<u>CONSTRUCTION DOCUMENTS</u>

936 ST ROCH AVE - INTERIOR RENOVATION 936 ST ROCH AVE.

NEW ORLEANS, LA 70117

PROPERTY DESCRIPTION ROCH AND N RAMPART 36X63 DBLE/FR 2/STORY 10/RM AND BAR A/R 2476 N RAMPART & 936-38 ST ROCH AVE

PROJECT DESCRIPTION

INTERIOR RENOVATION OF AN EXISTING 'WHITE BOX' 2 STORY WOOD FRAMED STRUCTURE. TENANT BUILDOUT ON 1ST FLOOR -RETAIL, BUILDOUT ON 2ND FLOOR - 2 APARTMENT RESIDENTIAL

ZONING DISTRICT: HMR-3, RDO-1 RESIDENTIAL DIVERSITY OVERLAY DISTRICT

COMMON TERMINOLOGY:

UNPROTECTED COMBUSTIBLE

HDLC DISTRICT: FAUBOURG MARIGNY NO. OF STORIES: 2 (EXISTING)

1: 2,000 SF 2: 1,500 SF TOTAL: 3.500 SF GROSS SF

CONSTRUCTION TYPE: IBC/IFC: NFPA: TYPE V-B V (000)

SPRINKLERED / FIRE ALARM: NO / NO

APPLICABLE CODES: 2015 IBC 2015 INTERNATIONAL MECHANICAL CODE 2013 LOUISIANA STATE PLUMBING CODE 2014 NATIONAL ELECTRIC CODE 2015 ADA ADDA GUIDELINES

ELECTRICAL ENGINEER: EDS LLC RAUL VALDEZ 3328 BANKS ST. NEW ORLEANS, LA 70119 RAUL@EWITHD.COM

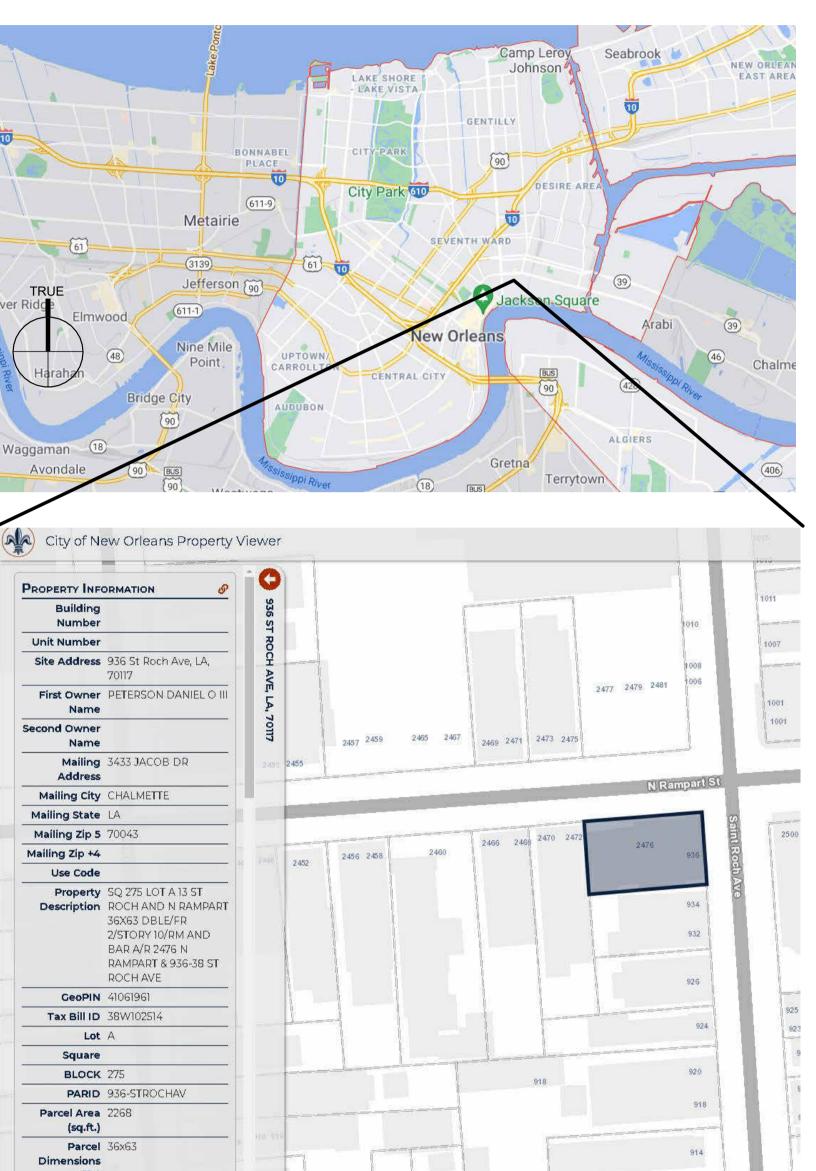
STRUCTURAL/CIVIL ENGINEER: PACE GROUP LLC JOHANN PALACIOS 400 S JEFF PARKWAY NEW ORLEANS, LA 70119 JOHANN@PACEGROUPLLC.COM

MECHANICAL / PLUMBING ENGINEER: RITTER CONSULTING ENGINEERS ANDREA MANCEAUX, P.E. 2014 WEST PINHOOK ROAD SUITE 200 LAFAYETTE, LA 70508 PHONE: 337-984-8498 ANDREA@RITTERCONSULTINGENGINEERS.COM

PROJECT INFORMATION

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY 1. ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS: ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
- ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS 3. OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, INSIDE FACE OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS. THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING THE 4.
- GENERAL CONTRACTOR FOR ALL WALL HUNG ITEMS TO BE INSTALLED THAT ARE NOT ON THE DRAWINGS. IN ACCORDANCE WITH GENERALLY ACCEPTED 5. CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE
- SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE
- TO SAFETY AND THE PREVENTION OF ACCIDENTS. 6. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK
- PRIOR TO THE SHUT-DOWN OF TYING INTO ANY UTILITY. 7. APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
- THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION 8. FOR MULTIPLE CONTRACTORS.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS 9 IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
- ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR. 10. CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR 11. ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

GENERAL NOTES



PROPERTY INFO				
Building Number			936 ST	
Unit Number			R	
Site Address	936 St Roch Ave, LA, 70117	100	CH AV	
First Owner Name	PETERSON DANIEL O III		936 ST ROCH AVE, LA, 70117	
Second Owner Name			70117	
Mailing Address	3433 JACOB DR		2450	2455
Mailing City	CHALMETTE			
Mailing State	LA	1		
Mailing Zip 5	70043			
Mailing Zip +4				
Use Code				2452
	SQ 275 LOT A 13 ST ROCH AND N RAMPART 36X63 DBLE/FR 2/STORY 10/RM AND BAR A/R 2476 N RAMPART & 936-38 ST ROCH AVE			
GeoPIN	41061961			1
Tax Bill ID	38W102514			
Lot	A			
Square				
BLOCK	275	-		
PARID	936-STROCHAV			
Parcel Area (sq.ft.)	2268	1000		
Parcel Dimensions (ft.)	36x63	. D (

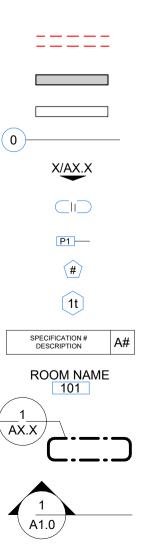
ELEVATION:	
	GYPSUM BOARD
	CLEAR GLASS
$ \sum_{i=1}^{N} \frac{1}{2} \frac{\partial_{i}}{\partial x_{i}} \frac{\partial_{i}}{\partial x_{i}} = \frac{\partial_{i}}{\partial x_{i}} \frac{\partial_{i}}{\partial x_{i}} + \frac{\partial_{i}}{\partial x_{i}}$	ACCENT GLAZING
	PLASTIC LAMINATE
272222	ACCENT PLASTIC LAMINATE

SECTION:

