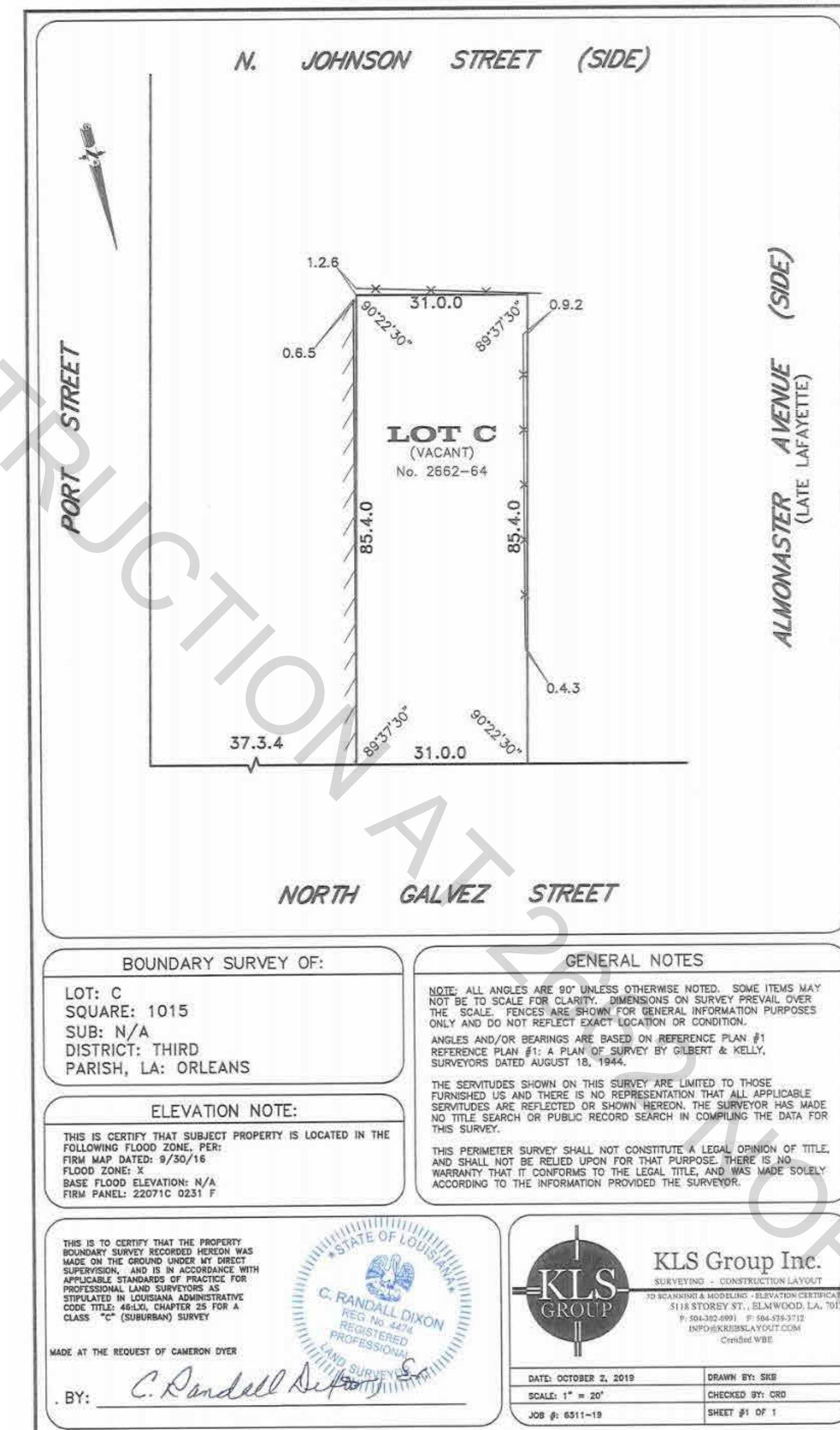
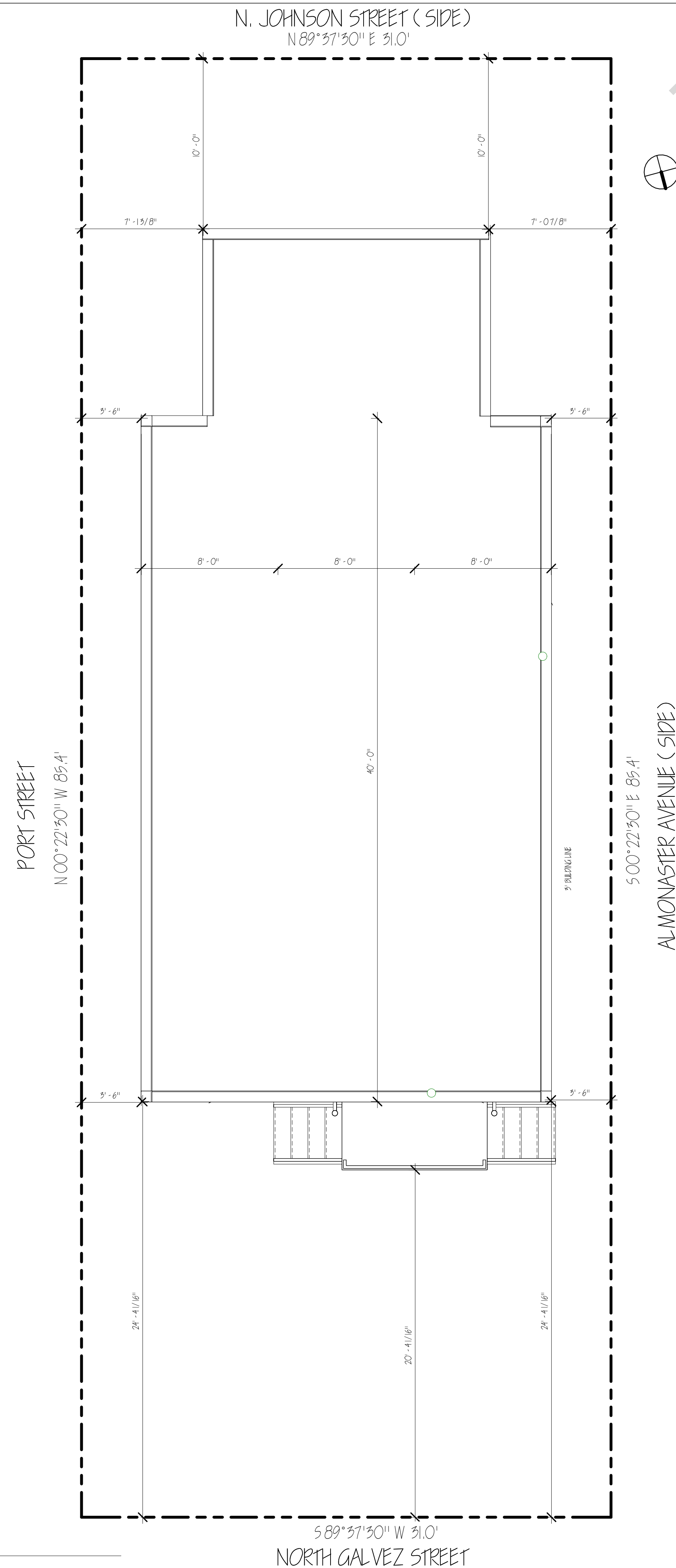


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[illegible]

TOTAL A/ C LIVING SPACE - 2,172 SF
UNCOVERED SPACE - 34 SF
TOTAL SQUARE FOOTAGE - 2,206 SF

Project number	VB2201
Date	8/16/2022
Drawn by	EV
Checked by	EV
00	
Scale	



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SITE PLAN
SCALE: 1/4" = 1'-0"



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DRAFTING SERVICES

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TWO STORY DUPLEX CONTAINER HOME
2662 N GALVEZ ST
NEW ORLEANS, LA 70117
SITE PLAN

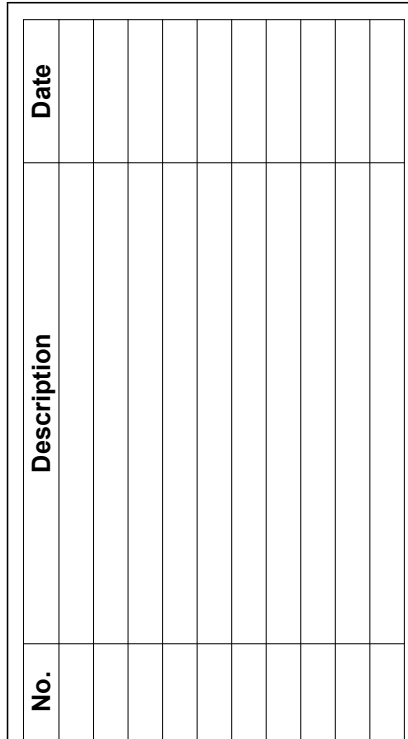


Project number	VB2201
Effective date	8/16/2022
Approved by	Author
Checked by	Checker

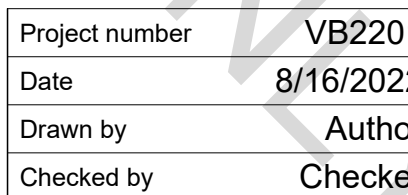
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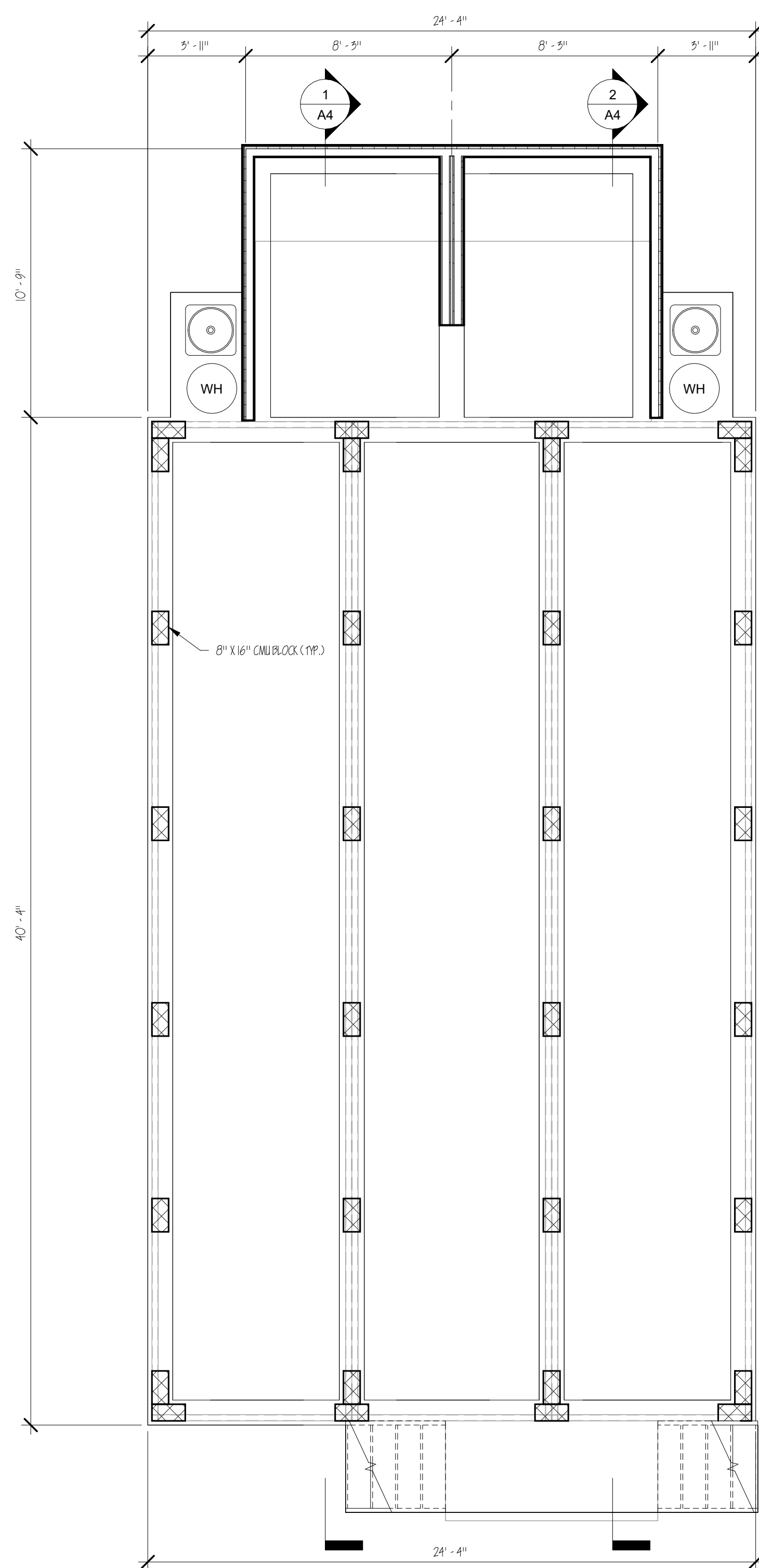


