



# MORTON RESIDENCE

## 2718 - 2720 ST. PHILIP STREET

### NEW ORLEANS, LOUISIANA



#### GENERAL NOTES:

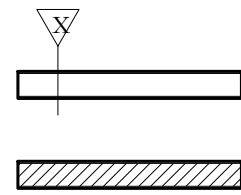
- The undersigned have reviewed the drawings and will follow all of the drawings including the interior elevations as designed.
- The contractor is responsible for submitting shop drawings and specifications for all millwork, french doors, cabinets, windows, etc. to be reviewed by architect.
  - Door: Dimensions are actual dimensions of door "slab"
  - Window: Dimensions are exact size of sash only.
- The General Contractor is responsible for supplying all subcontractors with all Construction Drawings and Specifications necessary to bid and/or construct this project. Subcontractors' bids must reflect all conditions set forth in the Contract documents.
- Contractor shall ask for details whenever uncertain about methods of installation. Lack of details not requested shall not excuse improper installation, and correction shall be made the responsibility of the contractor.**
- The sheets in these drawings are complimentary to each other, what is called for by one shall be binding as if called for by all and all parties involved shall become familiar with all sheets of drawings and specifications (if any) and not simply their own work in order to fully understand and develop the construction.
- These drawings have been drawn and checked to insure a reasonable degree of accuracy. However, the Contractor is responsible for checking all dimensions, details and requirements of these plans and/or specifications prior to commencing work.
- The Contractor shall provide solid blocking for any wall hung items indicated in the Construction Documents. The Owner/Tenant shall be responsible for notifying the General Contractor of any wall hung items to be installed that are not shown on the drawings.
- Upon signing of Contract for Construction with the Owner, the General Contractor shall review all owner selected and "long lead" items (e.g. glass, ceramic tile, specialty items, shop drawings, light fixtures, wall coverings, carpeting, etc.) with the Architect, Engineer, Designer, Owner, or applicable subcontractors, and shall insure the timely placement of orders for these items.
- Whether or not specifically indicated on the drawings, the Contractor shall be responsible for removing, relocating or demolishing existing construction (including utilities which will interfere with the new work), and shall be fully responsible for the maintenance of water-tightness and security of the existing structure.
- All wood and plastic composites used outside (stair, handrails, guardrails, deck boards, etc) shall have a label to indicate the required performance levels and compliance with provisions of ASTM D 7032.

- In accordance with generally accepted construction practices, the Contractor will be solely and completely responsible for conditions of the job site, including safety of all persons and property during the performance of the work. This requirement will apply continuously, and not be limited to normal working hours. The Contractor shall take all necessary precautions to insure the safety of the public and/or work personnel on the job. The Contractor shall also take all necessary precautions to prevent accidents or injuries to any person on, about or adjacent to the premises. The Contractor shall comply with all laws, ordinances, codes, rules and regulations relative to safety and the prevention of accidents.
- Prior to tying into or shutting down any utility, Contractor shall obtain prior approval from the Owner.
- The Contractor shall coordinate with the Owner, the location of the Contractor's equipment and material storage as required.
- Contractor shall be fully responsible for verifying all site conditions and house location prior to construction.
- All materials shall be new and U.L. listed unless specifically designated otherwise.
- No work shall be concealed until approved by local inspectors.
- All construction shall comply with city, state and national codes as required.
- Contractor to warrantee all work for one year.
- Contractor shall pay for all water and power used toward construction, from existing sources.
- Caulking on exterior shall be top quality silicone caulk.
- Paint: All work to receive three (3) coats. Color and finish to be selected by owner and verified by Contractor prior to contract signing. Paint brand and quality to be selected by owner.
- Non-textured finish for all new sheet rock walls unless specified otherwise. Contractor to verify existing finishes of sheet rock surfaces and ascertain with Owner whether to match existing or upgrade finish, and to include in original bid as required.
- Site shall be left neat daily. Provide complete clean-up on a weekly basis. No trash stored in building. Proper disposal required.
- All batt insulation shall have class "A" (0-25) flame spread rating in compliance with applicable code.
- Use 6 inch studs at plumbing walls.
- Provide a galvanized metal pan with drain at water heater and A/C evaporator locations and a vinyl pan with drain beneath washing machines located above the first floor. Contractor to verify location of drip pan drain pipe with Owner.
- All corners shall be properly braced for wind loads. A 48" wide sheet of plywood sheathing shall be provided every 20 feet of wall length.
- All sleeping areas shall be protected with UL-approved smoke detectors. These shall be wired to the 110-volt house current, and meet design criteria as REQUIRED by U.L. Design 268. They shall be installed no further than 10 feet from any sleeping rooms, no closer than 6 inches from adjacent wall or ceiling.

- Required guardrails on open sides of stairways, raised floor areas, balconies and porches shall have intermediate rails or ornamental closures which will not allow passage of an object 4 inches or more in diameter. Horizontal spacing between the vertical members in required guardrails shall be a maximum of 3 $\frac{3}{8}$ " at the nearest point between the members.  
**Exception:** The triangular openings formed by the riser, tread and bottom rail of a guard at the open side of stairway may be of such a size that a sphere of 6 inches in diameter cannot pass through.
- Contractor shall keep an accurate record of all changes and shall mark same in ink on a separate set of these drawings during construction, including location of all underground utilities. Contractor shall furnish Owner and Architect each a copy of this record before final completion and acceptance is recorded.
- This agreement between Owner and Designer does not include Construction Phase Services unless otherwise noted. Acceptance of these drawings by the Owner signifies their agreement that the Owner shall be solely responsible for interpreting these drawings and observing the work of the Contractor to discover, correct or mitigate errors, inconsistencies and omissions, and that if the Owner authorizes deviations, recorded or unrecorded, from plans prepared by the Designer, the Owner shall not bring any claim against the Designer and shall indemnify and hold the Designer, its partners, associates and employees harmless from and against claims, losses, damages and expenses, including but not limited to defense costs and the time of the Designer, to the extent such claim, loss, damage or expense arises out of or results in whole or in part from such deviations, regardless of whether or not such claim, loss, damage or expense is caused in part by a party indemnified under this provision.
- All plumbing supply lines to be copper. All hot and cold water supply pipes to be insulated.  
Above Ground - Type L  
Underground - Type K
- All waste and vents to be schedule 40 PVC or Cast Iron.
- SOLID BLOCKING OVER AND UNDER ALL WALL AT WOOD FRAME CONSTRUCTION.**
- SOLID FIRE BLOCKING** at mid height at all walls 10 feet and under. Solid fire blocking at  $\frac{1}{2}$  and  $\frac{3}{4}$  heights for all walls over 10 feet.
- ALL plywood sheathing to be CDX type only.
- A/C contractor to do J-load calculations for the entire building / project to determine the heating / air condensing load.

NOTE: TO THE BEST OF MY KNOWLEDGE, THESE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE **IRC 2015**, THE CITY OF NEW ORLEANS AMENDMENTS TO THE **IRC 2015**, AND ANY ADDITIONAL APPLICABLE LOCAL BUILDING CODES.

#### WALL LEGEND



NEW WALL, SEE WALL TYPES

EXISTING WALL TO REMAIN



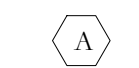
MEDICINE CABINET, BY OWNER.  
NOTE: PLUMBER - DO NOT RUN VENT PIPES IN THIS AREA OF RECESSED MEDICINE CABINETS, TYP.



ELEVATION MARKER



DOOR REFERENCE NUMBER, SEE DOOR SCHEDULE ON SHEET A7 & DOOR ELEVATIONS ON SHEET A7



WINDOW REFERENCE LETTER, SEE WINDOW SCHEDULE ON SHEET A7 & WINDOW ELEVATIONS ON SHEET A7

ROOM ——— ROOM NAME  
X ——— CEILING HEIGHT  
0-0 x 0-0 ——— ROOM SIZE

#### DRAWING INDEX

A 0	TITLE SHEET
A 1	ROOF/SITE PLAN
A 2	EXISTING PLAN
A 3	EXISTING EXTERIOR ELEVATIONS
A 4	PROPOSED FIRST FLOOR PLAN
A 5	PROPOSED SECOND FLOOR PLAN
A 6	EXTERIOR ELEVATIONS
A 7	EXTERIOR ELEVATIONS
A 8	DOOR AND WINDOW SCHEDULES
A 9	FOUNDATION PLAN
A 10	FIRST FLOOR CEILING FRAMING PLAN
A 11	ROOF FRAMING PLAN
A 12	BUILDING SECTIONS AND DETAILS
A 13	BUILDING SECTIONS AND DETAILS
A 14	BUILDING SECTIONS AND DETAILS
E 1	FIRST FLOOR ELECTRICAL LAYOUTS
E 2	SECOND FLOOR ELECTRICAL LAYOUTS

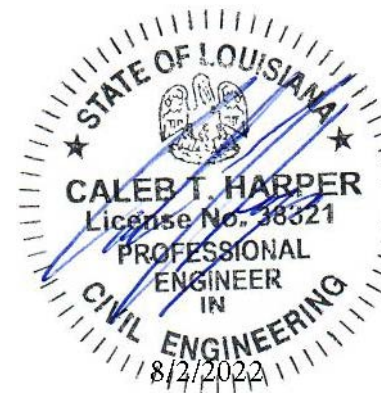
RENOVATIONS AND ADDITIONS TO THE

SHANNON MORTON RESIDENCE

2718 and 2720 ST. PHILIP STREET  
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#### REVISIONS:

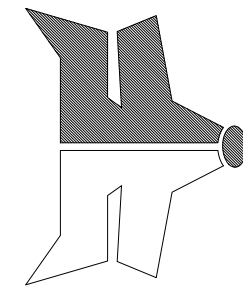
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A0  
1 of 17

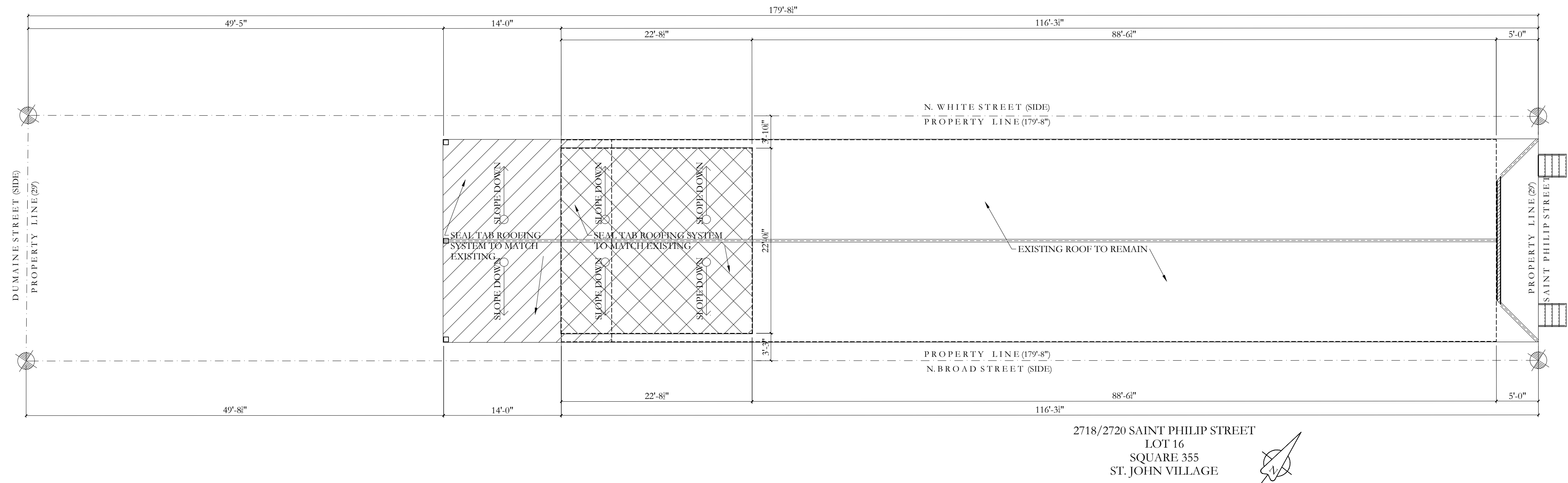
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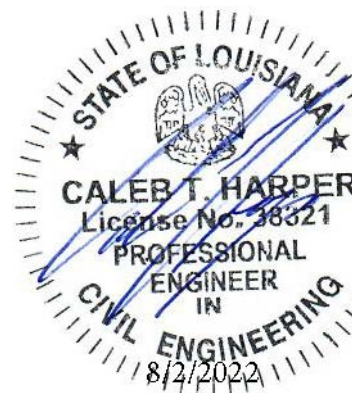
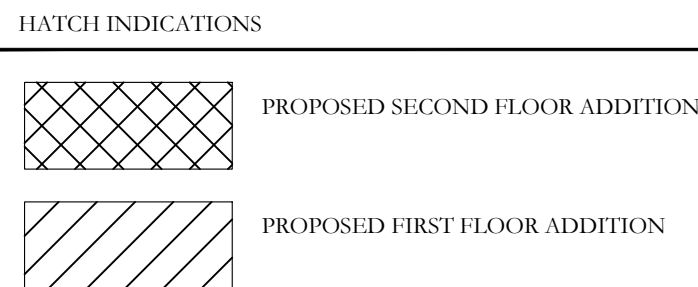


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1  
A1  
PROPOSED SITE/ROOF PLAN  
1/8"= 1'-0"



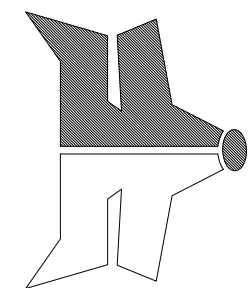
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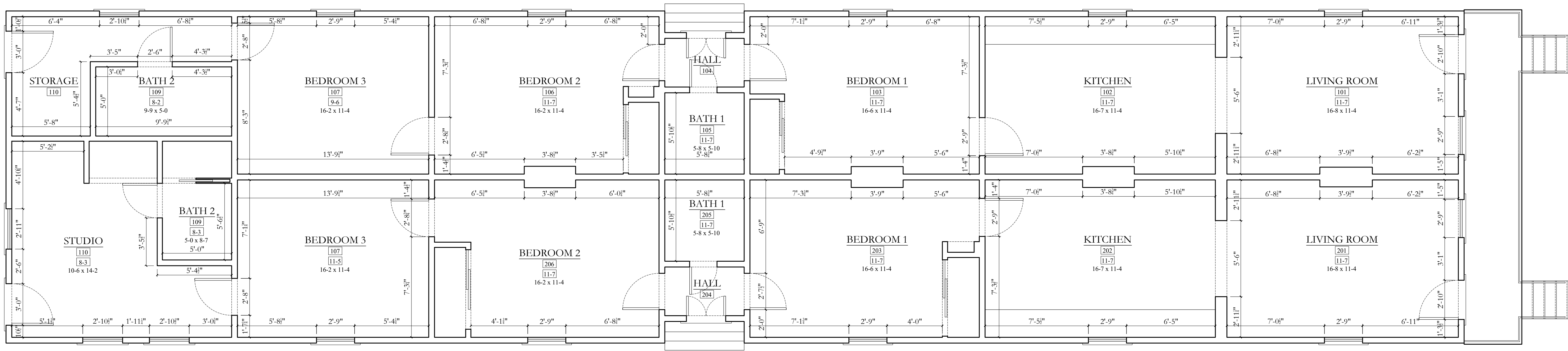


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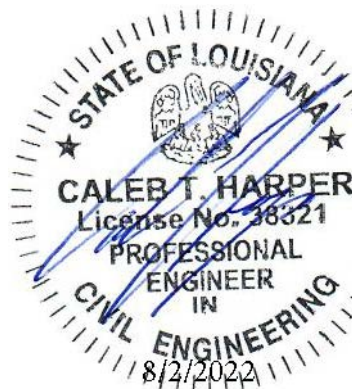
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A1  
2 of 17



1 EXISTING PLAN  
A2 1/4" = 1'-0"



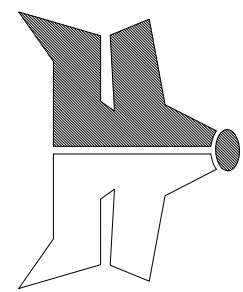
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A2  
3 of 17



This is a detailed architectural elevation drawing of a two-story house. The house features a gabled roof with a central dormer containing a semi-circular window flanked by two small square windows. The main roof is covered in shingles. The front facade has a porch supported by four columns. The porch has a railing and a set of steps leading up to it. The house is finished with horizontal siding. The drawing is a black and white line art style.

This architectural drawing shows the front elevation of a house. The roof is a gable with horizontal siding. The main body of the house has vertical siding. In the center is a window with a flower box below it. On either side of the window is a door with a transom. The drawing is a line art illustration with no shading.