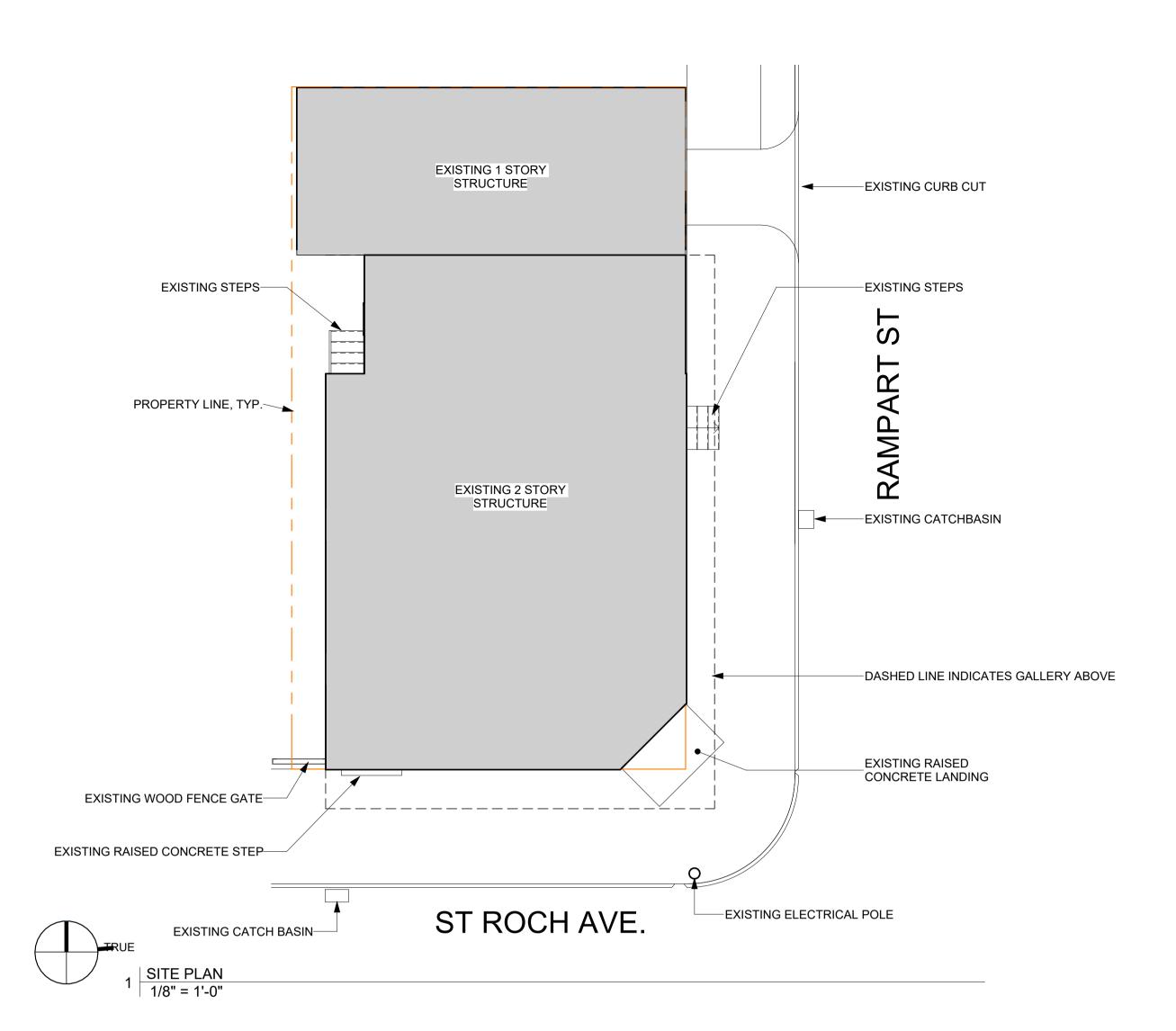
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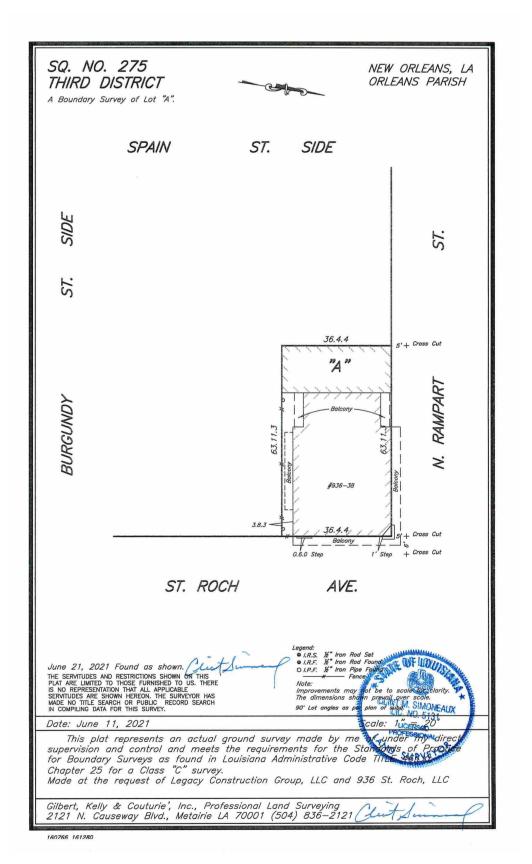
PLYWOOD BATT INSULATION CLOSED CELL SPRAY INSULATION OPEN CELL SPRAY INSULATION CONCRETE STEEL

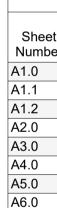
LEGEND - HATCH



ELEMENT TO BE REMOVED
NEW WALL
EXISTING WALL
COLUMN LINE & TAG
ELEVATION TAG
DOOR TAG
PARTITION TAG
SPECIFIC NOTE
WINDOW TAG
ITEM TAG
ROOM TAG
DETAIL TAG
SECTION TAG







	S	HEET LIST			
et ber	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
	TITLE SHEET	08/09/22			
	EXISTING PLANS & ELEVATIONS	08/09/22			
	NOTES	08/09/22			
	LIFE SAFETY PLAN	08/09/22			
	FLOOR PLANS	08/09/22			
	REFLECTED CEILING PLAN	08/09/22			
	BUILDING SECTIONS	08/09/22			
	DOORS	08/09/22			

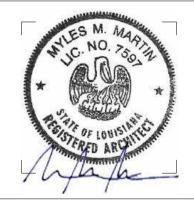
	CONSULTANTS SHEET LIST			
Sheet		Sheet	Current Revision	
Number	Sheet Name	Issue Date	Date	
M1.0	MECHANICAL SITE AND ROOF PLANS	08/01/22		
M2.0	PLUMBING PLANS	08/01/22		
M3.0	PLUMBING SCHEDULE	08/01/22		
M3.2	MECHANICAL PLANS	08/01/22		
M4.0	MECHANICAL SCHEDULE	08/01/22		
E0.0	SCHEDULES AND ABBREVIATIONS	08/01/22		
E0.1	GENERAL ELECTRICAL	08/01/22		
E0.2	SPECIFICATIONS	08/01/22		
E2.0	LIGHTING	08/01/22		
E3.0	POWER & SS	08/01/22		
E6.0	PANEL SCHEDULES & POWER RISER DIAGRAM	08/01/22		





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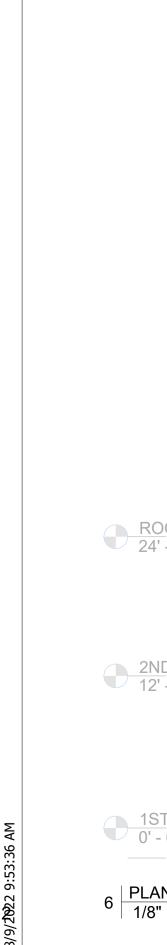
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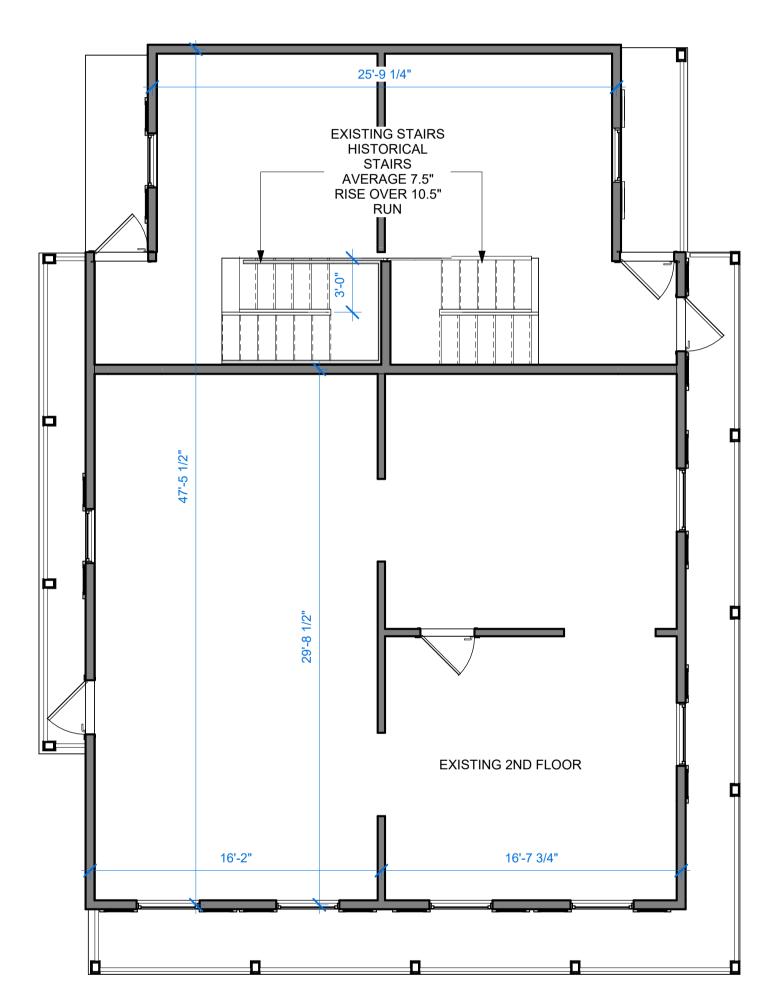
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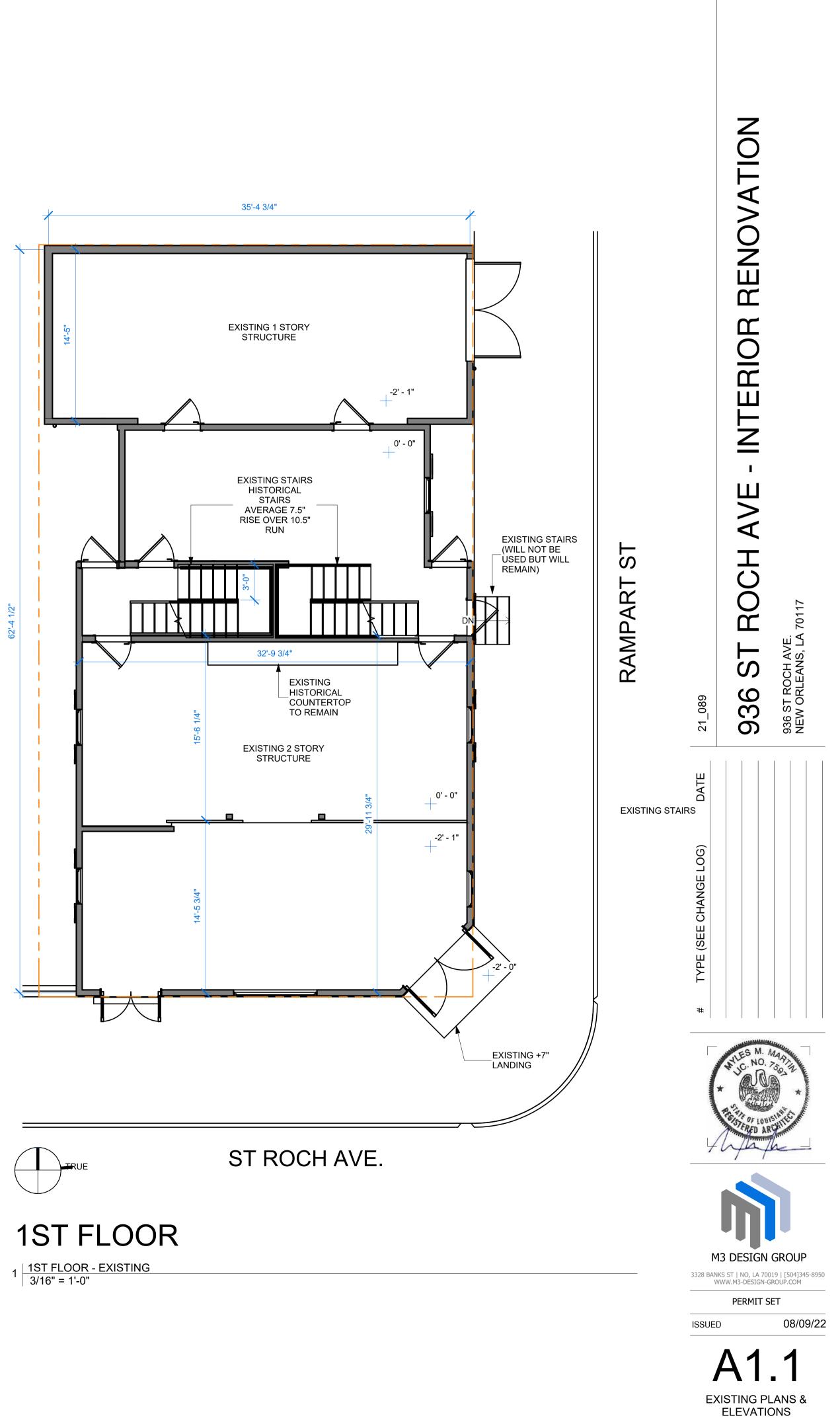