TWO STORY DUPLEX CONTAINER HOME
2662 N GALVEZ ST
NEW ORLEANS, LA 70117
FOUNDATION & FIRST FLOOR PLAN

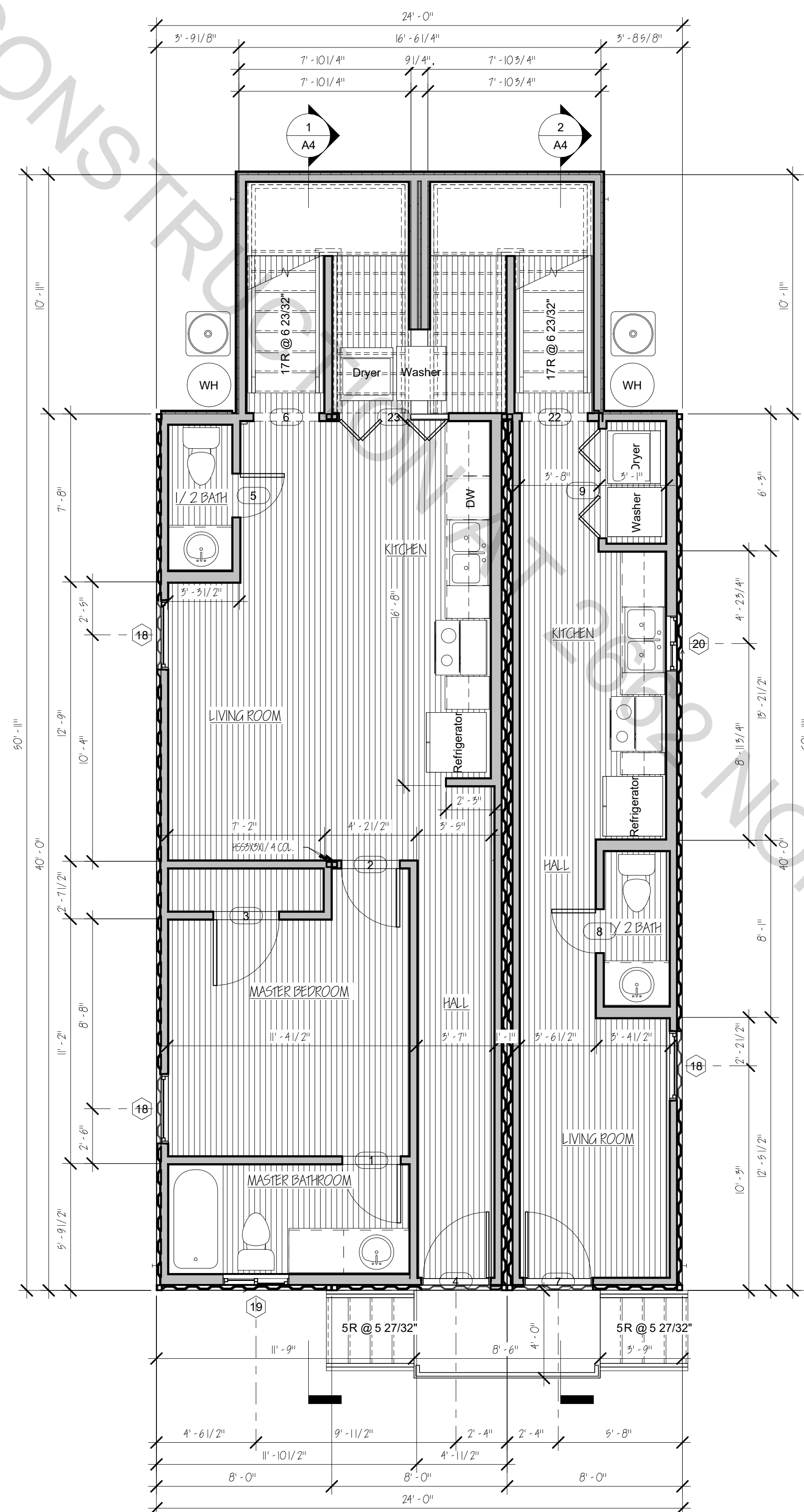


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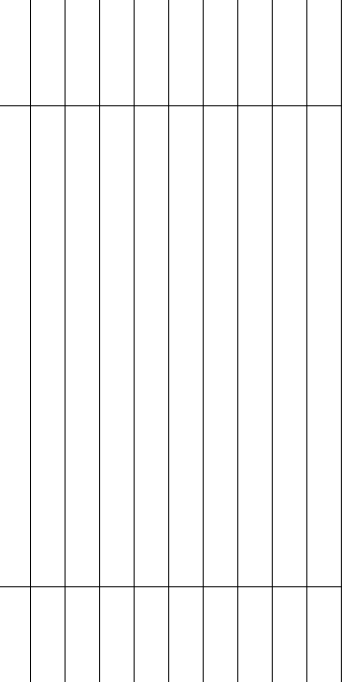
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



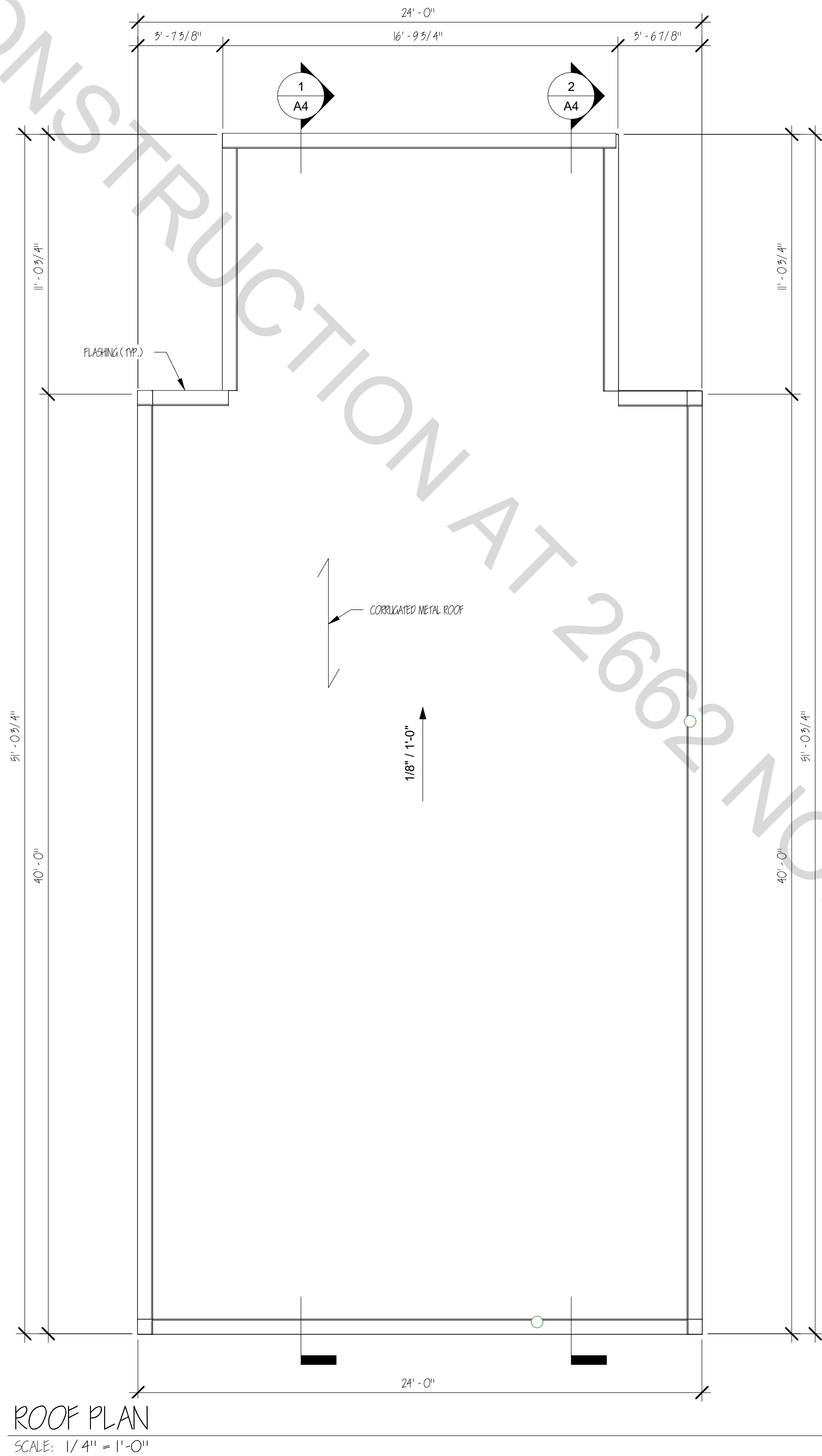
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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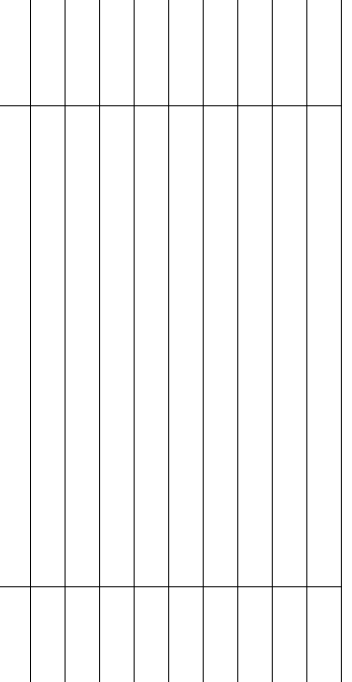


