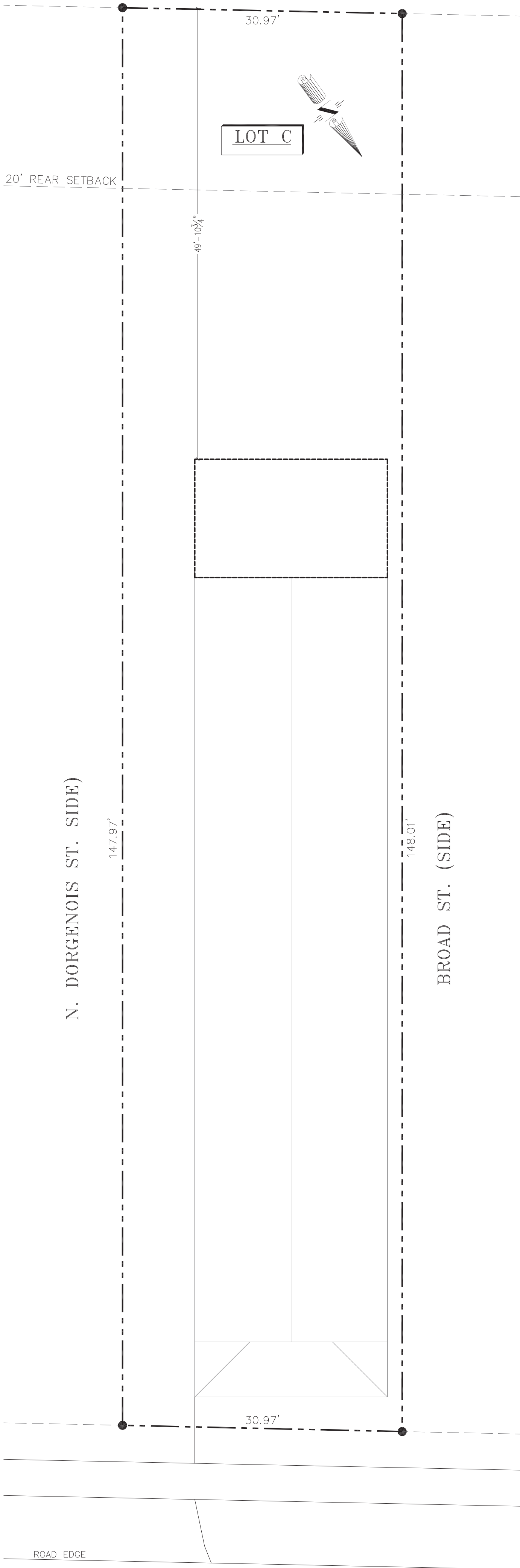


SITE WORK - GENERAL NOTES

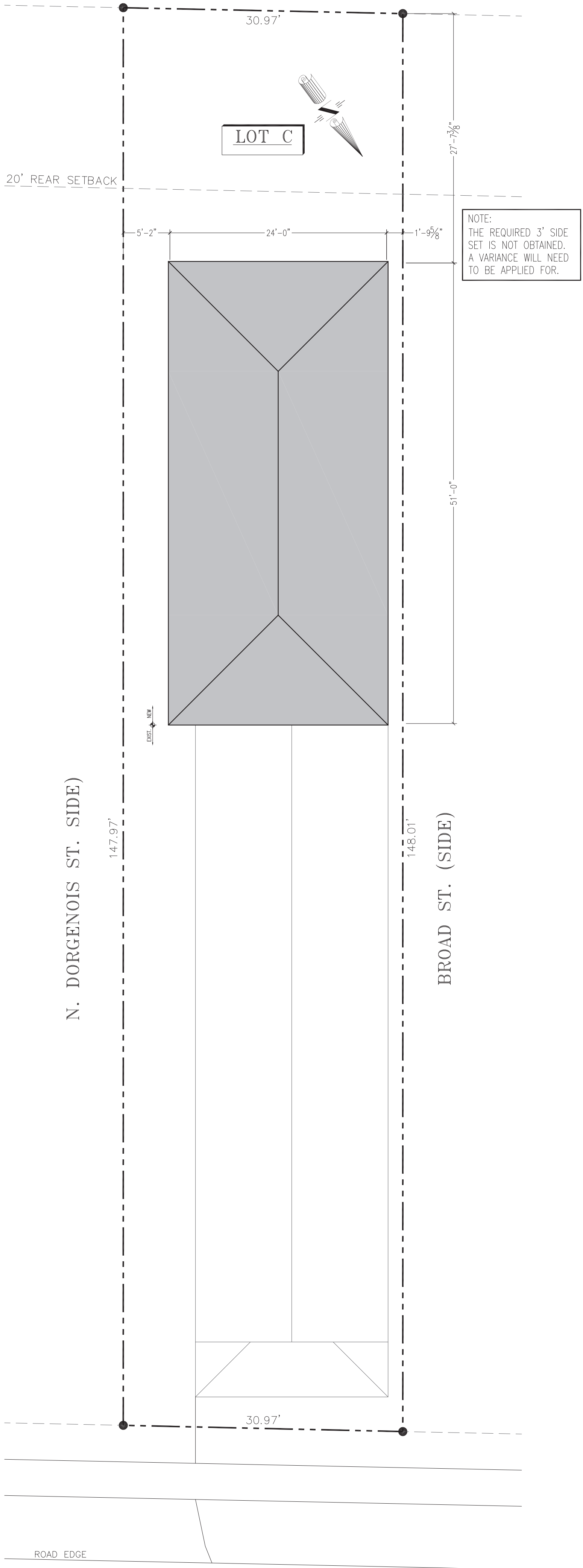
- SITE PREPARATION BENEATH THE FOUNDATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS AND SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
 - STRIP ALL VEGETATION DOWN TO NATURAL SOIL. REMOVE ALL TREES WITHIN CLOSE PROXIMITY TO THE FOUNDATION.
 - PROOF ROLL EXPOSED SUB-GRADE BACK FILL AND COMPACT THE TREE HOLES OR SOFT POCKETS WITH MATERIAL SIMILAR TO SITE MATERIALS.
 - BRING SUB-GRADE TO REQUIRED ELEVATION WITH SELECT FILL MATERIAL. SELECT FILL SHALL BE SANDY CLAY OR CLAYEY-SAND, FREE FROM ORGANIC MATERIAL, HAVING A PLASTICITY INDEX OF GREATER THAN 7, BUT NOT MORE THAN 20.
 - STRUCTURAL FILL SHALL BE PLACED IN MAXIMUM LIFTS OF 8" AND COMPACTED TO 95% OF ITS DRY DENSITY AS DETERMINED BY ASTM D698 (STANDARD PROCTOR). WHERE LARGE DEPTHS OF FILL OCCUR, FIELD DENSITY TEST IS REQUIRED FOR EACH LIFT LOCATED AT OR BELOW THE BOTTOM OF THE FOUNDATION.
- THE LEVELING BED SHALL BE FIRM, STABLE BANK SAND OR OTHER CLEAN GRANULAR MATERIAL.
- SITE WORK SHALL BE IN ACCORDANCE WITH 2015 IRC APPENDIX 'J'.
- CONTRACTOR SHALL GRADE LOT NOT TO SLOPE ONTO ADJACENT PROPERTIES; SLOPE LOT TO STREET AND SLOPE GRADE AWAY FROM HOUSE FOR PROPER DRAINAGE BY PROVIDING SWALES SLOPED TOWARDS STREET.
- CONTRACTOR SHALL COMPLY WITH ALL FILL REQUIREMENTS, INCLUDING PERCENTAGE OF COMPACTION OF LOCAL AUTHORITIES. FILL SHALL BE COMPACTED IN 6" LIFTS TO 95% OF STANDARD PROCTOR DENSITY.