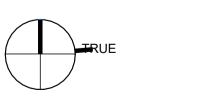


ROOF 24' - 2 7/8"





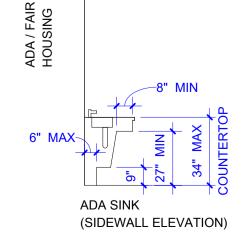


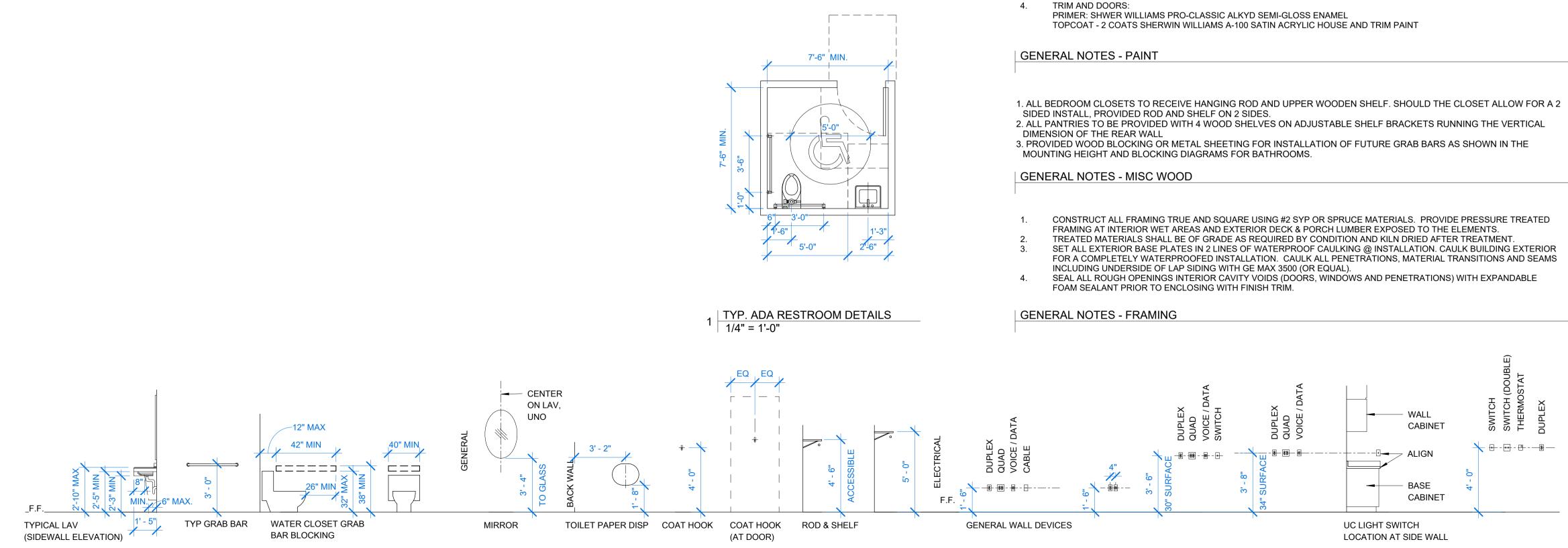


2ND FLOOR 2 2ND FLOOR - EXISTING 3/16" = 1'-0"

TYPICAL MOUNTING HEIGHTS: MOUNT ITEMS AT HEIGHTS ABOVE FLOOR LEVEL AS SHOWN ON THIS SHEET, UNLESS OTHERWISE NOTED ON INTERIOR ELEVATIONS OR OTHER DRAWINGS. NOTIFY ARCHITECT OF POTENTIAL CONFLICTS PRIOR TO PURCHASE OR INSTALLATION.

MOUNTING HEIGHTS





			FINISH SCHEDULE			
NUMBER	NAME	FLOOR	WALL	BASE	CEILING	COMMENTS
2	MERCANTILE SPACE	NEW T&G SOLID WOOD FLOOR	PAINTED CMU / PAINTED GYPSUM		PAINTED GYPSUM	
6	UNI-SEX ADA RESTROOM	CERAMIC TILE	PAINTED GYSPUM W/ CERAMIC WAINSCOTT	COVE TILE	2X2 CEILING GRID	
7	STAIR 2	EXISTING REFINISHED WOOD	PAINTED GYSPUM		PAINTED GYPSUM	
9	UNI-SEX RESTROOM	CERAMIC TILE	PAINTED GYSPUM W/ CERAMIC WAINSCOTT	COVE TILE	PAINTED GYPSUM	
21	BR 4	CERAMIC TILE	PAINTED GYSPUM W/ CERAMIC WAINSCOTT	COVE TILE	PAINTED GYPSUM	
22	STAIR 2.2	EXISTING REFINISHED WOOD	PAINTED GYSPUM		PAINTED GYPSUM	
23	STAIR 1.2	EXISTING REFINISHED WOOD	PAINTED GYSPUM		PAINTED GYPSUM	
24	UNIT 1.2					
25	UNIT 2	NEW T&G SOLID WOOD FLOOR	PAINTED GYSPUM		PAINTED GYPSUM	
28	JANITOR	NEW T&G SOLID WOOD FLOOR	PAINTED GYSPUM		PAINTED GYPSUM	
31	UNCONDITIONED SPACE	SEALED CONCRETE FLOOR	PAINTED GYSPUM		EXPOSED	
32	MERCANTILE REAR	NEW T&G SOLID WOOD FLOOR	PAINTED GYSPUM		PAINTED GYPSUM	
35	STAIR 1	EXISTING REFINISHED WOOD	PAINTED GYSPUM		PAINTED GYPSUM	
37	BR 2.2	CERAMIC TILE	PAINTED GYSPUM W/ CERAMIC WAINSCOTT	COVE TILE	PAINTED GYPSUM	
38	CL 2.2	NEW T&G SOLID WOOD FLOOR	PAINTED GYSPUM		PAINTED GYPSUM	
39	CL 2.3	NEW T&G SOLID WOOD FLOOR	PAINTED GYSPUM		PAINTED GYPSUM	
40	BR 2.1	CERAMIC TILE	PAINTED GYSPUM W/ CERAMIC WAINSCOTT	COVE TILE	PAINTED GYPSUM	

INSULATION SCHEDULE - CLIMATE ZONE 2				
AREA	Туре	VALUE		
UNDERSIDE OF 1ST Fiberglass Batt w/Vapor Barrier R13 FLOOR R13				
EXTERIOR WALLS	Fiberglass Batt	R13		
ATTIC Rigid Board R25				

FINISHES: PAINT COLOR AND SELECTION TO BE COORDINATED WITH OWNER.

PIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL) TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT

PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL) TOPCOAT - 2 COATS SHERWIN WILLIAMS 400 ZERO FLAT CEILING ABOVE SHOWER ENCLOSURE: PIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)

TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT

INTERIOR WALLS:

CEILINGS:

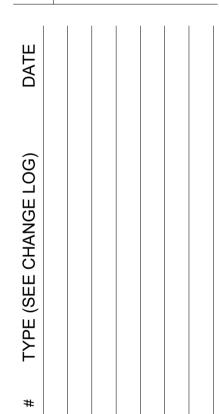
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- INTERIOR RENOVATION **ROCH AVE**

936 ST ROCH AVE. 936 ST ROCH AVE. NEW ORLEANS, LA 70117



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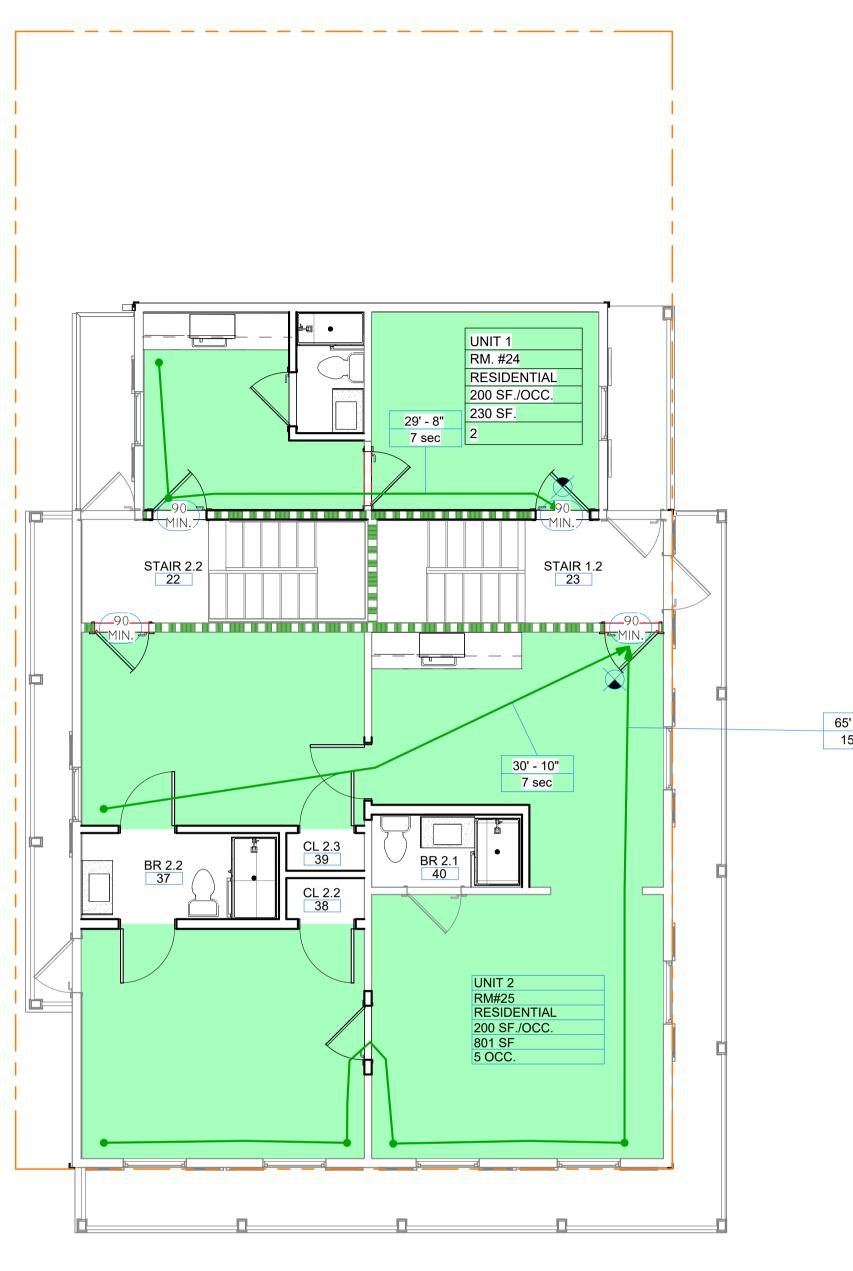


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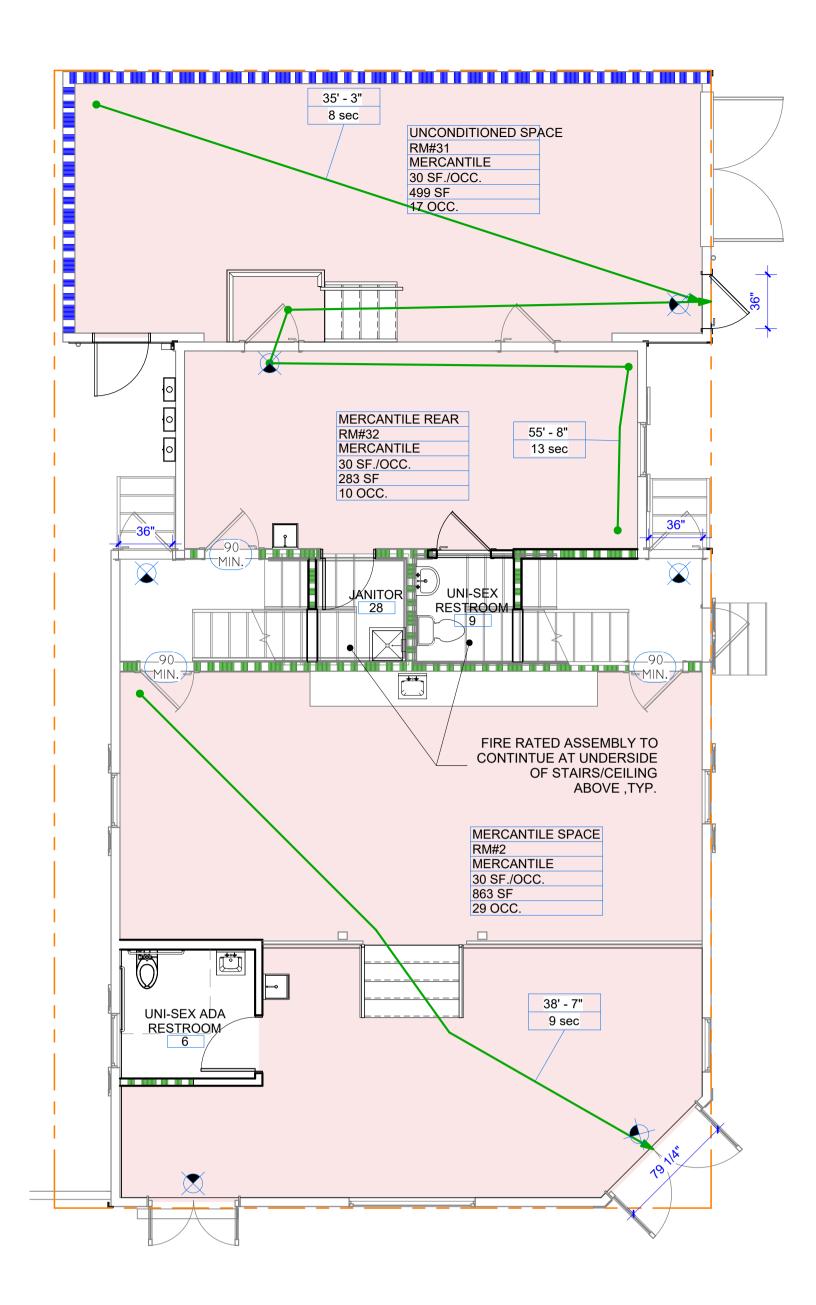


NOTES

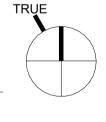


2ND FLOOR

2 2ND FLOOR PLAN 3/16" = 1'-0"

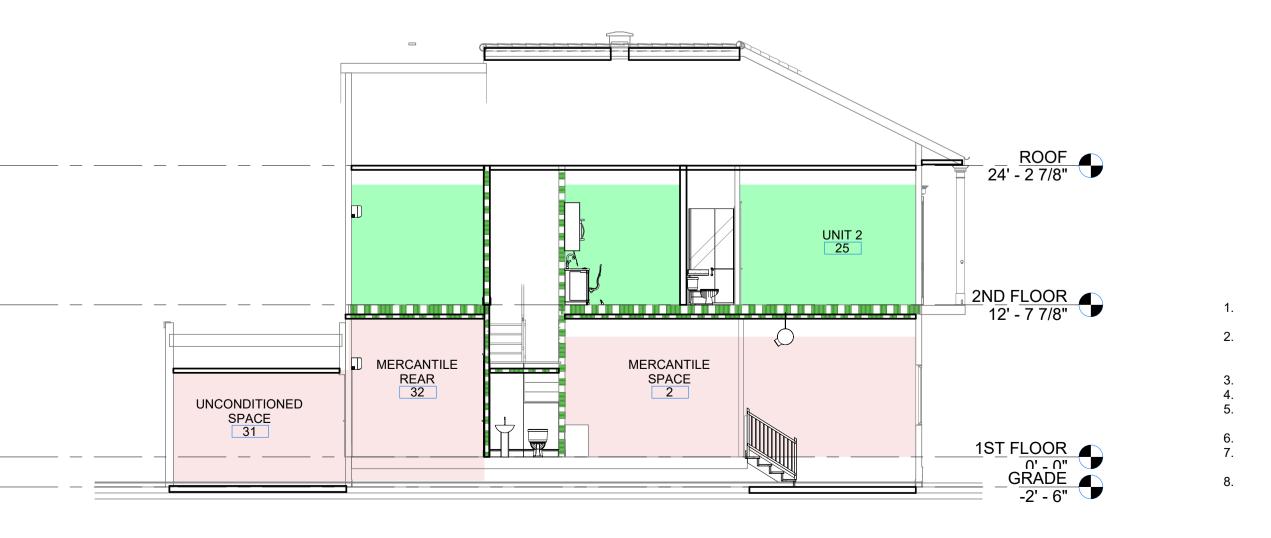






1ST FLOOR





3 LIFE SAFETY 1/8" = 1'-0"

2 δu ST R W OR

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INTERIOR

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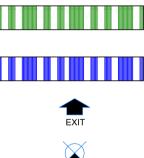
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NFPA LEGEND



