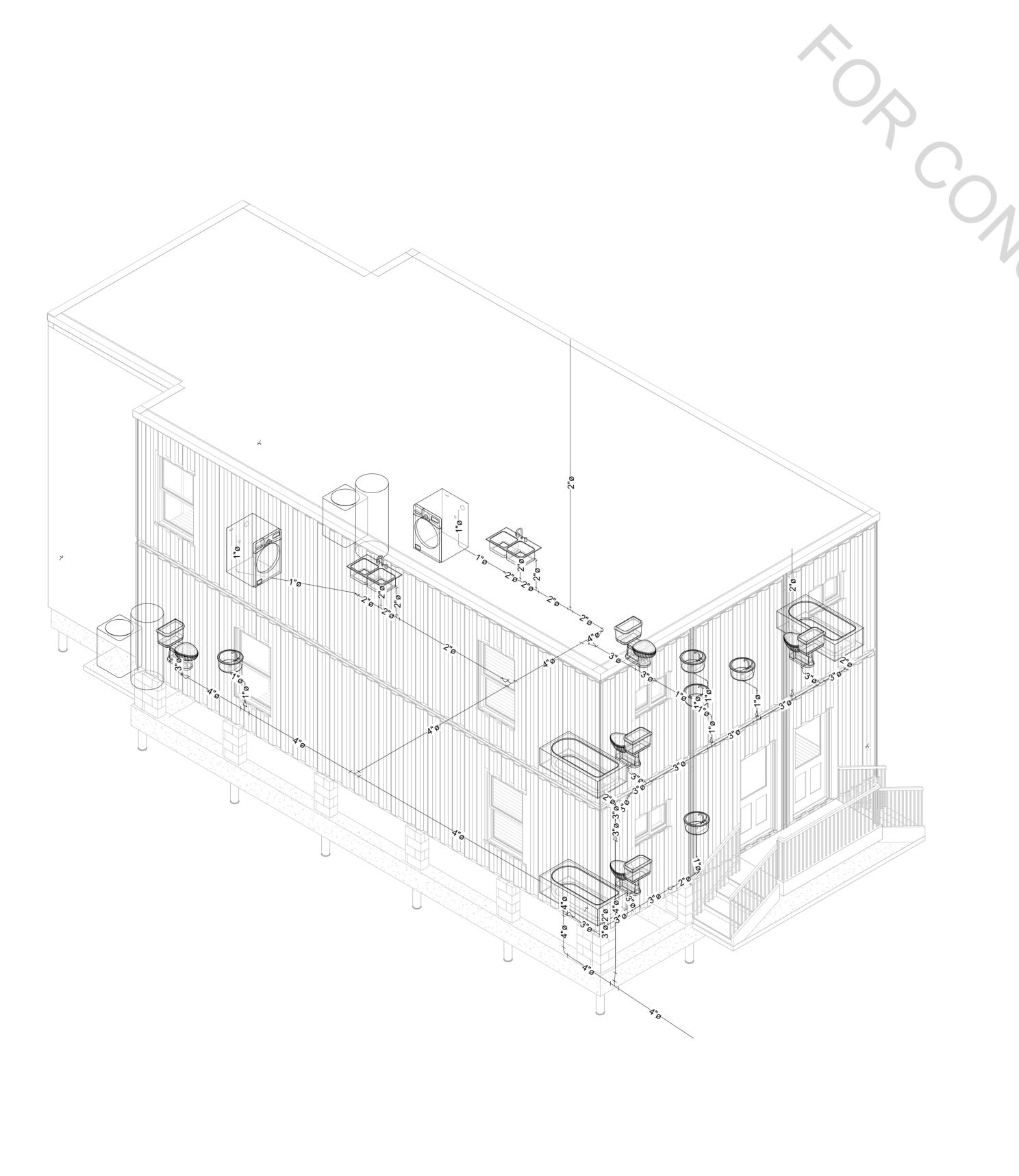
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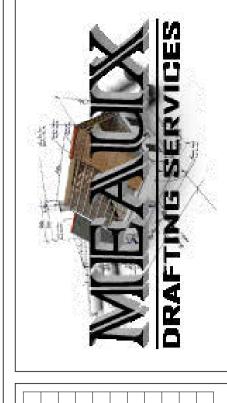
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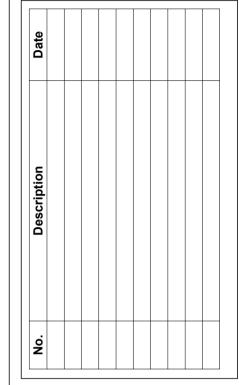


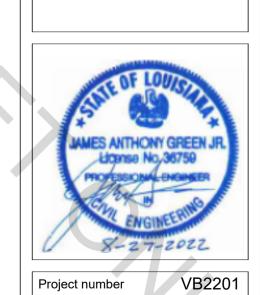
PLUMBING RISER DIAGRAM
SCALE:

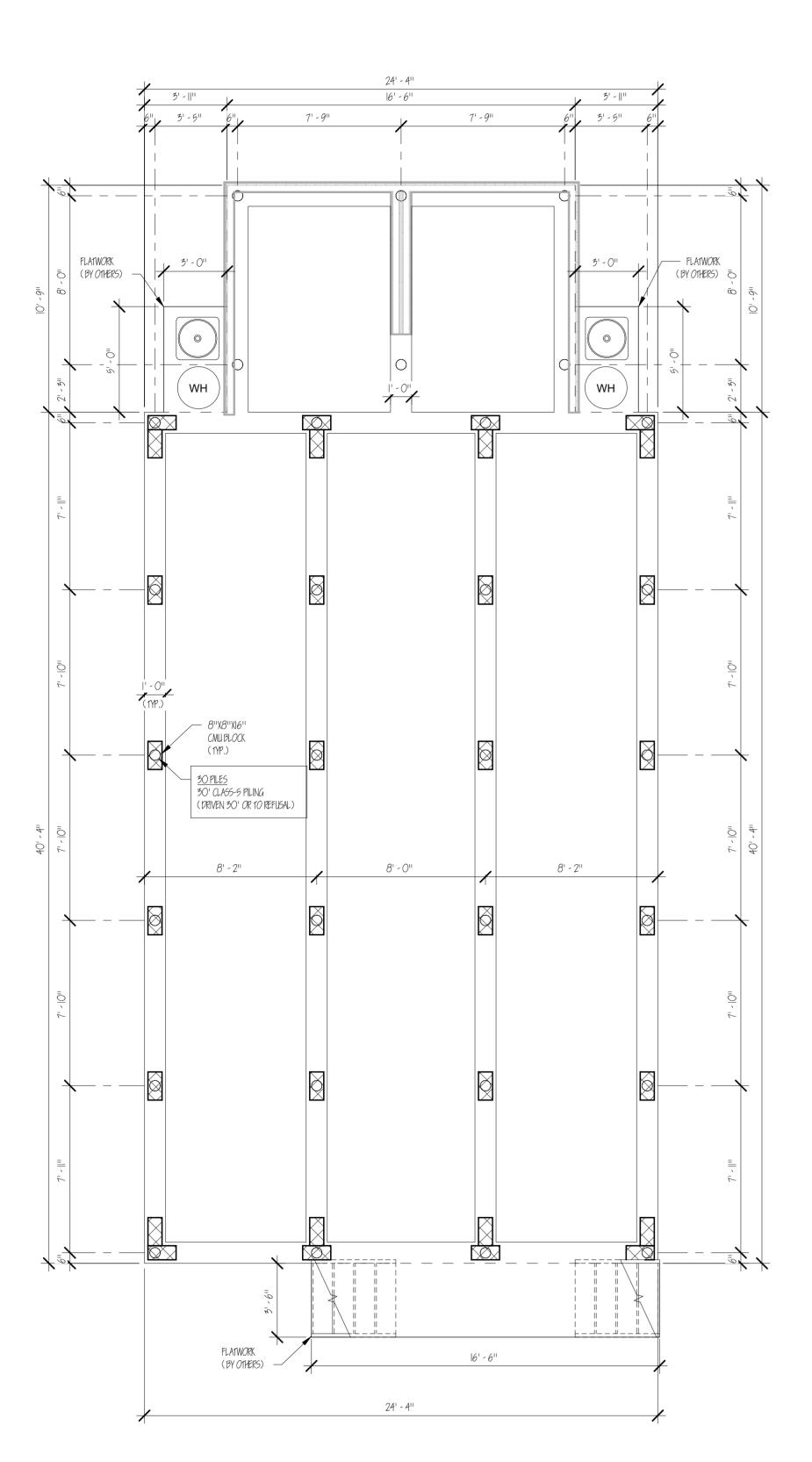
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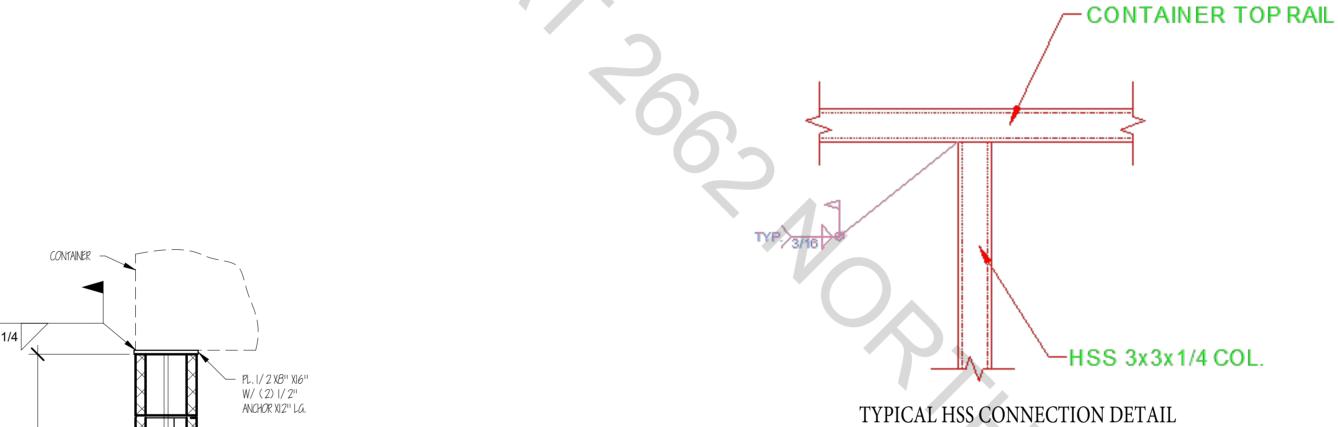




FOUNDATION FRAMING PLAN

SCALE: 1/4" = 1'-0"

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WELD CONTAINER FRAMING TO PLATE 1/4 PL. 1/2 X8" X16" W/ (2) 1/2" ANCHOR X12" LG. 8"X8"X16" CONC. B.K. (1)P.) #5 ANCHOR BOLTS (2 PER PER) #6 CONT. B.B. W/ #3 TE5 @ 24"O.C.