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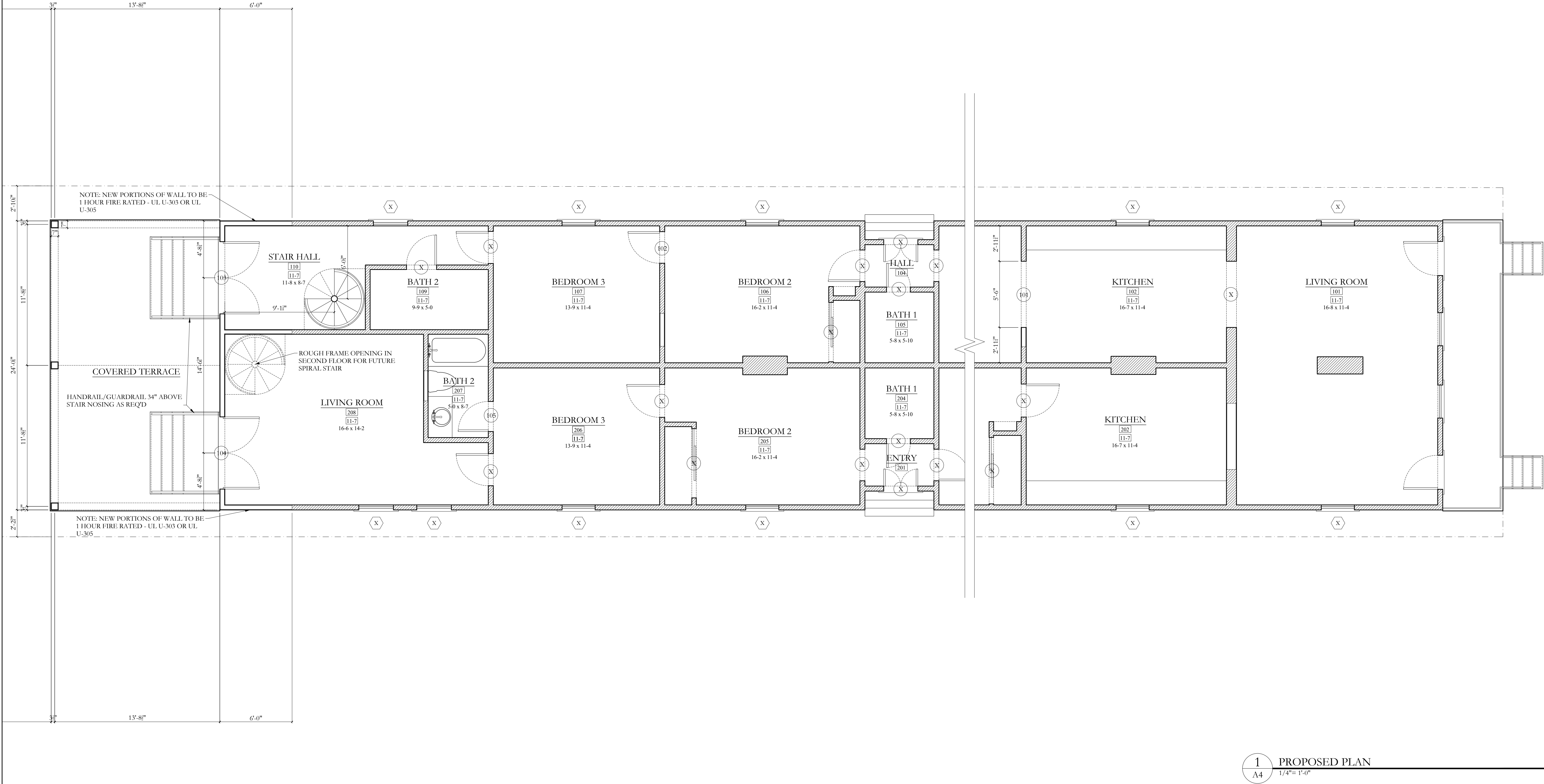
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A3  
of 17

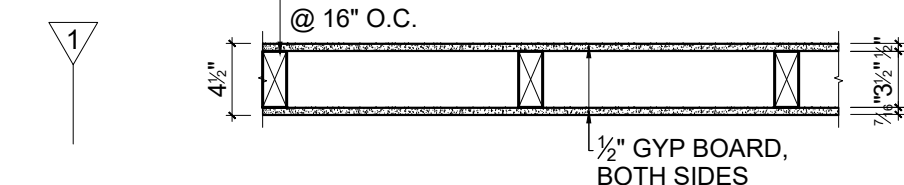




1 PROPOSED PLAN  
A4 1/4" = 1'-0"

## WALL LEGEND

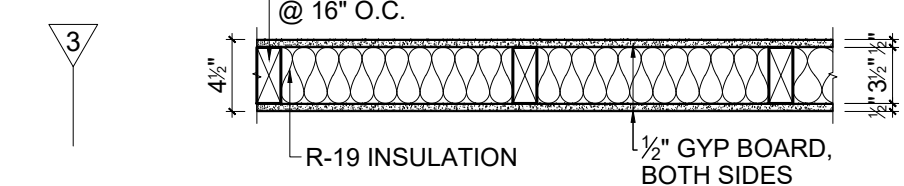
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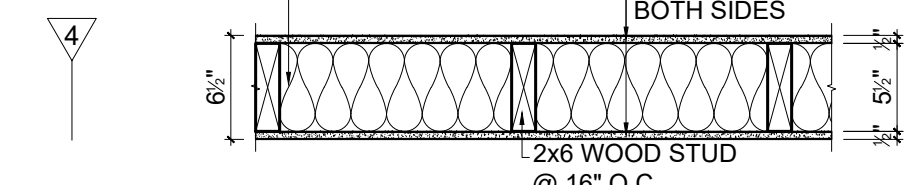
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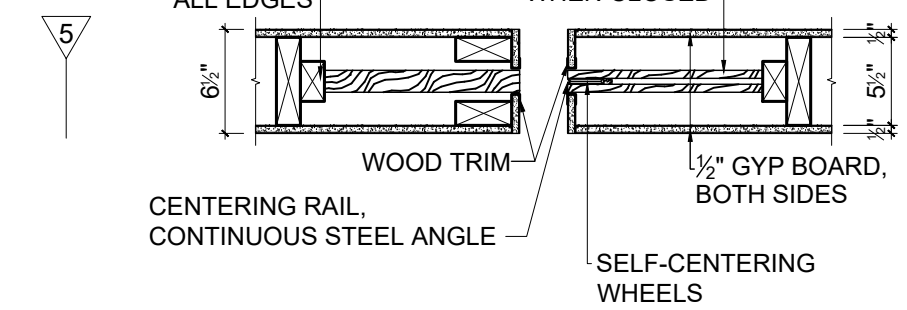
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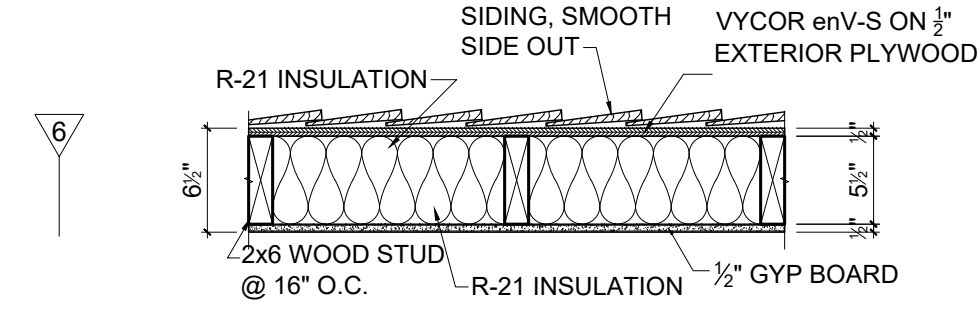
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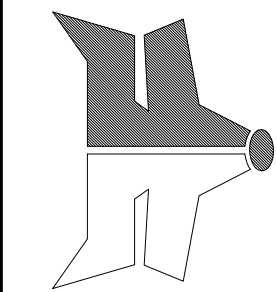
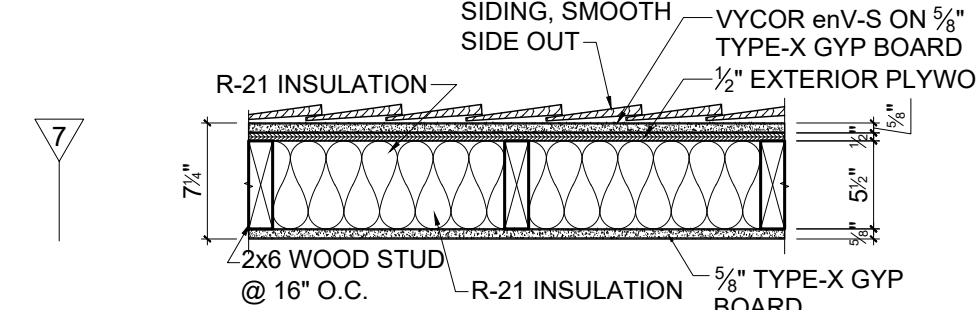
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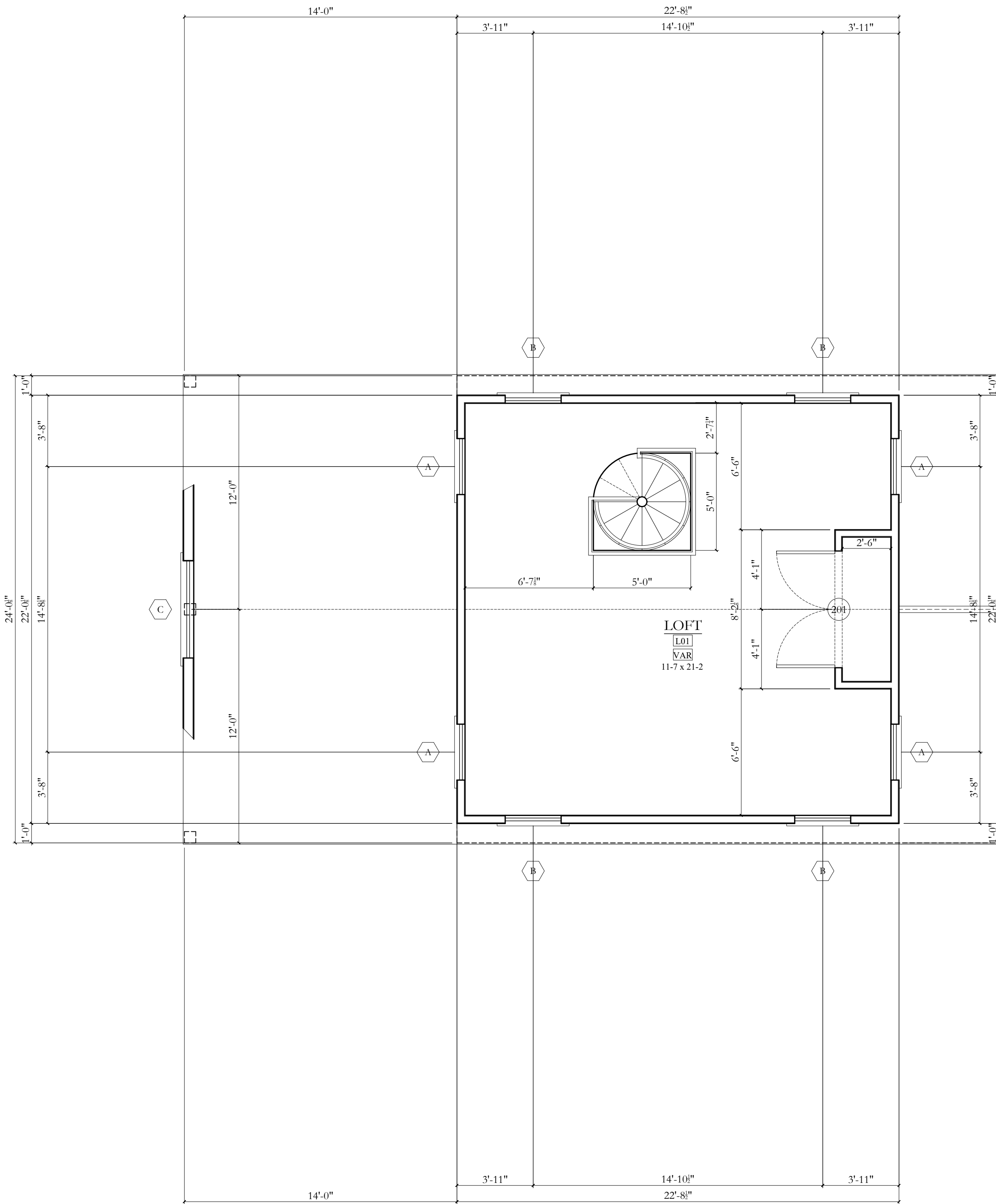