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2 HOUR FIRE RATED PARITION UL DESIGN # U419 EXISTING 8" CMU MASONRY WALL 3 HOUR+ CALCULATED IBC

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EXIT TO EGRESS STAIR EMERGENCY DIRECTIONAL LIGHT. **RE: ELECTRICAL DRAWINGS** FIRE EXTINGUISHER. RE: SPECIFICATIONS

TRAVEL DISTANCE

DOOR & FRAME FIRE RATING RE: DOOR SCHEDULE

OCCUPANY ROOM TAG LEGEND

NAME OF ROOM OR SPACE	
	RM. NAME
	RM. #
	OCCUPANCY
ALLOWED SF PER OCCUPANT	SF PER OCC
SF OF ROOM	RM SF.
	# OF OCC.
TOTAL OCCUPANTS OF ROOM	

LEGEND - LS

U.L. APPROVED PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED IN ACCORDANCE WITH SECTION 906.1 OF IBC AND NFPA 10 (LAC 17,4-4.5). (MIN. 2A-10B-C). INTERIOR WALL AND CEILING FINISHES TO HAVE A FLAME SPREAD INDEX IN ACCORDANCE WITH IBC SECTION 803.9 AND COMPLY WITH NFPA 101:18.3.3 (0-75) FLAMESPREAD WITH SMOKE DEVELOPMENT