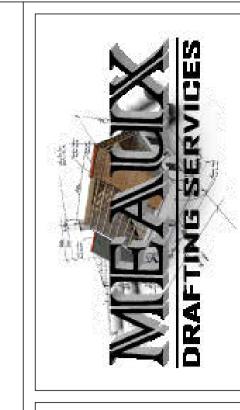
TYPICAL CONTINUOUS FOOTING DETAIL SCALE: I" = I'-O"

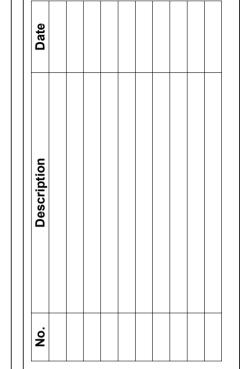
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GENERAL NOTES: REINFORCING STEEL FOUNDATION

- I. CONCRETE SHOULD GIVE A MINIMUM COMPRESSION STRENGTH OF 4000 P.S.I. AT 28 DAYS, CONCRETE DESIGN MIX SHALL BE IN ACCORDANCE WITH THE A.C.I. 318-77 AND LOCAL BUILDING CODE REQUIREMENT.
- 2. ALL CONVENTIONAL REINFORCING STEEL SHALL BE ACI DESIGNATION A-615 (GRADE 60) REINFORCING AND SHALL BE DETAILED AND ACCESSORIES PROVIDED IN ACCORDANCE WITH THE LATEST A.C.I. MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.
- 3. MESH AND BARS SHALL BE ADEQUATELY AND SECURELY SUPPORTED TO PREVENT VERTICAL AND HORIZONTA MOVEMENT DURING PLACING OF CONCRETE.
- 4. THE CONTRACTOR SHALL VERIFY ALL DROPS, OFFSETS, BRICK LEDGES AND BLOCKOUTS ON ARCHITECT PLANS AND NOTIFY THE ENGINEER OF AN DISCREPANCIES THAT MAY EXIST.
- 5. REINFORCEMENT SHALL HAVE A MINIMUM OF 2" COVER IN GRADE BEAM BOTTOMS, 2" COVER IN BEAM SIDES AND TOPS, 11/2" COVER IN SLAB TOPS AND BOTTOMVS
- 6. PROVIDE 0.006 POLYETHYLENE MEMBRANE UNDER ALL CONCRETE SLAB.
- 7. ALL SECTIONS SHOWN ARE AT MID-SPAN OF GRADE BEAMS UNLESS OTHERWISE SHOWN.
- 8. PIPES, CONDUITS, THIMBLES, ETC., TO PASS THROUGH CONCRETE SLAB OR BEAM MUST NOT CONFLICT WITH REINFORCING.
- 9. ANY DEVIATION FROM THIS PLAN OR SPECIFICATIONS WILL VOID ENGINEER'S LIABILITY AND RESPONSIBILITY.
- 10. THIS DESIGN TO BE USED ONLY FOR THE BELOW LOCATION.





