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631 DESIRE, LLC.

639 DESIRE ST., NEW ORLEANS, LA

# 639 DESIRE

## THE PEARL



### CONSTRUCTION DOCUMENTS

#### ARCHITECT

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#### OWNER

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631 DESIRE, LLC.  
**RESIDENCE AT 639 DESIRE**  
639 DESIRE ST., NEW ORLEANS, LA

NO.	DESCRIPTION	DATE
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PROJECT NO.	22014
PHASE	CD
DATE	05/15/2022
PROJECT MANAGER	MH
QUALITY CONTROL	MH

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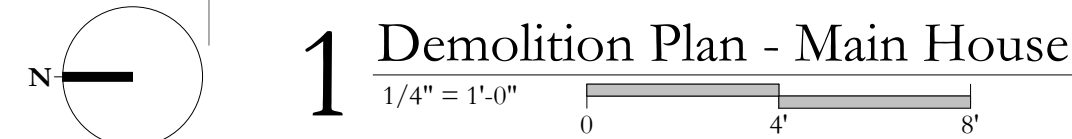
#### CONSTRUCTION DOCUMENTS

# G100

TITLE SHEET

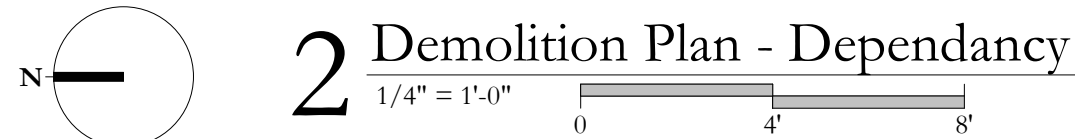
# H/S

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0105 REMOVE STEPS  
0106 REMOVE PORCH STRUCTURE  
0107 REMOVE DOOR AND FRAME  
0108 REMOVE STAIR  
0109 REMOVE WALLS OR SECTIONS OF WALL AS INDICATED TYPICAL  
0110 REMOVE CEILING STRUCTURE THIS AREA FOR NEW STAIR REFER TO A211 FOR LOCATION  
0111 REMOVE COLUMN IN ITS ENTIRETY  
0113 REMOVE ALL WALLS, WINDOWS, AND DOORS FROM OLD PORCH - PROVIDE TEMPORARY SHORING  
0114 REMOVE ALL DECKING AT NEW PORCH AND REPLACE  
0115 REMOVE CMU WALL AFTER NEW FENCE IS IN PLACE  
0116 REMOVE SHADED AREA IN ITS ENTIRETY INCLUDING CONCRETE SLAB  
0162 REMOVE OPENING AND CLOSE IN  
0191 REMOVE PLASTER AND GYPSUM BOARD FROM ALL SURFACES AT INTERIOR TYPICAL  
0201 EXISTING SITE MASONRY WALL TO REMAIN  
0205 EXISTING ADJACENT STRUCTURE  
0291 SIDING TO REMAIN THIS WALL: PROTECT FROM DAMAGE  
0331 FILL IN FLOOR AREA WITH CONCRETE OVER STYROFOAM FLUSH W/ FIREPLACE HEARTH  
0606 PROVIDE NEW 4X6 TREATED FRAMING SPACED TO MATCH EXISTING AT STAIRWELL OPENING TO BE REMOVED  
0607 PROVIDE NEW 2X6 TREATED WOOD JOISTS BETWEEN EACH EXISTING JOIST ENTIRE BUILDING  
0608 INSTALL NEW 2X6 TREATED RAFTERS BETWEEN EACH 4X6 EACH 4X6 AT ROOF ENTIRE BUILDING  
0609 BRACE STRUCTURE BEFORE REMOVING ADJACENT STRUCTURE  
0634 LOCATION OF NEW WINDOW OPENING, PROVIDE NEW FRAMING AS REQUIRED REFER TO WINDOW SCHEDULE  
0635 LOCATION OF NEW DOOR OPENING, PROVIDE NEW FRAMING AS REQUIRED REFER TO DOOR SCHEDULE  
0690 REMOVE WALL  
0691 REMOVE SLATE FLOOR & SLATE ON WALLS  
0692 REMOVE WALL TO CEILING THIS AREA  
0693 SAWCUT & REMOVE SLAB

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. THESE DEMOLITION PLANS ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR.
2. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE FROM THAT SHOWN PRIOR TO EXECUTING WORK.
3. TERMINATE AND CAP ALL EXISTING WATER & SEWER
4. REMOVE EXISTING BOARDS FROM ATTIC AND USE FOR FINISH FLOOR @ 1ST FLOOR



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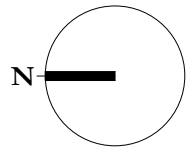
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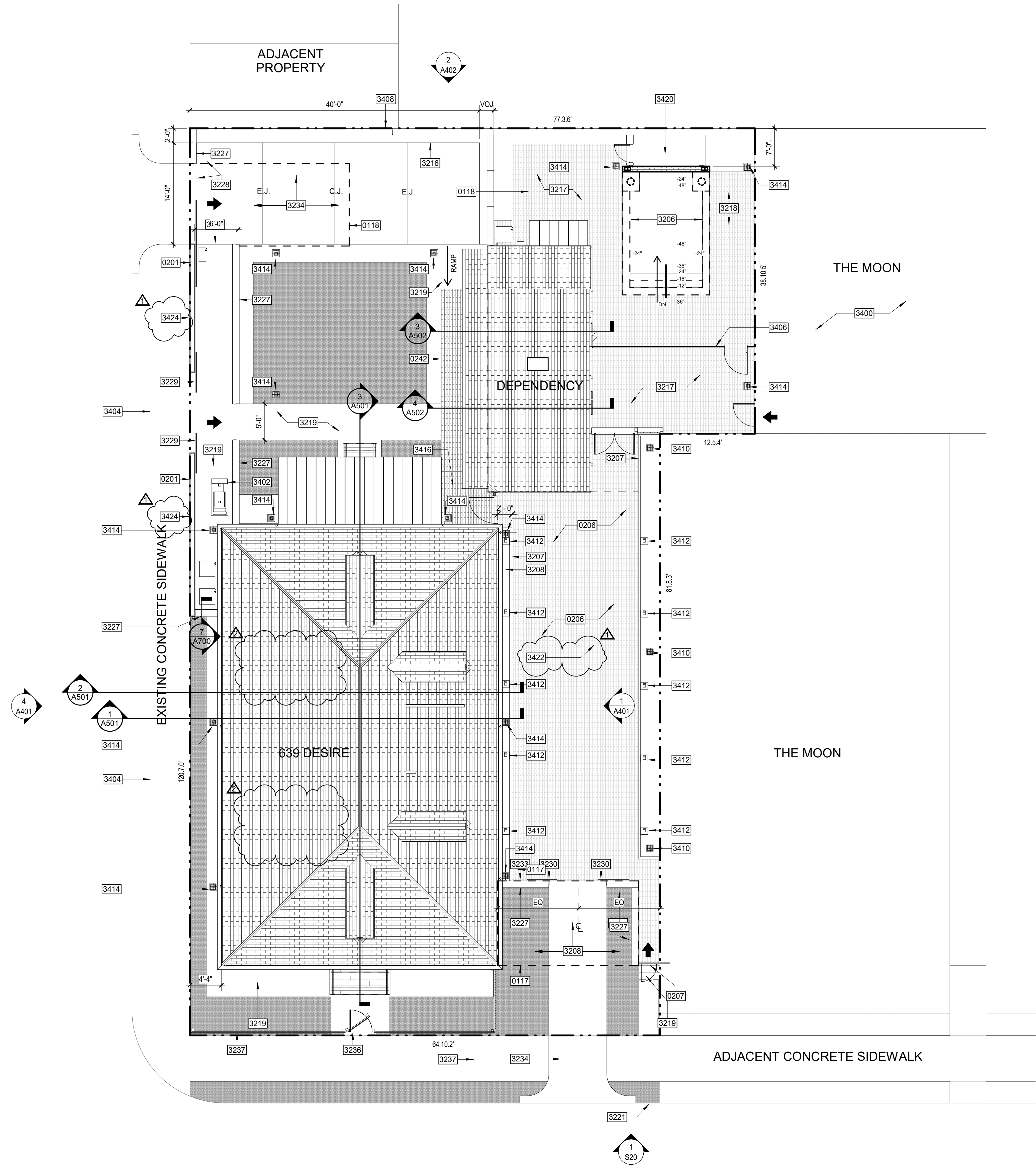
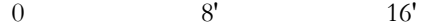
DEMOLITION PLAN





1 Site Plan

1/8" = 1'-0"