- INITIAL SITE GRADING SHALL BE COMPLETED PRIOR TO SETTING FORMS. FINAL GRADING SHALL BE SLOPED AWAY FROM THE FOUNDATION 1 INCH PER 1 FOOT FOR THE FIRST 5 FEET SUCH THAT POSITIVE DRAINAGE AWAY FROM THE FOUNDATION IS ASSURED BEFORE, DURING, AND AFTER CONSTRUCTION.
- DURING CONSTRUCTION, A DRAINAGE TRENCH SHALL BE FORMED SUCH THAT ANY WATER THAT INTRUDES INTO THE FOUNDATION MAKE-UP WILL IMMEDIATELY DRAIN OUT OF THE BOTTOM OF THE BEAMS.
- TREES OR OTHER VEGETATION TALLER THAN 6 FT. OR OF THE TYPE THAT REQUIRES EXCESSIVE AMOUNTS OF WATER SHOULD NOT BE PLANTED WITHIN 20 FT. OF THE FOUNDATION.
- EXISTING TREES WITHIN 20'-0" OF THE FOUNDATION MUST UTILIZE A PROVEN ROOT CONTROL METHOD SUCH AS A ROOT BARRIER.
- EXCAVATIONS FOR SWIMMING POOLS SHALL NOT BE PLACED CLOSER THAN 10FT. FROM THE FOUNDATION WITHOUT APPROVAL FROM THE ENGINEER.
- LANDSCAPING SHOULD BE PLANNED SUCH THAT ADEQUATE MOISTURE CAN REACH AND BE DRAINED FROM AROUND THE FOUNDATION.
- THE OWNER SHALL PROVIDE GEOTECHNICAL REPORT CONTAINING FOUNDATION DESIGN RECOMMENDATIONS FOR THE PROJECT, THESE RECOMMENDATIONS SHALL CONTROL FOUNDATION DESIGN IF A CONFLICT SHALL ARISE BETWEEN THESE MINIMUM REQUIREMENTS AND THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- CONTRACTION JOINTS SHALL BE PLACED IN FLAT WORK CONCRETE TO IN FLAT WORK CONCRETE PRODUCE PANELS THAT ARE SQUARE AND NEVER EXCEED 1.5 TO 1 RATION LENGTH TO WIDTH, JOINTS SHALL BE PLACED AT DISTANCES 24 TO 30 TIMES THE SLAB THICKNESS.
- CONTRACTION / CONTROL JOINTS SHALL BE AT A 1/4" DEPTH, MINIMUM.