TWO STORY DUPLEX CONTAINER HO 2662 N GALVEZ ST NEW ORLEANS, LA 70117

JAMES ANTHONY GREEN JR.
Ligense No.38750
PROFESSION LENGUER

ENGINEERING
ENGINEERING

8-27-2022

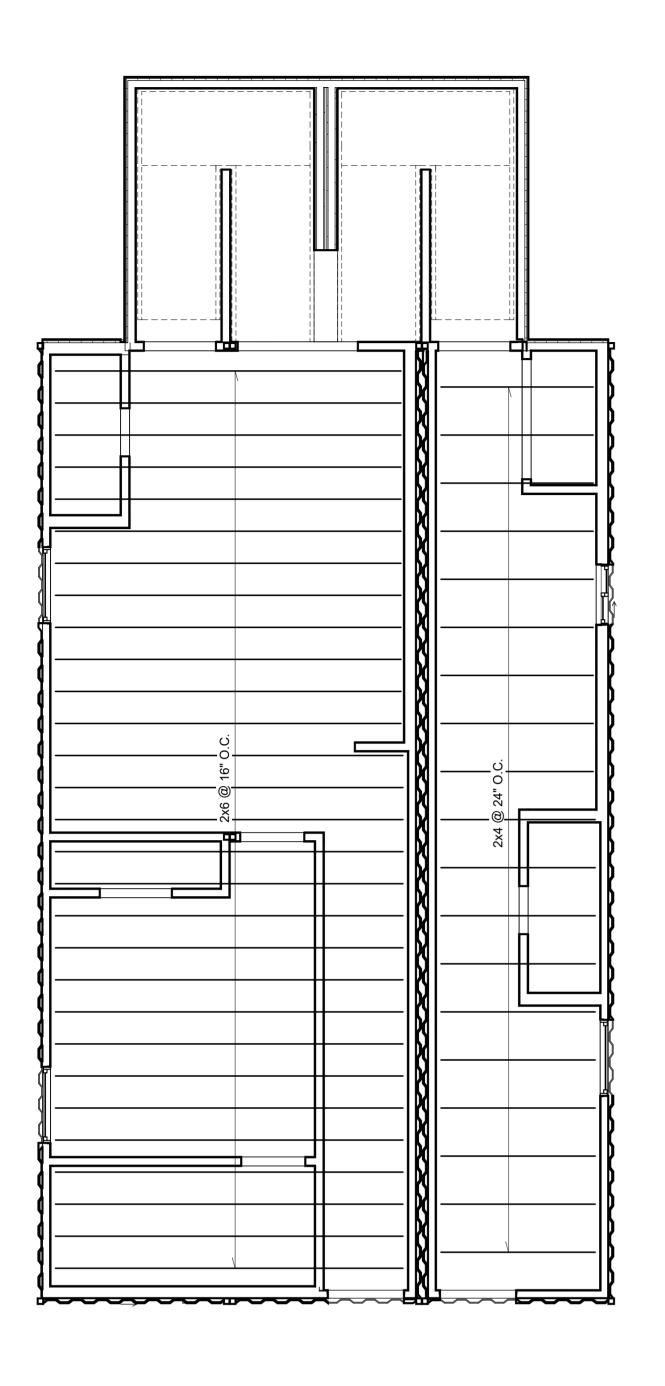
Project number VB2201

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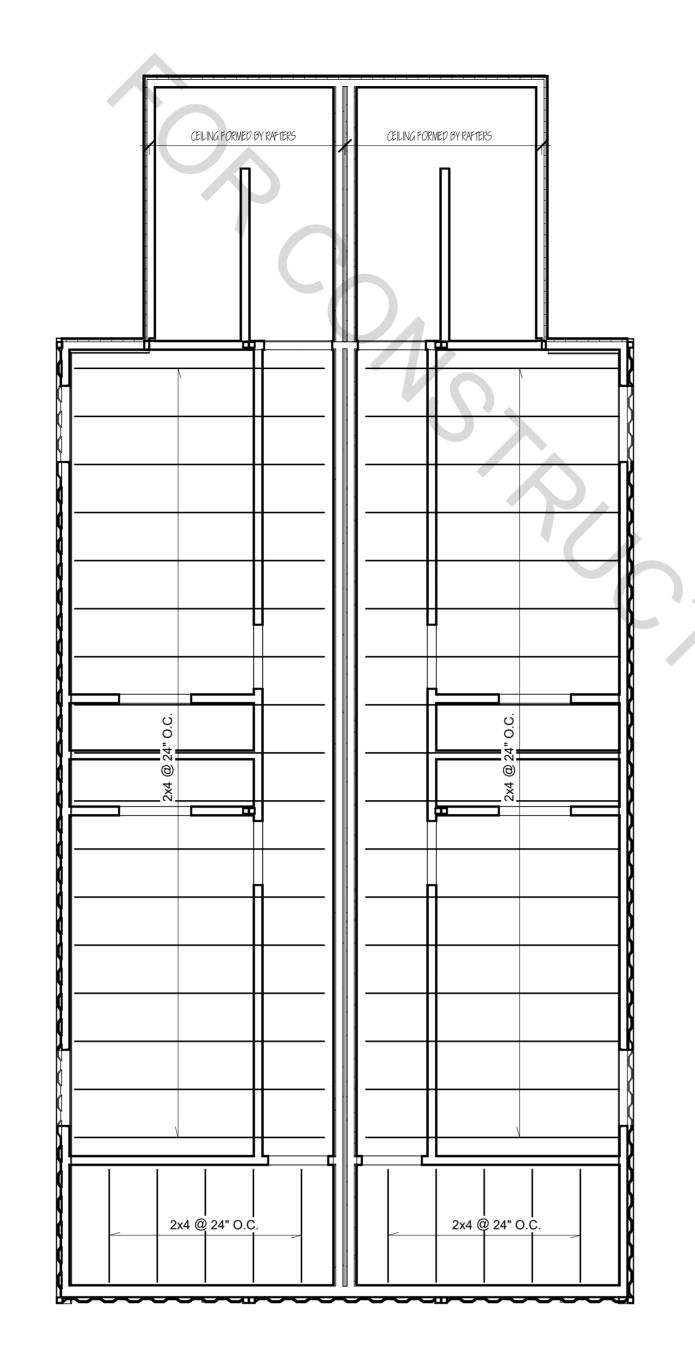
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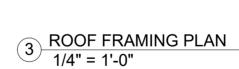
1 FIRST FLOOR CEILING FRAMING PLAN
1/4" = 1'-0"

FRAMING NOTES:

- I. ALL WOOD FRAMING, FABRICATION AND ERECTION SHALL CONFORM TO 1HE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NFPA. THE PLYWOOD DESIGN SPECIFICATION BY THE APA AND MEET THE REQUIREMENTS OF THE STANDARD BUILDING CODE, ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE S.B.C..
- 2. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED.
- 3. BLOCK ALL STUDS AT MID-HEIGHT, ANCHOR BOTTOM PLATE OF STUD WALLS TO CONCRETE @ 16" O.C.
- 4. PROVIDE WOOD CROSS BRIDGING, BLOCKING AND BRACING AS REQUIRED BY BUILDING CODE. PROVIDE DOUBLE JOISTS AT ALL PARALLEL WALLS ABOVE AND SOLID BLOCKING OVER BEARING WALLS.
- 5. PLYWOOD SUBFLOOR APA RATED 48/24, 3/4" THICK TONGUE AND GROVE.
- 6. PLYWOOD ROOF SHEATHING APA RATED 24/0,3/4" THICK, PROVIDE CLIPS AT UNSUPPORTED EDGES BETWEEN ROOF RAFTERS.
- 7. COORDINATE FRAMING WITH HVAC DUCTS, ELECTRICAL AND PLUMBING REQUIREMENTS.
- 8. BORED HOLES SHALL BE 2" CLEAR FROM TOP OR BOTTOM EDGES OF JOIST, NOT LARGER THAN 11/4" DIA. AND NOT IN THE MIDDLE OF A SPAN.
- 9. STRAP ALL STUDS CUT AWAY FOR PLUMBING WITH 1 1/2" WIDE, NO. 24 GALIGE GALVANIZED STRAPS, 18" LONG, BOTH SIDES OF WALL, SPIKED TO PLATES.



SECOND FLOOR CEILING FRAMING



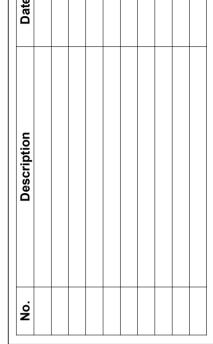
GENERAL ROOF NOTES

- 1. TYPICAL SHEATHING SHALL BE 5/8" CDX PLYWOOD 32/16 APA RATED WITH 8d NAILS AT 6" O.C. AT EDGES; 12" O.C. FIELD.
- 2. 16" OVERHANG FROM FRAME TYP.
- 3. 16" OVERHANG TYP, FROM FRAME AT RAKES.
- 4. ATTIC VENTILATION: THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.

RAFTER FRAMING NOTES

- I. ALL RAFTERS ARE 2X8, #2 5,Y,P. @ 16" O.C. UNLESS NOTED OTHERWISE.
- 2. MAXIMUM SPAN OF COMMON RAFTER TO BE 15'-6", DEAD LOAD = 10 P.S.F. AND LIVE LOAD = 20 P.S.F.
- 3. ALL HIPS, VALLEYS AND RIDGES TO BE ONE MILL SIZE LARGER THAN COMMON RAFTERS, UNLESS OTHERWISE NOTED.
- 4. DO NOT BRACE ROOF UPON CEILING JOISTS OR STRONGBACKS.
- 5. SEE TYPICAL DETAIL SHEET FOR FRAMING NOTES AND DETAILS.
- 6. BRACE PURLINS & RIDGES @ 4'-O'' O.C. BRACE VALLEYS & HIPS UNDER 45° SLOPES @ 8'-O'' O.C.