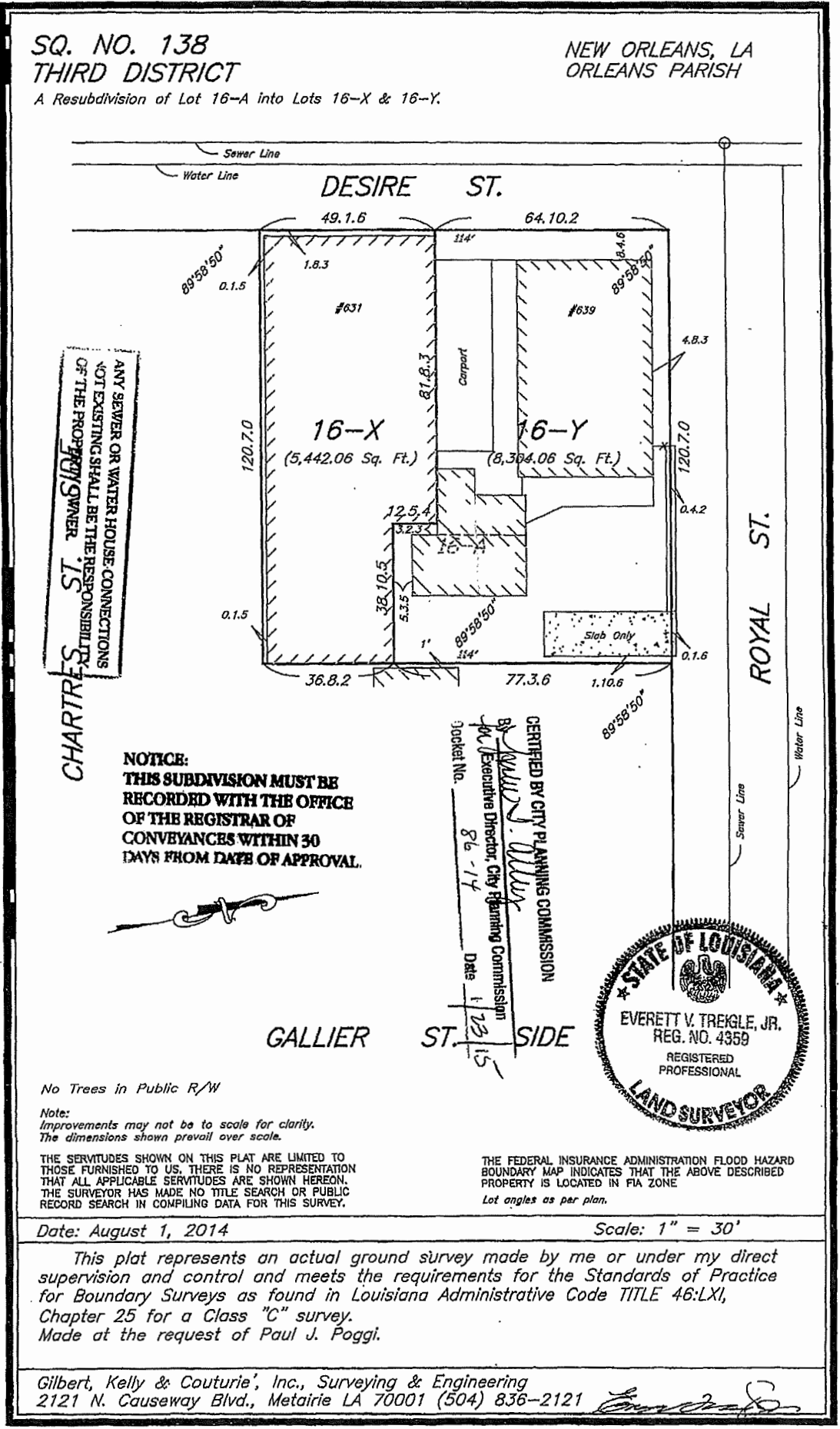
3 NOT USED

4 NOT USED

2 SURVEY

### KEYNOTE LEGEND

- 0117 SAW CUT AND REMOVE SLAB; REFER TO A211
- 0118 EXISTING CONCRETE SLAB TO BE REMOVED
- 0201 EXISTING SITE MASONRY WALL TO REMAIN
- 0206 EXISTING SLAB TO REMAIN WITH NEW BRICK PAVERS (PAVERS BY OTHERS)
- 0207 EXISTING GATE TO REMAIN. CUT EXCESS CHANNEL AT TOP
- 0242 EXISTING BRICK WALK TO REMAIN
- 3206 POOL BY OTHERS
- 3207 NEW 4" HIGH X 4" WIDE CONCRETE CURB W/ CONTINUOUS #3 TIED TO #3 @ 16" O.C. DRILLED INTO EXISTING CONCRETE. PROVIDE SURE CUTS @ 4'-0" O.C. FOR DRAINAGE
- 3208 SAW CUT AND REMOVE SLAB. PROVIDE A NEW COAT IN PLACE BASE. 8" THICK X 2' WIDE X THE FULL DEPTH OF THE CUTOUT TO MOUNT NEW LIGHT POLE
- 3216 LINE OF NEW 6" CONCRETE SLAB DRIVE
- 3217 NEW 4" CONCRETE SLAB & PAVERS BY OTHERS
- 3218 NEW BRICK PAVERS ON EXISTING SLAB. W/ 6X6 6/6 WWF
- 3219 NEW 4" CONCRETE SLAB SIDEWALK
- 3221 TIE DRIVE TO EXISTING STREET
- 3227 NEW FENCE; RE: 17/A700
- 3228 NEW ELECTRIC SLIDE GATE
- 3229 NEW MANUAL SLIDE GATE W/ HARDWARE; VERIFY WIDTH
- 3230 NEW 8'-0" WIDE MANUAL SLIDE GATE W/ HARDWARE
- 3233 ALIGN FENCE WITH CORNER BOARD AT WALL OF HOUSE
- 3234 NEW 6" CONCRETE SLAB W/ 6X6 6/6 WWF
- 3236 NEW 4'-0" PTD. WOOD PICKET GATE
- 3237 NEW PTD. WOOD PICKET FENCE W/ STEEL POST SUPPORTS
- 3400 IMPROVEMENTS IN THIS AREA REFER TO EVENT SPACE CONSTRUCTION DOCUMENTS
- 3402 22 KW GENERATOR BY OWNER
- 3404 EXISTING CONC. SIDEWALK TO REMAIN
- 3406 NEW 4'-0" HIGH METAL POOL FENCE W/ 4' GATE
- 3408 NEW FENCE THIS SIDE. TERMINATE AT SIDE OF HOUSE BOTH SIDES; RE 17/A700
- 3410 EXISTING DRAIN TO REMAIN REFER TO MEP SITE PLAN FOR ADDITIONAL DRAINAGE WORK
- 3412 2"x10" HIGH STEEL CAPPED POLE W/ 12"x12" BASE PLATE BOLTED TO EXISTING CONC.
- 3414 NEW 12"x12" PVC BOX DRAIN REFER TO MEP SITE PLAN
- 3416 SALVAGED BRICK ON NEW CONC. SLAB AFTER REMOVAL OF OLD BRICK & SLAB
- 3420 4" CONC. SLAB @ POOL EQUIP
- 3422 THE EXISTING GARAGE SPACE SHALL BE USED BY THE CONTRACTOR DURING THE BUILDING CONSTRUCTION PROCESS & SHALL BE REMOVED BY THE OWNER UPON NOTIFICATION BY THE CONTRACTOR
- 3424 SAWCUT EXISTING SIDEWALK 8" FROM THE WALL TOWARDS ROYAL ST. FULL LENGTH OF WALL



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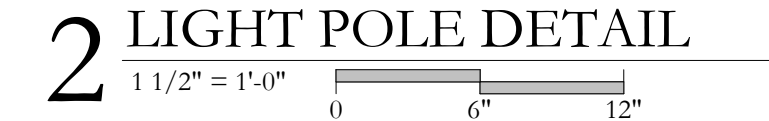
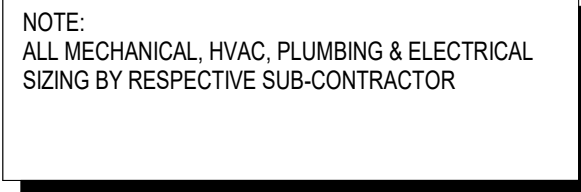
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A101

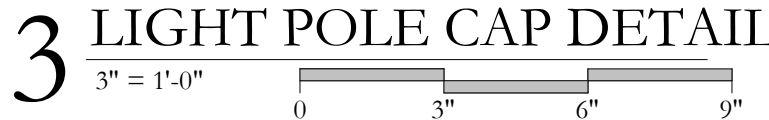
SITE

H/S

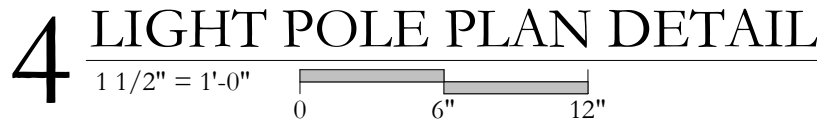


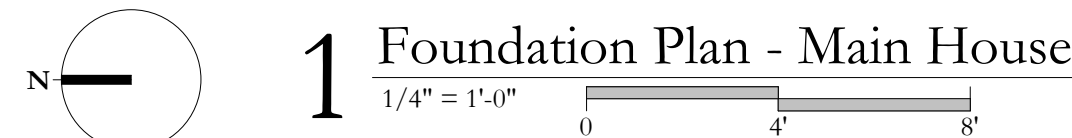
1. PROVIDE TWO METERS, ONE FOR MAIN HOUSE & ONE FOR DEPENDENCY.  
2. GAS SHALL BE COMMON FOR ALL SERVICES ON SITE.  
3. FIELD CONFIRM INVERT @ ROYAL STREET FOR STORM DRAIN & SLOPE STORM  
DRAIN @ 1/8" FT. MIN. COORDINATE WITH ARCHITECT AFTER CONFIRMING INVERT.  
4. PRIOR TO ROUGH IN OF ELEC. SERVICE COORDINATE WITH UTILITY COMPANY &  
ARCHITECT AS TO THE EXACT LOCATION OF THE NEW SERVICE.

