

AFTER RECORDING RETURN TO:
ERIC OLIVER PERSON, ATTORNEY-AT-LAW
1539 JACKSON AVENUE, #100
NEW ORLEANS, LOUISIANA 70130
(504) 561-8612

CASH SALE

* UNITED STATES OF AMERICA

*

* STATE OF LOUISIANA

*

* PARISH OF ORLEANS

*

* BE IT KNOWN, that on the

*

* dates and the places

*

* hereinbelow stated and

*

* in the presence of the

BY:
SCOTT G. WOLFE, SR.

TO: STATE STREET NOLA
INVESTMENTS, LLC

* * * * *

witnesses and Notaries Public hereinafter named and undersigned,

PERSONALLY CAME AND APPEARED,

SCOTT G. WOLFE, SR., a person of the full age of majority and resident of the Parish of St. Tammany, State of Louisiana, who declared under oath unto me, Notary, that he have been married but once and then to JANE LEWIS, with who he is living and residing together; and, JANE LEWIS WOLFE, a person of the full age of majority and resident of the Parish of St. Tammany, State of Louisiana, herein represented by SCOTT G. WOLFE, SR., pursuant to a Power-of-Attorney, a copy of which is annexed hereto and made a part hereof. SCOTT G. WOLFE, SR., declared that JANE LEWIS WOLFE has been married but once and then to SCOTT G. WOLFE, SR., with whom she is presently living and residing.

MAILING ADDRESS: 121 GIROD STREET, MANDEVILLE,
LOUISIANA 70448

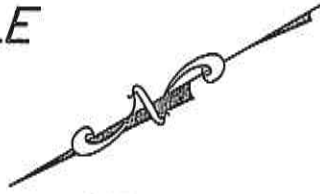
hereinafter referred to as "vendor," who declared that he does by these presents grant, bargain, sell, convey, transfer, assign, setover, abandon and deliver, without any warranty whatsoever, even as to title or for return of the purchase price, but with full substitution and subrogation in and to all the rights and actions of warranty which vendor has or may have against preceding owners and vendors, unto:

STATE STREET NOLA INVESTMENTS, LLC, a Louisiana limited liability company, organized to do and doing business in the State of Louisiana, herein represented by PAMELA H. PERSON, Agent, pursuant to a Unanimous Consent of

**SQ. NO. 13, BLOOMINGDALE
SIXTH DISTRICT**

A Boundary Survey of Lot 3 and 1/2 of 4..

ORLEANS PARISH
NEW ORLEANS, LA



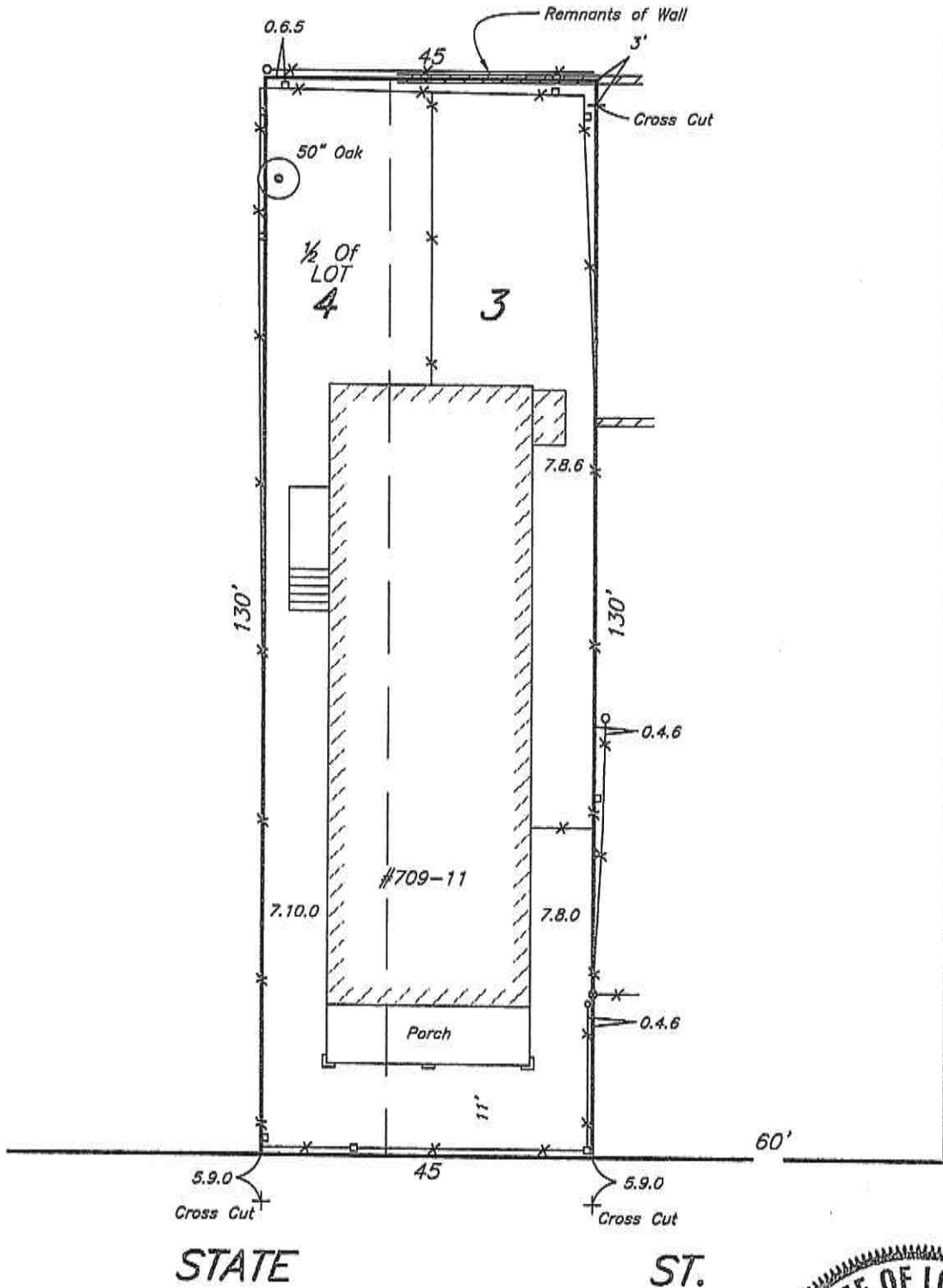
ELEONORE ST. SIDE
(Hurstville Line Side)