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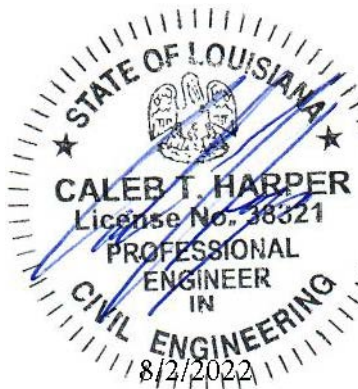


TYPE 7 - UL-U305





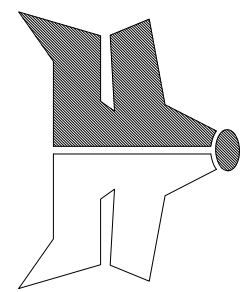
1 PROPOSED PLAN  
A4 1/4" = 1'-0"



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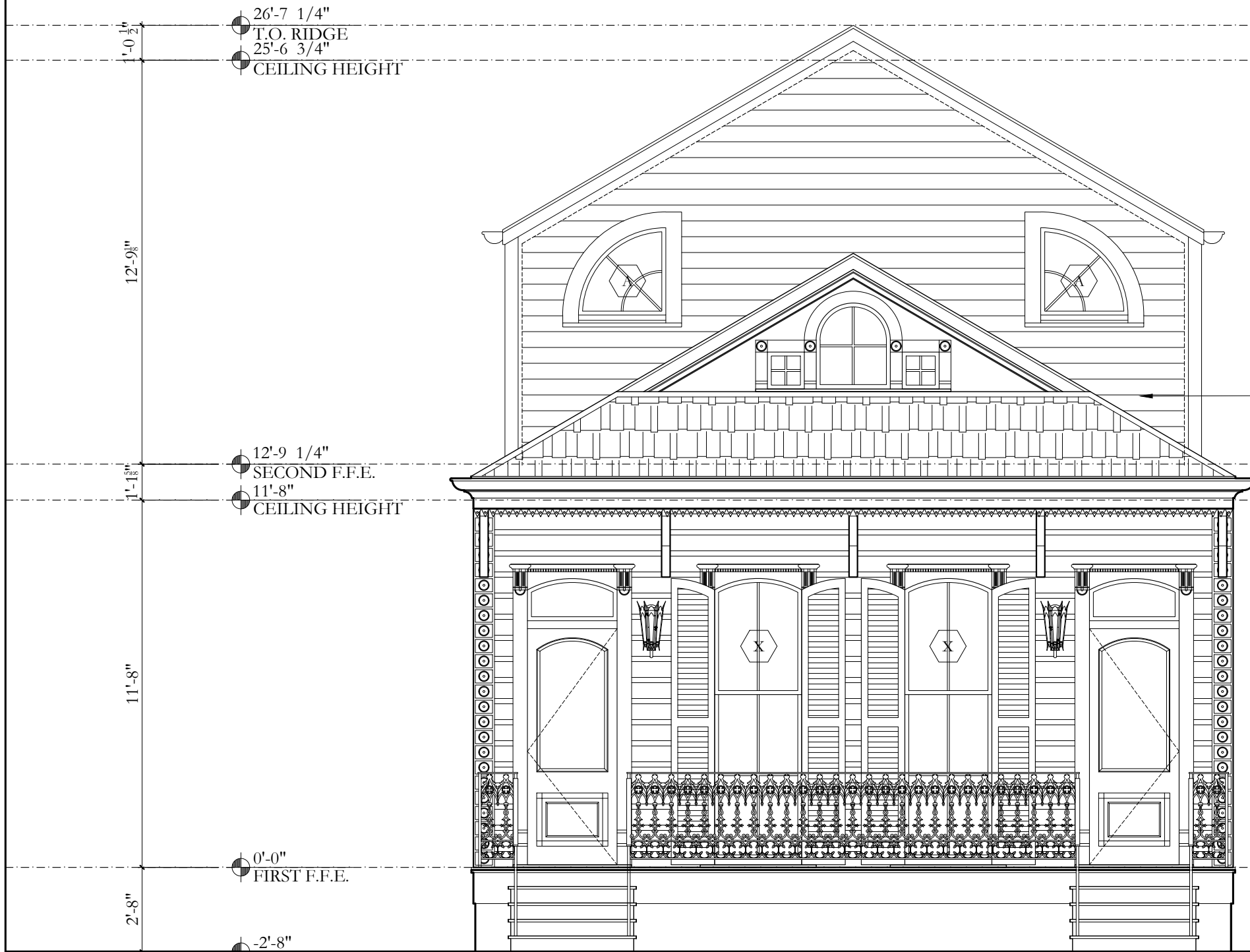
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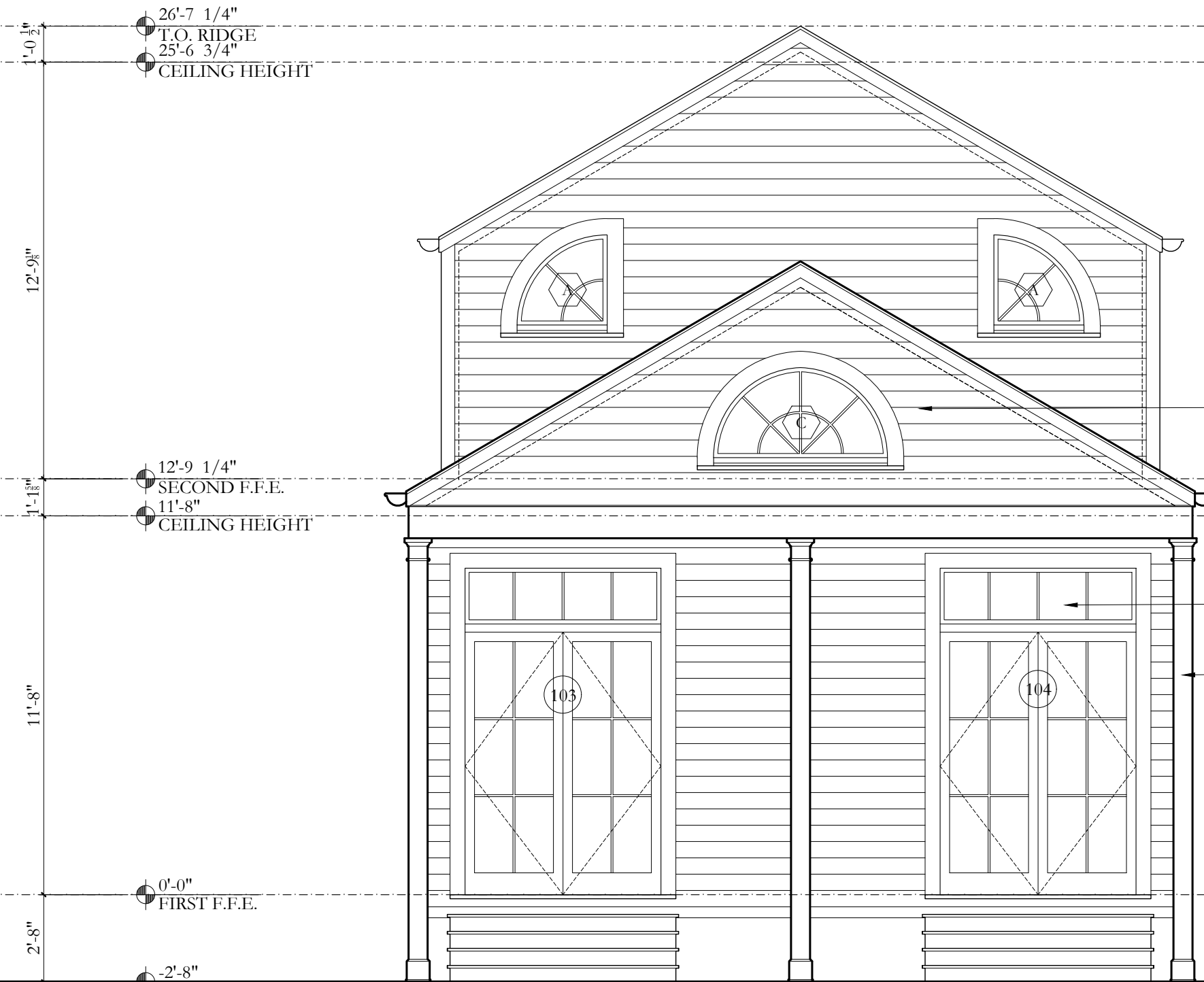
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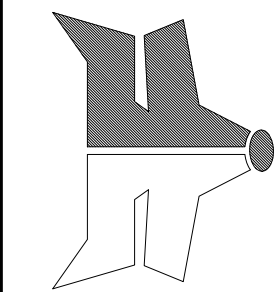
1 PROPOSED FRONT ELEVATION  
A6 1/4" = 1'-0"