ESD	EXISTING STORM DRAIN
SD	NEW 8" STORM DRAIN
CB	NEW 12"x12"x12" PVC CATCH BASIN
ECB	EXISTING 12"x12" CATCH BASIN
TD	2" WIDE TRENCH DRAIN
GM	EXISTING GAS METER
SS	NEW 4" SEWER LINE
W	NEW 1" PVC WATER LINE
E	UNDERGROUND ELECTRICAL SERVICE W/ PVC CONDUIT
ES	2-1/2" PVC CONDUITS PER ELECTRICAL RUN IN 1" SAND BED, ONE FOR POWER TO FANS / ONE FOR LIGHTS. REFER TO ELEC. PLAN FOR SWITCH LOCATIONS
D	DATA - 3/4" CONDUIT



NOTE:  
PROVIDE 1 1/2" Ø HOLE @ CONDUIT LOCATION  
FOR POWER FEED

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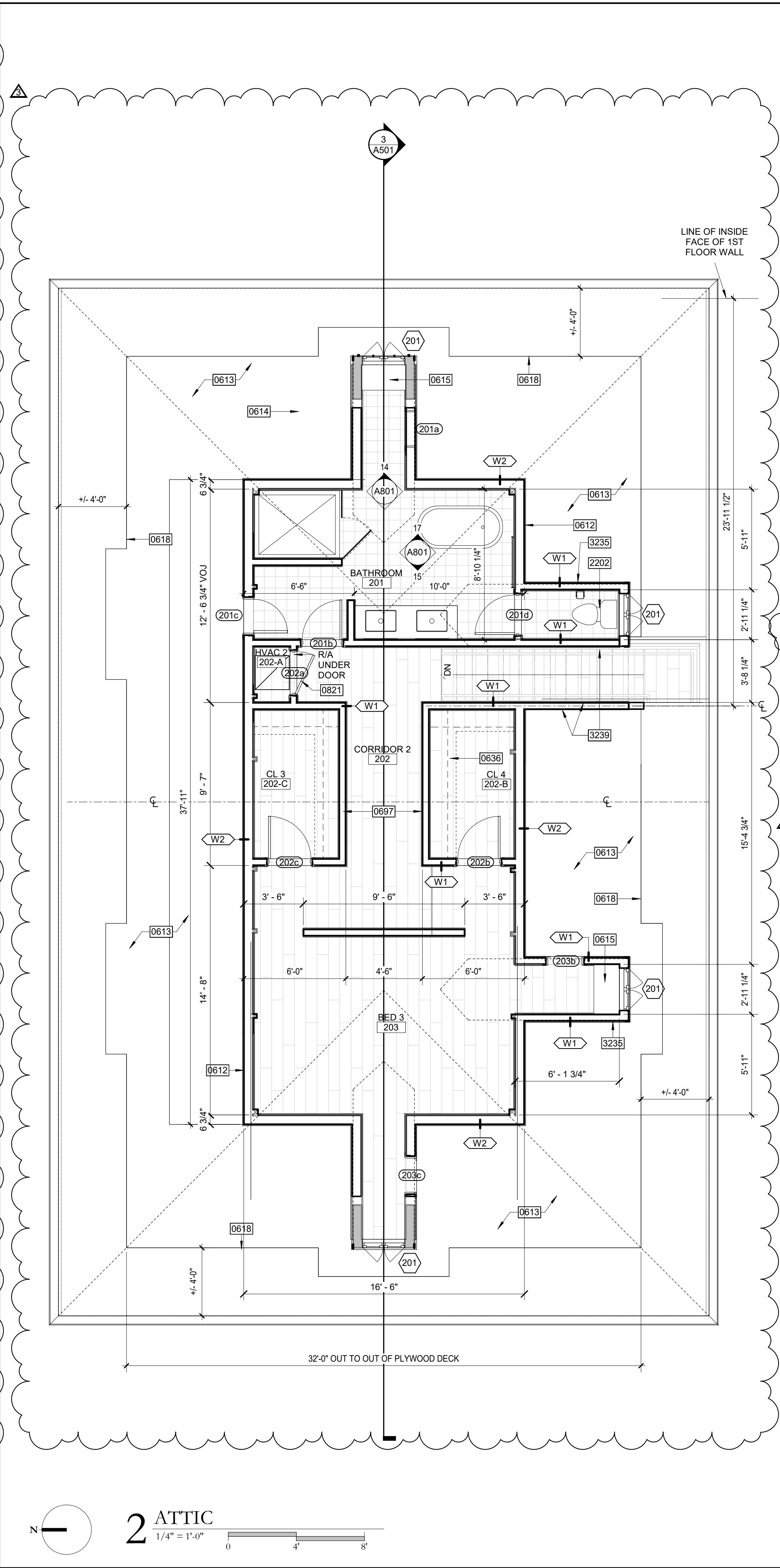
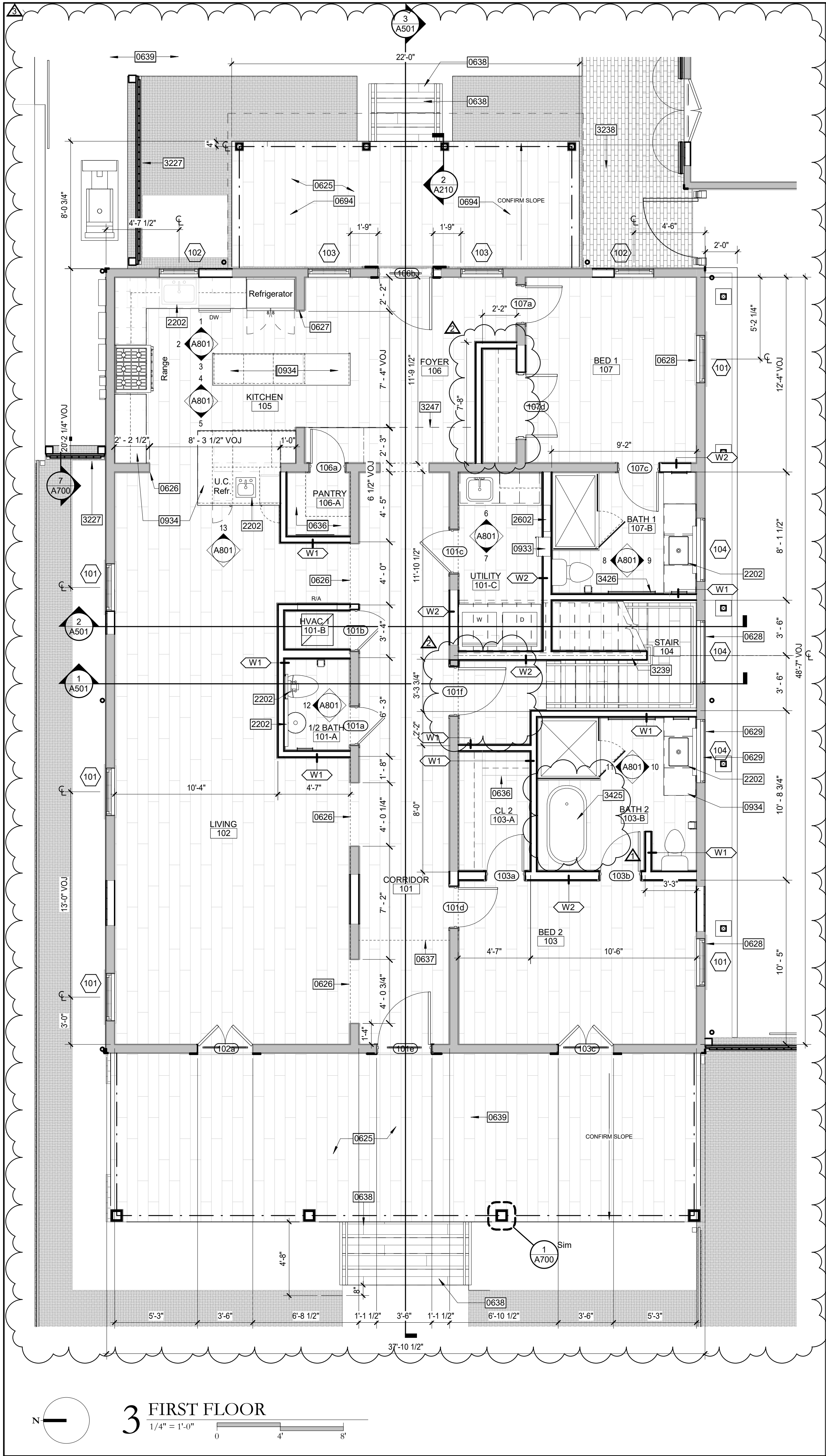
## 2 NEW GRADE BEAM / SUPPORT

### 3 DETAIL @ EXISTING SILL FRAMING

# A210

FOUNDATION PLAN - MAIN HOUSE





## GENERAL NOTES

1. TEMPORARILY SHORE STRUCTURE AND REMOVE EXISTING BLOCKING FROM EXISTING PIERS. PROVIDE NEW COPPER TERMITE SHIELDS AND SHIMS AS REQUIRED TO LEVEL.
2. COORDINATE FINAL DIMENSIONS WITH EXISTING CONDITIONS OF OVERALL SITE.
3. PROVIDE BLOCKING IN WALL FOR ALL WALL MOUNTED ACCESSORIES