A2



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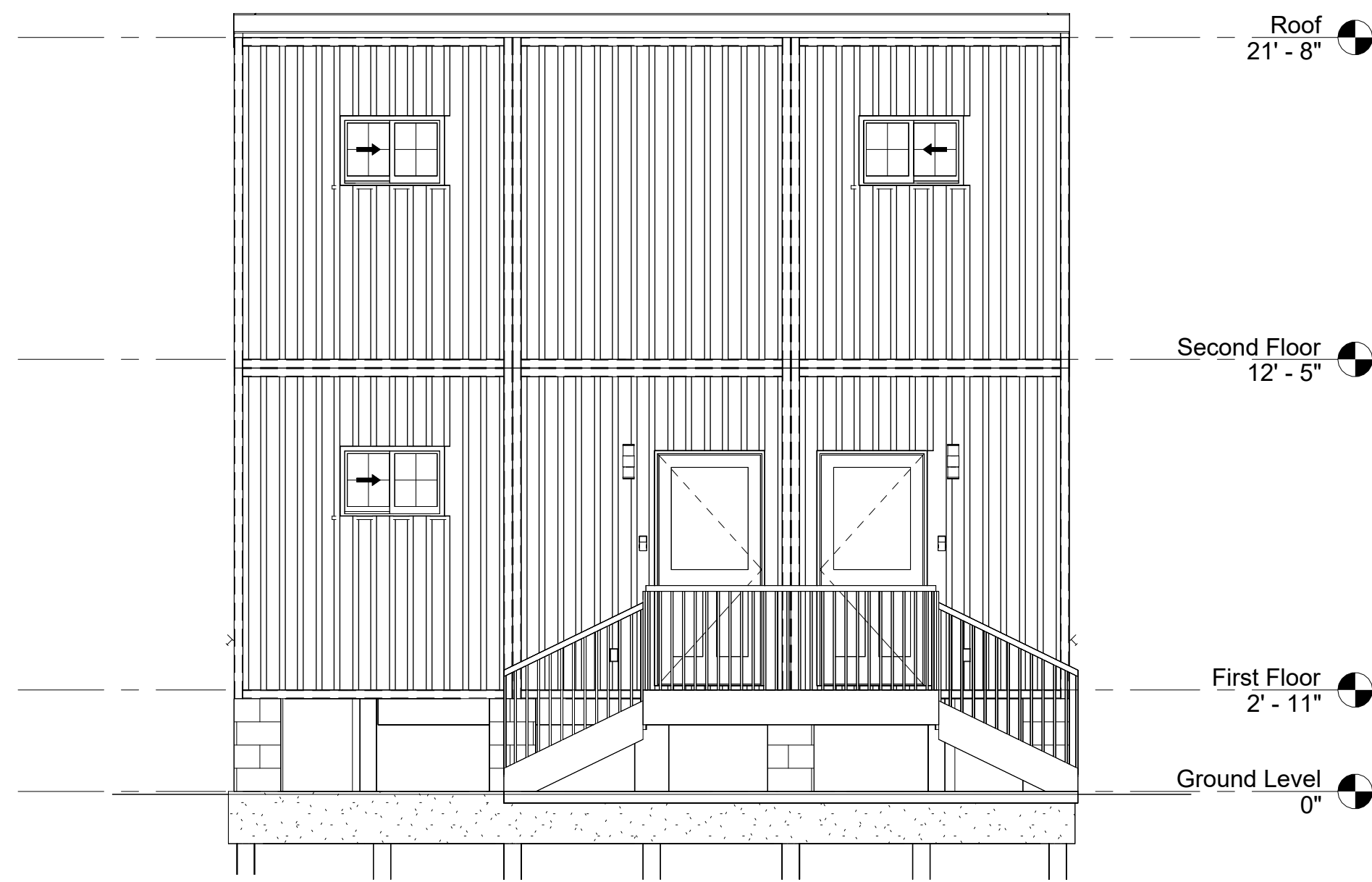
TWO STORY DUPLEX CONTAINER HOME
2662 N GALVEZ ST
NEW ORLEANS, LA 70117
ELEVATIONS



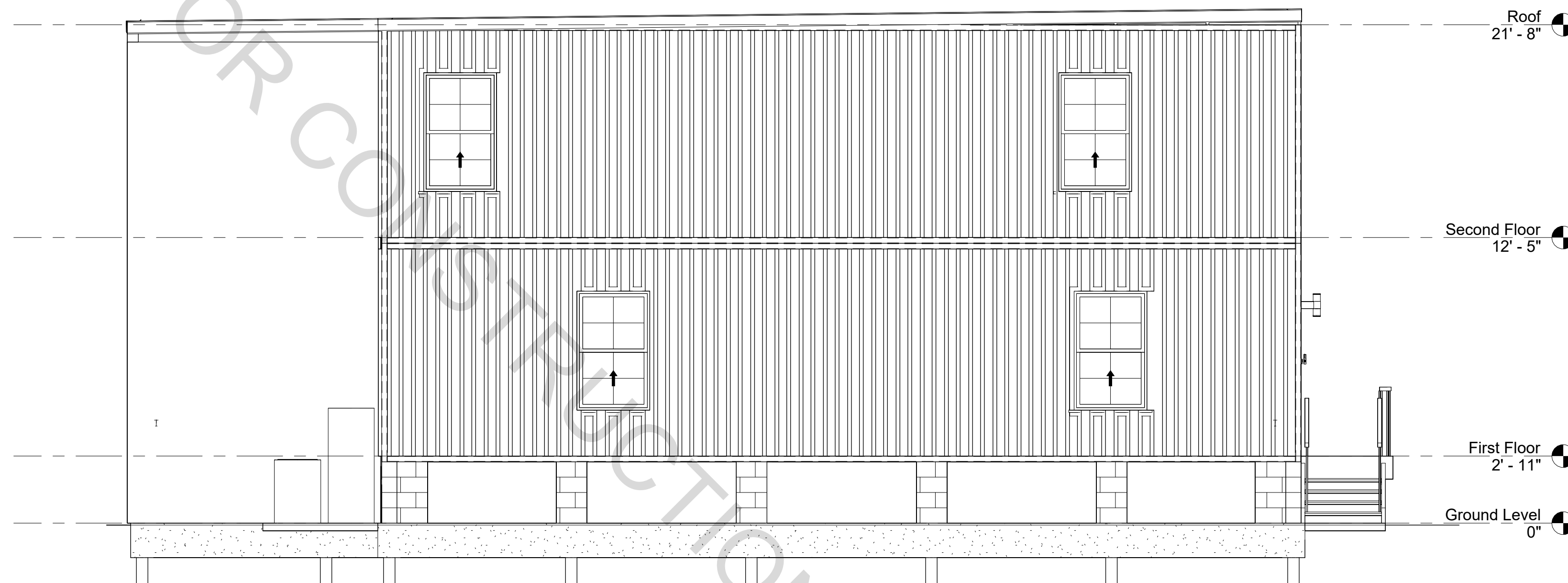
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Date	8/16/2022
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Checked by	Checker