TWO STORY DUPLEX CONTAINER F 2662 N GALVEZ ST NEW ORLEANS, LA 70117

SMES ANTHONY GREEN JR.
LICENSE NO. 36750
PROYESSIONAL ENGINEER
ENGINEERING

Project number VB2201

Date 8/16/2022

Drawn by Author

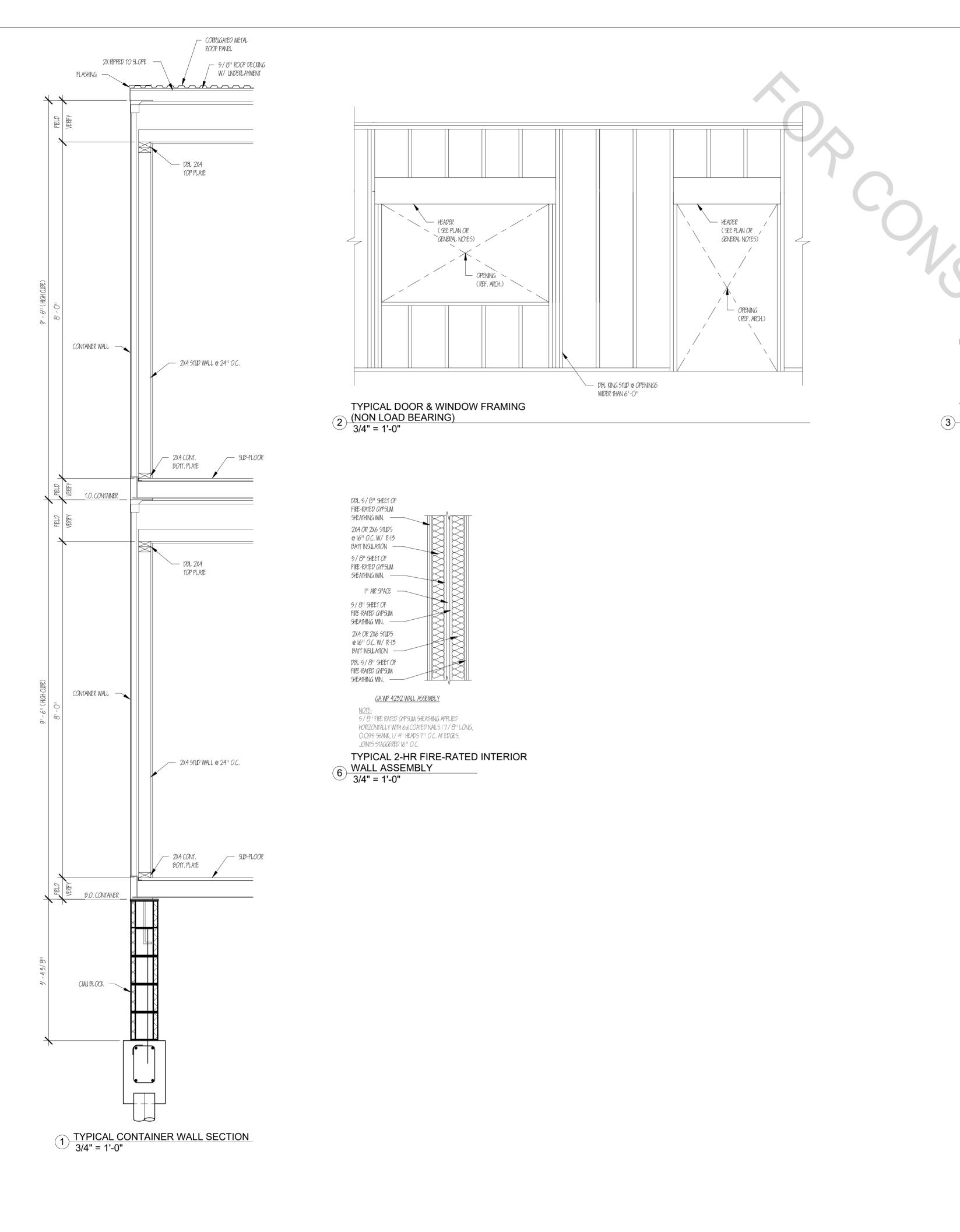
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1/2" GYPSUM SHEATHING MIN. — VAPOR BARRIER -5/8" PLYW*00*0 SHEATHING OR EQUIVALENT MIN. 2X4 51UDS @ 24" O.C. — 1/2" GYPSUM SHEATHING MIN. 1/2" GYPSUM 2X6 51U05 @ 16" O.C. W/ R-19 BATT INSULATION — SHEATHING MIN. 1/2" GYPSUM SHEATHING MIN. TYPICAL EXTERIOR CONTAINER WALL

3 DETAIL

3/4" = 1'-0" TYPICAL INTERIOR WALL DETAIL (NON LOAD BEARING)

3/4" = 1'-0" 4 TYPICAL EXTERIOR WALL DETAIL 3/4" = 1'-0"

T.