## KEYNOTE LEGEND

- 0612 2X6 STUD WALL @ 16" O.C. OUTBOARD OF EXISTING FRAMING TYPICAL  
0613 3/4" T&G PLYWOOD DECK; (STURDI FLOOR)  
0614 NEW 4X6 TREATED FRAMING @ EXISTING STAIRWELL OPENING  
0615 WINDOW SEAT TYP., W/ HINGED LID TYP.  
0618 LINE OF EDGE OF PLYWOOD DECKING  
0625 NEW 5/4" X 3 1/2" PTD. T&G TREATED WOOD DECK ON TREATED 2X8'S @ 16" O.C.  
0626 9'-0" HIGH OPENING  
0627 10'-8" HIGH OPENING  
0628 CENTER WINDOW IN SPACE  
0629 CENTER WINDOW OVER LAVATORY  
0636 WIRE SHELF TYP.  
0637 LINE OF 9'-0" CEILING ABV.  
0638 PTD. 2" THICK TREATED WOOD STEPS W/CLOSED IN 2" PTD. TREATED RISERS  
0639 NEW 4" CONC. WALK IN 8X6 6/6 W/WF  
0694 PROVIDE DBL. FRAMING AT FAN LOCATION USING 2 - 2 X 6'S W/ 2 X 4 SPACER TO SHOW POWER FOR EACH FAN. PROVIDE 7 1/2" X 7 1/2" PTD. BLOCK TO MOUNT FAN @ BOTTOM OF FRAMING  
0697 ALL ATTIC WALLS EXCEPT BATHROOM SEPARATING WALL  
0821 COVERED DOOR  
0933 BUILT IN IRONING BOARD  
0934 3'-0" HIGH COUNTER TYP.  
2202 PLUMBING FIXTURE; REFER TO A232 FOR SELECTION  
2602 ELECTRICAL PANEL  
3227 NEW FENCE; RE: 17/A700  
3235 NEW DORMER MATCH EXISTING  
3238 BRICK WALK TO REMAIN; PROVIDE NEW CONCRETE & SALVAGED BRICK AT THIS AREA  
3239 3/8" PVC NICKEL BOARD RUN HORIZONTALLY ON 1/2" PLYWOOD ON THIS WALL  
3427 FAN DOWN @ 4'-0" AFF.  
3425 FREESTANDING TUB  
3426 OAK HANDBAIL WITH BRUSHED NICKEL STANDOFF SUPPORTS @ 3'-0" O.C. PROVIDE BLOCKING IN WALL

## FINISH FLOOR LEGEND

- NEW COMPOSITE DECKING  
NEW WOOD FLOORING  
NEW CERAMIC TILE

## WALL LEGEND

- EXISTING WALL  
NEW WALL  
2X4 PARTITION  
2X6 PARTITION  
2" TRENCH DRAIN

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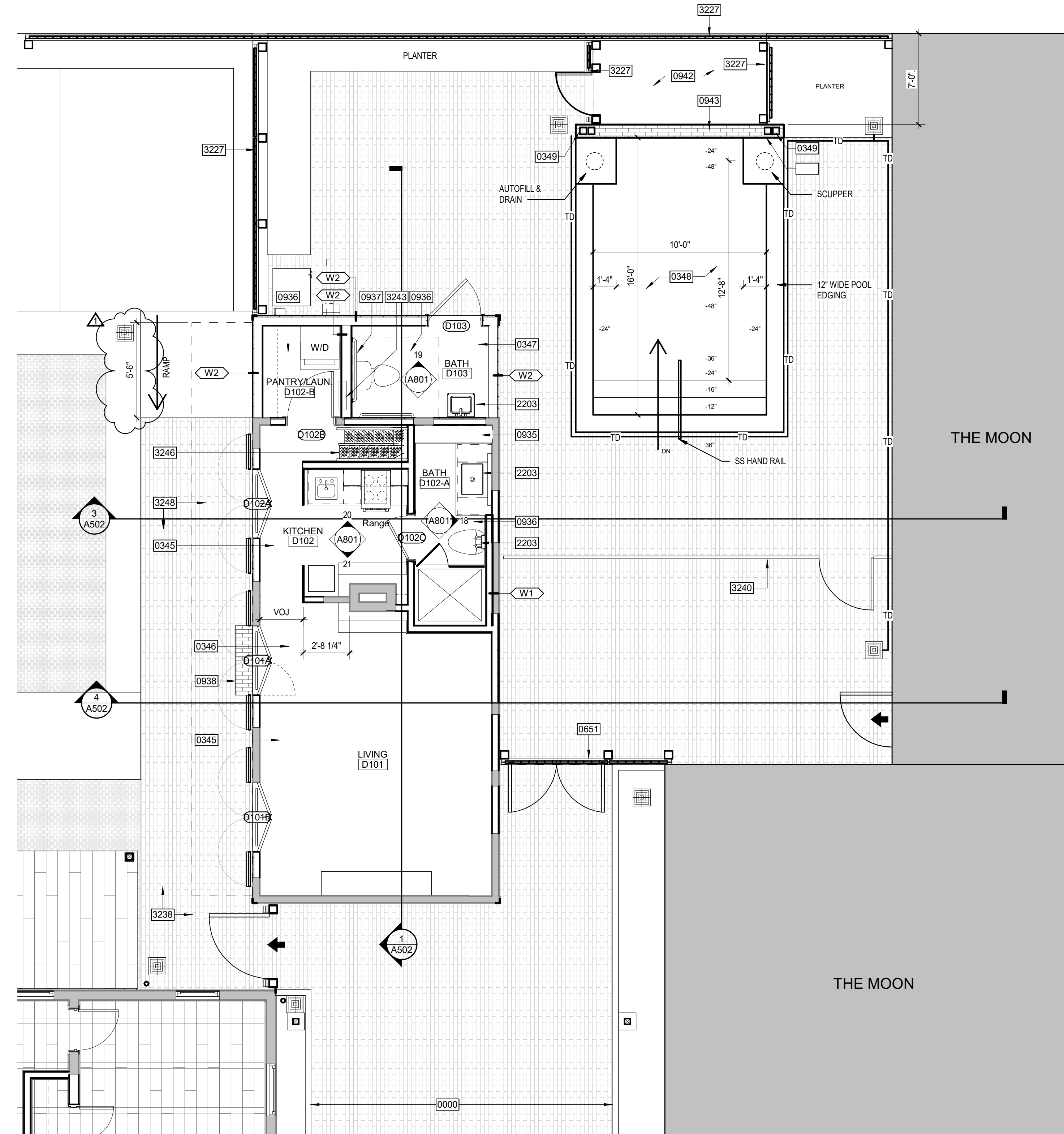
A211

FLOOR PLAN - MAIN HOUSE

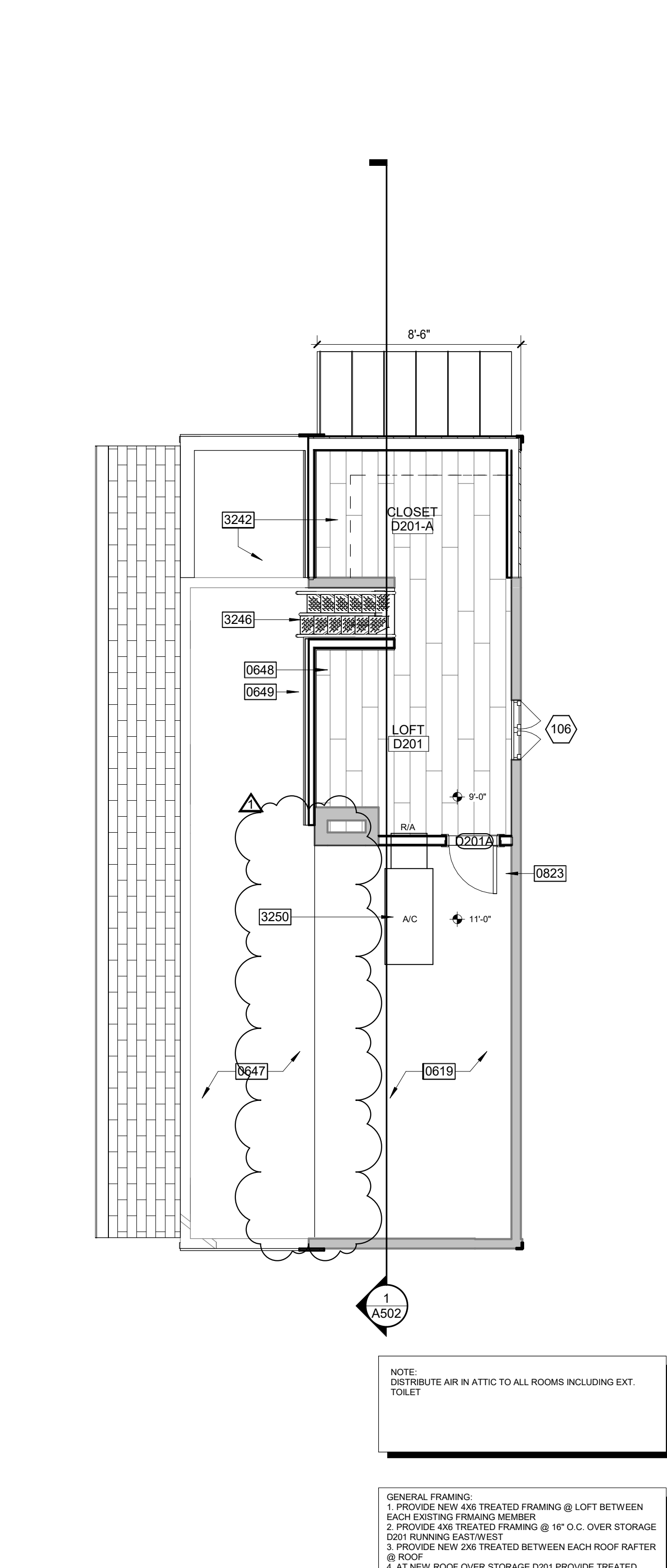
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1 Floor Plan - Dependency  
1/4" = 1'-0"