A3

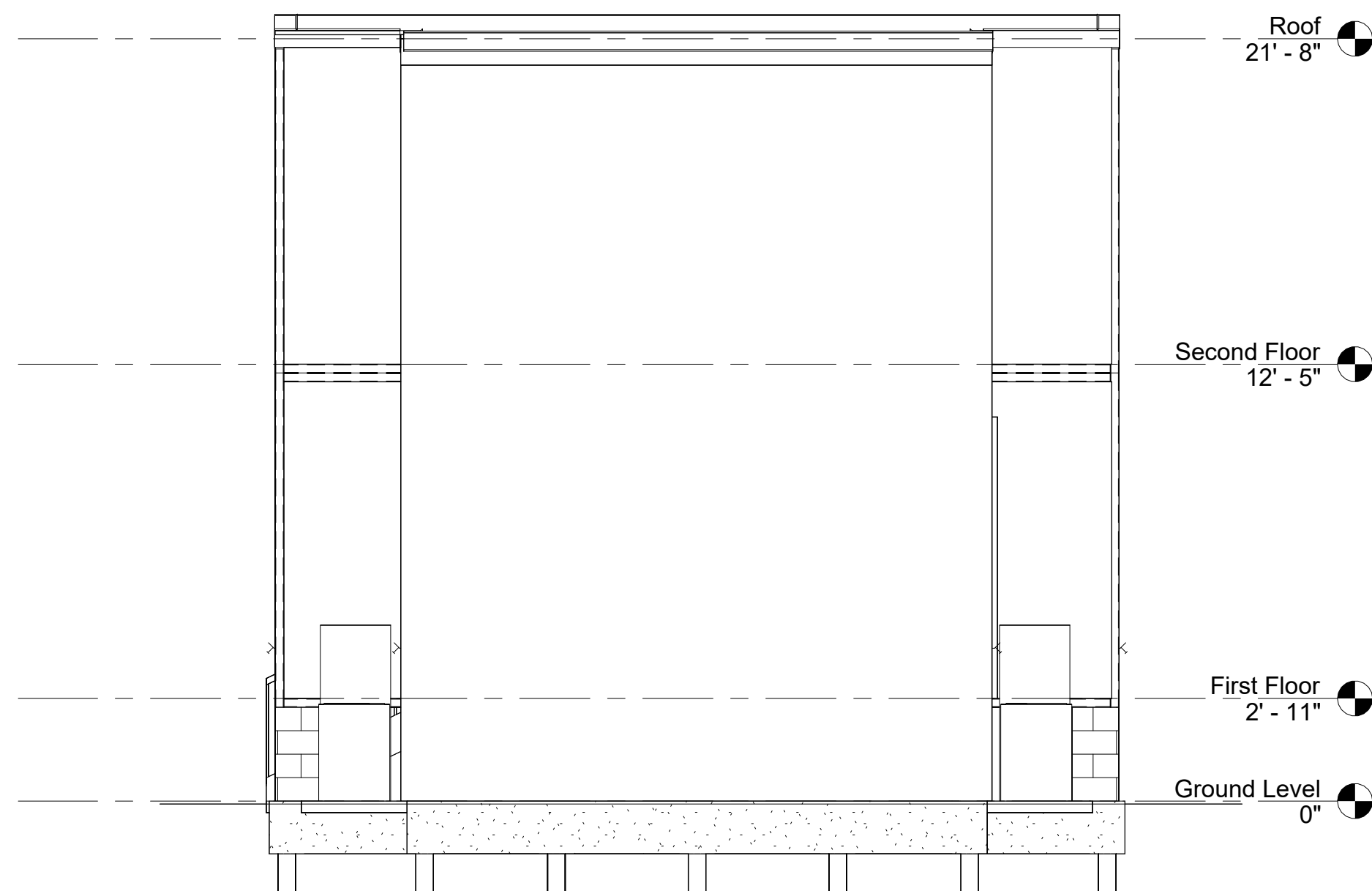
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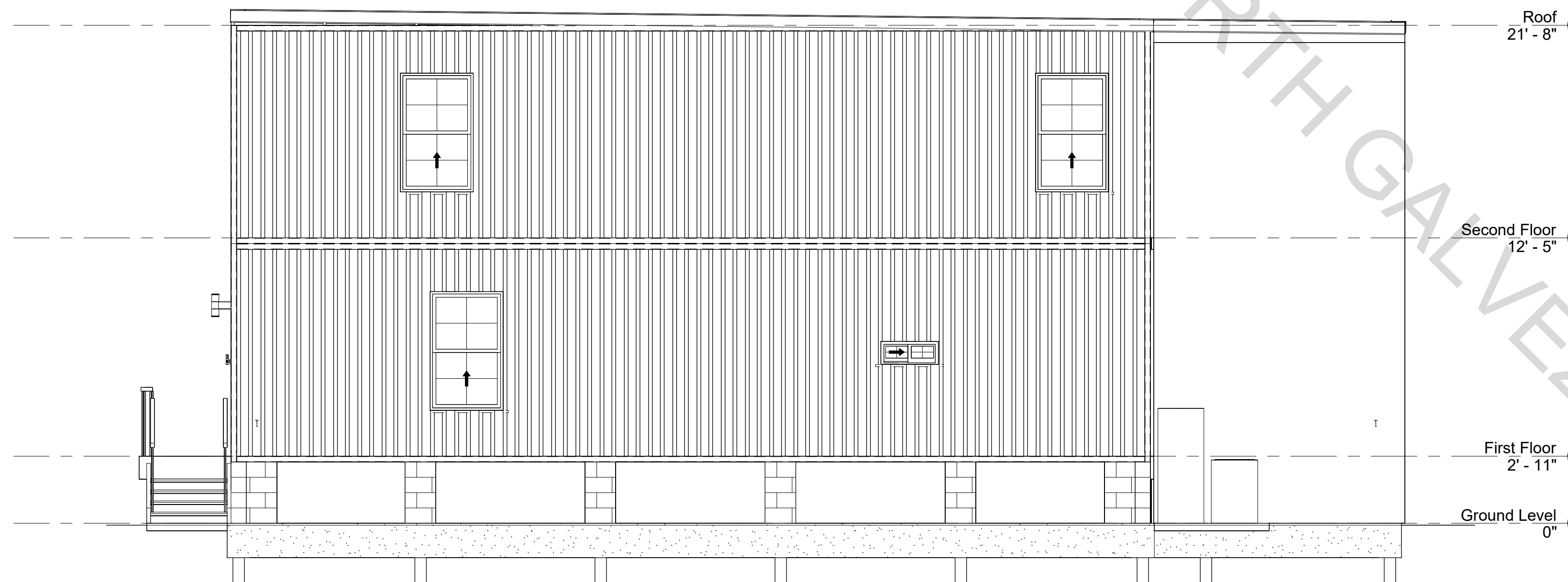
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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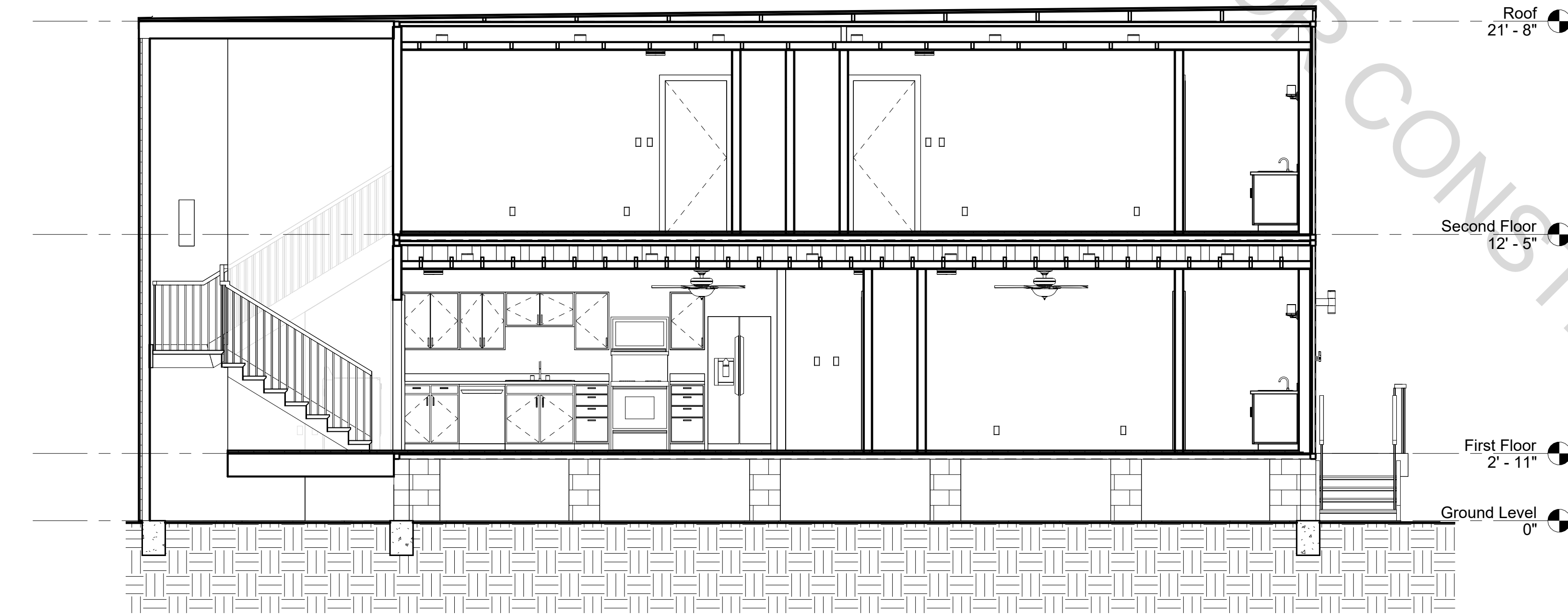
2662 N GALVEZ ST
NEW ORLEANS, LA 70117
BUILDING SECTIONS



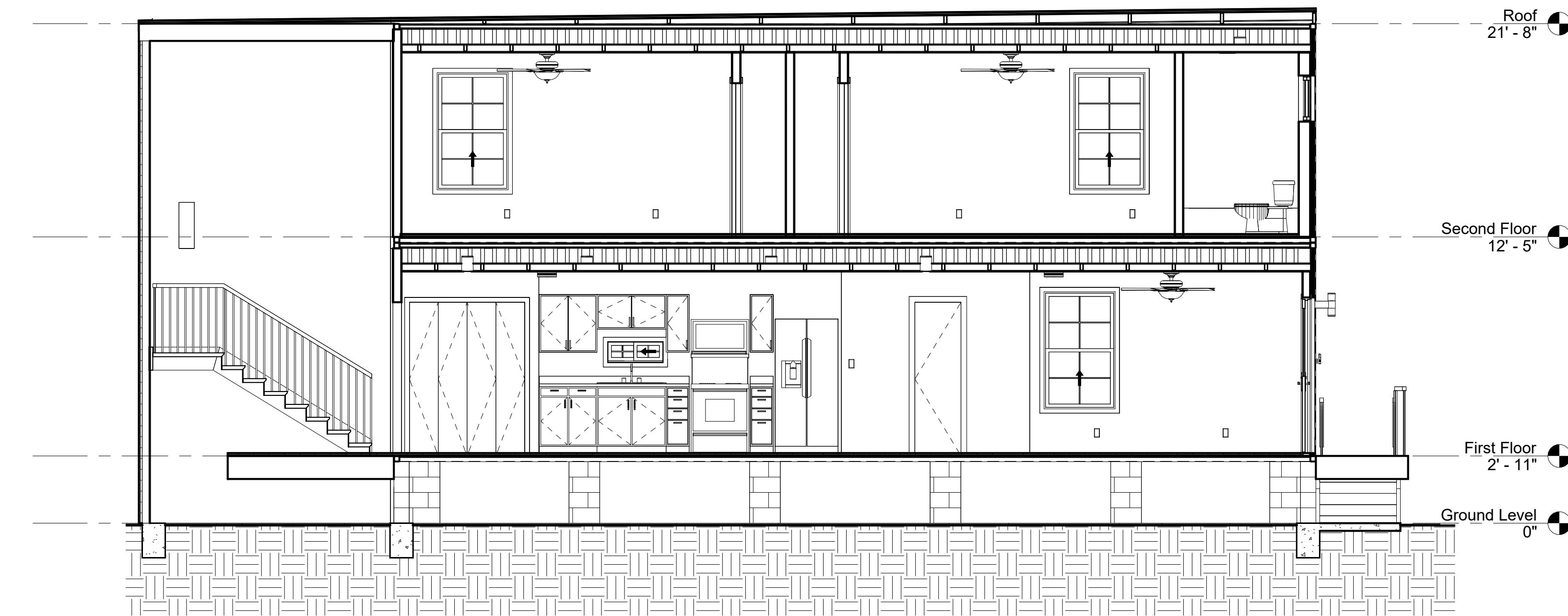
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Drawn by	Author
Checked by	Checker

A4

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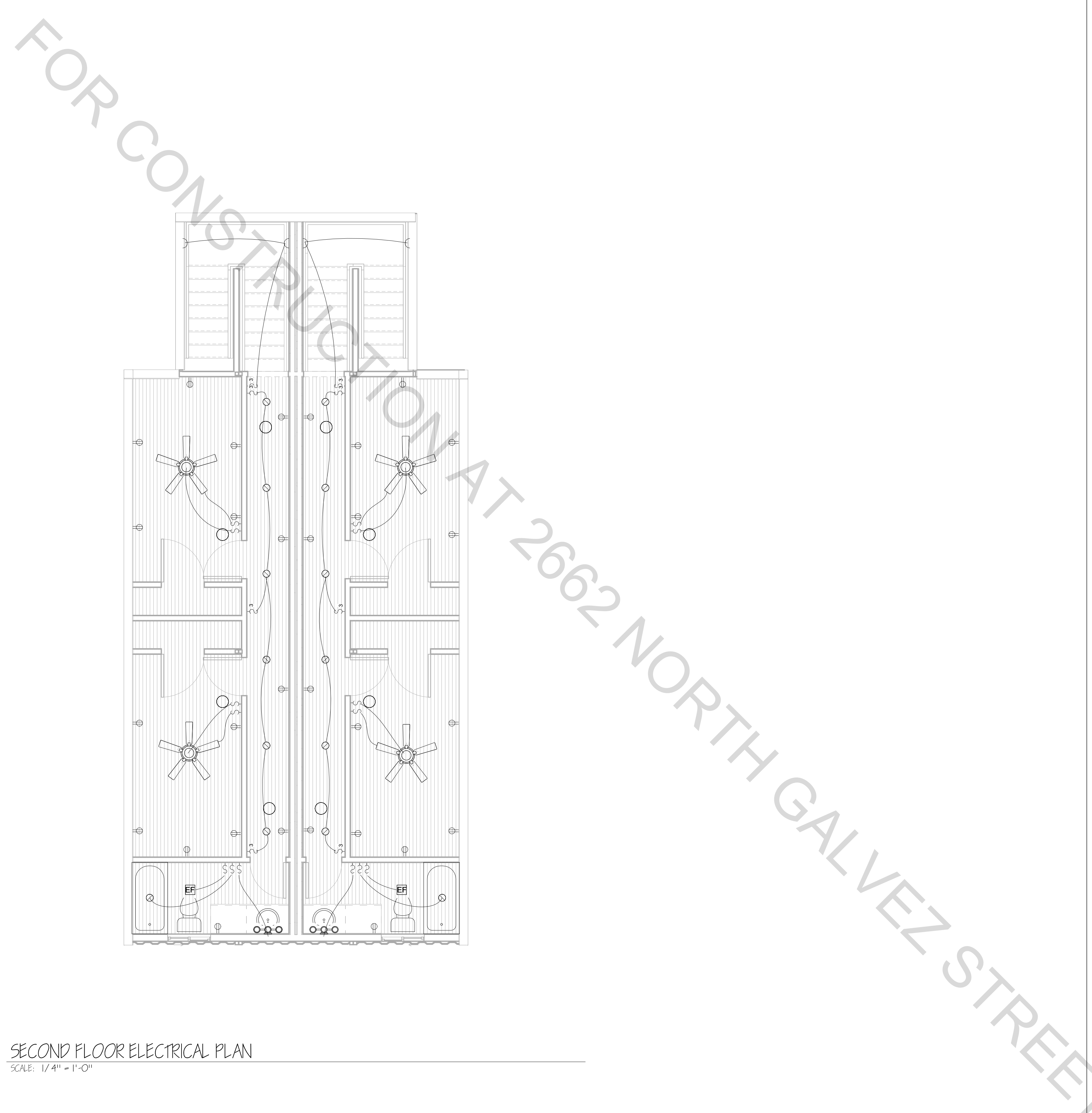
1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"