ST. SIDE

ST.

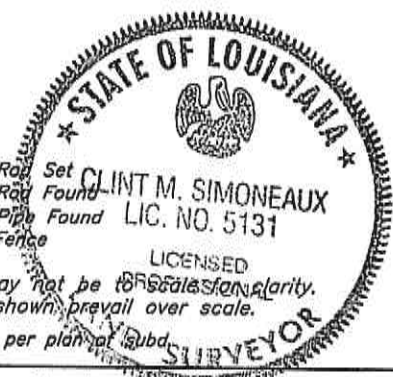
MAGAZINE

CONSTANCE



Legend:
 ● I.R.S. 1/2" Iron Rod Set
 ○ I.R.F. 1/2" Iron Rod Found
 ○ I.P.F. 1/2" Iron Pipe Found
 x Fence

Note:
 Improvements may not be to scale for clarity.
 The dimensions shown prevail over scale.
 90° Lot angles as per plat of subd.



THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE FURNISHED TO US. THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING DATA FOR THIS SURVEY.

Date: February 2, 2022

Scale: 1" = 20'

This plat represents an actual ground survey made by me or under my direct supervision and control and meets the requirements for the Standards of Practice for Boundary Surveys as found in Louisiana Administrative Code TITLE 46:LXI, Chapter 29 for a Class "C" survey.
 Made at the request of Eric Oliver Person, Atty. and State Street NOLA Investments, LLC

Gilbert, Kelly & Couturie, Inc., Professional Land Surveying
 2121 N. Causeway Blvd., Metairie LA 70001 (504) 836-2121 *Clint Simoneaux*

SPECIAL POWER OF ATTORNEY/MANDATE

UNITED STATES OF AMERICA
STATE OF LOUISIANA
PARISH OF ST. TAMMANY

March 28, 2022

Before me, a Notary Public, duly commissioned and qualified in and for the above-indicated State and County/Parish, and in the presence of the undersigned witnesses, personally came and appeared the hereinafter named and undersigned PRINCIPAL, who declared under oath that he is of legal age and his marital status is as hereinafter set forth, and further that he does by these presents make, name, ordain, constitute and appoint the hereinafter named MANDATARY, AGENT and ATTORNEY-IN-FACT (hereinafter referred to as AGENT), of the full age of majority, to be his true and lawful AGENT, hereby giving and granting unto said AGENT full power and authority, for him, and in his name, place and stead, to do and perform all the things and acts specified herein and in the numbered paragraph(s) indicated or completed below.

PRINCIPAL further authorizes and empowers his said AGENT to do and perform any and every act, matter and thing whatsoever, as shall or may be requisite and necessary in order to effectuate the purposes for which this power of attorney/mandate is granted, as fully and with like effect as if PRINCIPAL had been personally present and had done any such thing, performed any such act, and/or had signed all and any such document, deed, note, contract, application or other agreement, PRINCIPAL hereby ratifying and confirming any and all things done by his said AGENT and adopting them as his own act and deed.

PRINCIPAL further expressly stipulates that any ambiguities which may arise in the interpretation hereof shall be liberally construed so as to effectuate the purposes hereof and to validate all things done by AGENT. Whenever used herein, the singular number shall include the plural, and the masculine gender shall include all genders.