2 DEPENDANCY - LOFT  
1/4" = 1'-0"

## GENERAL NOTES

1. TEMPORARILY SHORE STRUCTURE AND REMOVE EXISTING BLOCKING FROM EXISTING PIERS. PROVIDE NEW COPPER TERMITE SHIELDS AND SHIMS AS REQUIRED TO LEVEL.
2. COORDINATE FINAL DIMENSIONS WITH EXISTING CONDITIONS OF OVERALL SITE.
3. PROVIDE BLOCKING IN WALL FOR ALL WALL MOUNTED ACCESSORIES

## KEYNOTE LEGEND

- 0000 RUN CONCRETE TO EXISTING FLOOR AROUND PERIMETER 8" WIDE W/ 1-#5 CONTINUOUS
- 0346 PROVIDE 4" TOPPING SLAB W/ 6X6 6/6 WWF ON STYROFOAM FILL TO MATCH LEVEL OF FIREPLACE HEARTH TYPICAL
- 0347 NEW CONCRETE FOUNDATION AT ADDITION. MATCH HEIGHT OF NEW TOPPING SLAB AT EXISTING
- 0348 POOL BY OTHERS COORDINATE W/ SEP. CONTRACTOR
- 0349 FILL CELLS W/ 1 - #5 & CONCRETE @ 32" O.C.
- 0619 3/4" PLYWOOD DECKING
- 0647 PROVIDE NEW TRTED 2X6 BETWEEN EACH 4X4 @ CEILING JOIST & RAFTERS
- 0648 3'-6" CLEAR HEAD HEIGHT
- 0649 FRAME WALL TO DECK
- 0651 2 - 3'-0" WIDE GATES & WALL VENT W/INSECT SCREEN
- 0823 ATTIC ACCESS
- 0935 12" DEEP CABINET; 7'-0" HIGH
- 0936 8' CLG HEIGHT
- 0937 ADA GRAB BAR
- 0938 NEW BRICK EXTENSION FROM DOOR
- 0942 POOL EQUIPMENT
- 0943 8" CMU W/ TILE 3 SIDES TO 8'-0" AFF W/ CONC FILLED CELLS 4 #5'S IN 4 CELLS
- 2203 PLUMBING FIXTURE; REFER TO A234 FOR SELECTION
- 3227 NEW FENCE; RE: 17/A700
- 3238 BRICK WALK TO REMAIN; PROVIDE NEW CONCRETE & SALVAGED BRICK AT THIS AREA
- 3240 POOL FENCE W/ GATE; FUTURE
- 3242 4X6 JOISTS @ 16" O.C. RUNNING EAST-WEST @ NEW ADDITION CEILING / FLOOR
- 3243 ELEC. PANEL
- 3246 ALTERNATING TREAD DEVICE FIELD BUILD THIS UNIT USING OAK MATCH ALTERNATING TREAD DEVICE CONFIGURATION
- 3248 EXISTING BRICK WALK TO REMAIN
- 3250 HORIZONTAL HVAC IN DRIP PAN W/FLOAT SWITCH

## FINISH FLOOR LEGEND

- NEW COMPOSITE DECKING
- NEW WOOD FLOORING
- NEW CERAMIC TILE

## WALL LEGEND

- EXISTING WALL
- NEW WALL
- 2X4 PARTITION
- 2X6 PARTITION
- 2" TRENCH DRAIN

NOTE: DISTRIBUTE AIR IN ATTIC TO ALL ROOMS INCLUDING EXT. TOILET

GENERAL FRAMING:  
1. PROVIDE NEW 4X6 TREATED FRAMING @ LOFT BETWEEN EACH EXISTING FRAMING MEMBER  
2. PROVIDE 4X6 TREATED FRAMING @ 16" O.C. OVER STORAGE D201 RUNNING EAST/WEST  
3. PROVIDE NEW 2X6 TREATED BETWEEN EACH ROOF RAFTER @ ROOF  
4. AT NEW ROOF OVER STORAGE D201 PROVIDE TREATED 2X6'S @ 16" O.C.

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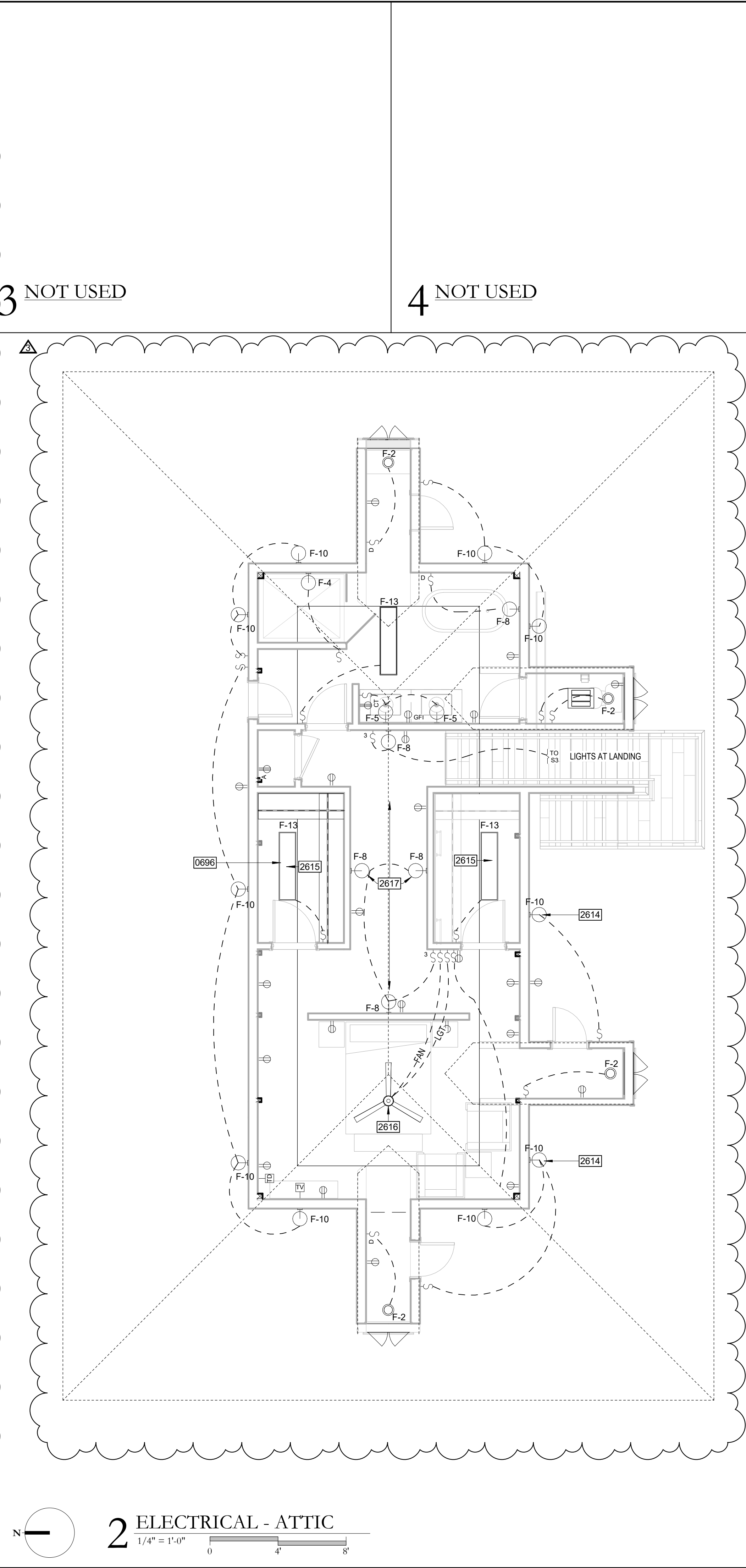
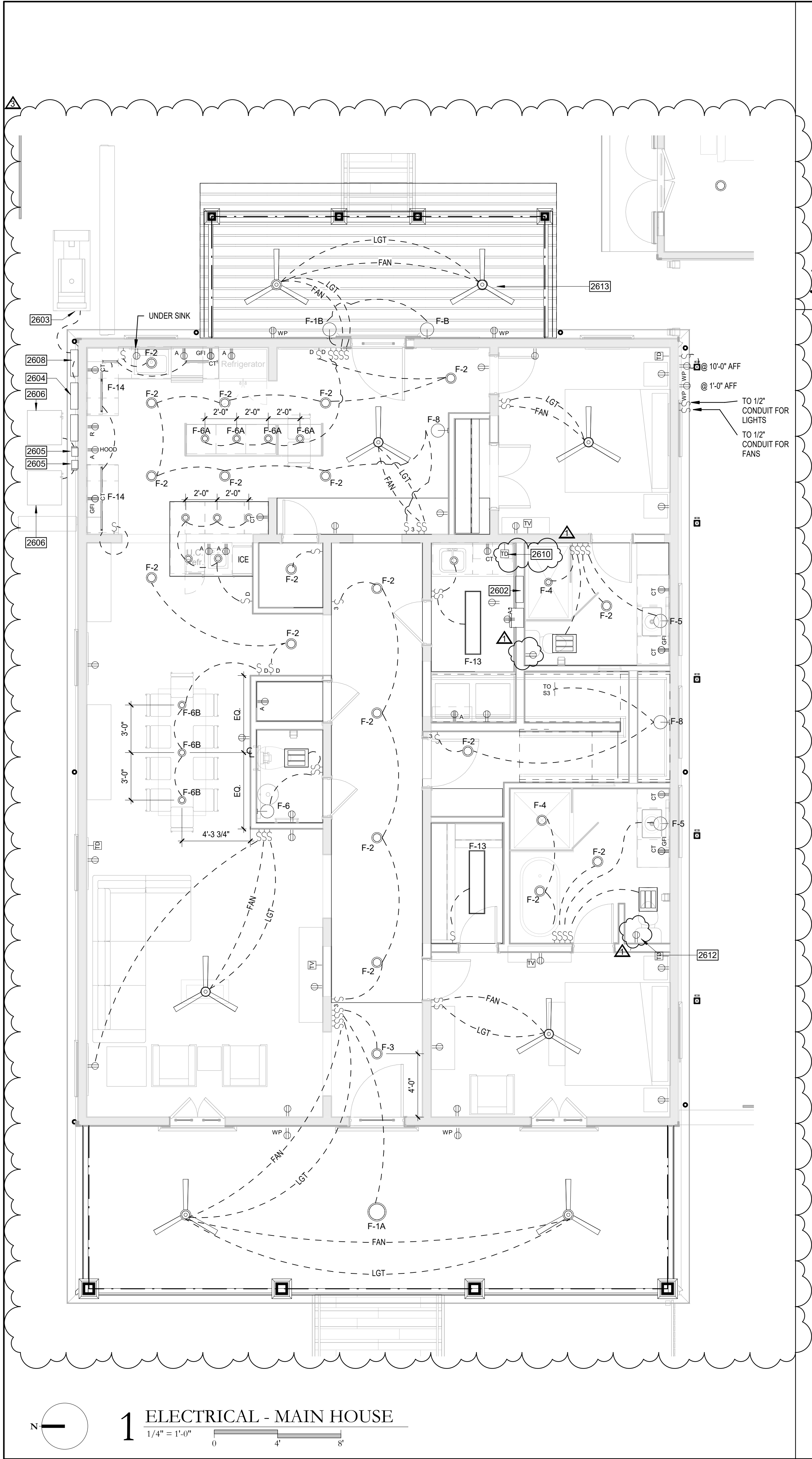
**A212**  
FLOOR PLAN -  
DEPENDANCY