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SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

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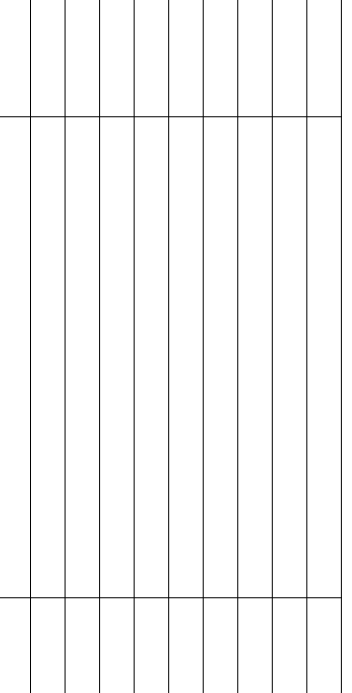
A5

le $1/4" = 1'-0"$

SCALE:

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TYPICAL CONTINUOUS FOOTING DETAIL

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1. CONCRETE SHOULD GIVE A MINIMUM COMPRESSION STRENGTH OF 3000 P.S.I. AT 28 DAYS. CONCRETE DESIGN MIX SHALL BE IN ACCORDANCE WITH THE A.C.I. 318-77 AND LOCAL BUILDING CODE REQUIREMENT.
2. ALL CONVENTIONAL REINFORCING STEEL SHALL BE A.C.I. DESIGNATION A-616 (GRADE 60) REINFORCING AND SHALL BE DETAILED AND ACCESSORIES PROVIDED IN ACCORDANCE WITH THE LATEST A.C.I. MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.
3. MESH AND BARS SHALL BE ADEQUATELY AND SECURELY SUPPORTED TO PREVENT VERTICAL AND HORIZONTAL MOVEMENT DURING PLACING OF CONCRETE.
4. THE CONTRACTOR SHALL VERIFY ALL PROPS, OFFSETS, BRICK LEDGES AND BLOCKOUTS ON ARCHITECT PLANS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT MAY EXIST.
5. REINFORCEMENT SHALL HAVE A MINIMUM OF 2" COVER IN GRADE BEAM BOTTOMS, 2" COVER IN BEAM SIDES AND TOPS, 1 1/2" COVER IN SLAB TOPS AND BOTTOMS.
6. PROVIDE 0.006 POLYETHYLENE MEMBRANE UNDER ALL CONCRETE SLAB.
7. ALL SECTIONS SHOWN ARE AT MID-SPAN OF GRADE BEAMS UNLESS OTHERWISE SHOWN.
8. PIPES, CONDUITS, THIMBLES ETC., TO PASS THROUGH CONCRETE SLAB OR BEAM MUST NOT CONFLICT WITH REINFORCING.
9. ANY DEVIATION FROM THIS PLAN OR SPECIFICATIONS WILL VOID ENGINEER'S LIABILITY AND RESPONSIBILITY.
10. THIS DESIGN TO BE USED ONLY FOR THE BELOW LOCATION.



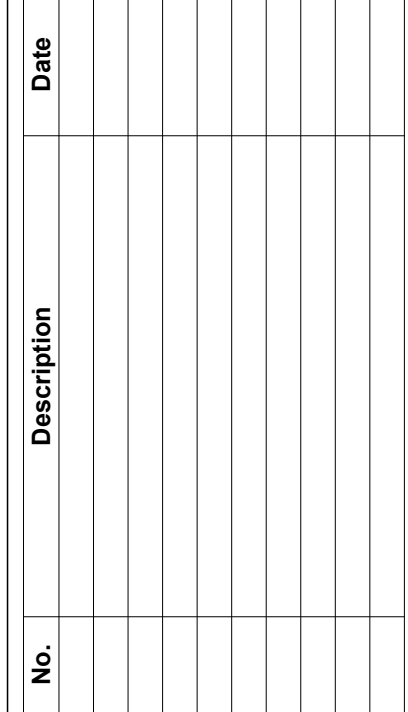
3. ALL WOOD FRAMING, FABRICATION AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NPFA. THE PLYWOOD DESIGN SPECIFICATION BY THE APA AND MEET THE REQUIREMENTS OF THE STANDARD BUILDING CODE. ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE S.B.C..
2. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED.
3. BLOCK ALL STUDS AT MID-HEIGHT. ANCHOR BOTTOM PLATE OF STUD WALLS TO CONCRETE @ 16" O.C.
4. PROVIDE WOOD CROSS BRIDGING, BLOCKING AND BRACING AS REQUIRED BY BUILDING CODE. PROVIDE DOUBLE JOISTS AT ALL PARALLEL WALLS ABOVE AND SOLID BLOCKING OVER BEARING WALLS.
5. PLYWOOD SUBFLOOR - APA RATED 48/24, 3/ 4" THICK TONGUE AND GROOVE.
6. PLYWOOD ROOF SHEATHING - APA RATED 24/0, 3/ 4" THICK. PROVIDE CLIPS AT UNSUPPORTED EDGES BETWEEN ROOF RAFTERS.
7. COORDINATE FRAMING WITH HVAC DUCTS, ELECTRICAL AND PLUMBING REQUIREMENTS.
8. BORED HOLES SHALL BE 2" CLEAR FROM TOP OR BOTTOM EDGES OF JOIST, NOT LARGER THAN 1/ 4" DIA. AND NOT IN THE MIDDLE OF A SPAN.
9. STRAP ALL STUDS CUT AWAY FOR PLUMBING WITH 1/ 2" WIDE, NO. 24 GAUGE GALVANIZED STRAPS, 18" LONG, BOTH SIDES OF WALL, SPIKED TO PLATES.

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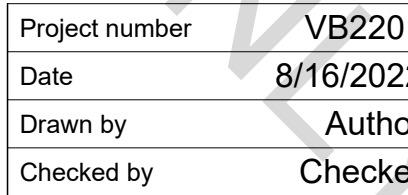
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1. TYPICAL SHEATHING SHALL BE 5/8" COX PLYWOOD 32/16 APA RATED WITH 8d NAILS AT 6" O.C. AT EDGES; 12" O.C. FIELD.
2. 16" OVERHANG FROM FRAME TYP.
3. 16" OVERHANG TYP. FROM FRAME AT RAKES.
4. ATTIC VENTILATION: THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.

1. ALL RAFTERS ARE 2X8 @ 25" S.P. @ 16" O.C. UNLESS NOTED OTHERWISE.
2. MAXIMUM SPAN OF COMMON RAFTER TO BE 15'-6". DEAD LOAD = 10 P.S.F. AND LIVE LOAD = 20 P.S.F.
3. ALL HIPs, VALLEYS AND RIDGES TO BE ONE MILL. SIZE LARGER THAN COMMON RAFTERS, UNLESS OTHERWISE NOTED.
4. DO NOT BRACE ROOF UPON CEILING JOISTS OR STRONGBACKS.
5. SEE TYPICAL DETAIL SHEET FOR FRAMING NOTES AND DETAILS.
6. BRACE PEAKS & RIDGES @ 4'-0" O.C. BRACE VALLEYS & HIPs UNDER 45° SLOPES @ 8'-0" O.C.

