

**DEPARTMENT OF SAFETY & PERMITS  
CITY OF NEW ORLEANS**

PERMIT NO: \_\_\_\_\_

DATE: \_\_\_\_\_

DISTRICT: FOURTH

SQUARE: 49

LOTS: A

SUBDIVISION: None

ADDRESS: 2618 SAINT THOMAS STREET

COMMUNITY NO.	225 203	PANEL NO	0160	SUFFIX	E	DATE OF FIRM INDEX	3/01/84	FIRM ZONE	B	BASE FLOOD ELEVATION (IN A0 ZONES - USE DEPTH)	NONE
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MINIMUM FLOOR ELEVATION:

IN ADDITION TO THE FEMA ELEVATIONS, THE FOLLOWING

CONDITIONS MUST ALSO BE MET:

- A. TOP OF SLABS ON GRADE OR FILL SHALL BE AT LEAST 36" ABOVE THE HIGHEST POINT OF CURB IN FRONT OF THE LOT OR SITE.
- B. PIER CONSTRUCTION: TOP OF PIERS (UNDER SIDE OF SILLS) MUST HAVE AT LEAST 18" CLEARANCE BENEATH THE STRUCTURE. IN ADDITION, THE LOWEST FLOOR MUST BE AT LEAST 36" ABOVE THE HIGHEST POINT OF CURB IN FRONT OF THE LOT OR SITE. (IF NO CURB, USE CENTERLINE OF STREET)
- C. SLABS SUPPORTING MECHANICAL OR PLUMBING EQUIPMENT MUST BE LOCATED AT THE REQUIRED FLOOR ELEVATION.
- D. SLABS FOR ATTACHED GARAGES MUST BE AT THE REQUIRED FLOOR ELEVATION OR BE CONSTRUCTED OF WATERPROOF MATERIALS WITH PROPER VENTING IN 2 WALLS.
- E. DETACHED GARAGES WITH PLUMBING MUST BE AT THE REQUIRED FLOOR ELEVATION.
- F. CONSTRUCTION BENCHMARK MUST BE SET AT REQUIRED MINIMUM FLOOR ELEVATION OR GREATER. (ADD 1 FOOT FOR V-ZONES)

(ELEVATION OF BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER)

C.D. \_\_\_\_\_ N.A.V.D. \_\_\_\_\_

FOR V - ZONES ONLY:

C.D. \_\_\_\_\_ N.A.V.D. \_\_\_\_\_

C.D. \_\_\_\_\_ N.A.V.D. \_\_\_\_\_

**1.**

**CERTIFICATE OF CONSTRUCTION BENCHMARK**

EXISTING TOP OF HIGHEST CURB ELEVATION \_\_\_\_\_ C.D. \_\_\_\_\_ N.A.V.D. \_\_\_\_\_  
 EXISTING HIGHEST CENTERLINE OF STREET \_\_\_\_\_ C.D. \_\_\_\_\_ N.A.V.D. \_\_\_\_\_  
 EXISTING LOT ELEVATIONS (PROPERTY CORNERS OR EDGE)  
 FRONT (RIGHT) 26.65 C.D. 6.22 N.A.V.D. 6.16  
 FRONT (LEFT) 26.59 C.D. 6.16 N.A.V.D. 5.84  
 REAR (RIGHT) 26.83 C.D. 6.40 N.A.V.D. 6.16  
 REAR (LEFT) 26.27 C.D. 5.84 N.A.V.D. 5.84  
 OTHER \_\_\_\_\_ C.D. \_\_\_\_\_ N.A.V.D. \_\_\_\_\_  
 DESCRIPTION OF CONSTRUCTION BENCHMARK: NAIL FOUND IN POWER POLE  
 ELEVATION OF CONSTRUCTION BENCHMARK: 29.61 C.D. 9.18 N.A.V.D. (SEE NOTE F.)  
 REFERENCE BENCHMARK USED TO ESTABLISH CONSTRUCTION BENCHMARK: ALSO  
 ELEVATION OF REFERENCE BENCHMARK: 26.23 C.D. 5.80 N.A.V.D.