H/S



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## GENERAL NOTES

1. CEILING GRIDS TO BE CENTERED IN ROOMS, U.N.O.
2. COORDINATE ALL MECHANICAL DUCTWORK, PIPING, SPRINKLER LINES, CABLE TRAYS, ETC. TO AVOID CONFLICTS WITH LIGHTS AND STRUCTURE.
3. THE LOCATION OF ALL DEVICES TO BE INSTALLED IN FLOORS, ON WALLS, AND CEILINGS, ASSOCIATED WITH MECHANICAL, ELECTRICAL, FIRE PROTECTION, SECURITY AND OTHER SUCH SYSTEMS, NOT SPECIFICALLY INDICATED ON THE DRAWINGS, BUT PART OF THE CONSTRUCTION CONTRACT, SHALL BE APPROVED BY THE ARCHITECT. FAILURE TO RECEIVE APPROVAL WILL BE CAUSE FOR REMOVAL AND RELOCATION AT NO COST TO THE OWNER.
4. ALL MECHANICAL, HVAC, PLUMBING, AND ELECTRICAL SIZING BY RESPECTIVE SUB CONTRACTOR.

## KEYNOTE LEGEND

- 2602 ELECTRICAL PANEL  
2603 22 KW GENERATOR SUPPLIED & INSTALLED BY OWNER  
2604 ELECTRICAL SERVICE - 2 METERS  
2605 OUTDOOR COMPRESSOR DISCONNECT  
2606 GENERATOR ATS SUPPLIED & INSTALLED BY OWNER  
2610 PROVIDE 3/4" CONDUIT FROM TD TO SERVICE POINT ON ROYAL STREET SIDE NEAR ELEC. SERVICE VERIFY EXACT LOCATION  
2612 MOUNT 13" AFF ALL TOILETS TYP.  
2613 RUN POWER FOR FANS @ DBL FRAMING SEE NOTE ON SHEET A211  
2614 MOUNT AS HIGH AS POSSIBLE TYP.  
2615 MOUNT LIGHT (F-13) BOTH BELOW COLLARS, VERIFY EXACT LOC.  
2616 MOUNT FAN TO BOTTOM OF JOIST PROVIDE FRAMING AS REQ. CONFIRM EXACT LOC.  
2617 MOUNT @ 7'-0" A.F.F.

## ELECTRICAL/RCP LEGEND

- CEILING FAN AND LIGHT KIT
- WALL SCONCE (UP AND DOWN ILLUMINATION)
- SUSPENDED PENDANT LIGHT FIXTURE
- HVL
- 6" LED SURFACE MOUNT LIGHT FIXTURE
- 4" LED SURFACE MOUNT FIXTURE
- 2" CABLE / CLG MOUNT LIGHT FIXTURE
- DUPLEX WALL RECEPTACLE, MOUNTED 18" A.F.F.
- DUPLEX WALL RECEPTACLE, MOUNTED ABV COUNTER
- GFCI DUPLEX WALL RECEPTACLE
- GFCI DUPLEX WALL RECEPTACLE, MOUNTED ABV COUNTER
- APPLIANCE RECEPTACLE  
(CONFIRM AMPERAGE FOR APPLIANCE HOOKUP)
- 120/250 VOLT, 1-PHASE, 3-WIRE RANGE RECEPTACLE  
(CONFIRM AMPERAGE FOR APPLIANCE HOOKUP)
- SINGLE TOGGLE SWITCH
- THREE WAY SWITCH
- DIMMER SWITCH
- DIMMING THREE WAY SWITCH
- TV WALL OUTLET
- DATA OUTLET
- PHOTO SENSOR
- LAMP: WALL BRACKET
- ATTIC ACCESS DOOR
- ATTIC POWER VENT