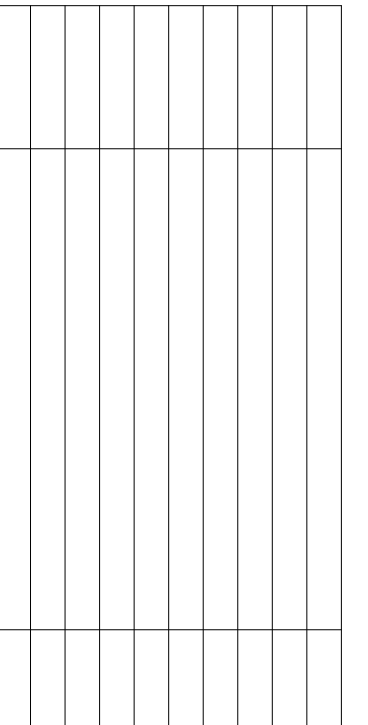
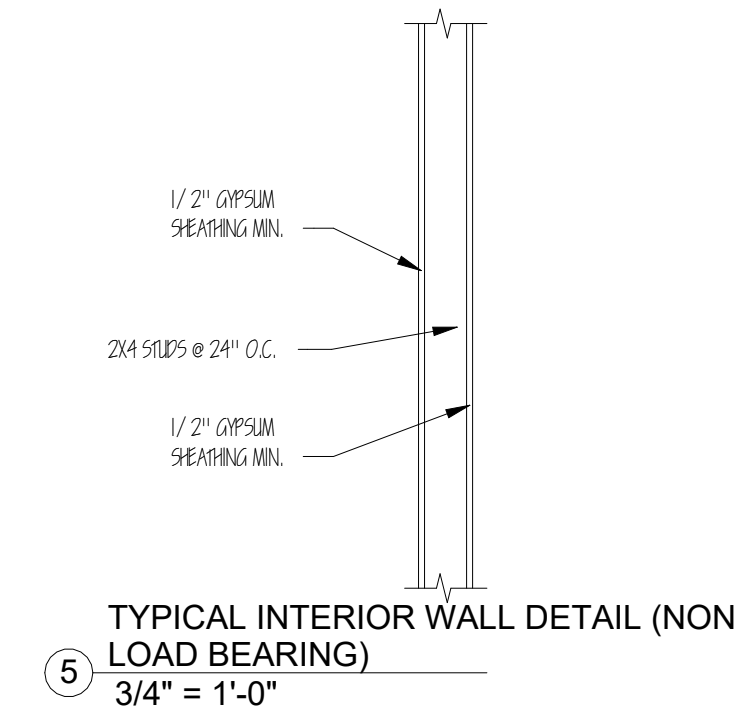
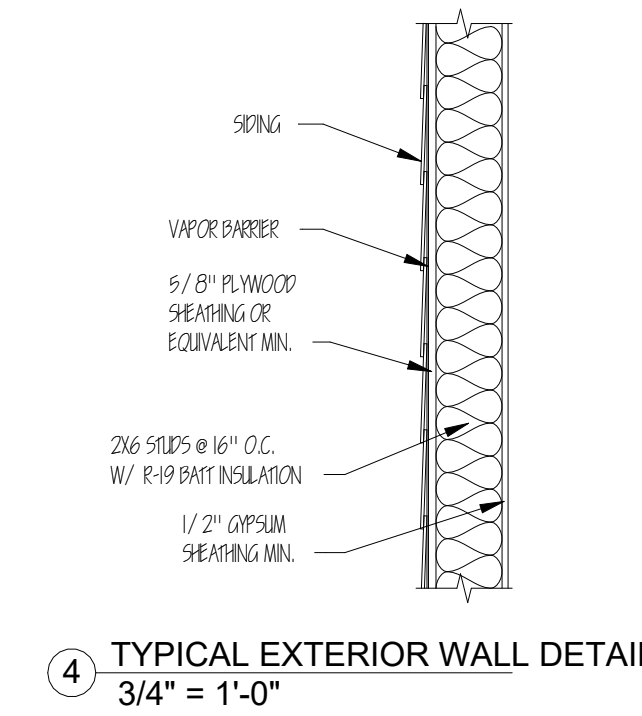
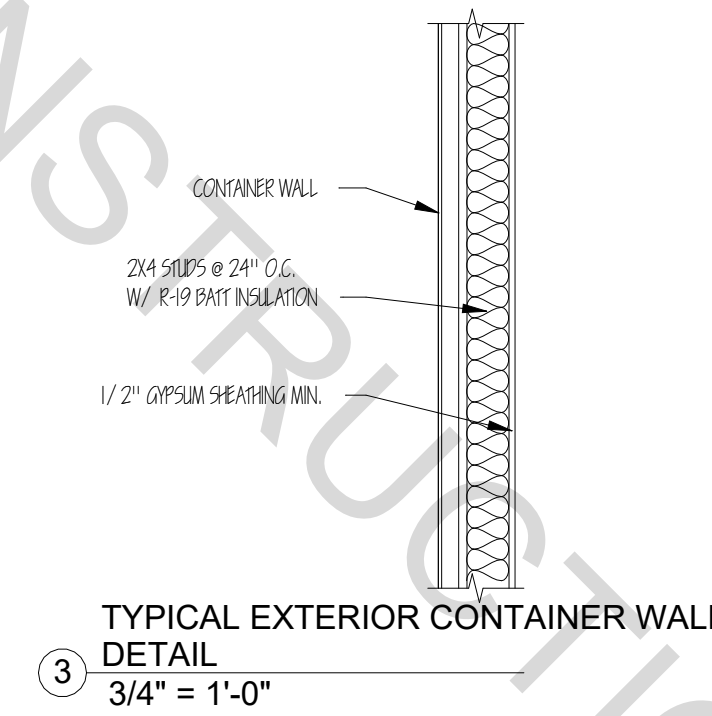
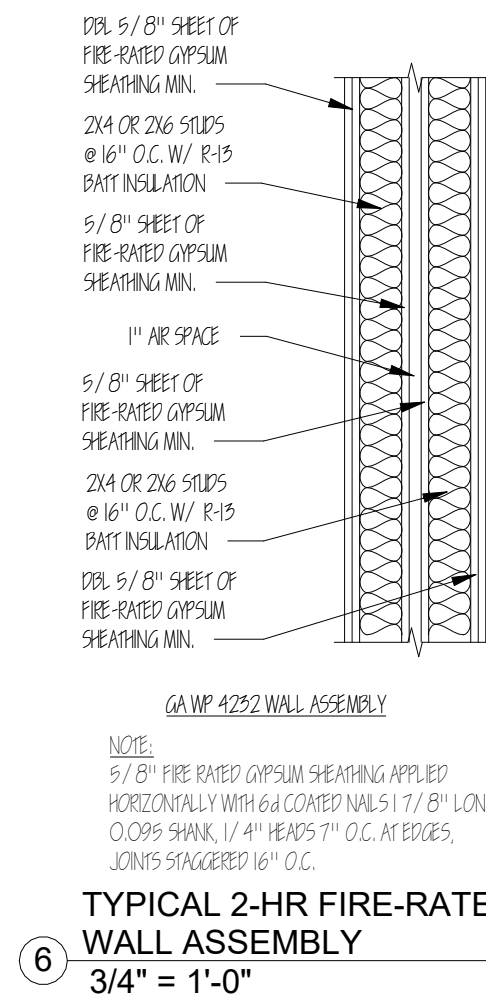
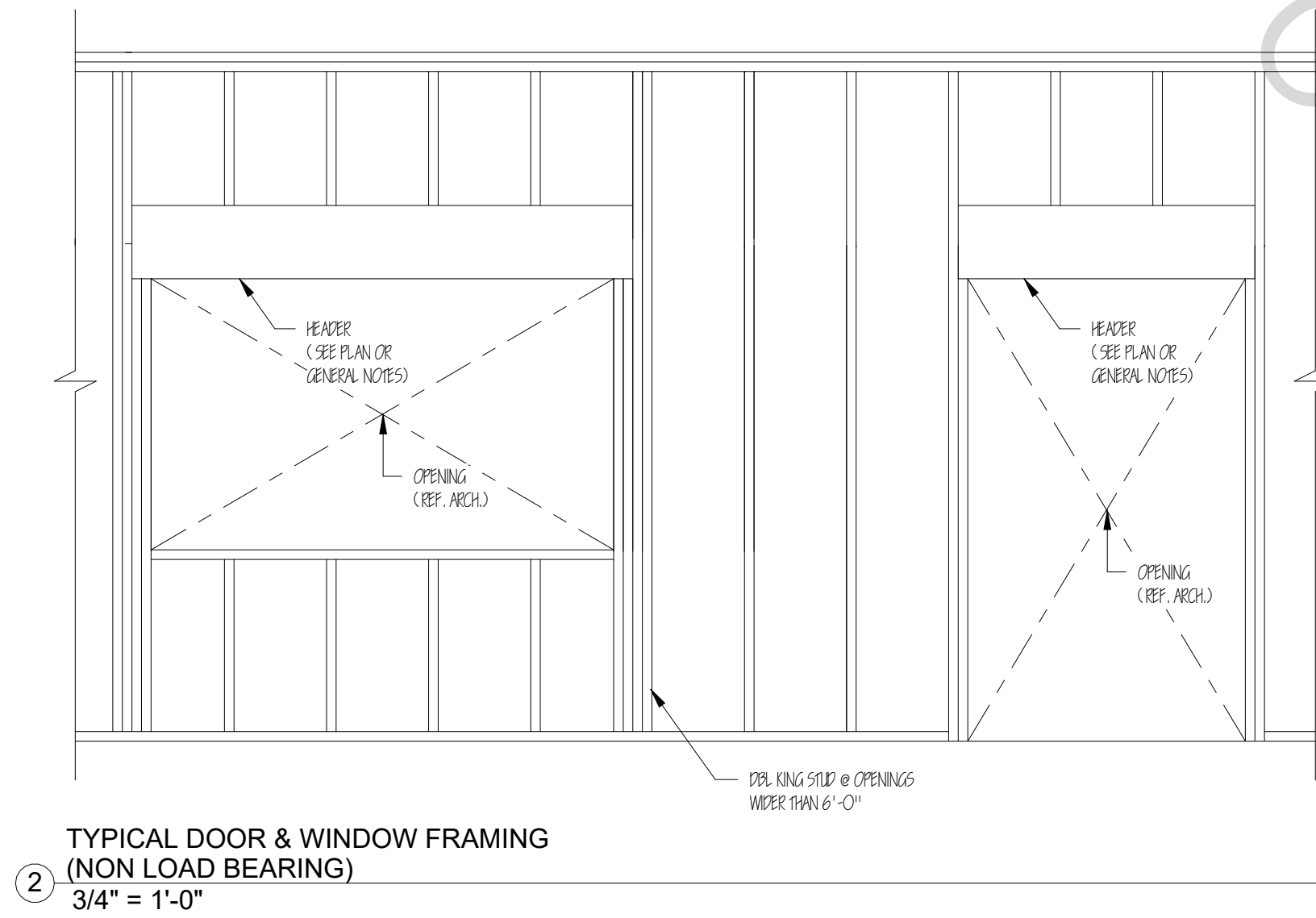


TWO STORY DUPLEX CONTAINER HOME
2662 N GALVEZ ST
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FRAMING PLANS



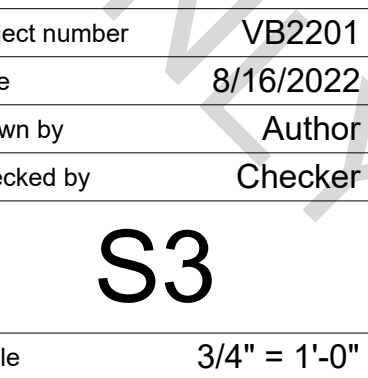
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Scale	As indicated
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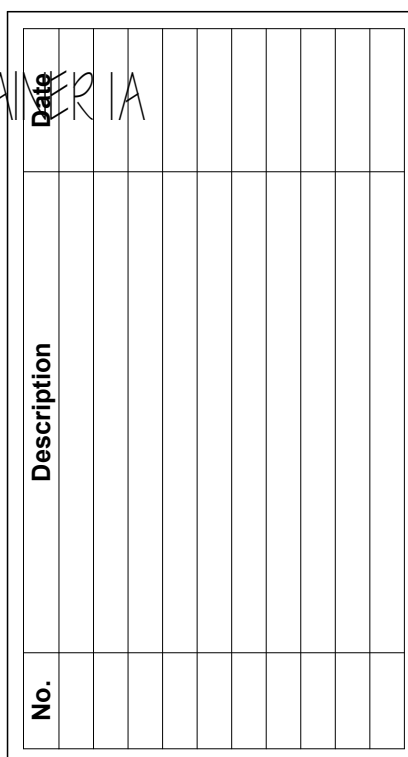
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FRAMING DETAILS