SOIL GENERAL NOTES

- SOIL COMPACTION IS THE RESPONSIBILITY OF OWNER/CONTRACTOR.
- COMPACTION SHOULD BE 95% STANDARD PROCTOR IN ACCORDANCE WITH ASTM D-1557.
- OWNER SHALL OBTAIN SOIL REPORT TO VERIFY CONDITIONS PRIOR TO CONSTRUCTION. FAILURE TO PROPERLY TEST OR COMPACT SOIL WILL VOID ARCHITECT/ENGINEER'S DESIGN AND HOLD ARCHITECT/ENGINEER HARMLESS IF DIFFERENTIAL SETTLEMENT OCCURS.
- REMOVE A MINIMUM OF 8" OF EXISTING SOIL AND ALL UNSTABLE SILT PRIOR TO PLACING OF FILL MATERIAL.
- ANY TREES REMOVED MUST HAVE ROOT BALL COMPLETELY REMOVED. GRINDING OF STUMP TO REMOVE WILL NOT BE ALLOWED.
- ALL SUBGRADE FILL SHALL BE AASHTO CLASSIFICATION A-4 MATERIAL OR BETTER.
- A SOIL COMPACTION TEST WILL BE REQUIRED IF FILL AMOUNT IS IN EXCESS OF 18" INCHES TO VERIFY COMPACTION OF SOIL. SUBMIT RESULTS TO ENGINEER PRIOR TO PROCEEDING WITH EXCAVATION OF FOOTINGS. FAILURE TO PROPERLY COMPACT SOIL WILL VOID ARCHITECT/ENGINEER'S DESIGN AND HOLD ARCHITECT/ENGINEER HARMLESS IF DIFFERENTIAL SETTLEMENT OCCURS.
- EXTERIOR AND INTERIOR FOOTINGS DO NOT HAVE TO PENETRATE BELOW NATURAL SOIL PROVIDED THAT A MINIMUM OF 2 TO 1 REQUIREMENTS HAVE BEEN MET. ANY FILL MATERIAL BROUGHT INTO THE FORMS AND THE FILL IS NOT EXTENDING BEYOND PERIMETER MUST HAVE FOOTINGS PENETRATE 12" INTO NATURAL GROUND. A MINIMUM 18" OF FILL MAYBE PLACED ON THE SITE UNLESS APPROVED BY DESIGN ARCHITECT/ENGINEER. MAXIMUM DIFFERENTIAL FILL SHALL NOT EXCEED 20%.
- ALL RUNOFF WATER MUST BE CARRIED AWAY FROM SLAB TO PREVENT SATURATION OF SUB-BASE FILL AT ALL TIMES DURING CONSTRUCTION AND AFTER CONSTRUCTION THROUGHOUT THE STRUCTURE'S LIFE AND IS THE RESPONSIBILITY OF THE OWNER, BUILDER, GENERAL CONTRACTOR AND OR HOMEOWNER.
- ANY FLOWER BEDS INSTALLED MUST BE INSTALLED SO AS TO NOT COLLECT WATER AT FOUNDATION EDGES.
- RECOMMENDED USE OF A GUTTER SYSTEM TO COLLECT AND DISTRIBUTE WATER AWAY FROM FOUNDATION.



EXIST. SITE PLAN
1/8" = 1'-0"



PROPOSED SITE PLAN
1/8" = 1'-0"



THESE PLANS AND/OR SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE SUPERVISION. I HAVE RESEARCHED THE BUILDING AND RELATED CONSTRUCTION CODES OF ORLEANS PARISH & THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY OR MY CONSULTANTS KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREIN. I AM NOT ADMINISTERING THE WORK.

RESIDENTIAL RENOVATION / ADDITION PLAN AT:
2630 Ursulines Ave., New Orleans, LA 70119