HOME

Project number

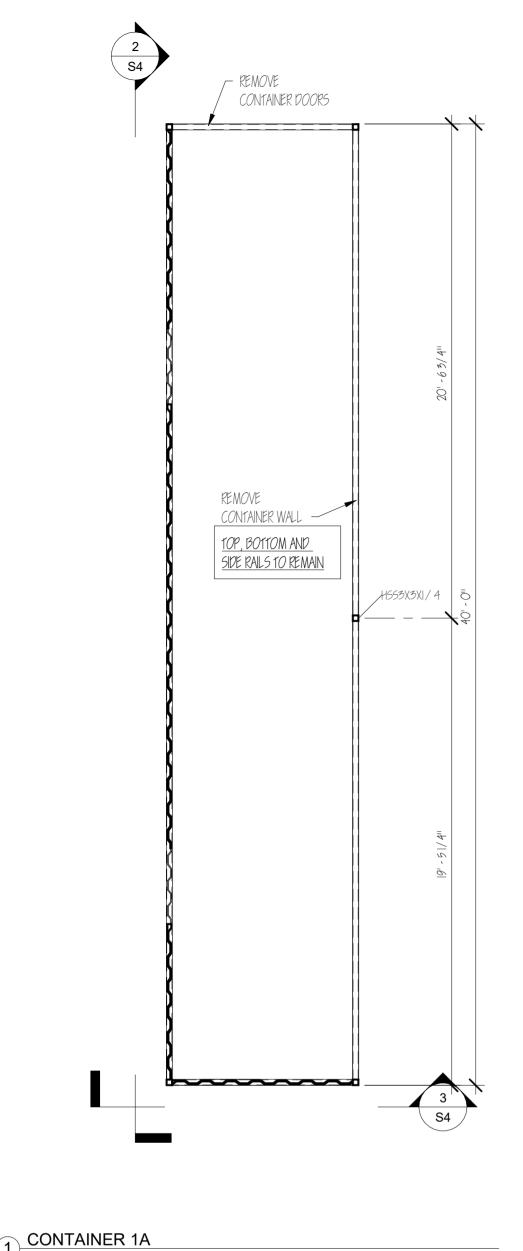
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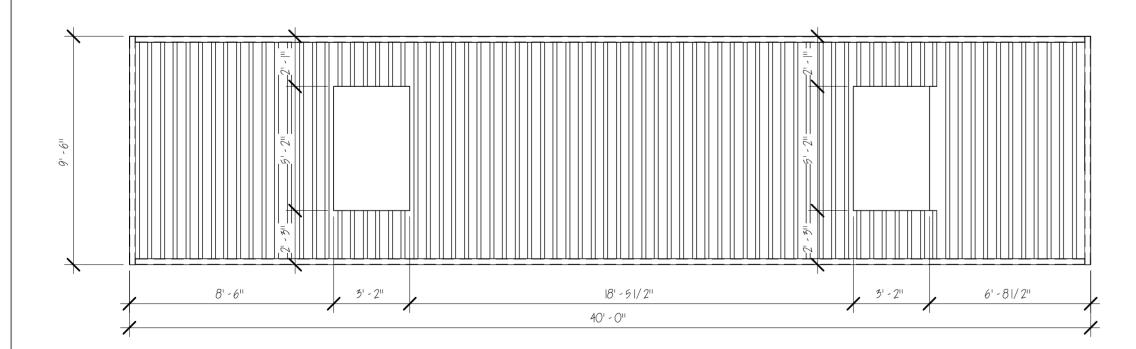
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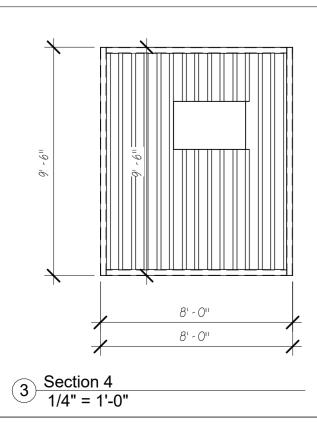
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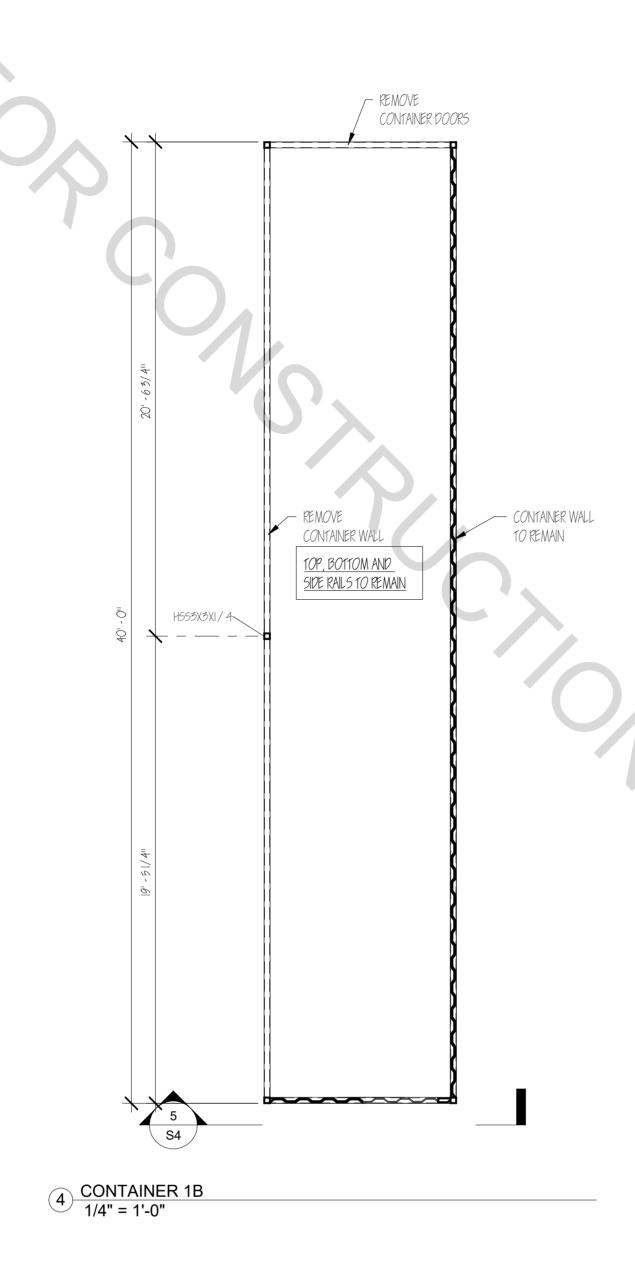