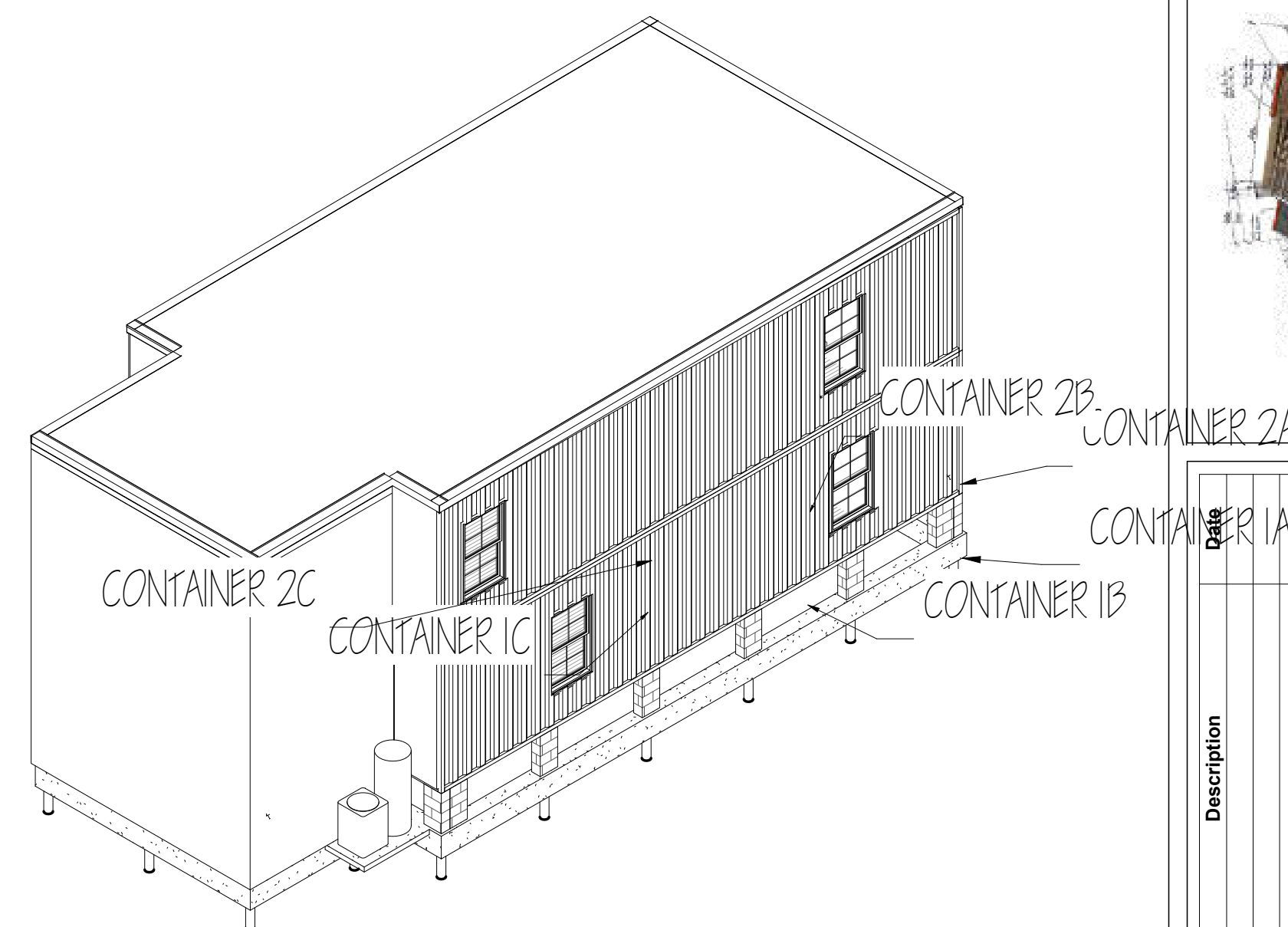
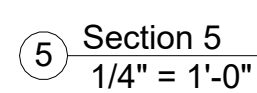
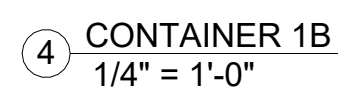
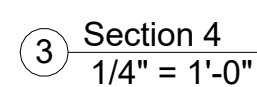
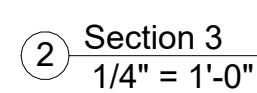
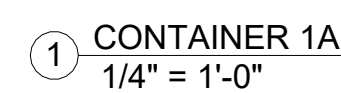
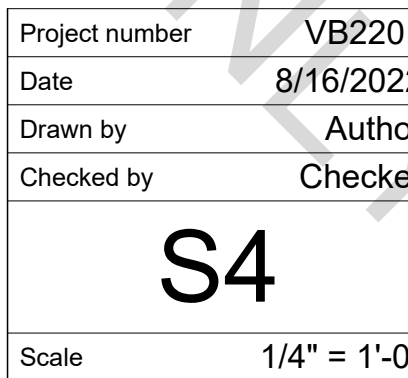


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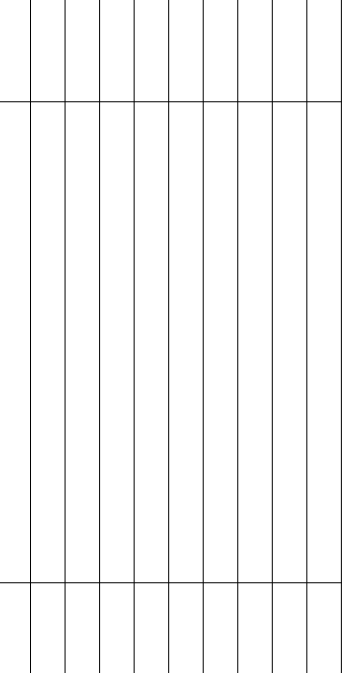
TWO STORY DUPLEX CONTAINER HOME
2662 N GALVEZ ST
NEW ORLEANS, LA 70117
CONTAINER CUT LAYOUT



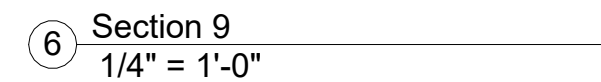
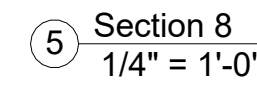
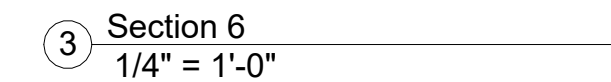
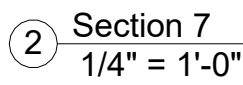
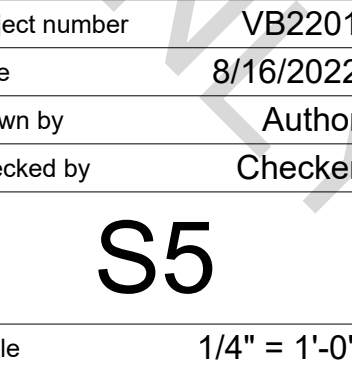
KEY PLAN ISO (S4)

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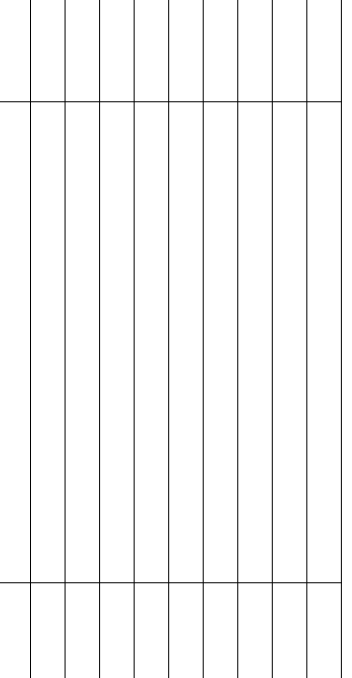


2662 N GALVEZ ST
NEW ORLEANS, LA 70117
CONTAINER CUT LAYOUT

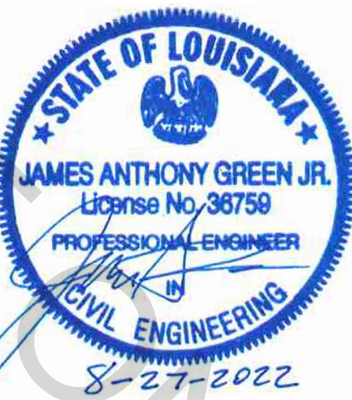


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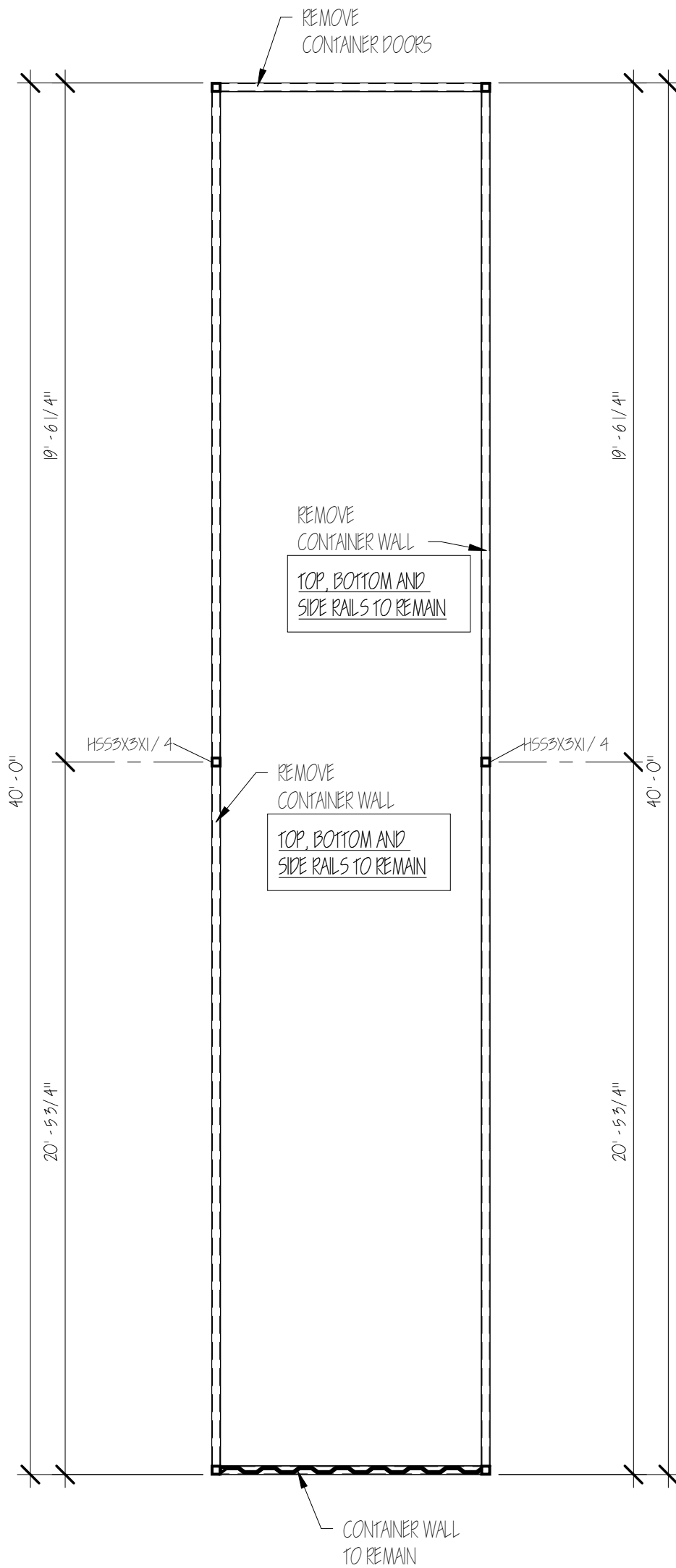
2662 N GALVEZ ST
NEW ORLEANS, LA 70117
CONTAINER CUT LAYOUT