The purpose for which this power of attorney/mandate is granted is:

To direct, instruct, authorize and permit AGENT to sell and deliver the hereinafter described real estate, and/or all of PRINCIPAL'S right, title and interest therein, with warranty of title and with subrogation of all actions of warranty, unto any person, firm or corporation or association, for such price and on such terms and conditions as AGENT may deem proper, to pay and discharge any and all charges, expenses and encumbrances in connection therewith, and to receive and receipt for the selling price.

NAME, RESIDENCE AND MARITAL STATUS OF PRINCIPAL:

JANE LEWIS WOLFE (SSN XXX-XX-0123), a person of the full age of majority and resident of the Parish of St. Tammany, State of Louisiana, who declared under oath unto me, Notary, that she has been married but once and then to SCOTT G. WOLFE., SR., with whom she is presently living and residing.

MAILING ADDRESS: 121 GIROD STREET, MANDEVILLE, LOUISIANA 70448

NAME AND RESIDENCE OF AGENT:

SCOTT G. WOLFE, SR. (SSN XXX-XX-1225), a person of the full age of majority and resident of the Parish of St. Tammany, State of Louisiana.


MAILING ADDRESS: 121 GIROD STREET, MANDEVILLE, LOUISIANA 70448

DESCRIPTION OF REAL ESTATE FORMING THE SUBJECT OF THE POWER OF ATTORNEY/MANDATE:

LOT 3 AND 1/2 LOT 4, SQUARE 13, SIXTH DISTRICT, CITY OF NEW ORLEANS, PARISH OF ORLEANS, STATE OF LOUISIANA
MUNICIPAL NUMBER: 709-11 STATE STREET, a/k/a 709-11-13 STATE STREET, NEW ORLEANS, LOUISIANA

THUS DONE AND PASSED, in multiple originals, at the City and State aforesaid on the date above set forth, in the presence of the undersigned competent witnesses, who have hereto signed their names with said PRINCIPAL and me, Notary, after due reading of the whole.

WITNESSES:


RODNEY BULMAN
RODNEY BULMAN


JANE LEWIS WOLFE, PRINCIPAL

NOTARY PUBLIC

[SEAL]

TRACY A SALVAGGIO
Notary Public #84772
State of Louisiana
My Commission is issued for Life

Members, dated December 14, 2021, which is annexed hereto and made a part hereof.

MAILING ADDRESS: 1539 JACKSON AVENUE, SUITE 100, NEW ORLEANS, LOUISIANA 70130

here present, accepting and purchasing for itself/its heirs and assigns, and acknowledging due delivery and possession thereof, all and singular the following described property, to-wit:

A CERTAIN PIECE OR PORTION OF GROUND, together with all the buildings and improvements thereon, and all of the rights, ways, privileges, servitudes, appurtenances and advantages thereunto belonging or in anywise appertaining, situated in the SIXTH DISTRICT of the CITY OF NEW ORLEANS, PARISH OF ORLEANS, STATE OF LOUISIANA in the part thereof known as BLOOMINGDALE and designated as LOT 3 and ½ of LOT 4 of SQUARE NO. 13. Said SQUARE NO. 13 is bounded by STATE STREET, MAGAZINE STREET, ELEONORE STREET and CONSTANCE STREET. Said LOT 3 and ½ of LOT 4 measure together 45 feet front on State Street, same width in the rear, by a depth between equal and parallel lines of 130 feet, all in accordance with a survey by Gilbert, Kelly & Courturie, Inc., Surveying and Engineering, Inc., dated February 2, 2022, a copy of which is annexed hereto and made a part thereof.

IMPROVEMENTS THEREON BEAR THE MUNICIPAL NUMBER: 709-11 STATE STREET, a/k/a 709-11-13 STATE STREET, NEW ORLEANS, LOUISIANA

Being the same property acquired by Scott Wolfe from Webster Street Holdings, LLC by act before various Notaries, dated various dates, registered in CI# 703552 on December 16, 2021.

THIS ACT IS MADE, EXECUTED AND ACCEPTED SUBJECT TO THE FOLLOWING:

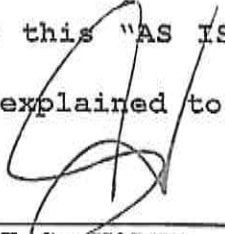
Those fence encroachments as shown on the survey by Gilbert, Kelly & Courturie, Inc., Surveying and Engineering, Inc., dated February 2, 2022. Said reference thereto is not to be construed as an extension, recreation or re-establishment thereof. Any and all restrictions, conditions and/or servitudes which may appear in the chain of title but deleting any covenant, condition or restriction, if any, based upon, race, color, religion, sex, handicap, familial status, age, or national origin unless and only to the extent that such covenants, conditions or restrictions (a) are exempt under Chapter 42, Section 3607 of the United States Code or (b) relate to handicap but do not discriminate against handicapped persons. Said reference thereto is not to be construed as an extension, recreation or re-establishment thereof. Any and all servitudes, encroachments, encumbrances and/or exceptions that would have been revealed by a current survey of the referenced property.