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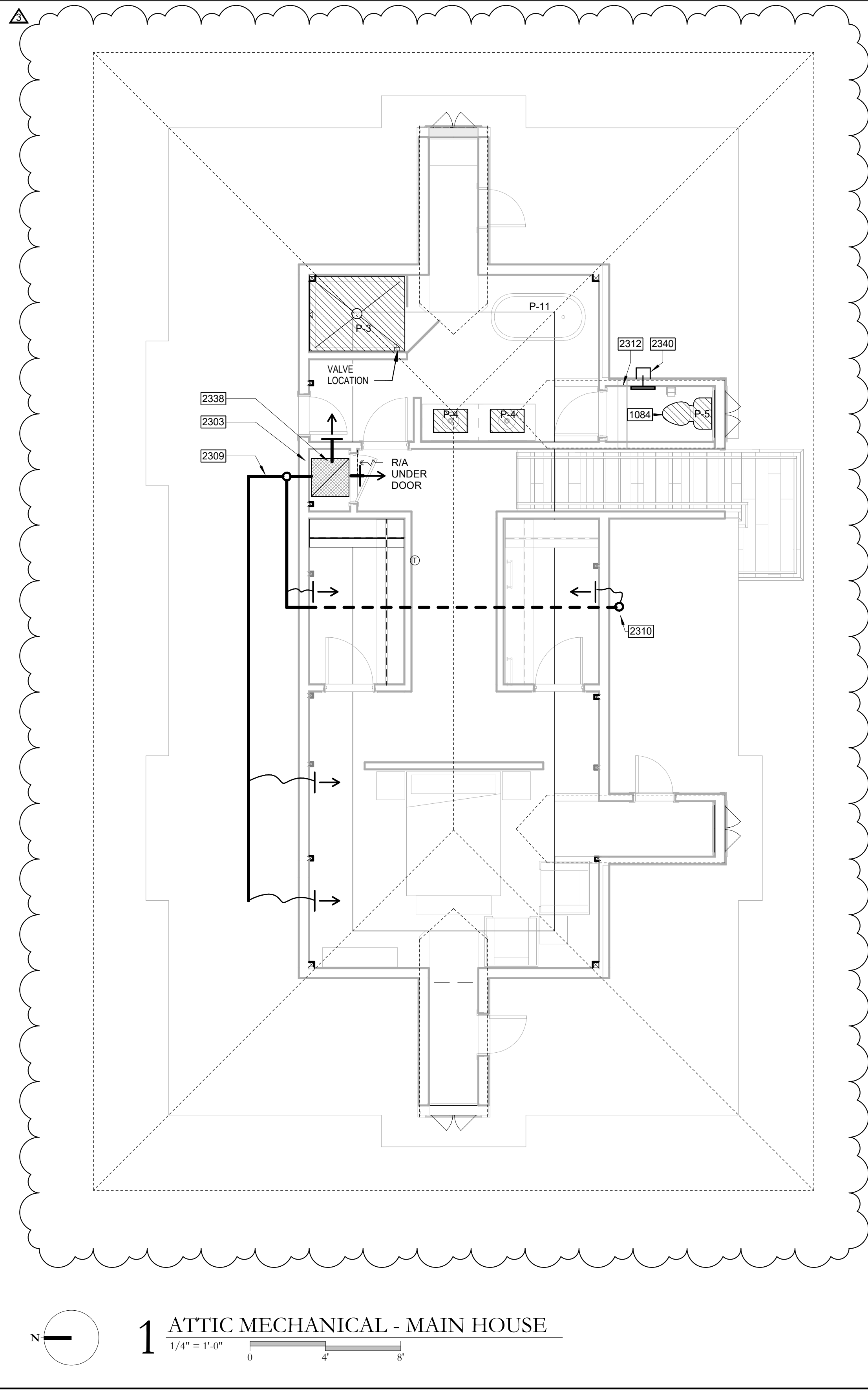
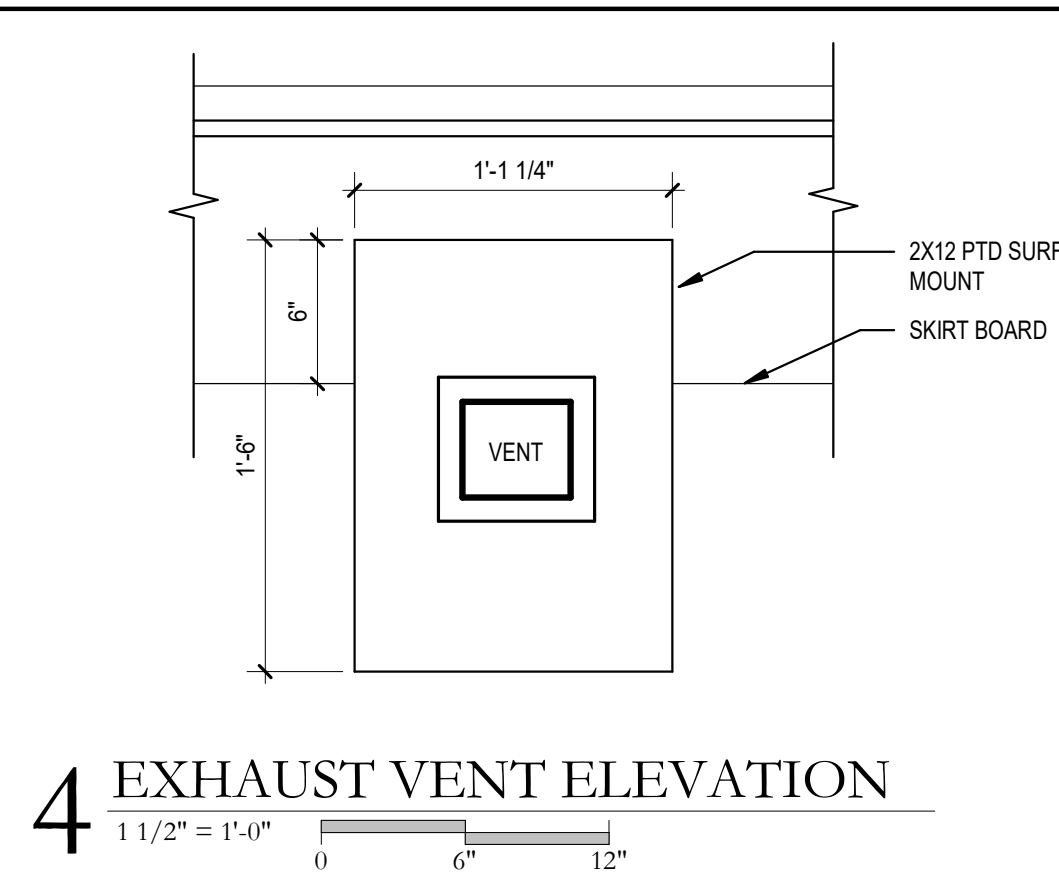
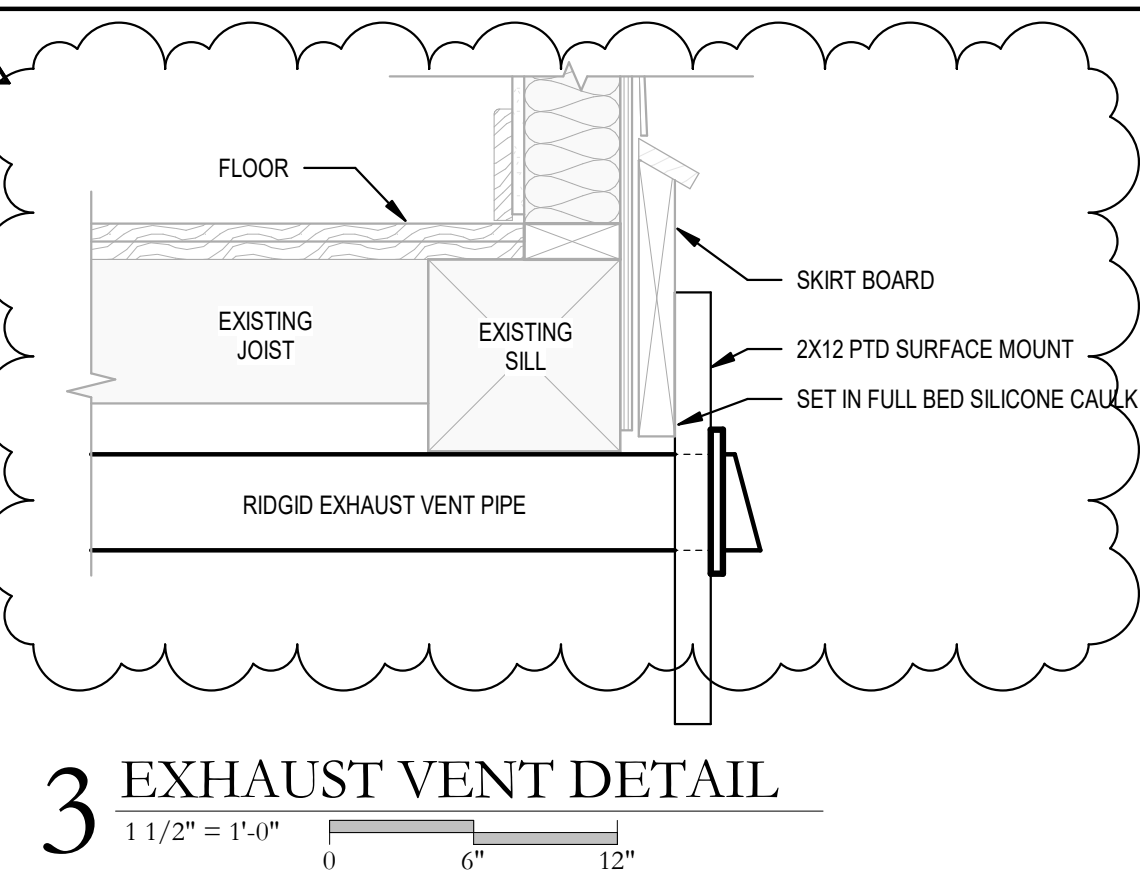
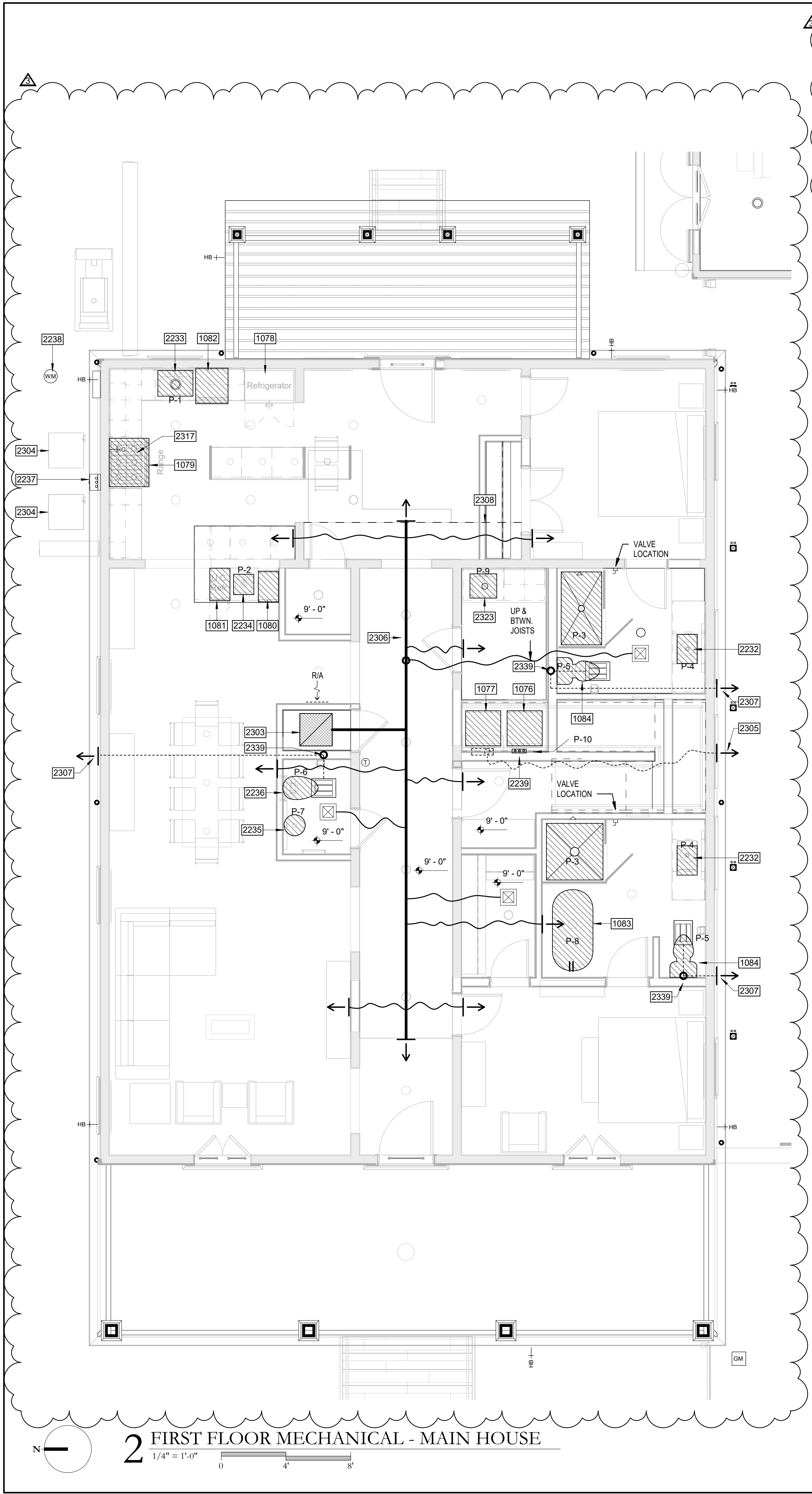
A231