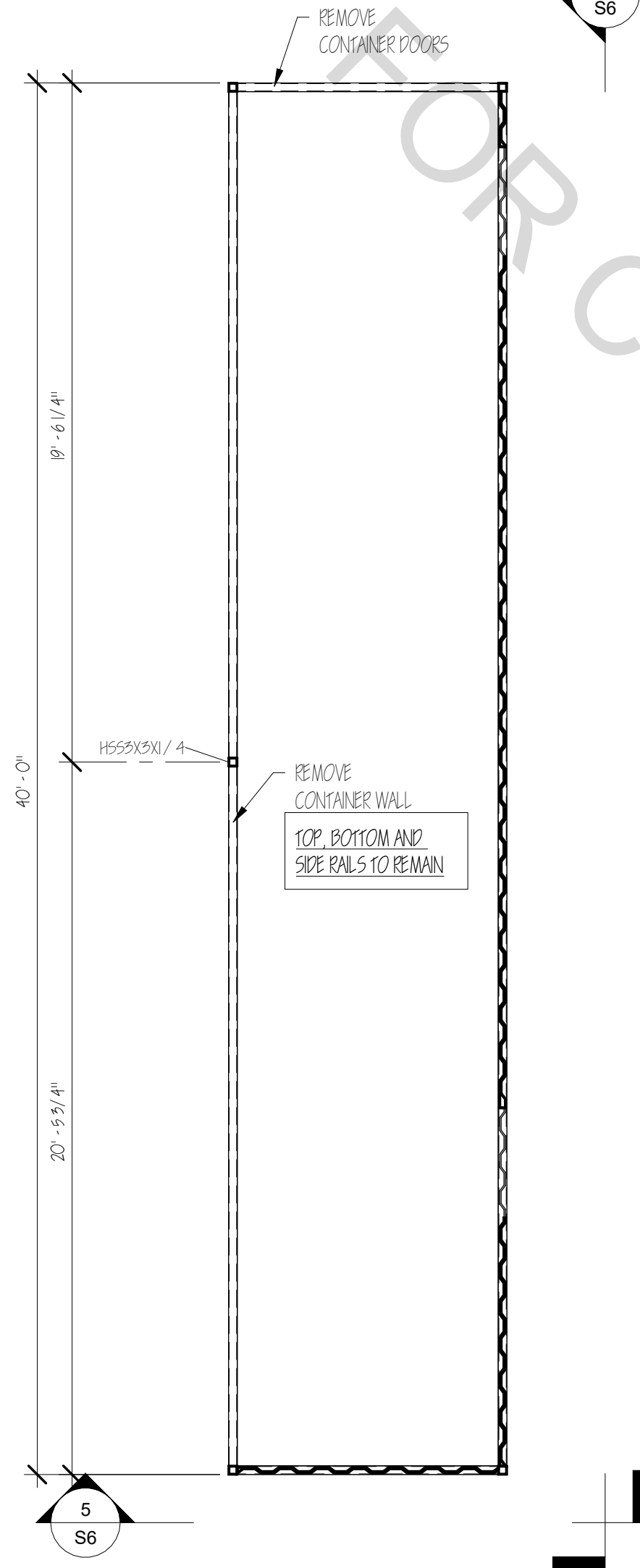
Project number	VB2201
Date	8/16/2022
Drawn by	Author
Checked by	Checker

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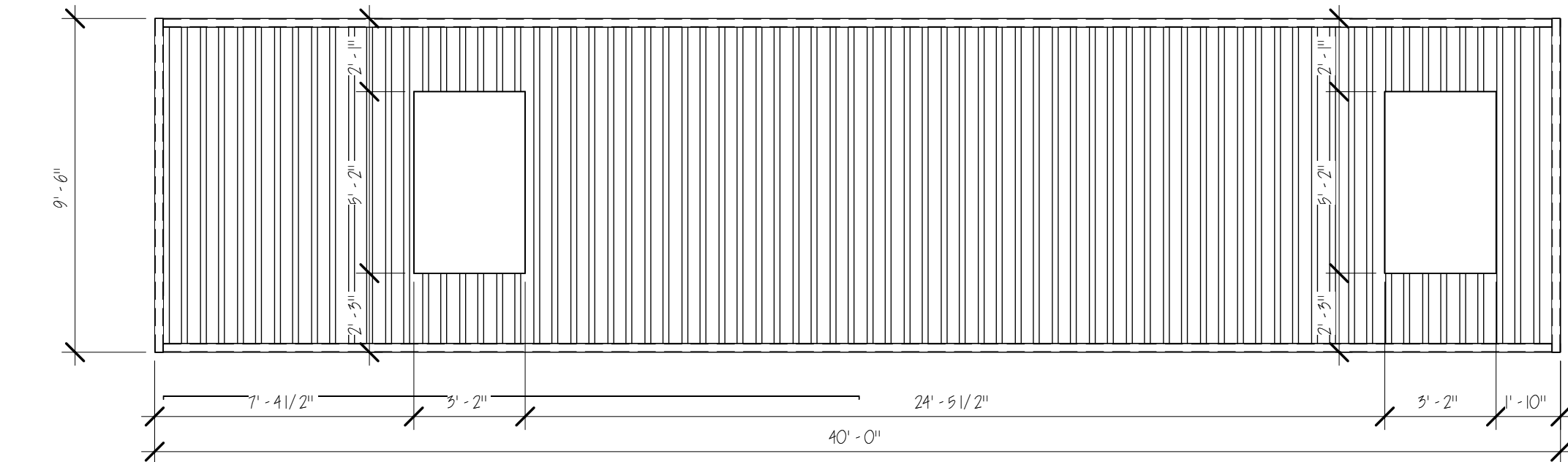
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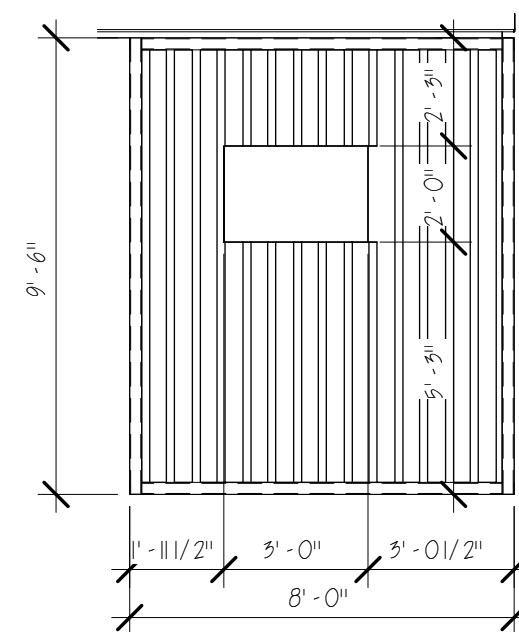
② CONTAINER 2B
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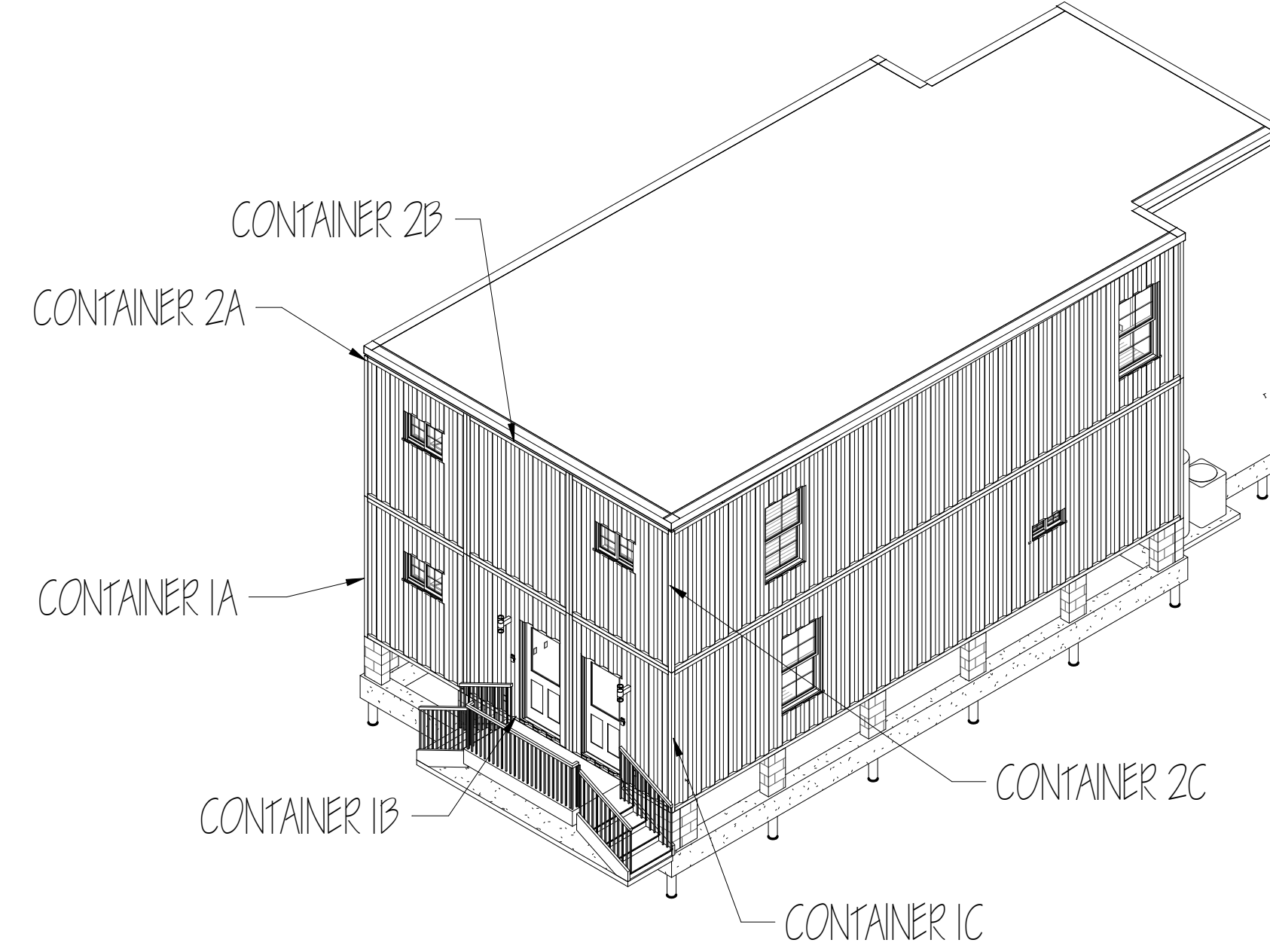
③ CONTAINER 2C
1/4" = 1'-0"



4 Section 10
1/4" = 1'-0"



5 Section 11
1/4" = 1'-0"



KEY PLAN ISO (56)

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