SIGNATURE: \_\_\_\_\_ DATE: 2/25/2015

(LA. REGISTERED PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER)

(SEAL)

**2.**

**CERTIFICATE OF TOP OF FORM OR TOP OF PIER ELEVATION**

(To be submitted before pouring concrete for slab construction or framing floor for pier construction)

AS BUILT ELEVATIONS: FORM \_\_\_\_\_ C.D. \_\_\_\_\_ N.A.V.D. \_\_\_\_\_ PIER \_\_\_\_\_ C.D. \_\_\_\_\_ N.A.V.D. \_\_\_\_\_

**PIER CONSTRUCTION:**

ALL FRAMING MATERIALS BELOW THE MINIMUM FLOOR ELEVATION (B.F.E.) MUST BE TREATED FOR WATERPROOFING AND THE FIRST FLOOR MUST BE AT OR ABOVE THE MINIMUM FLOOR ELEVATION (B.F.E.)

V ZONES ONLY:

BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER \_\_\_\_\_ C.D. \_\_\_\_\_ N.A.V.D. \_\_\_\_\_

(Must be submitted before framing begins)

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

(LA. REGISTERED PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER)

(SEAL)

**3.**

**FILLING, GRADING, DRAINAGE, SIDEWALK AND DRIVEWAY CERTIFICATION AND AFFIDAVIT**

(To be submitted before Use & Occupancy Certificate can be issued)

THIS WILL CONFIRM THAT ALL FILLING, GRADING, DRAINAGE, SIDEWALKS AND DRIVEWAYS HAVE MET THE REQUIREMENTS OF THE APPLICABLE SECTIONS OF THE CODE OF THE CITY OF NEW ORLEANS.

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

APPLICANT: \_\_\_\_\_ DATE: \_\_\_\_\_

(NOTARY)

OR

IS LOT PROPERLY FILLED TO GRADE? YES \_\_\_\_\_ NO \_\_\_\_\_

(minimum lot slope, rear to front, 1 inch every 20 feet)

ARE SIDEWALKS PROPERLY INSTALLED? YES \_\_\_\_\_ NO \_\_\_\_\_

ARE DRIVEWAYS PROPERLY INSTALLED? YES \_\_\_\_\_ NO \_\_\_\_\_

ARE RETAINING WALLS REQUIRED? YES \_\_\_\_\_ NO \_\_\_\_\_

(If yes, then on which side(s) \_\_\_\_\_ RIGHT \_\_\_\_\_ LEFT \_\_\_\_\_ REAR

ARE EQUIPMENT SLABS, SUCH AS A/C COMPRESSORS, AT MINIMUM FLOOR ELEVATION? YES \_\_\_\_\_ NO \_\_\_\_\_

DO ATTACHED GARAGES IN A-ZONES, THAT ARE BELOW MINIMUM FLOOR ELEVATION, HAVE PROPER VENTING AND WATERPROOFING? YES \_\_\_\_\_ NO \_\_\_\_\_ N/A \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

(LA. REGISTERED PROFESSIONAL CIVIL ENGINEER)

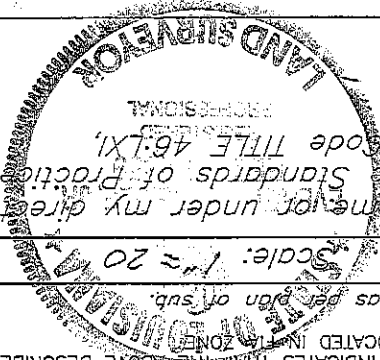
(SEAL)

THE LATEST FEMA ELEVATION CERTIFICATE MUST ACCOMPANY PART 3 OF THIS FORM WHEN SUBMITTED TO THE DEPARTMENT OF SAFETY AND PERMITS.

Gilbert, Kelly & Couture, Inc., Surveying & Engineering  
2121 N. Causeway Blvd., Metairie LA 70001 (504) 836-2121

*[Signature]*

This plat represents an actual ground survey made by me or under my direct supervision and control and meets the requirements for the Standards of Practice for Boundary Surveys as found in Louisiana Administrative Code Title 46:XXI, Chapter 25 for a Class "C" survey.  
Made at the request of Megan Fuselier



Date: July 16, 2014

Scale: 1" = 20'  
Lot angles as per plan of sub.  
PROPERTY IS LOCATED IN THE ZONE THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP INDICATES THAT THE ABOVE DESCRIBED

THE SURVEYED SHOWN ON THIS PLAT ARE LIMITED TO THOSE FURNISHED TO US. THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING DATA FOR THIS SURVEY.