BENDECK ARCHITECTS, L.L.C.
ELIAS J. I. BENDECK, ARCHITECT, AIA
241 WALTER ROAD
NEW ORLEANS, LOUISIANA 70123

PROJECT NO. 21172		
DATE: 7/15/2022		
MARK	DESCRIPTION	DATE

SHEET TITLE
SITE PLAN

SHEET IDENTIFICATION

A1.0
SHEET 2 OF 8

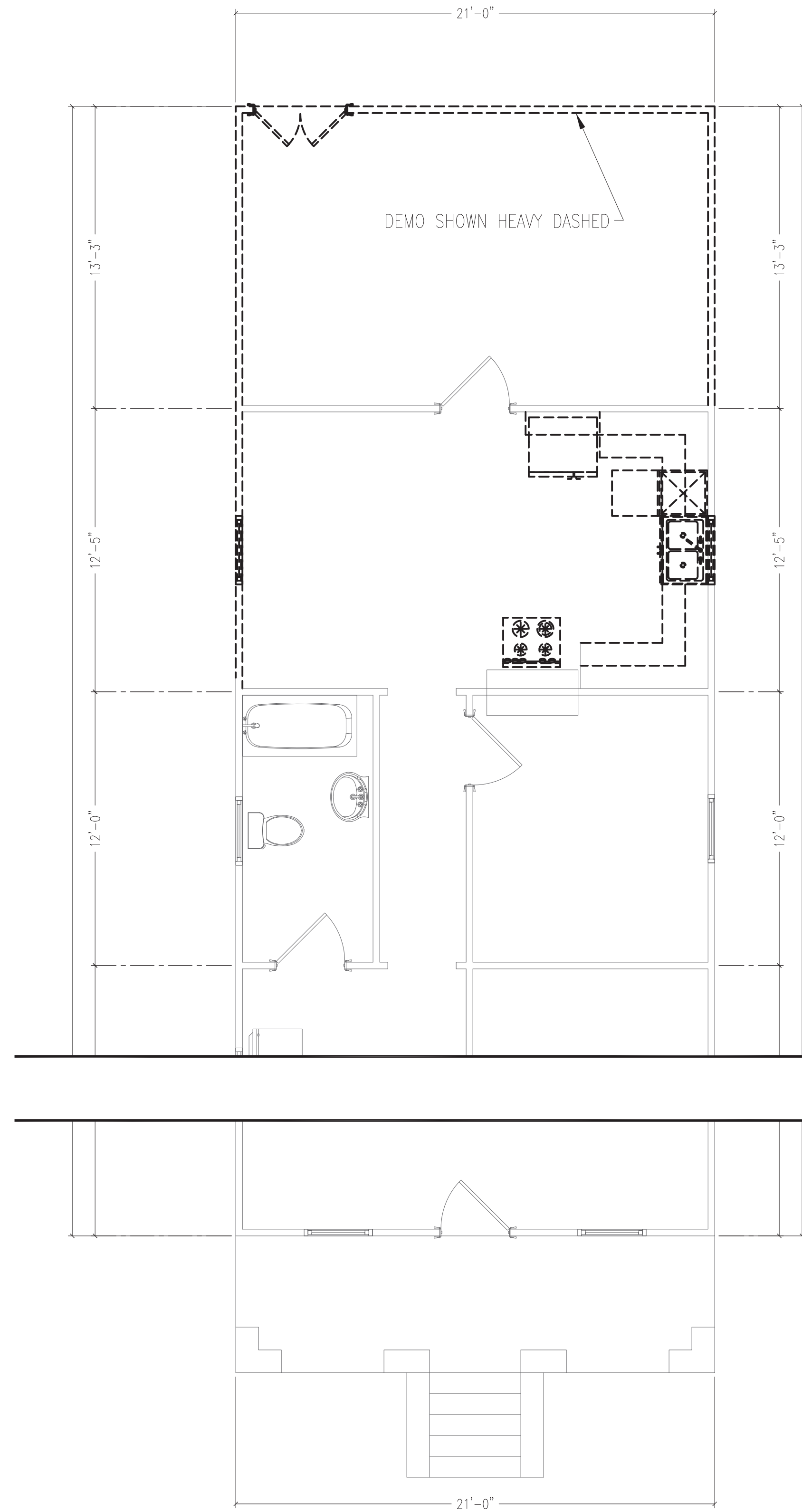
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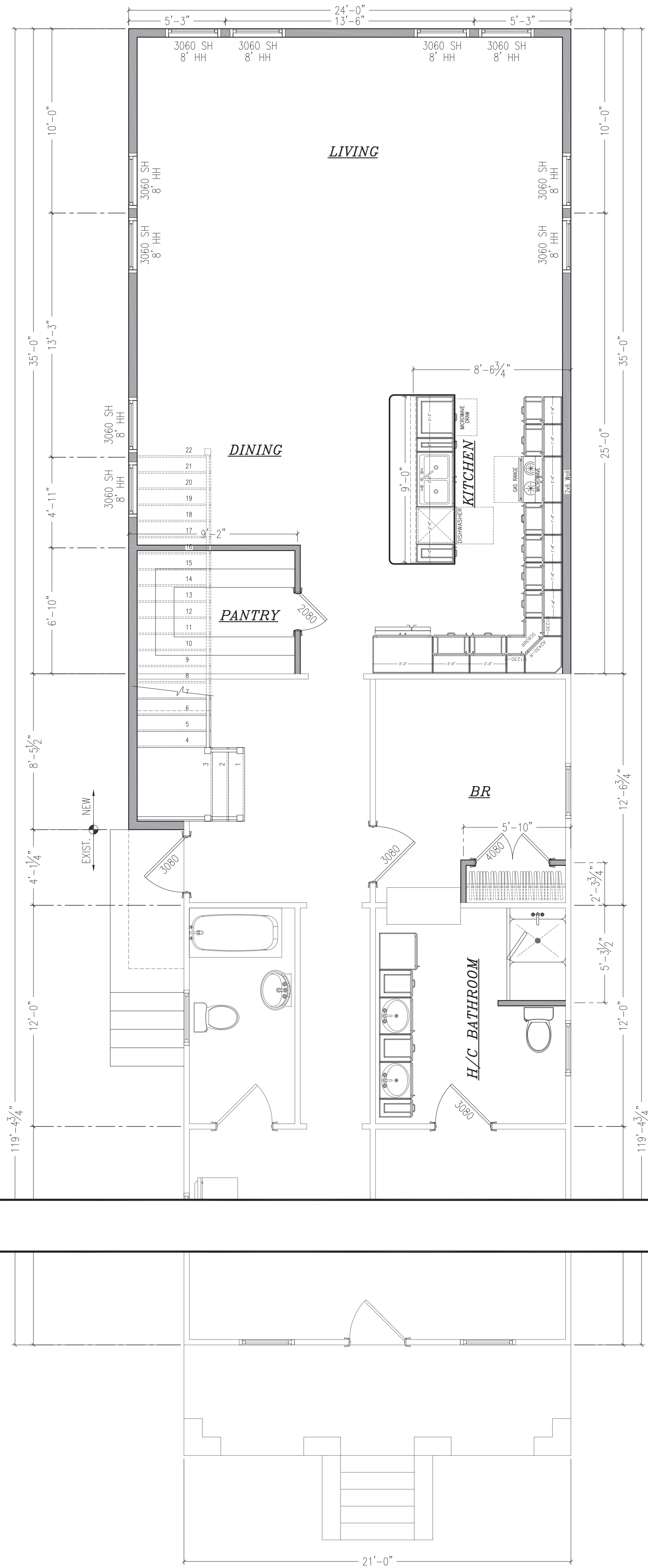
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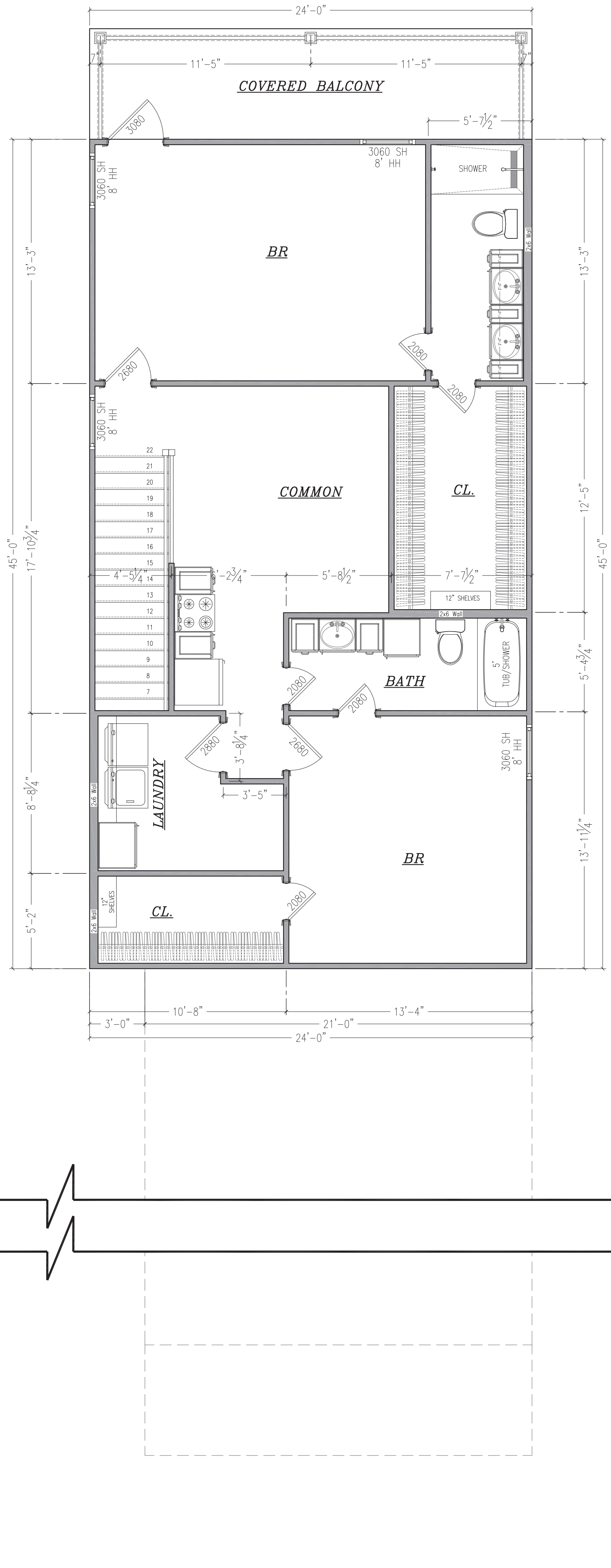
EXIST. FIRST FLOOR PLAN SHOWING DEMO