To have and to hold the above described property unto the said purchaser, itself/its heirs, and assigns forever.

This sale is made and accepted for and in consideration of the price and sum of NINE HUNDRED TEN THOUSAND AND NO HUNDREDTHS ----- (\$910,000.00) ----- DOLLARS which the said purchaser have well and truly paid, in ready and current money to the said vendor who hereby acknowledges the receipt thereof and grants full acquittance and discharge therefor.

Vendor and purchaser hereby acknowledge and recognize that the property being sold and purchased is transferred in "AS IS" condition and further purchaser does hereby waive, relieve and release vendor from any claims or causes of action for redhibition pursuant to Louisiana Civil Code Article 2520, et seq. and Louisiana Civil Code Article 2541, et seq. or for reduction of sales price pursuant to Louisiana Civil Code Article 2541, et seq. Additionally, purchaser acknowledges that this sale is made without warranty of fitness for ordinary or particular use pursuant to Louisiana Civil Code Article 2524.

All parties hereto, both vendor and purchaser, acknowledge that this "AS IS" provision has been brought to their attention and explained to them.



SCOTT G. WOLFE, SR., individually
and as Agent for JANE LEWIS WOLFE

STATE STREET NOLA INVESTMENTS, LLC

BY: 
PAMELA H. PERSON, Agent


All State and City taxes up to and including the taxes due and exigible in 2022 are paid. Purchaser, STATE STREET NOLA INVESTMENTS, LLC whose mailing address is 1539 JACKSON AVENUE, NEW ORLEANS, LA 70130 assumes responsibility for the payment of all taxes due and exigible in 2023 and thereafter.


It does not appear that said property has been heretofore alienated by the vendor or that it is subject to any encumbrance whatsoever.

The parties to this act, both vendor and purchaser, do hereby waive the production of mortgage, conveyance, tax, and paving certificates required by law and do hereby relieve and release the undersigned Notaries and Eric Oliver Person, Settlement Agent, from any and all responsibility for any defect, mortgage, lien or encumbrance whatsoever which would have been revealed by said certificates.


THUS DONE AND EXECUTED, by vendor, SCOTT G. WOLFE, SR., at New Orleans, Louisiana, on the 28th day of March, 2022, in the presence of the undersigned competent witnesses, who hereunto sign their names with said appearer and me, DOMINICK N. VARRECCHIO, Notary Public, duly commissioned and qualified in and for the Parish of Orleans, State of Louisiana, after due reading of the whole.

WITNESSES:


MICHAEL SCHOENWYDER


SCOTT G. WOLFE, SR.
(XXX-XX-____), individually,
and as Agent for JANE LEWIS
WOLFE


ERIC OLIVER PERSON


DOMINICK N. VARRECCHIO
Notary Public
LSBA# 12856

3/28/2022

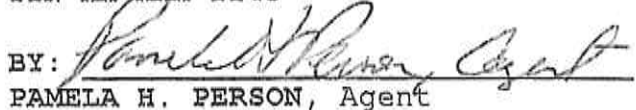
Orleans Parish, LA

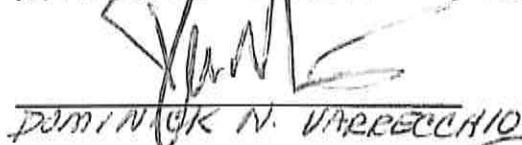
THUS DONE AND EXECUTED, by purchaser, STATE STREET NOLA INVESTMENTS, LLC, at New Orleans, Louisiana, on the 28th day of March, 2022, in the presence of the undersigned competent witnesses, who hereunto sign their names with said appearer and me, ERIC OLIVER PERSON, Notary Public, duly commissioned and qualified in and for the Parish of Orleans, State of Louisiana, after due reading of the whole.


WITNESSES:

STATE STREET NOLA INVESTMENTS, LLC
TIN XX-XXX 1143


MICHAEL SHEKNYADER

BY: 
PAMELA H. PERSON, Agent


DOMINICK N. VARRECCHIO


ERIC OLIVER PERSON

Notary Public

LSBA# 10530

Title Ins. Producer: Eric Oliver Person, Attorney-at-Law
Address: 1539 Jackson Avenue, Suite 100, New Orleans, LA 70130
Producer's Lic. #: 96478
Title Ins. Underwriter: First American Title Insurance Company of Louisiana
Title Opinion By: Eric Oliver Person, Attorney-at-Law
LA Bar Roll #: 10530