OF (O-450). INTERIOR FLOOR MATERIAL AND COVERINGS TO COMPLY WITH IBC SECTION 804.1, 804.4.1, AND 804.2. EMERGENCY LIGHTING SHALL BE PROVIDED AS PER NFPA 101 SECTION 7.9. DIRECTIONAL EXIT MARKINGS TO BE CONNECTED TO EMERGENCY POWER AND TO BE INSTALLED IN ACCORDANCE WITH NFPA SECTION 7.10.

FIRE DETECTION & ALARM SYSTEM TO BE INSTALLED IN ACCORDANCE WITH NFPA SECTION 9.6. FIRE RESISTIVE-RATED BUILDING ASSEMBLIES SHALL BE OF A DESIGN THAT HAS BEEN TESTED AND LISTED BY AN APPROVED TESTING LABORATORY FOR THE INTENDED APPLICATION. AS PER NFPA 101:20.7.5 DRAPERIES, CURTAINS, AND OTHER SIMILAR LOOSELY HANGING FURNISHINGS AND DECORATIONS ARE FLAME RESISTANT AS DEMONSTRATED BY TESTING IN ACCORDANCE WITH NFPA 701.

GENERAL NOTES - LIFE SAFETY



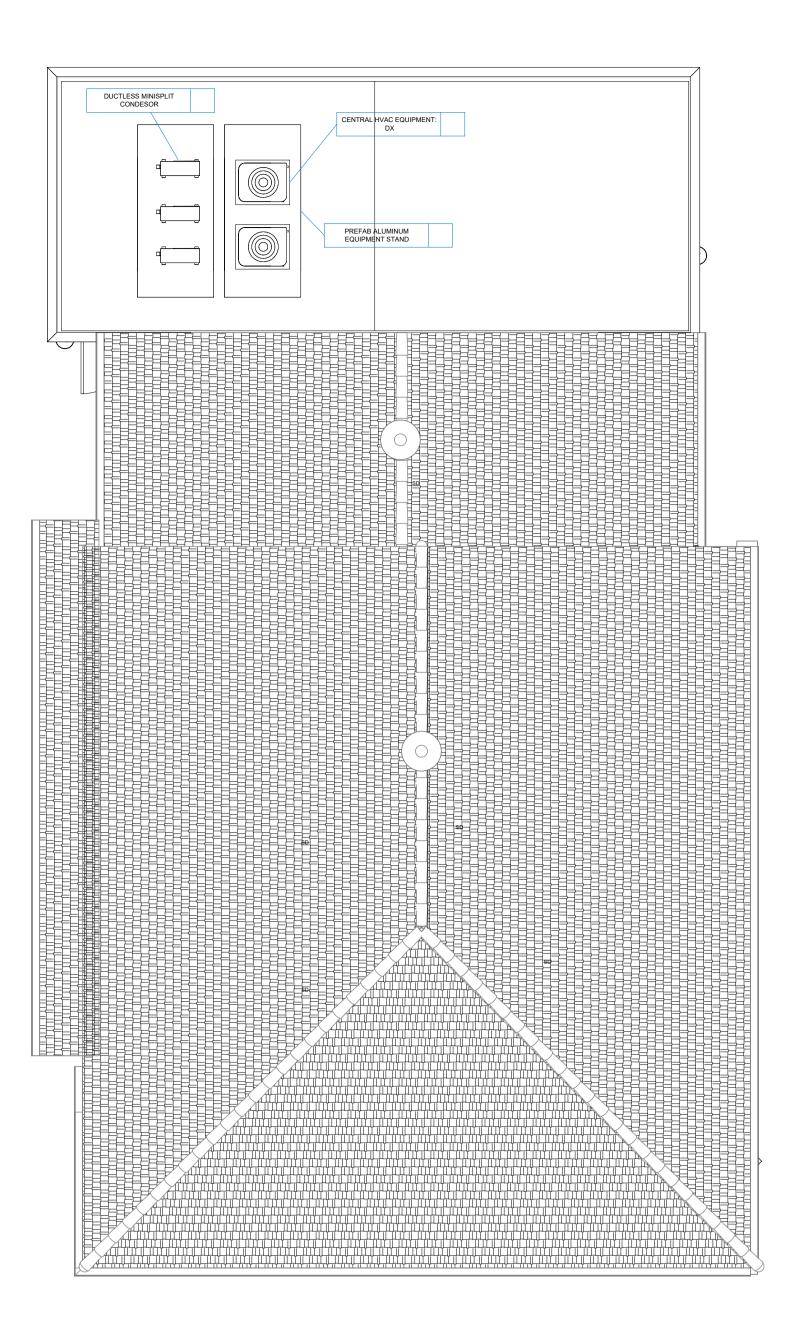
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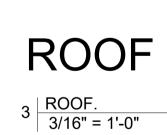
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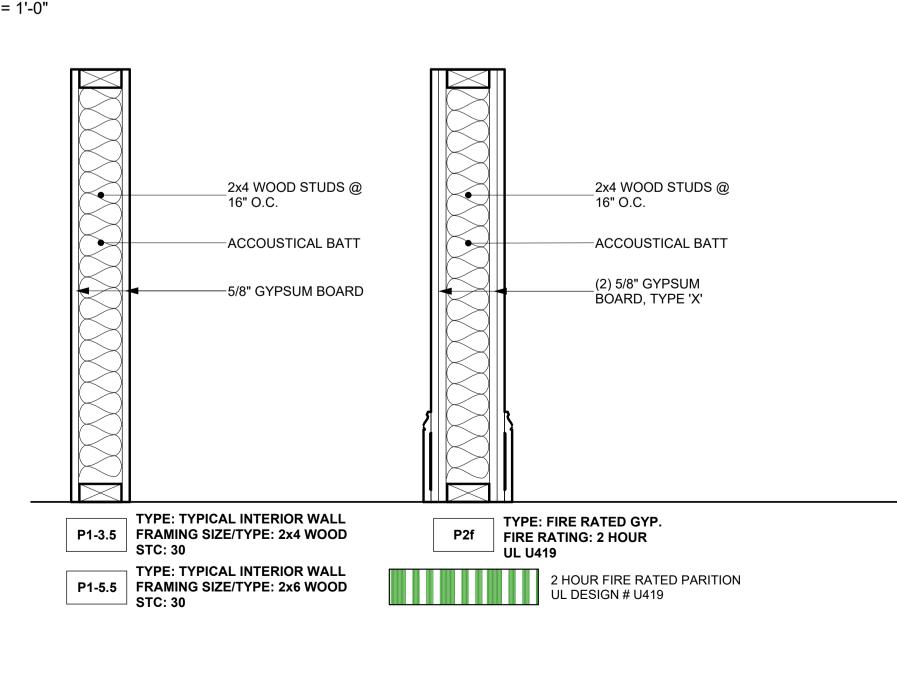
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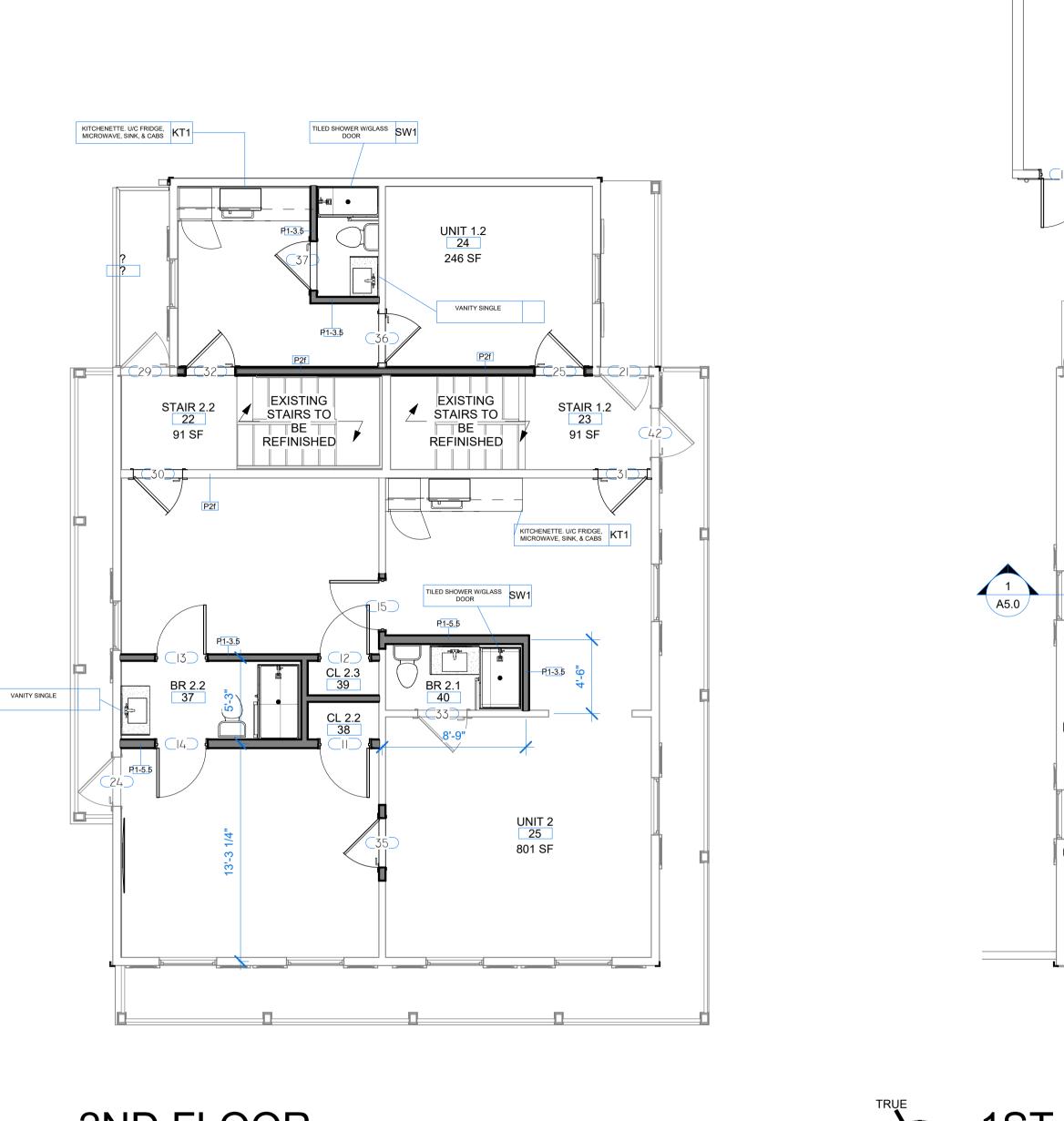
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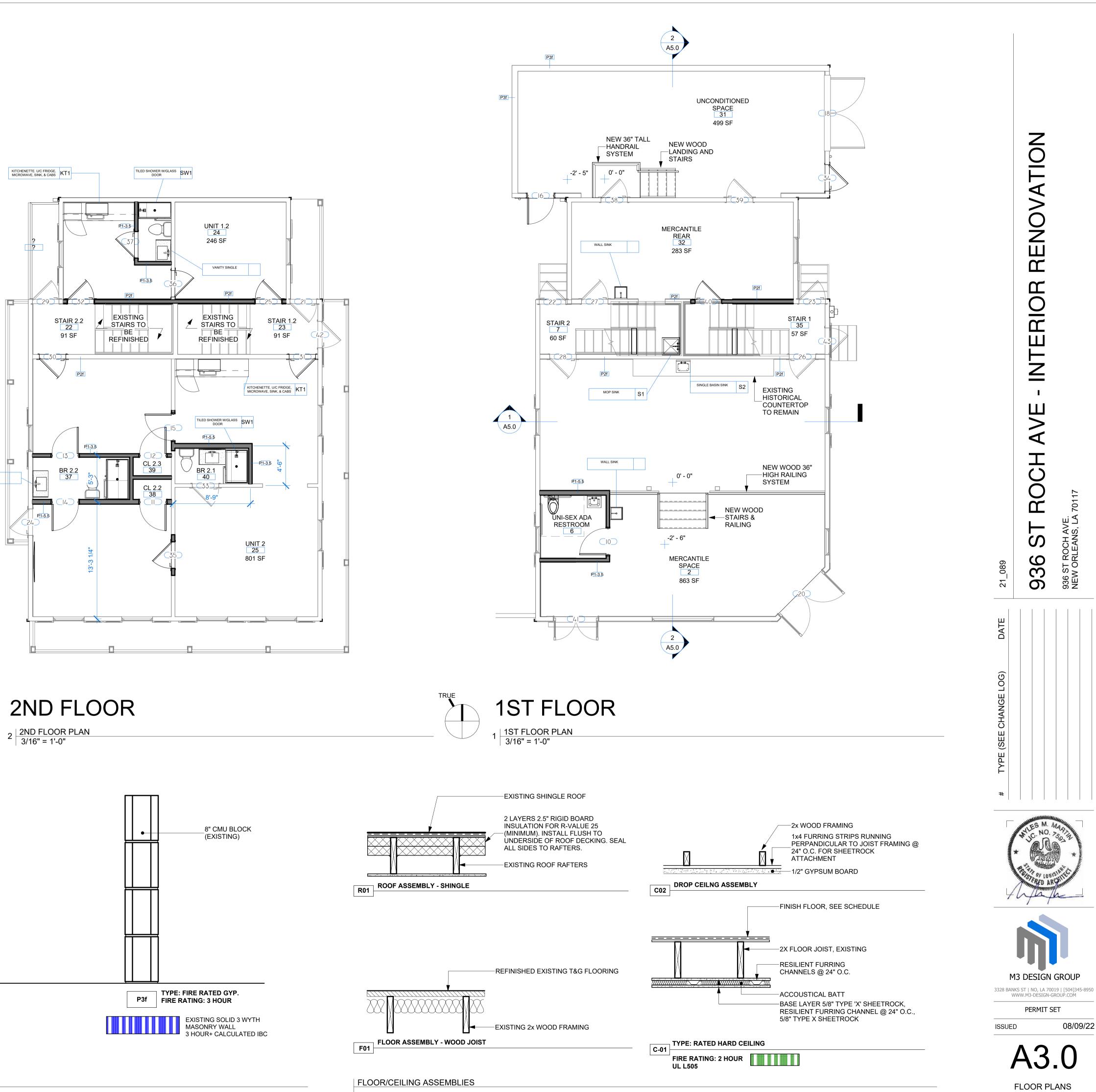