1/4" = 1'-0"



PROPOSED FIRST FLOOR PLAN

1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"

RESIDENTIAL RENOVATION / ADDITION PLAN AT:
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241 WALTER ROAD
NEW ORLEANS, LOUISIANA 70123

PROJECT NO. 211172		
DATE: 7/15/2022		
MARK	DESCRIPTION	DATE

SHEET TITLE
EXISTING &
PROPOSED
FLOOR PLAN

SHEET IDENTIFICATION

A1.1

SHEET 3 OF 8

THESE PLANS AND/OR SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE SUPERVISION. I HAVE RESEARCHED THE BUILDING AND RELATED CONSTRUCTION CODES AND I AM AWARE OF THE REQUIREMENTS OF THE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY OR MY CONSULTANTS KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREIN. I AM NOT ADMINISTERING THE WORK.





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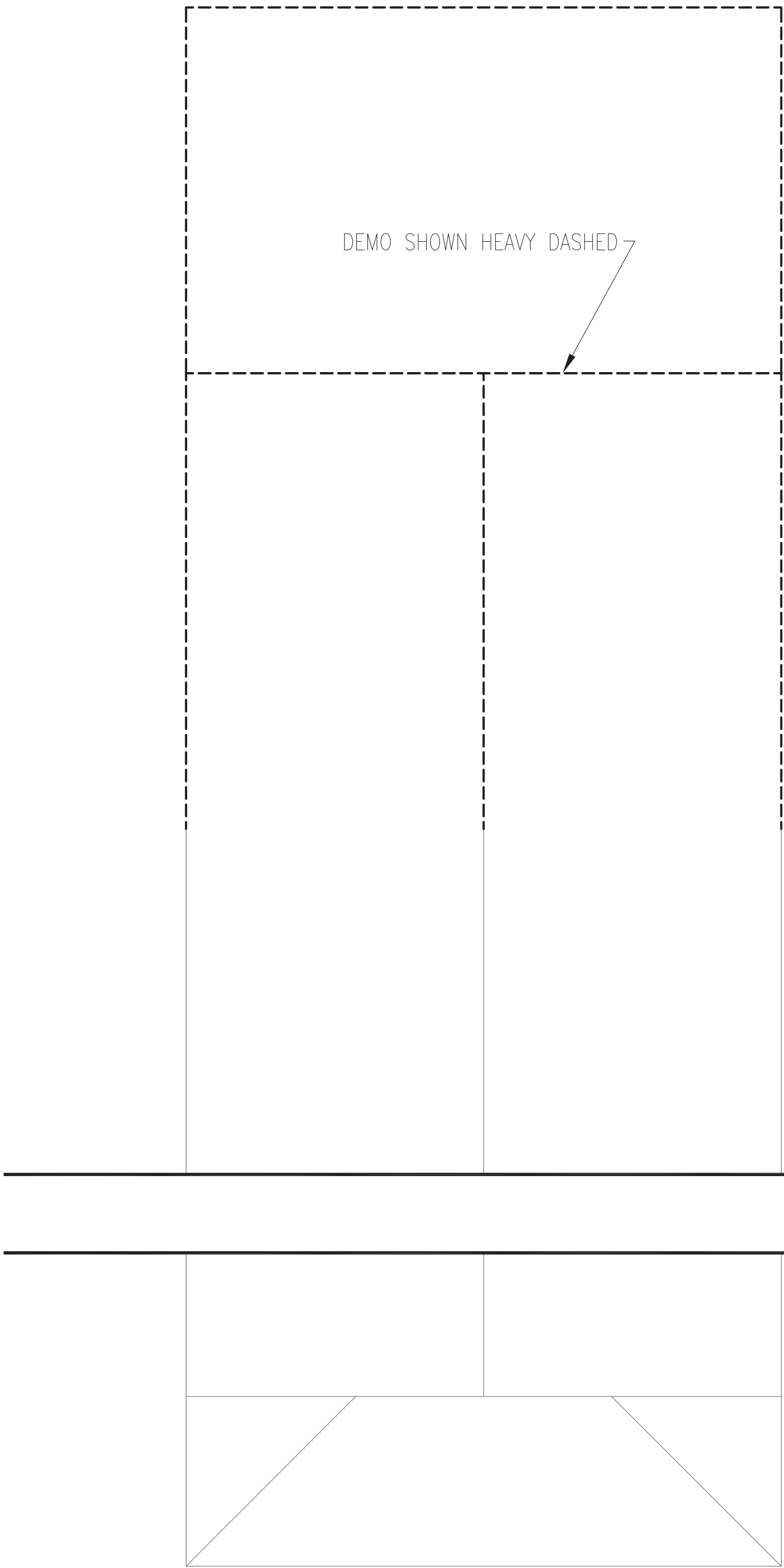
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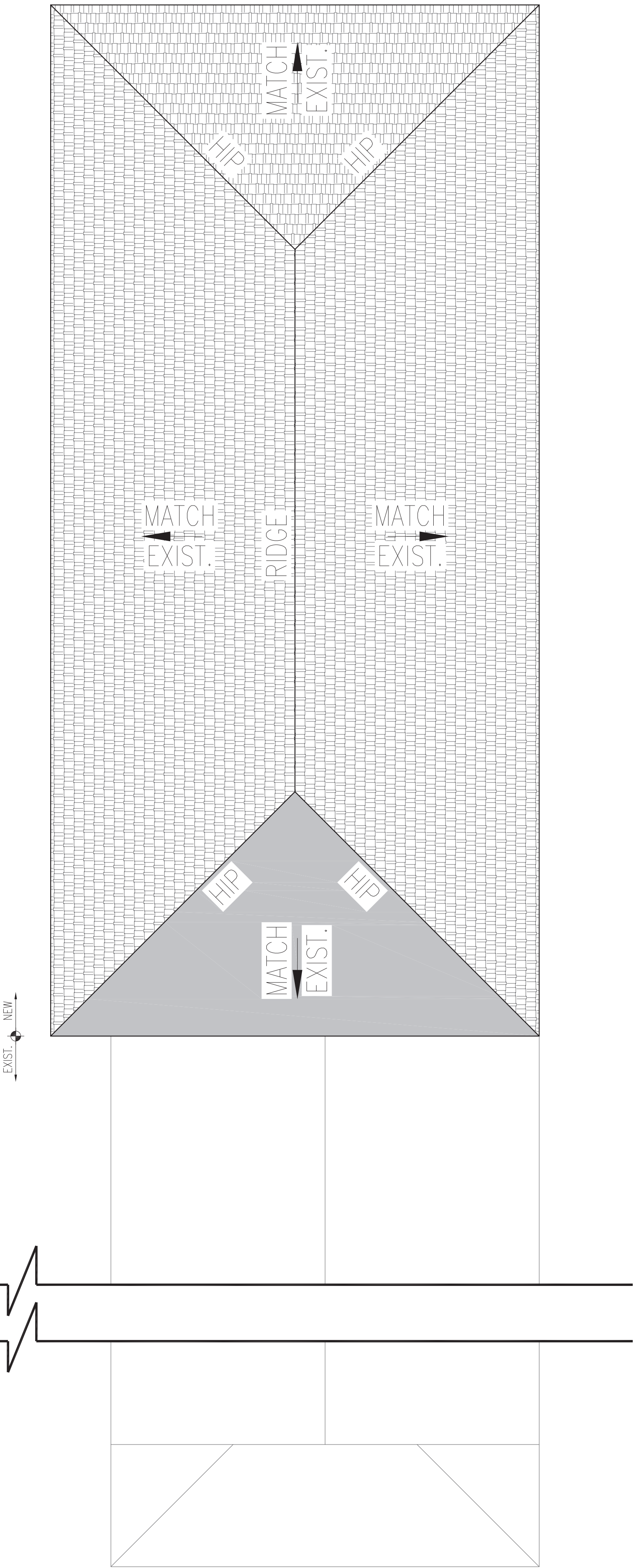
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EXIST. ROOF PLAN SHOWING DEMO
1/4" = 1'-0"