2 PROPOSED REAR ELEVATION  
A6 1/4" = 1'-0"

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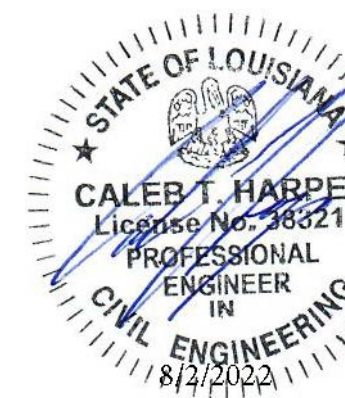
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A6  
7 of 17



2 PROPOS  
A7 1/4"= 1'-0"

Architectural elevation drawing of a building facade. The drawing shows a two-story structure with a gabled roof. The roof is labeled "NEW EXISTING" and "SEAL TAB ROOFING SYSTEM TO MATCH EXISTING". The second story features two windows with "B" in a circle. The first story includes a door with a transom and two windows, each with an "X" in a circle. Annotations on the left side specify "CEMENTITIOUS FIBERBOARD WEATHERBOARDS", "BUILT UP COLUMNS", and "1 HOUR FIRE RATED CONSTRUCTION AT NEW PORTIONS OF WALL LESS THAN 3' FROM PROPERTY LINE - REFERENCE UL-U305". A set of stairs is shown on the far left. The drawing is divided into sections by vertical lines, indicating different parts of the building or different construction phases.

1 PROPOS. 1  
A7  $1/4'' = 1'-0''$

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A7  
8 of 17



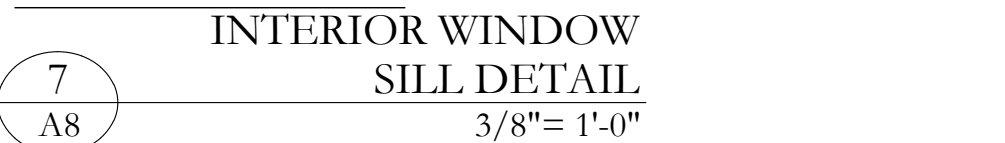


## WINDOW SCHEDULE

WINDOW/DOOR NOTES:

- BATHROOM FIXTURES, ACCESSORIES AND HARDWARE

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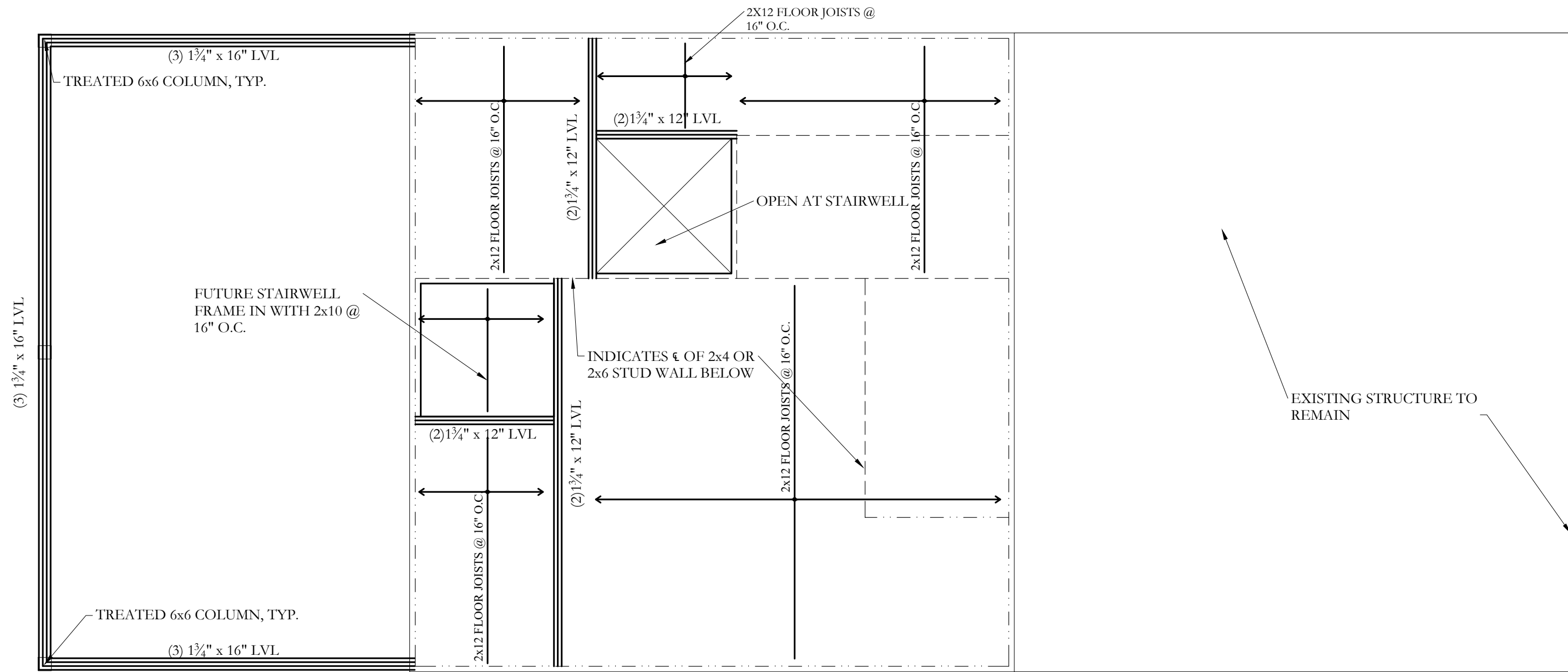


A8  
9 of 17









ADDITIONAL NOTES:

BEARING WALLS INDICATED WITH - - - - -

ALL HEADERS IN BEARING WALLS OVER DOORS OR WINDOWS SHALL BE (2) 2x10s UNLESS OTHERWISE NOTED

PROVIDE LATERAL BRACING @ 4'-0" O.C. VERTICALLY ON ALL BEARING WALLS - SEE PLANS FOR STUD SIZING

1 SECOND FLOOR FRAMING PLAN  
A10 1/4" = 1'-0"

STRUCTURAL NOTES

- I. GENERAL
- A. CONTRACTOR RESPONSIBILITY - CONSTRUCTION DOCUMENTS REPRESENT THE FINISHED STRUCTURE. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES AND SAFETY PRECAUTIONS, INCLUDING BUT NOT LIMITED TO SHORING AND TEMPORARY BRACING.
- B. OMISSIONS & CONFLICTS - OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE CONSTRUCTION DOCUMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM. IF CERTAIN FEATURES ARE NOT FULLY DELINEATED IN THE CONSTRUCTION DOCUMENTS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE DELINEATED.
- C. EXISTING CONDITIONS - THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL EXISTING CONDITIONS AND DIMENSIONS TO THE ENGINEER.
- II. DESIGN BASIS
- A. APPLICABLE CODES AND STANDARDS  
INTERNATIONAL RESIDENTIAL CODE 2015
- B. DESIGN LOADS
- ROOF  
LIVE LOAD 18 PSF (NO SNOW LOAD)  
DEAD LOAD 6 PSF
- ATTIC  
LIVE LOAD 20 PSF  
DEAD LOAD 7 PSF
- 2ND FLOOR  
LIVE LOAD 30 PSF  
DEAD LOAD 18 PSF
- WIND LOAD  
THE CRITERIA IS BASED ON IRC 2015 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES:  
BASIC WIND VELOCITY: 150 MPH  
RISK CATEGORY: II  
EXPOSURE: B
- III. MATERIALS
- A. EARTHWORK  
PLACE FOOTINGS ON UNDISTURBED SOIL. PLACE SLAB ON A MINIMUM OF 6 INCHES OF A SAND FILL WITH A MAXIMUM AMOUNT OF FINES PASSING A #200 SIEVE OF 10% ACCORDING TO ASTM C136. COMPACT THE FILL TO SECURE 95% OF MAXIMUM DRY DENSITY AS COMPARED TO ASTM D698 AT OR NEAR OPTIMUM WATER CONTENT. NOTIFY THE ENGINEER IF "SOFT SPOTS", UNDERGROUND OBSTRUCTIONS, OR ANY UNUSUAL CONDITION IS ENCOUNTERED

DURING STRIPPING, EXCAVATION OR FILLING. SOIL BEARING CAPACITY IS 600 PSF.