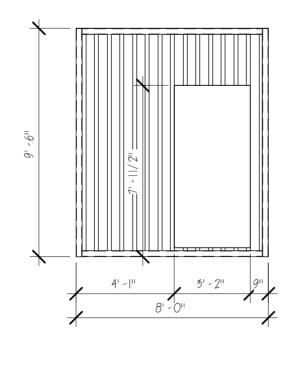
1) CONTAINER 1A 1/4" = 1'-0"



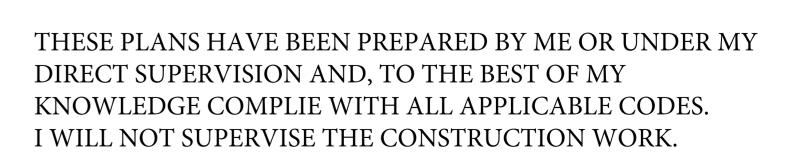
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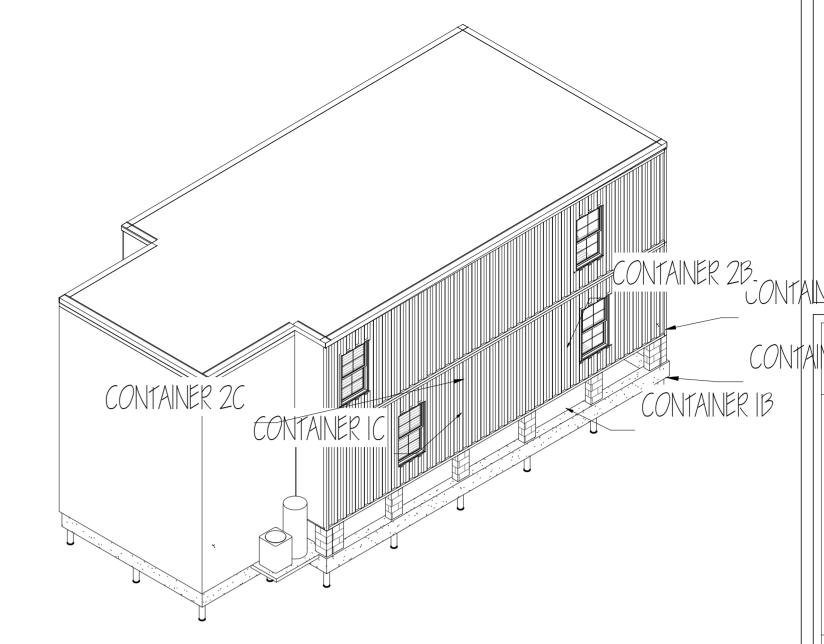




5 Section 5 1/4" = 1'-0"



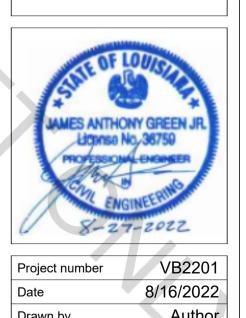
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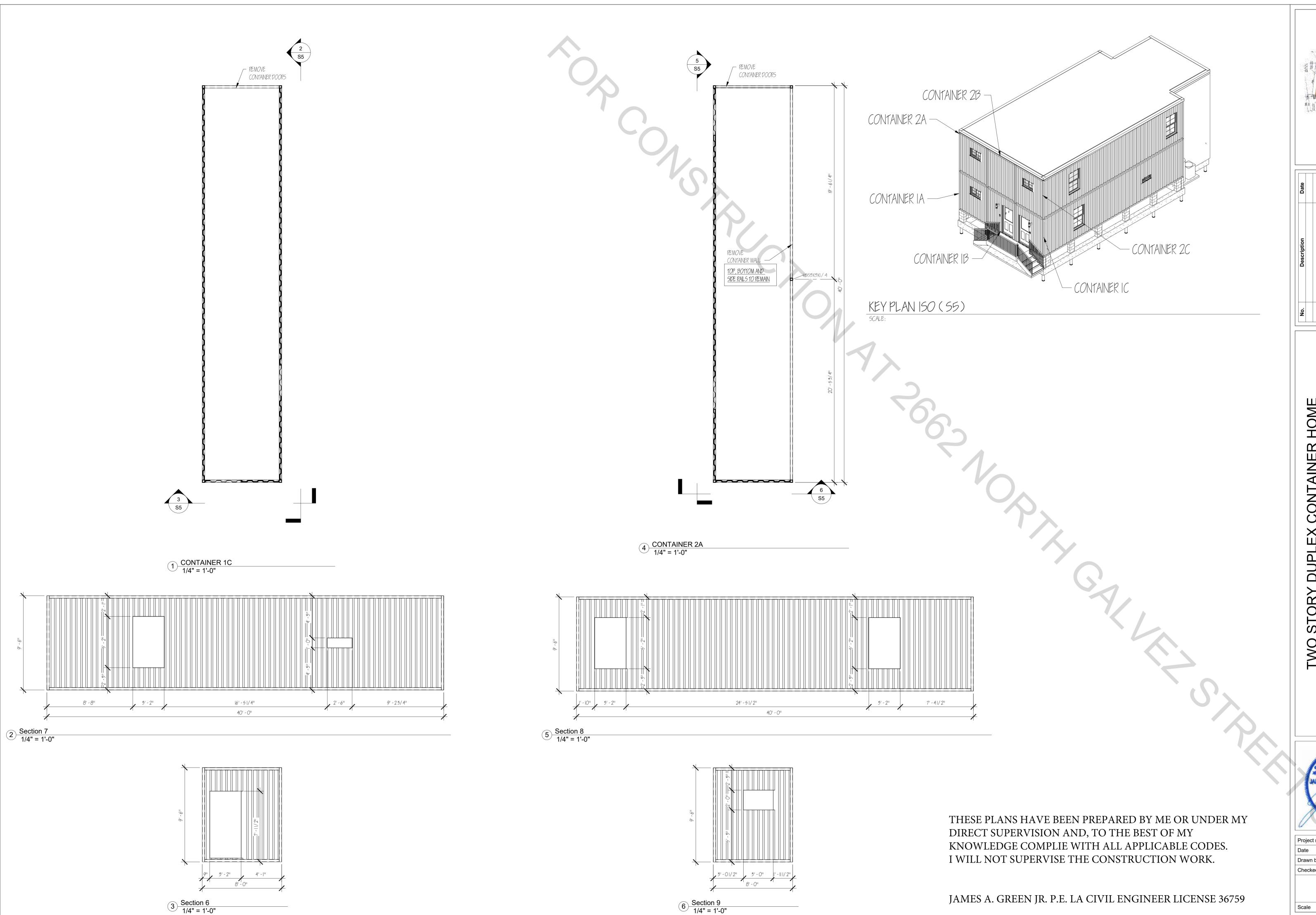