PROPOSED ROOF PLAN
1/4" = 1'-0"

RESIDENTIAL RENOVATION / ADDITION PLAN AT:
2630 Ursulines Ave., New Orleans, LA 70119

BENDECK ARCHITECTS, L.L.C.
ELIAS J. I. BENDECK, ARCHITECT, AIA
241 WALTER ROAD
NEW ORLEANS, LOUISIANA 70123

PROJECT NO. 21172		
DATE: 7/15/2022		
MARK	DESCRIPTION	DATE

SHEET TITLE
EXISTING & PROPOSED ROOF PLAN

SHEET IDENTIFICATION

A2.0
SHEET 3 OF 8

THESE PLANS AND/OR SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE SUPERVISION. I HAVE RESEARCHED THE BUILDING AND RELATED CONSTRUCTION CODES GOVERNING THIS PROJECT AND I AGREE TO THE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY OR MY CONSULTANTS KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREIN. I AM NOT ADMINISTERING THE WORK.





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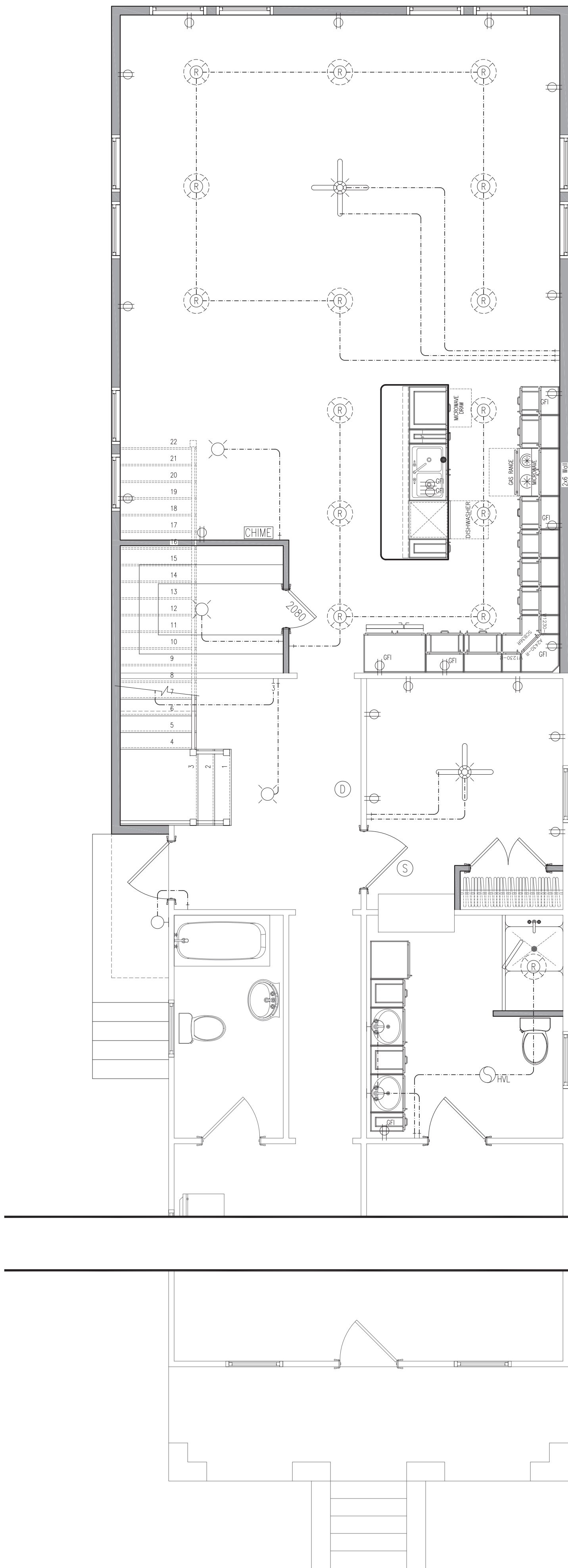
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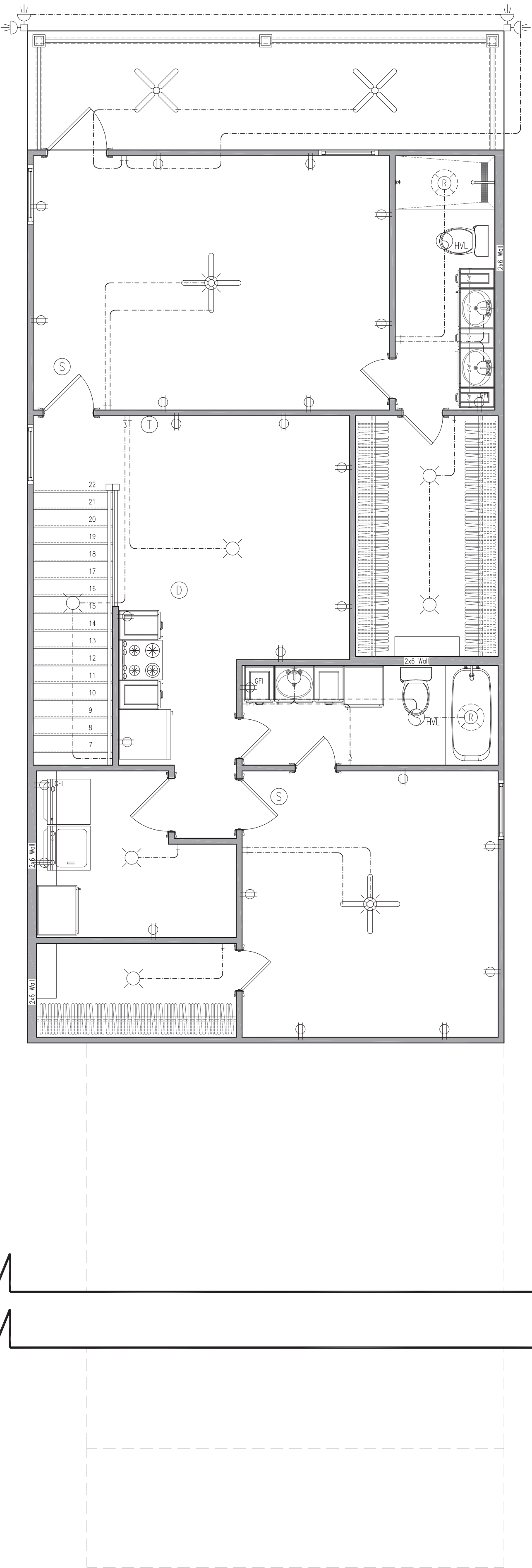
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ELECTRICAL PLAN - FIRST FLOOR
1/4" = 1'-0"