- B. CONCRETE  
ALL CONCRETE WORK SHALL CONFORM TO ACI 301 SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS AND MEET THE FOLLOWING REQUIREMENTS:  
CONCRETE - TYPE I CEMENT ASTM C 150, NORMAL WEIGHT AGGREGATES ASTM C 33, 3000 PSI AT 28 DAYS, 5" SLUMP.  
REINFORCING STEEL - ASTM A615 GRADE 60, WELDED WIRE FABRIC ASTM A185.  
REINFORCING STEEL DETAILS - EXCEPT AS NOTED OTHERWISE WHERE CONTINUOUS REINFORCING IS SPECIFIED, HOOK BARS AT NON-CONTINUOUS ENDS.  
LAP BARS AS INDICATED BELOW:  
LAP SPLICES  
#3 14"  
#4 14"  
#5 17"  
WELDED WIRE FABRIC - TWO SPACES.  
PROVIDE THE FOLLOWING COVER FOR REINFORCING:  
FOOTINGS 6" TOP AND BOTTOM, 3" SIDES.
- C. CONCRETE MASONRY UNITS  
ALL CONCRETE MASONRY WORK SHALL CONFORM TO ACI 531.1 SPECIFICATION FOR MASONRY CONSTRUCTION.  
CONCRETE MASONRY UNITS - ASTM C90, GRADE N, TYPE I, LIGHTWEIGHT UNITS.  
MORTAR - ASTM C270, TYPE S.  
GROUT - ASTM C476.  
REINFORCING STEEL - ASTM 615 GRADE 60, WIRE STEEL SHALL BE ASTM A82.  
REINFORCING DETAILS  
LAP REINFORCING AS INDICATED BELOW:  
LAP SPLICES  
#4 20"  
#5 26"  
WIRE JOINT REINFORCING - 10"  
THE MASONRY ASSEMBLY SHALL ACHIEVE A UNIT STRENGTH (FM') = 1500 PSI.
- D. LIGHT GAUGE METAL FRAMING ACCESSORIES  
JOISTS HANGERS SHALL BE TYPE "U" UNLESS INDICATED OTHERWISE ON THE DRAWINGS AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY. INSTALL JOISTS HANGERS WHERE BEAMS FRAME INTO BEAMS AT THE SAME ELEVATION AND IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ALL STEEL PARTS FOR WOOD CONNECTIONS IN CONTACT WITH TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED COATED CONFORMING TO ASTM A653 CLASS G-185 MINIMUM REQUIRED WEIGHT OF ZINC COATING TOTAL BOTH SIDES OF 1.85 OUNCES PER SQUARE FOOT.

- E. BOISE CASCADE ENGINEERED WOOD PRODUCTS  
ALL STRUCTURAL MEMBERS FABRICATED BY THE BOISE CASCADE CORPORATION SHALL BE ERECTED AND BRACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ALL MEMBERS DESIGNATED AS "LVL" SHALL BE LAMINATED VENEER LUMBER HAVING PROPERTIES AND STRENGTHS EQUAL TO THE BOISE CASCADE CORPORATION "VERSA-LAM".
- F. WOOD FRAMING  
ALL WOOD FRAMING FABRICATION AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NFPA. THE PLYWOOD DESIGN SPECIFICATION BY THE APA AND MEET THE REQUIREMENTS BELOW. UNLESS NOTED OTHERWISE ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE INTERNATIONAL RESIDENTIAL CODE. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED.  
FRAMING LUMBER - SOUTHERN YELLOW PINE, S4S, NO. 2, MAXIMUM MOISTURE CONTENT 19%.  
FLOOR FRAMING - PROVIDE BRIDGING FOR DIMENSIONED LUMBER FLOOR JOISTS AT 8'-0" O.C. MAX.  
PLYWOOD FLOORING - APA RATED 48/24, 3/4" THICK. NAIL WITH 12D NAILS SPACED AT 6" O.C. AT PANEL ENDS AND 12" O.C. AT INTERMEDIATE SUPPORTS.  
PLYWOOD ROOFING - APA RATED 32/16, 5/8" THICK. NAIL WITH 10D NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.  
PLYWOOD WALL SHEATHING - PROVIDE 1/2" PLYWOOD ON ALL THE EXTERIOR WALLS TO BRACE THE STRUCTURE FOR WIND LOADS. NAIL PLYWOOD EDGES WITH 8D NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE SOLID BLOCKING AT ALL PANEL EDGES.
- G. MISCELLANEOUS
1. NO CHANGE IN SIZE OR DIMENSION OF STRUCTURAL MEMBERS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE PROFESSIONAL OF RECORD.
2. THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.
3. THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES.
4. DO NOT SCALE THESE DRAWINGS. USE DIMENSIONS.
5. THE CONTRACTOR SHALL INFORM THE PROFESSIONAL OF RECORD IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY OF SUCH DEVIATION BY THE PROFESSIONAL OF RECORD REVIEW OF SHOP DRAWINGS, PRODUCT DATA, ETC., UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE PROFESSIONAL OF RECORD OF SUCH DEVIATION AT THE TIME OF SUBMISSION, AND THE PROFESSIONAL OF RECORD HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
- H. QUALITY CONTROL  
THE FOLLOWING WORK REQUIRES INSPECTIONS:
1. REINFORCING STEEL AND ANCHOR BOLTS
2. CONCRETE PLACEMENT
3. CMU PIERS
4. WOOD FRAMING  
NO WORK SHALL BE DONE WITHOUT INSPECTORS KNOWLEDGE.

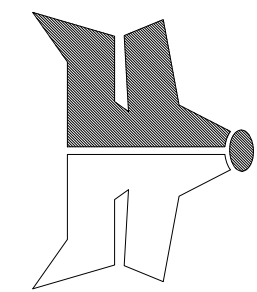
RENOVATIONS AND ADDITIONS TO THE

SHANNON MORTON RESIDENCE

2718 and 2770 ST. PHILIP STREET  
NEW ORLEANS | LOUISIANA | 70119

FOX DESIGN

710 CONGRESS STREET  
NEW ORLEANS | LOUISIANA | 70117  
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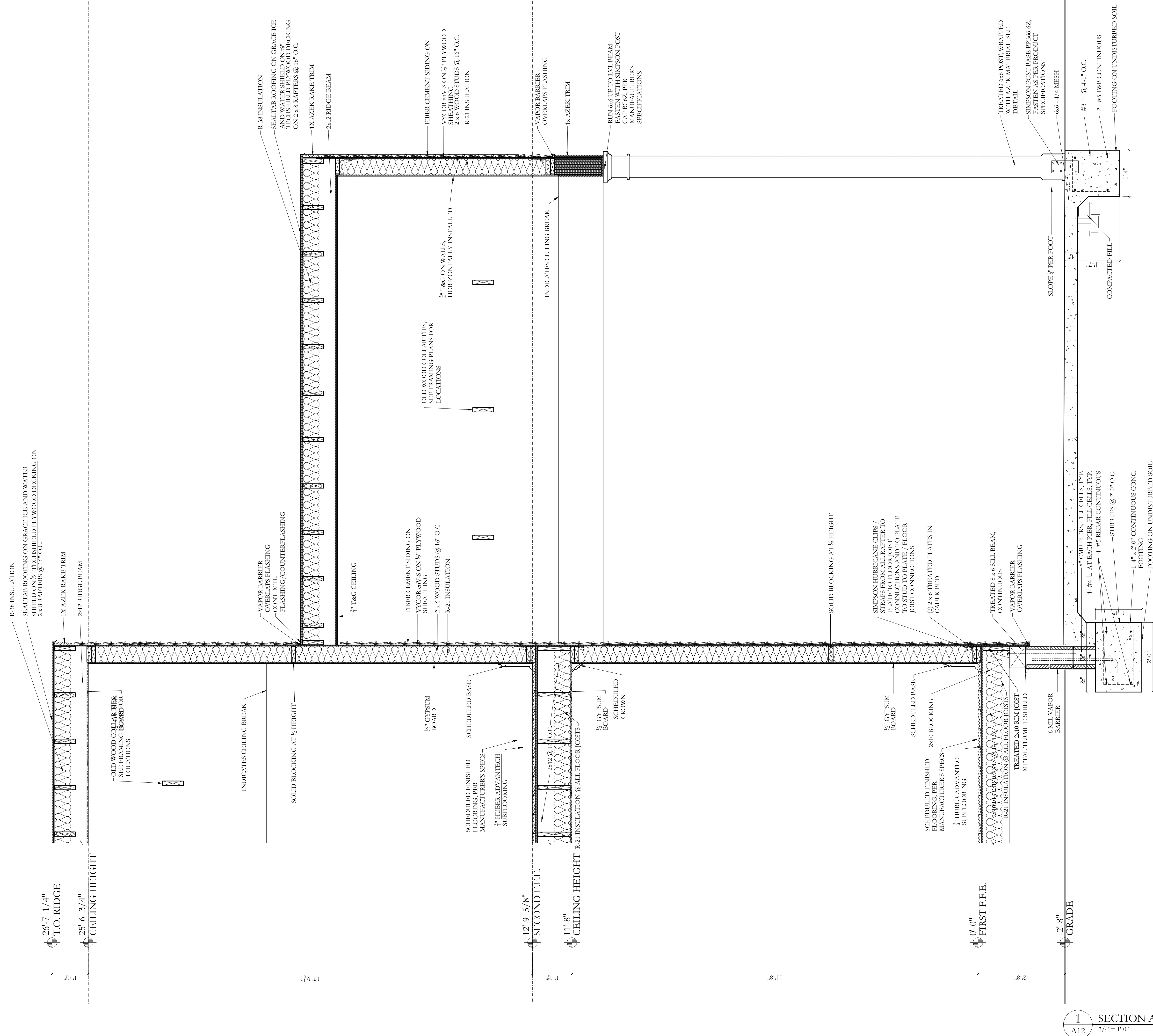
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A10  
11 of 17