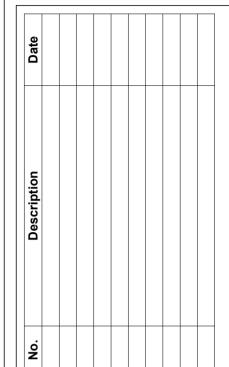
KEY PLAN ISO (54)

SCALE:

HOME CONTAINER I LVEZ ST JS, LA 70117 TORY DUPLEX CC 2662 N GALVI NEW ORLEANS, STORY



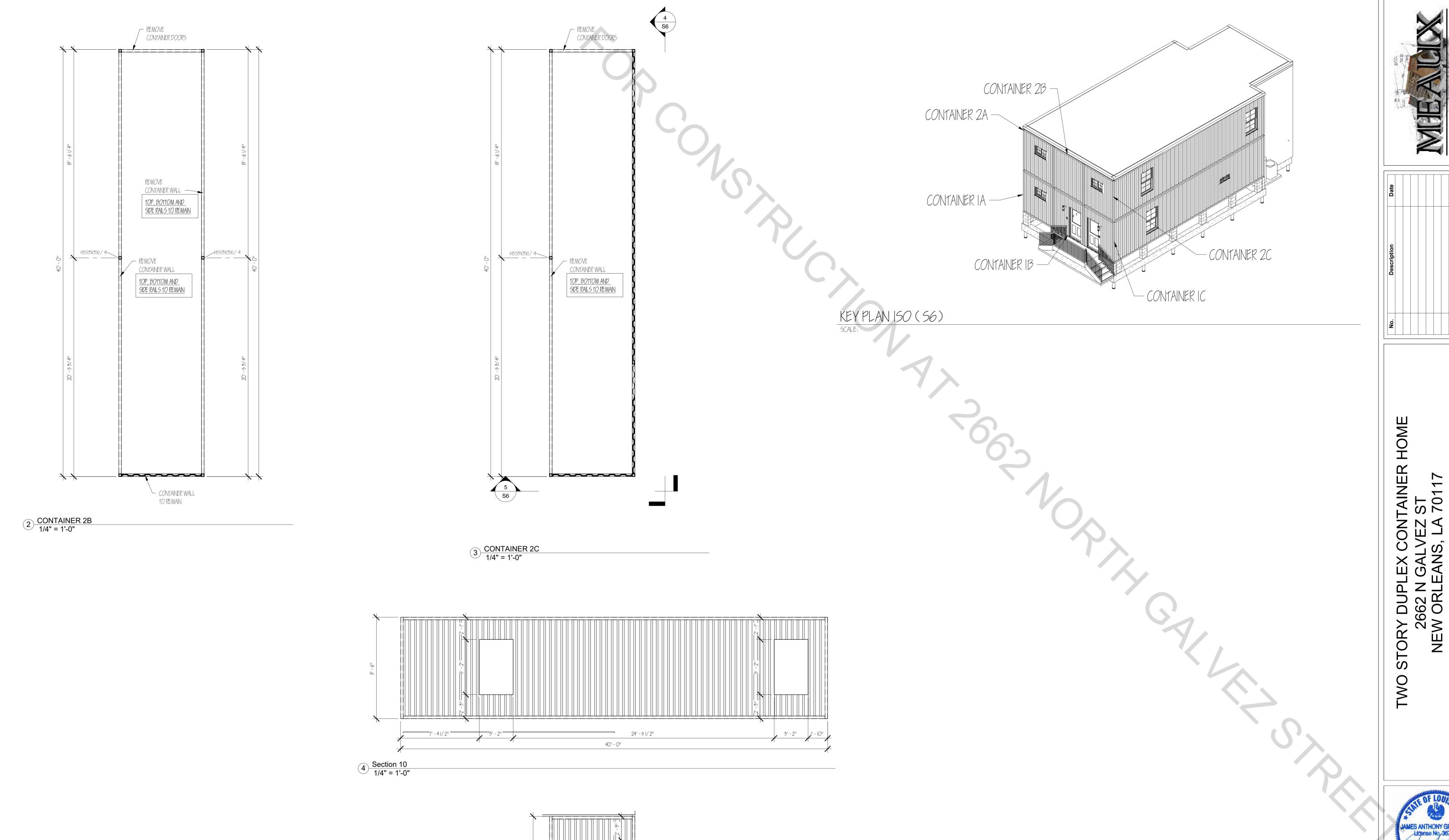




K CONTAINER HOME ALVEZ ST VS, LA 70117 STORY DUPLEX CC 2662 N GALVI NEW ORLEANS,

Project number

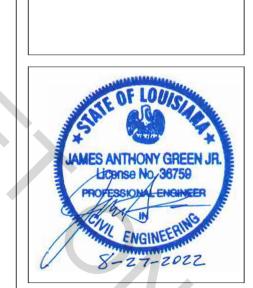
8/16/2022



5 Section 11 1/4" = 1'-0"

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE COMPLIE WITH ALL APPLICABLE CODES. I WILL NOT SUPERVISE THE CONSTRUCTION WORK.

JAMES A. GREEN JR. P.E. LA CIVIL ENGINEER LICENSE 36759



Project number 8/16/2022

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