ELECTRICAL PLAN - SECOND FLOOR
1/4" = 1'-0"

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241 WALTER ROAD
NEW ORLEANS, LOUISIANA 70123

PROJECT NO. 21172		
DATE: 7/15/2022		
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SHEET TITLE
ELECTRICAL
PLAN

SHEET IDENTIFICATION

E1.0

SHEET 3 OF 8

THESE PLANS AND/OR SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE SUPERVISION. I HAVE RESEARCHED THE BUILDING AND RELATED CONSTRUCTION CODES OF THE JURISDICTION AND I AM AWARE OF THE UNIFORM CONSTRUCTION CODE AND THE BEST OF MY OR MY CONSULTANTS KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREIN. I AM NOT ADMINISTERING THE WORK.





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TIMBER FRAMING NOTES:

1. BRIDGING REQUIRED BETWEEN FLOOR JOISTS NOT TO EXCEED 8' SPAN.
2. DOUBLE FLOOR JOISTS REQUIRED UNDER ALL LOAD BEARING WALLS.
3. ALL ANCHOR STRAPS AND HANGERS TO BE GALVANIZED. INSTALL ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
4. ALL FRAMING LUMBER TO BE #2 SYPKD OR BETTER.
5. ALL LUMBER EXPOSED TO WEATHER TO BE NATURALLY DURABLE OR PRESSURE TREATED.
6. STRICTLY FOLLOW ALL CONNECTION MANUFACTURERS DETAILS & RECOMMENDATIONS.
7. PROVIDE BLOCKING FOR 1ST FLOOR FRAMING PER REQUIREMENTS OF JOIST MANUFACTURER AND/OR IRC 2012. PROVIDE SOLID BLOCKING AT ALL JOISTS AT POINTS OF SUPPORT.
8. ALL TIMBER FRAMING BELOW B.F.E. TO BE TREATED LUMBER.
9. SLOPE PORCHES AWAY FROM HOUSE.
10. CONTRACTOR TO EXTEND HOUSE SILL BEAMS AND PORCH SILL BEAMS PLUS ADD 3/4" PLYWOOD FLITCH PLATE IN THIS AREA IN ORDER TO WIDEN BEAM TO 7'-3/4" IN ORDER TO CATCH EXTERIOR STUD WALL ABOVE.

LEGEND

- EXISTING 8x8x16 CMU
- 8x8x16 CMU PIER/WALL

SPECIFIC NOTE: INFORMATION ON EXISTING FOUNDATION HAS BEEN PROVIDED BY OWNER. CONTRACTOR SHALL VERIFY THAT EXISTING CONDITIONS COMPLY WITH INFORMATION SHOWN ON DRAWINGS AND SHALL ADVISE THE ARCHITECT/ENGINEER IF EXISTING CONDITIONS ARE DIFFERENT.

PREMATURELY
POURED
FOUNDATION

DEMO SHOWN HEAVY DASHED
EXISTING
TO BE
REPLACED

EXISTING
FOUNDATION

EXISTING
FOUNDATION

8x16 CMU PIER
6x6 PT SILL BEAM TYP.

EXISTING 8x16 CMU PIER

EXISTING
FOUNDATION

ORIGINAL FOUNDATION
1/4" = 1'-0"

EXISTING FOUNDATION PLAN
1/4" = 1'-0"

PROPOSED FOUNDATION PLAN
1/4" = 1'-0"

RESIDENTIAL RENOVATION / ADDITION PLAN AT:

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DATE: 7/15/2022

MARK	DESCRIPTION	DATE

SHEET TITLE
FOUNDATION
PLAN

SHEET IDENTIFICATION

S1.0

SHEET 3 OF 8