REVISIONS:

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A12

SECTION AT NEW ENTRY PORCH

3/4"= 1'-0"

13 of 17

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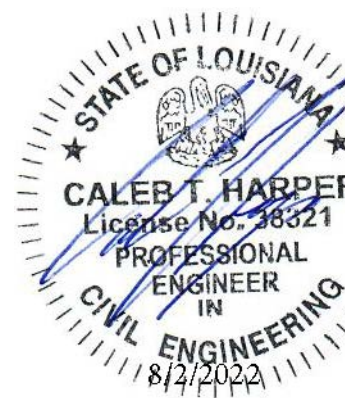
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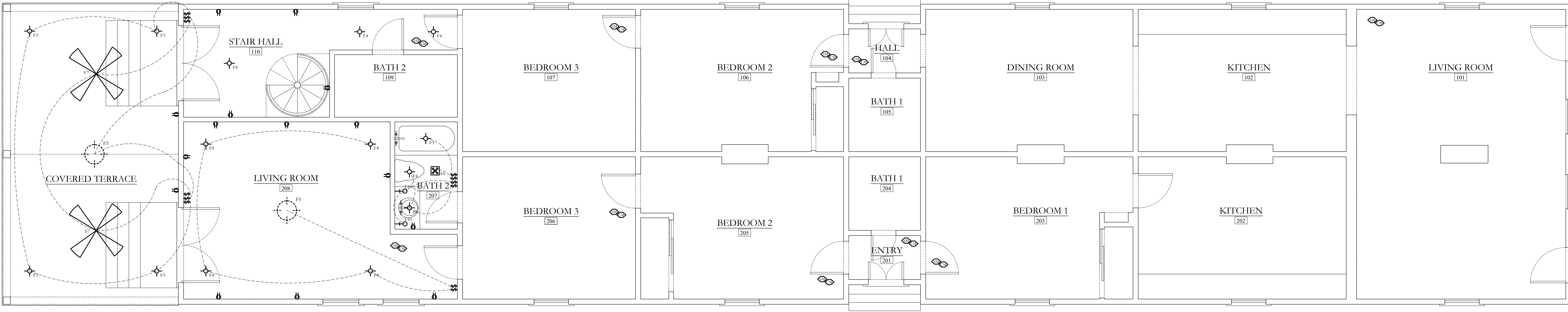


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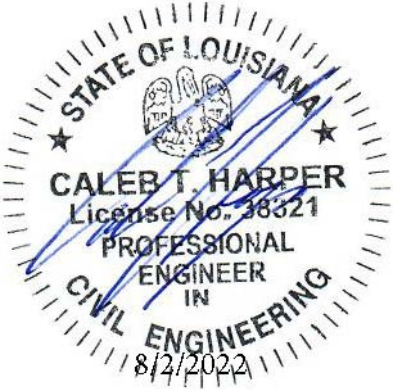
15 of 17







NOTE:  
WHERE NO ELECTRICAL IS SHOWN, EXISTING TO  
REMAIN



1 FIRST FLOOR ELECTRICAL LAYOUTS  
E1 1/4" = 1'-0"

NOTES

- ALL HANGING FIXTURES, RECESSED CANS, CHANDELIERS, SCONCES, FANS, OR SPECIAL FIXTURES TO BE ON DIMMER OR RHEOSTAT
- GAS TANKLESS WATER HEATER TO BE LOCATED BY OWNER FOLLOWING ALL APPLICABLE CODES
- MOUNT ALL ELECTRICAL OUTLETS HORIZONTALLY 6" A.F.F. UNLESS OTHERWISE NOTED.
- ALL LIGHT SWITCHES ARE TO BE MOUNTED AT 36" A.F.F. VERIFY SWITCH TYPE.
- MOST FIXTURES ARE LOCATED BY CENTER LINES, BRIDGE FRAME IF NECESSARY FOR CORRECT FIXTURE LOCATIONS. JOISTS AND RAFTERS TO BE LAID OUT WITH SPACE ON CENTER LINE OF ROOMS, DOORWAYS, CASED OPENINGS, AND WINDOWS TO ALLOW FOR FIXTURES TO BE CENTERED
- ALL FLOOR OUTLETS ARE TO BE LOCATED BY OWNER, VERIFY LOCATIONS PRIOR TO INSTALLATION.
- VERIFY LOCATION OF ALL PHONE, STEREO, SPEAKERS AND CABLE TELEVISION OUTLETS WITH OWNER.
- FOR CLARITY NO OUTLETS ARE SHOWN ON PLAN FOR KITCHEN, PANTRY, LAUNDRY ROOM APPLIANCES, OR WHIRLPOOL TUBS. SEE FLOOR PLANS AND SPECIFICATIONS FOR LOCATIONS AND REQUIREMENTS.
- DOORBELL AND DOORBELL CHIMES: NUTONE PB-18L AND LB-14
- ATTIC (F19) SINGLE BULB LED FIXTURES, SWITCHED
- ATTIC: # (#) POWERMATIC AUTOMATIC ATTIC VENTILATORS W/ THERMOSTAT & SWITCHED IF REQ'D

ELECTRICAL FIXTURE SCHEDULE

NOTE: ALL SWITCHES @ 36" AFF.

- NOTE: NO ELECTRICAL WORK TO START UNTIL OWNER, CONTRACTOR AND ELECTRICAL SUBCONTRACTOR WALK THROUGH FRAMED UP PROJECT CEILINGS IN CERTAIN AREAS MAY REQUIRE FURR DOWNS TO ACCOMMODATE DUCTWORK AND PLUMBING. VERIFY WITH MECHANICAL SUBCONTRACTORS AND VERIFY SIZES OF MECHANICAL EQUIPMENT FOR DESIGNATED AREAS.
- F1 - 5" RECESSED DOWNLIGHT:  
JUNO TC20 5" UNIVERSAL TC HOUSING / 203BWH; BLACK BAFFLE WHITE TRIM RING
- F2 - 4" RECESSED DOWNLIGHT:  
JUNO TC1 4" MINIATURE UNIVERSAL TC HOUSING / 14BWH; BLACK BAFFLE WHITE TRIM RING
- F3 - 4" RECESSED FOR CLOSETS AND WET LOCATIONS:  
JUNO TC1 4" MINIATURE UNIVERSAL TC HOUSING / 12 WWH; PERIMETER FROSTED LENS WHITE TRIM RING
- F4 - 4" RECESSED LOW VOLTAGE DOWNLIGHT  
JUNO TC44 4" LOW VOLTAGE UNIVERSAL HOUSING / 444BWH; 4" ADJ. BAFFLE TRIM BLACK, WHITE TRIM RING
- F5 - HANGING FIXTURE:  
FIXTURE TO BE PROVIDED BY OWNER; INSTALLED BY CONTRACTOR
- F6 - CEILING MOUNTED EXHAUST FAN:  
BROAN XB80 EXHAUST FAN
- F7 - INDOOR CEILING FAN:  
FIXTURE TO BE PROVIDED BY OWNER; INSTALLED BY CONTRACTOR
- F8 - OUTDOOR CEILING FAN:  
FIXTURE TO BE PROVIDED BY OWNER; INSTALLED BY CONTRACTOR
- F9 - EXTERIOR 2 LIGHT FLOOD FIXTURE:  
75 WATT BULBS ON PHOTOCELL AND SWITCHED
- F10 - WALL MOUNTED SCONCES:  
FIXTURE TO BE PROVIDED BY OWNER; INSTALLED BY CONTRACTOR, VERIFY MOUNTING HEIGHT

- F11 - PAINTING/BOOKCASE LIGHT  
VISUAL COMFORT CABINET MAKERS PICTURE LIGHT / ANTIQUE BRASS / VERIFY LENGTHS
- F12 - CEILING MOUNTED SINGLE BULB FLUORESCENT FIXTURE / GUARD:  
SNE-132 / 120V / EB81 / WG
- F13 - MONO POINT:  
LONG MADE CO. CYLINDER FLUSH SPOT / NATURAL BRASS / 2700K GU10 BASE BULB
- F14 - KICKSPACE HEATER:  
BROAN I12
- F15- LED UNDER CABINET LIGHTS  
WAC LIGHTING-invisLED PRO 24V LED TAPE LIGHT / 2700K / VERIFY LENGTHS
- F16- WALL MOUNTED GAS FIXTURE - BY OWNER  
VERIFY SPECIFICATIONS PRIOR TO GAS ROUGH IN
- F17- CEILING MOUNTED FLUSH LED FIXTURE  
LITHONIA LIGHTING WF4 LED 27K30K35K 90CRI MB