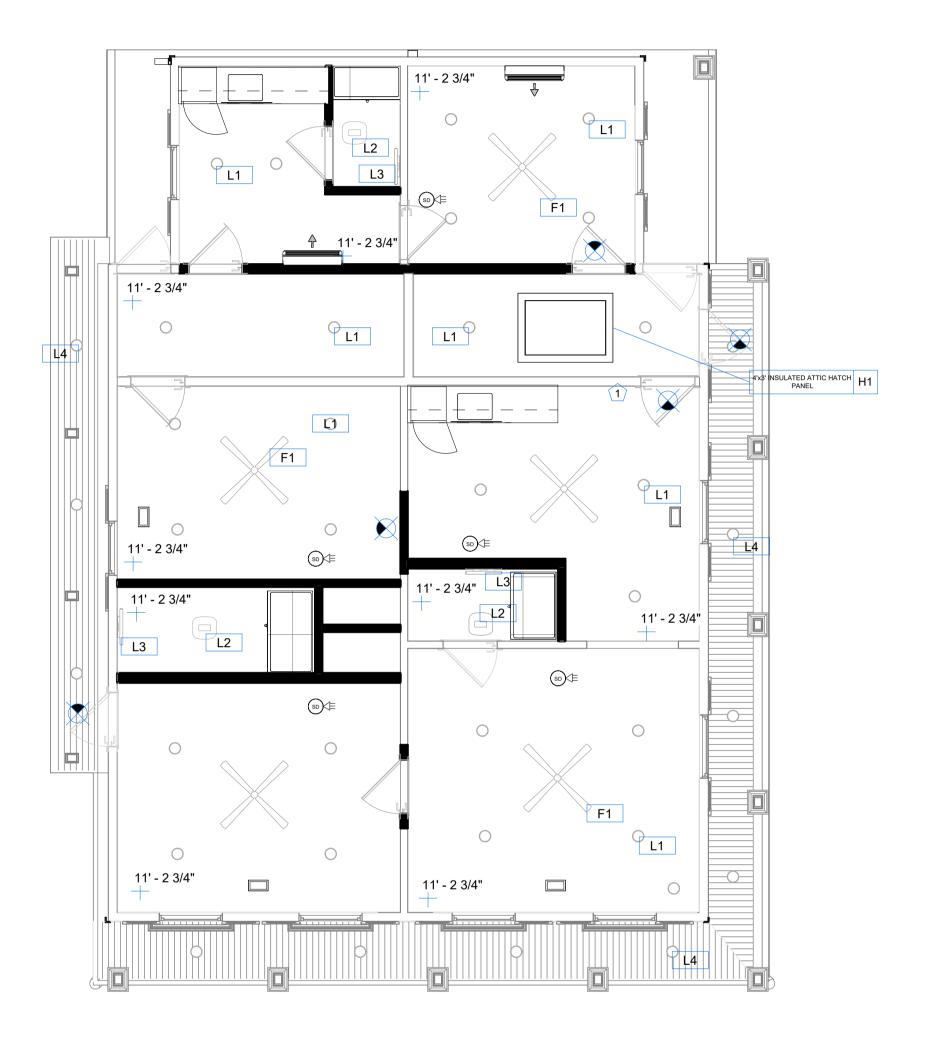


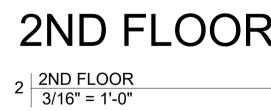




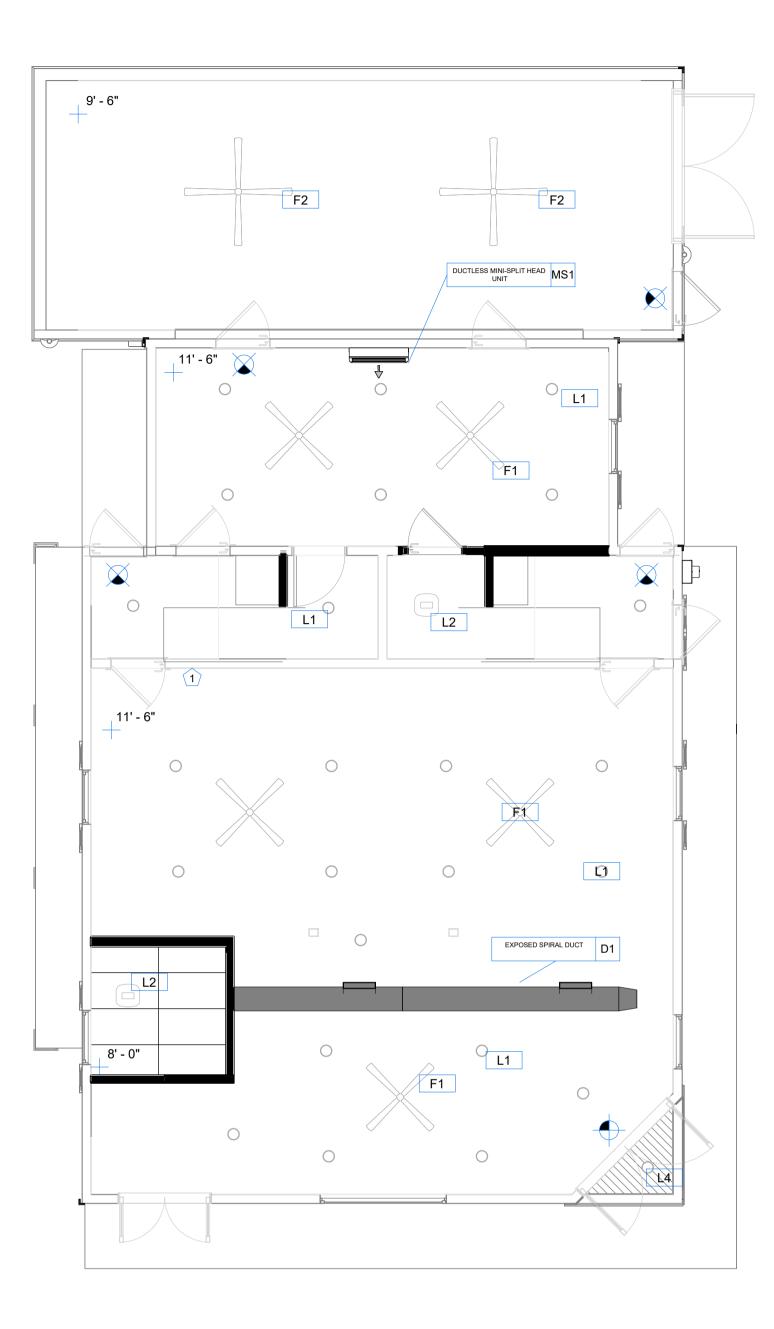








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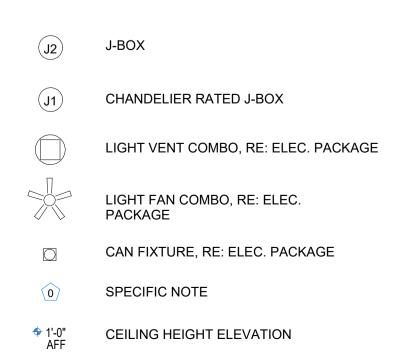
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1 | 1ST FLOOR | 3/16" = 1'-0"

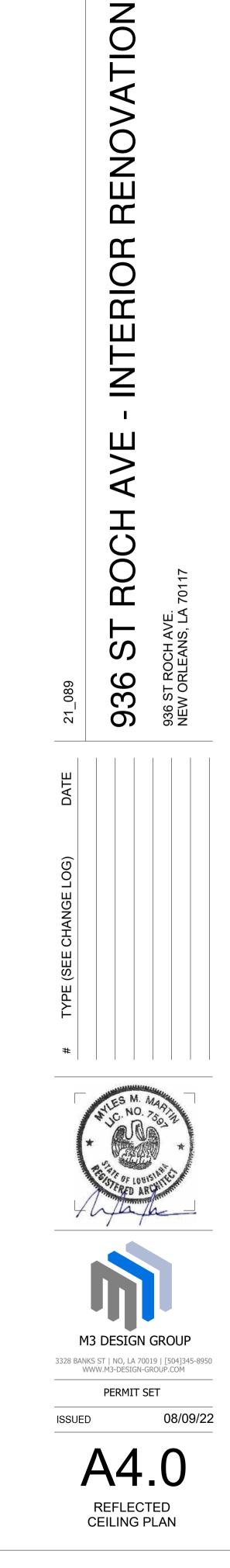
	LIGHTING FIXTURE SCHED	ULE
Mark	Description	Comments
	Ceiling Fan, no light kit	
	Garage ceiling fans	
	Recessed LED can light	
	Exhaust Fan	
	24 1/4" Vanity	
	Exterior grade recessed LED can light	