Note: Improvements may not be to scale for clarity. The dimensions shown prevail over scale.

Feb. 25, 2015. Found as shown. *[Signature]*

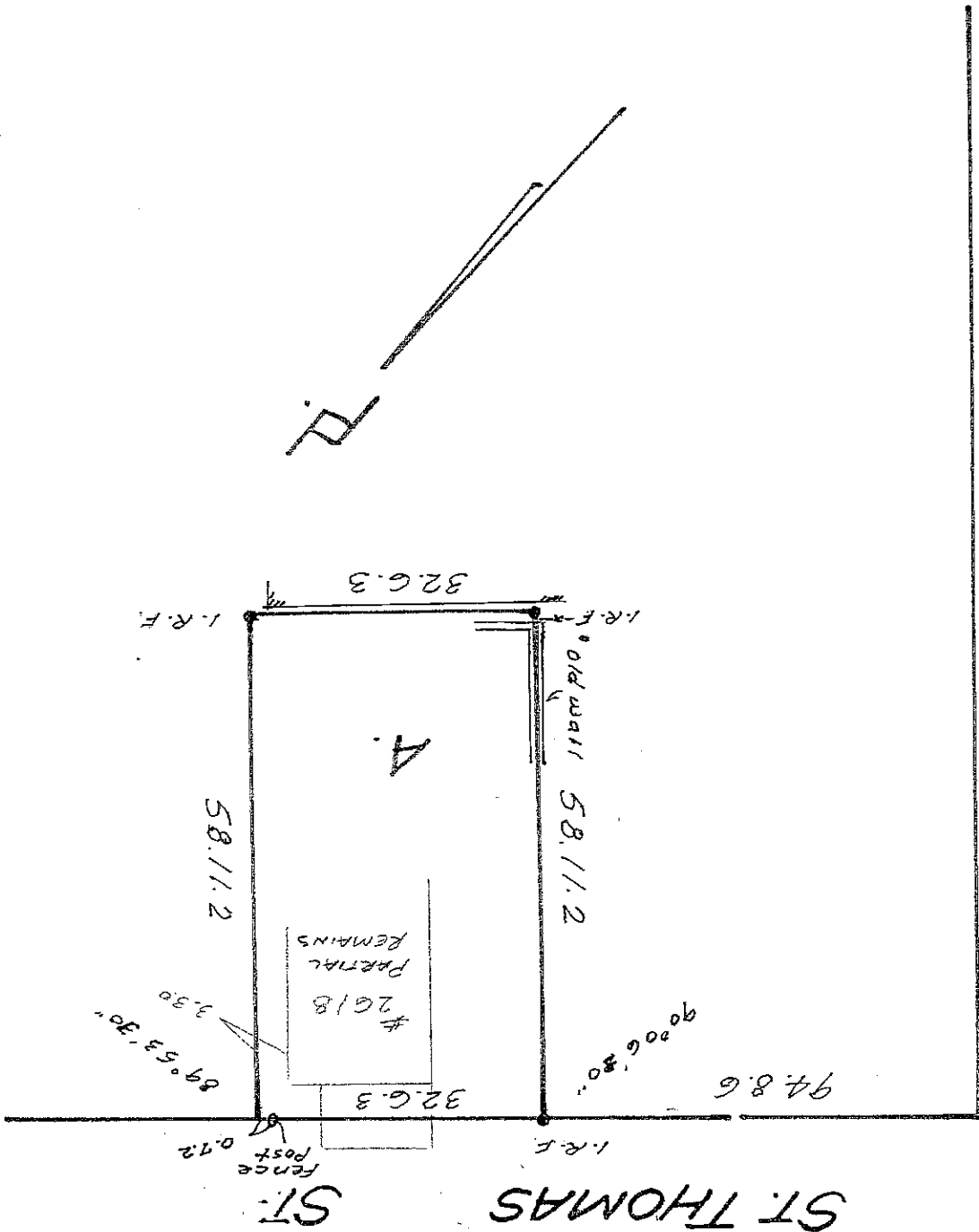
ROUSSEAU ST. SIDE

THIRD ST. SIDE

ST. SIDE

FOURTH ST.

ST.



FOURTH DISTRICT

NEW ORLEANS, LA  
ORLEANS PARISH

SQ. NO. 49