- § - SWITCH - SINGLE POINT  
§DB - DOOR BELL  
§E - ELECTRIC STRIKE  
+ HOSE BIBB  
TV - TELEPHONE, D.S.L. LINE  
C - CABLE OUTLET  
S - FLOOR OUTLET  
SND - SPEAKER  
SMD - SMOKE DETECTOR  
CND - CARBON MONOXIDE DETECTOR  
DU - DUPLEX OUTLET  
GFI - 1/2 SWITCHED DUPLEX OUTLET  
CLOCK - DUPLEX OUTLET, REC. CLOCK  
42" - DUPLEX OUTLET, 42" AFF
- XX - RECESSED FIXTURE, SEE ELEC. FIXTURE SCHEDULE  
XX - WALL MOUNTED FIXTURE, SEE ELEC. FIXTURE SCHEDULE  
XX - HANGING FIXTURE, SEE ELEC. FIXTURE SCHEDULE  
R/A - RETURN AIR, CEILING INSTALLED  
R/A - RETURN AIR, WALL INSTALLED  
V - A/C VENT, CEILING INSTALLED  
V - A/C VENT, WALL INSTALLED  
VENT - DRYER VENT  
GAS - GAS HOOKUP  
P - LOCATION OF PLUMBING FIXTURES

RENOVATIONS AND ADDITIONS TO THE

SHANNON MORTON RESIDENCE

2718 and 2770 ST. PHILIP STREET  
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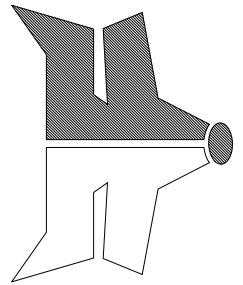
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16 of 17

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INNOVATIONS AND ADDITIONS TO THE  
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2718 and 2720 ST. PHILIP STREET  
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RENOVATIONS AND ADDITIONS TO THE

## REVISIONS

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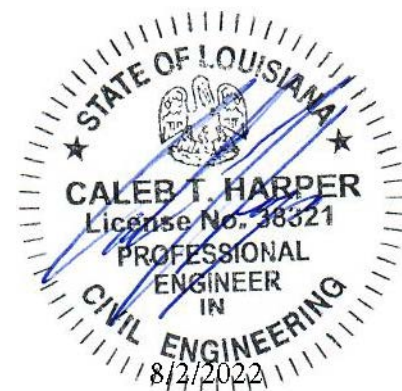
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17 of 17

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## 1 SECOND FLOOR ELECTRICAL LAYOUTS

## NOTES

## ELECTRICAL FIXTURE SCHEDULE

NOTE: ALL SWITCHES @ 36" AFF













## LEGEND

1. ALL HANGING FIXTURES, RECESSED CANS, CHANDELIERS, SCONCES, FANS, OR SPECIAL FIXTURES TO BE ON DIMMER OR RHEOSTAT
2. GAS TANKLESS WATER HEATER TO BE LOCATED BY OWNER FOLLOWING ALL APPLICABLE CODES
3. MOUNT ALL ELECTRICAL OUTLETS HORIZONTALLY 6" A.F.F. UNLESS OTHERWISE NOTED.
4. ALL LIGHT SWITCHES ARE TO BE MOUNTED AT 36" A.F.F. VERIFY SWITCH TYPE.
5. MOST FIXTURES ARE LOCATED BY CENTER LINES, BRIDGE FRAME IF NECESSARY FOR CORNER FIXTURE LOCATIONS. JOISTS AND RAFTERS TO BE LAID OUT WITH SPACE ON CENTER LINE OF ROOMS, DOORWAYS, CASED OPENINGS, AND WINDOWS TO ALLOW FOR FIXTURES TO BE CENTERED
6. ALL FLOOR OUTLETS ARE TO BE LOCATED BY OWNER, VERIFY LOCATIONS PRIOR TO INSTALLATION.
7. VERIFY LOCATION OF ALL PHONE, STEREO, SPEAKERS AND CABLE TELEVISION OUTLETS WITH OWNER.
8. FOR CLARITY NO OUTLETS ARE SHOWN ON PLAN FOR KITCHEN, PANTRY, LAUNDRY ROOM APPLIANCES, OR WHIRLPOOL TUBS. SEE FLOOR PLANS AND SPECIFICATIONS FOR LOCATIONS AND REQUIREMENTS.
9. DOORBELL AND DOORBELL CHIMES: NUTONE PB-18L AND LB-14
10. ATTIC (F19) SINGLE BULB LED FIXTURES, SWITCHED
11. ATTIC: (#) PERMATIC AUTOMATIC ATTIC VENTILATORS W/ THERMOSTAT & SWITCHED IF REQ'D

NOTE: NO ELECTRICAL WORK TO START UNTIL OWNER, CONTRACTOR AND  
ELECTRICIAN SUBCONTRACTOR WALK THROUGH FRAMED UP PROJECT  
CEILINGS IN CERTAIN AREAS MAY REQUIRE FURR DOWNS TO ACCOMMODATE  
DUCTWORK AND PLUMBING. VERIFY WITH MECHANICAL SUBCONTRACTORS  
AND VERIFY SIZES OF MECHANICAL EQUIPMENT FOR DESIGNATED AREAS

- F1 - 5" RECESSED DOWNLIGHT:  
JUNO TC20 5" UNIVERSAL TC HOUSING / 203BWH; BLACK BAFFLE WHITE TRIM RING
- F2 - 4" RECESSED DOWNLIGHT:  
JUNO TC1 4" MINIATURE UNIVERSAL TC HOUSING / 14BWH; BLACK BAFFLE WHITE TRIM RING
- F3 - 4" RECESSED FOR CLOSETS AND WET LOCATIONS:  
JUNO TC1 4" MINIATURE UNIVERSAL TC HOUSING / 12 WWH; PERIMETER FROSTED LENS WHITE TRIM RING
- F4 - 4" RECESSED LOW VOLTAGE DOWNLIGHT  
JUNO TC44 4" LOW VOLTAGE UNIVERSAL HOUSING / 444BWH; 4" ADJ. BAFFLE TRIM BLACK, WHITE TRIM RING
- F5 - HANGING FIXTURE:  
FIXTURE TO BE PROVIDED BY OWNER; INSTALLED BY CONTRACTOR
- F6 - CEILING MOUNTED EXHAUST FAN:  
BROAN XB80 EXHAUST FAN
- F7 - INDOOR CEILING FAN:  
FIXTURE TO BE PROVIDED BY OWNER; INSTALLED BY CONTRACTOR
- F8 - OUTDOOR CEILING FAN:  
FIXTURE TO BE PROVIDED BY OWNER; INSTALLED BY CONTRACTOR
- F9 - EXTERIOR 2 LIGHT FLOOD FIXTURE:  
75 WATT BULBS ON PHOTOCELL AND SWITCHED
- F10 - WALL MOUNTED SCONCES:  
FIXTURE TO BE PROVIDED BY OWNER; INSTALLED BY CONTRACTOR @ 5'-0" A.F.F.

- |     |  |
|-----|--|
| F11 | - LED TRACK LIGHTING<br>LIGHTOLIER ALCYON LED VERTICAL LLAV01 27 BK FIXTURE W/ LLAV11RF REFLECTOR                    |
| F12 | - CEILING MOUNTED SINGLE BULB FLUORESCENT FIXTURE / GUARD:<br>SNF-132 / 120V / EB81 / WG                             |
| F13 | - MONO POINT:<br>LIGHTOLIER ALCYON LED VERTICAL LLAV01 27 BK FIXTURE W/LLAV11RS REFLECTOR W/6170 BK RECTANGULAR BASE |
| F14 | - KICKSPACE HEATER:<br>BROAN 112   |
| F15 | - LED UNDER CABINET LIGHTS<br>WAC LIGHTING invisLED PRO 24V LED TAPE LIGHT / 2700K / VERIFY LENGTHS                  |
| F16 | - WALL MOUNTED GAS FIXTURE - BY OWNER<br>VERIFY SPECIFICATIONS PRIOR TO GAS ROUGH IN                                 |
| F17 | - CEILING MOUNTED FLUSH LED FIXTURE<br>LITHONIA LIGHTING WF4 LED 27K30K35K 90CRI MB                                  |

- |             |                              |   |  |
|-------------|------------------------------|---|--|
| \$          | SWITCH - SINGLE POINT        |  | - RECESSED FIXTURE, SEE ELEC. FIXTURE SCHEDULE     |
| \$DB        | -DOOR BELL                   |   |  |
| \$E         | -ELECTRIC STRIKE             |  |  |
| + HOSE BIBB | -HOSE BIBB                   |  | - WALL MOUNTED FIXTURE, SEE ELEC. FIXTURE SCHEDULE |
| C           | -TELEPHONE, D.S.L. LINE      |  |  |
| C           | -CABLE OUTLET                |  | - HANGING FIXTURE, SEE ELEC. FIXTURE SCHEDULE      |
| S           | FLOOR OUTLET                 |   |  |
| S           | -SPEAKER                     |   |  |
| SM          | -SMOKE DETECTOR              |  | - RETURN AIR, CEILING INSTALLED                    |
| CM          | -CARBON MONOXIDE DETECTOR    |  | - RETURN AIR, WALL INSTALLED                       |
|             | -DUPLEX OUTLET               |  | - A/C VENT, CEILING INSTALLED                      |
|             | -1/2 SWITCHED DUPLEX OUTLET  |  | - A/C VENT, WALL INSTALLED                         |
| GFI         | -DUPLEX OUTLET, GROUND FAULT |  | - DRYER VENT                                       |
| CLOCK       | -DUPLEX OUTLET, REC. CLOCK   |  | - GAS HOOKUP                                       |
|             | -DUPLEX OUTLET, 42" AFF      |  | - LOCATION OF PLUMBING FIXTURES                    |