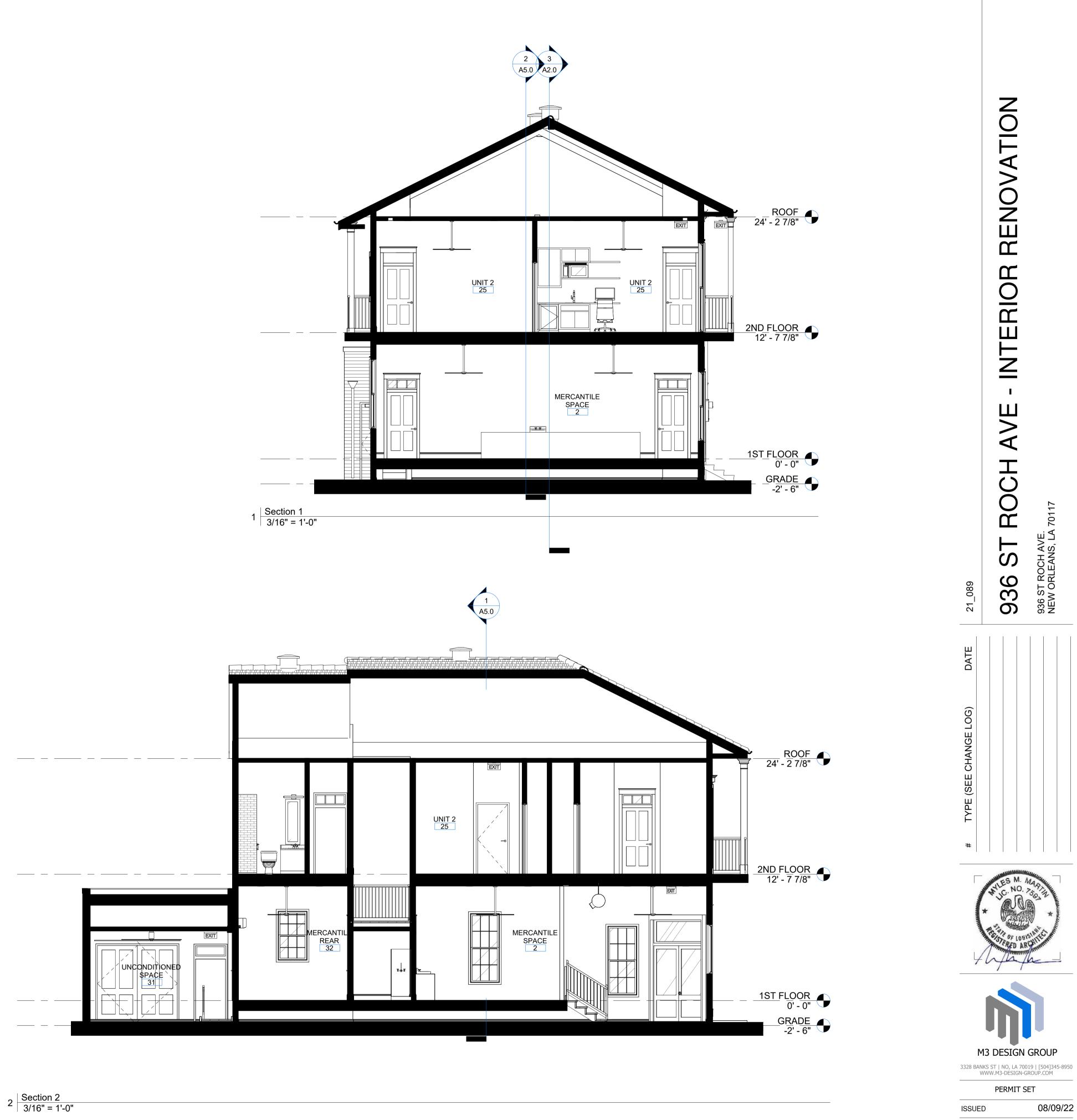
1 THERMOSTAT LOCATION

SPECFIC NOTES - RCP

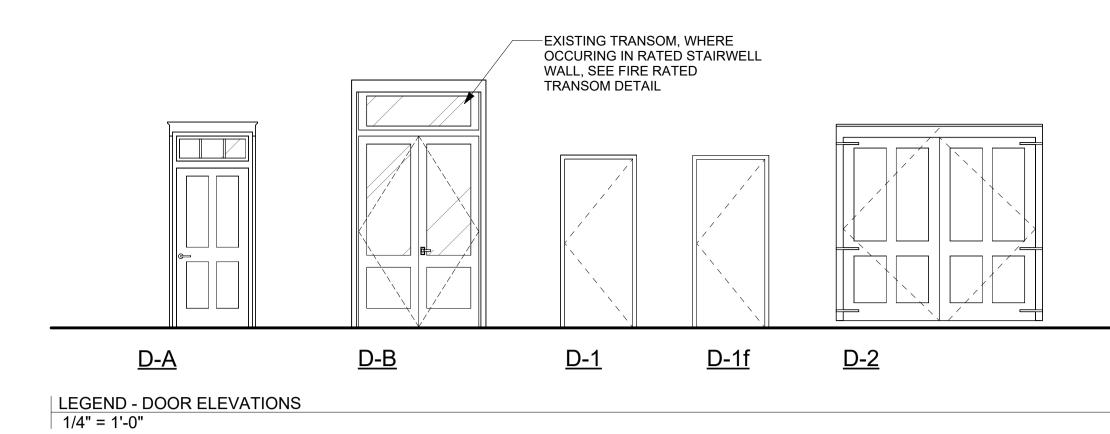


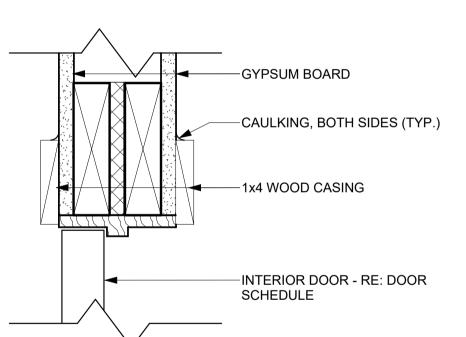
LEGEND - RCP

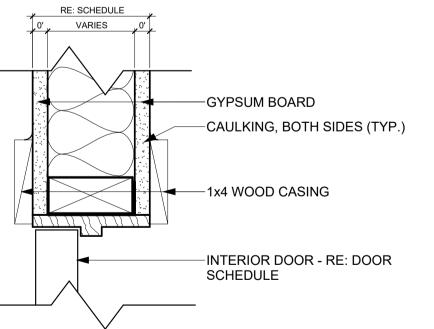




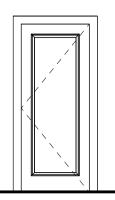
A5.0 BUILDING SECTIONS



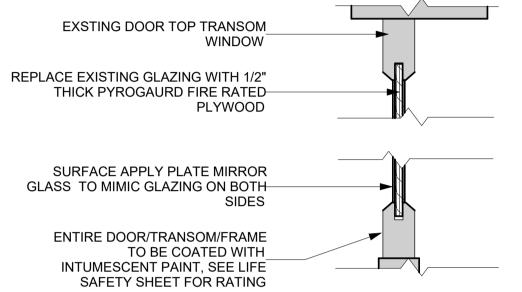








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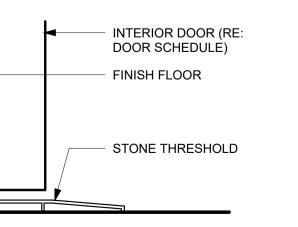


DOOR DETAIL - FIRE RATED TRANSOM DETAIL

					170			_		Т
Mark	Type Mark	Description	Phase Created	WIDTH	IZE HEIGHT	Transom	Frame Type	Door Material	HDWR TYPE	COMMENTS
10	D-1	WOOD, FLUSH PANEL, SINGLE	New Construction	3' - 0"	7' - 0"	No	Metal	Wood	PRIVACY LOCK, LEVER HANDLE	ADA BATHROOM
11	D-1	WOOD, FLUSH PANEL, SINGLE	New Construction	3' - 0"	7' - 0"	No	Wood	Wood		CLOSET DOOR
12	D-1	WOOD, FLUSH PANEL, SINGLE	New Construction	3' - 0"	7' - 0"	No	Wood	Wood		CLOSET DOOR
13	D-1	WOOD, FLUSH PANEL, SINGLE	New Construction	3' - 0"	7' - 0"	No	Wood	Wood		BATHROOM DOOR
14	D-1	WOOD, FLUSH PANEL, SINGLE	New Construction	3' - 0"	7' - 0"	No	Wood	Wood		BATHROOM DOOR
15	D-1	WOOD, FLUSH PANEL, SINGLE	New Construction	3' - 0"	7' - 0"		Wood	Wood		ROOM DOOR
16	D-1f	Single Hollow Metal Door	New Construction		8' - 0"		Metal	Hollow Metal		GARAGE REAR DOOR
18	D-2	WOOD, EXTERIOR GARAGE DOOR	Existing	8' - 0"	7' - 7 1/2"		Wood	Wood		CUSTOM WOOD GARAGE DOOR
19	D-3	WOOD, FLUSH PANEL, SINGLE	New Construction		7' - 0"	No	Wood	Wood		MOP ROOM
20	D-4	WOOD, DOUBLE DOOR, SINGLE PANEL, HALF LIGHT, W TRANSOM	Existing	7' - 0"	8' - 0"	Yes	Wood	Wood		EXISTING EXTERIOR DOOR
21	D-A	WOOD, 4 PANEL WITH TRANSOM	Existing	3' - 0"	8' - 0"	Yes	Wood	Wood		BALCONY DOOR
22	D-A	WOOD, 4 PANEL WITH TRANSOM	Existing	3' - 0"	6' - 8"	Yes	Wood	Wood		REAR EXIT DOOR
23	D-A	WOOD, 4 PANEL WITH TRANSOM	Existing	3' - 0"	8' - 0"	Yes	Wood	Wood		SIDE EXIT FROM STAIR
24	D-A	WOOD, 4 PANEL WITH TRANSOM	Existing	3' - 0"	8' - 0"	Yes	Wood	Wood		BALCONY DOOR
25	D-A	WOOD, 4 PANEL WITH TRANSOM	New Construction	3' - 0"	8' - 0"	Yes	Wood	Wood		UNIT DOOR
26	D-A	WOOD, 4 PANEL WITH TRANSOM	Existing	3' - 0"	8' - 0"	Yes	Wood	Wood		EXISTING STAIRWELL DOOR, FIRE RATE TRANS PER DETAIL
27	D-A	WOOD, 4 PANEL WITH TRANSOM	Existing	3' - 0"	8' - 0"	Yes	Wood	Wood		EXISTING STAIRWELL DOOR, FIRE RATE TRANS PER DETAIL
28	D-A	WOOD, 4 PANEL WITH TRANSOM	Existing	3' - 0"	8' - 0"	Yes	Wood	Wood		EXISTING STAIRWELL DOOR, FIRE RATE TRANS PER DETAIL
29	D-A	WOOD, 4 PANEL WITH TRANSOM	Existing	3' - 0"	8' - 0"	Yes	Wood	Wood		BALCONY DOOR
30	D-A	WOOD, 4 PANEL WITH TRANSOM	New Construction		8' - 0"	Yes	Wood	Wood		STAIR DOOR
31	D-A	WOOD, 4 PANEL WITH TRANSOM	New Construction		8' - 0"	Yes	Wood	Wood		STAIR DOOR
32	D-A	WOOD, 4 PANEL WITH TRANSOM	New Construction		8' - 0"	Yes	Wood	Wood		STAIR DOOR
33	D-A	WOOD, 4 PANEL WITH TRANSOM	Existing	3' - 0"	8' - 0"	Yes	Wood	Wood		BATHROOM DOOR
34	D-A	WOOD, 4 PANEL WITH TRANSOM	New Construction		8' - 0"	Yes	Wood	Wood		GARAGE PERSONAL DOOR
35	D-A	WOOD, 4 PANEL WITH TRANSOM	New Construction		6' - 8"		Wood	Wood		ROOM DOOR
36	D-A	WOOD, 4 PANEL WITH TRANSOM	New Construction		6' - 8"	No	Wood	Wood		ROOM DOOR
37	D-A	WOOD, 4 PANEL WITH TRANSOM	New Construction		6' - 8"		Wood	Wood		BATHROOM DOOR
38	D-A	WOOD, 4 PANEL WITH TRANSOM	Existing	3' - 0"	8' - 0"	Yes	Wood	Wood		REAR DOOR
39	D-A	WOOD, 4 PANEL WITH TRANSOM	Existing	3' - 0"	8' - 0"	Yes	Wood	Wood		REAR DOOR, SEAL SHUT
40	D-A	WOOD, 4 PANEL WITH TRANSOM	New Construction		6' - 8"			Wood		BATHROOM DOOR
41	D-B	WOOD, DOUBLE DOOR, SINGLE PANEL, HALF LIGHT, W TRANSOM	Existing	5' - 0"	8' - 0"	Yes	Wood	Wood		EXISTING EXTERIOR DOOR
42	D-C	8 Panel Door with Transom	Existing	3' - 0"	8' - 0"	Yes	Wood	Wood		BALCONY DOOR

HEAD H2 - INTERIOR WOOD

<u>J2 - INTERIOR WOOD</u>



SILL S1 - INTERIOR TILE TRANSITION

DOOR DETAILS - WOOD FRAMED

17

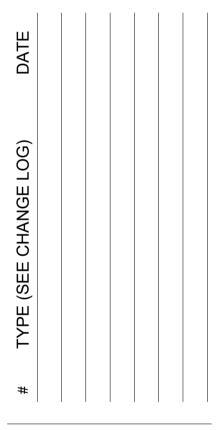
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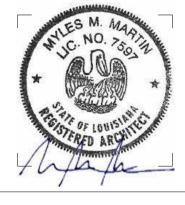
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6 ST RC W ORL

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08/09/22