ELECTRICAL PLAN - MAIN  
HOUSE

H/S

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## GENERAL NOTES

1. CEILING GRIDS TO BE CENTERED IN ROOMS, U.N.O.
2. COORDINATE ALL MECHANICAL DUCTWORK, PIPING, SPRINKLER LINES, CABLE TRAYS, ETC. TO AVOID CONFLICTS WITH LIGHTS AND STRUCTURE.
3. THE LOCATION OF ALL DEVICES TO BE INSTALLED IN FLOORS, ON WALLS, AND CEILINGS, ASSOCIATED WITH MECHANICAL, ELECTRICAL, FIRE PROTECTION, SECURITY AND OTHER SUCH SYSTEMS, NOT SPECIFICALLY INDICATED ON THE DRAWINGS, BUT PART OF THE CONSTRUCTION CONTRACT, SHALL BE APPROVED BY THE ARCHITECT. FAILURE TO RECEIVE APPROVAL WILL BE CAUSE FOR REMOVAL AND RELOCATION AT NO COST TO THE OWNER.
4. ALL MECHANICAL, HVAC, PLUMBING, AND ELECTRICAL SIZING BY RESPECTIVE SUB CONTRACTOR.

## KEYNOTE LEGEND

- 1076 WASHER; BY OWNER  
1077 DRYER; BY OWNER  
1078 REFRIGERATOR; BY OWNER  
1079 RANGE; BY OWNER  
1080 ICE MAKER; BY OWNER  
1081 BEVERAGE COOLER; BY OWNER  
1084 TOILET  
2332 KOHLER VOX VESSEL K-266-1-0  
2333 RUVATI MODENA TOP MOUNT 32" #RVM5176  
2334 RUVATI TIRANA 15"X15" @RVH8115  
2335 KOHLER VEIL TALL #K-20703-N-0  
2336 IN WALL TANK AND KOHLER TOILET  
2337 GAS TANKLESS WATER HEATER; 11.3 GPM MIN.  
2338 EXISTING WATER METER LOCATION  
2339 WASHER SUPPLY AND DRAIN FITTING  
2303 HVAC AIR HANDLER; SIZING BY CONTRACTOR  
2305 EXHAUST VENT UNDER HOUSE TO PERIMETER  
2306 DUCT RISE BETWEEN JOISTS  
2307 EXHAUST VENT DOWN THRU WALL TO PERIMETER  
2308 9'-0" DUCT FUR DOWN  
2312 WALL MOUNT EXHAUST TO ROOF JACK  
2317 RANGE EXHAUST THROUGH WALL TO EXTERIOR, VERIFY HEIGHT  
2323 RUVATI 25" X 22" S.S UTILITY SINK MODEL # RXU6015  
2339 RUN DOWN AND UNDER RE: 4 A232

## MECH. / PLUMBING LEGEND

- SUPPLY AIR SIDEWALL GRILLE  
→ SUPPLY AIR SIDEWALL GRILLE  
~ INSULATED FLEXIBLE DUCTWORK  
— INSULATED SHEET METAL SUPPLY AIR DUCTWORK / PLENUM  
☒ CEILING SUPPLY AIR GRILLE  
○ 6" VENT LIGHT  
AIR HANDLER WITH ELECTRIC HEAT STRIP; PROVIDE SECONDARY GALVANIZED DRAIN PAN WITH FLOAT SWITCH; VERIFY SERVICE CLEARANCE FOR FAN SHAFT AND COIL REMOVED WITH EQUIPMENT MANUFACTURER; COORDINATE WITH ALL TRADES NOT TO OBSTRUCT  
PLUMBING FIXTURE / APPLIANCE; PROVIDE NECESSARY WATER SUPPLY, SANITARY SEWER, AND OTHER CONNECTIONS AS NECESSARY FOR A COMPLETE AND OPERATIONAL INSTALLATION  
— RETURN AIR SIDEWALL GRILLE  
T THERMOSTAT  
GM GAS METER  
WM WATER METER  
HB HOSE BIB  
G GAS FEED

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631 DESIRE, LLC.  
**RESIDENCE AT 639 DESIRE**  
639 DESIRE ST., NEW ORLEANS, LA

NO.	DESCRIPTION	DATE
2	REVISION 2	07/19/22
3	REVISION 3	07/28/22

PROJECT NO.	22014
PHASE	CD
DATE	05/15/2022
PROJECT MANAGER	MH
QUALITY CONTROL	MH

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CONSTRUCTION  
DOCUMENTS

**A232**

MECHANICAL PLAN - MAIN  
HOUSE

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3 NOT USED

4 NOT USED

5 NOT USED

KEYNOTE LEGEND

2336

ROOF MOUNTED THERMOSTATICALLY CONTROLLED EXHAUST VENT

2602

ELECTRICAL PANEL

2605

OUTDOOR COMPRESSOR DISCONNECT

2606

HVAC CONDENSER

2609

PROVIDE AN OUTDOOR SWITCH TO CONTROL LIGHTING

2611

MAKE ONE OUTLET ON SWITCH ONLY

2618

PHOTOCELL & SWITCH CONTROLLED

GENERAL NOTES

1.

CEILING GRIDS TO BE CENTERED IN ROOMS. U.N.O.

2.

COORDINATE ALL MECHANICAL DUCTWORK, PIPING, SPRINKLER LINES, CABLE TRAYS, ETC. TO AVOID CONFLICTS WITH LIGHTS AND STRUCTURE.

3.

THE LOCATION OF ALL DEVICES TO BE INSTALLED IN FLOORS, ON WALLS, AND CEILINGS, ASSOCIATED WITH MECHANICAL, ELECTRICAL, FIRE PROTECTION, SECURITY AND OTHER SUCH SYSTEMS, NOT SPECIFICALLY INDICATED ON THE DRAWINGS, BUT PART OF THE CONSTRUCTION CONTRACT, SHALL BE APPROVED BY THE ARCHITECT. FAILURE TO RECEIVE APPROVAL WILL BE CAUSE FOR REMOVAL AND RELOCATION AT NO COST TO THE OWNER.

4.

ALL MECHANICAL, HVAC, PLUMBING, AND ELECTRICAL SIZING BY RESPECTIVE SUB CONTRACTOR.

ELECTRICAL/RCP LEGEND

CEILING FAN AND LIGHT KIT

WALL SCONCE (UP AND DOWN ILLUMINATION)

SUSPENDED PENDANT LIGHT FIXTURE

HVL

6" LED SURFACE MOUNT LIGHT FIXTURE

4" LED SURFACE MOUNT FIXTURE

2" CABLE / CLG MOUNT LIGHT FIXTURE

DUPLEX WALL RECEPTACLE, MOUNTED 18" A.F.F.

DUPLEX WALL RECEPTACLE, MOUNTED ABV COUNTER

GFCI DUPLEX WALL RECEPTACLE

GFCI DUPLEX WALL RECEPTACLE, MOUNTED ABV COUNTER

APPLIANCE RECEPTACLE  
(CONFIRM AMPERAGE FOR APPLIANCE HOOKUP)

120/250 VOLT, 1-PHASE, 3-WIRE RANGE RECEPTACLE  
(CONFIRM AMPERAGE FOR APPLIANCE HOOKUP)

SINGLE TOGGLE SWITCH

THREE WAY SWITCH

DIMMER SWITCH

DIMMING THREE WAY SWITCH

TV WALL OUTLET

DATA OUTLET

PHOTO SENSOR

LAMP; WALL BRACKET

ATTIC ACCESS DOOR

ATTIC POWER VENT

1

ELECTRICAL - DEPENDENCY

1/4" = 1'-0"

0

4'

8'

2

ELECTRICAL - LOFT

1/4" = 1'-0"

0

4'

8'

NO. DESCRIPTION DATE

1

REVISION 1

06/01/22

2

REVISION 2

07/19/22

3

REVISION 3

07/28/22

PROJECT NO.

22014

PHASE

CD

DATE

05/15/2022

PROJECT MANAGER

MH

QUALITY CONTROL

MH

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CONSTRUCTION DOCUMENTS

A233

ELECTRICAL PLAN - DEPENDENCY

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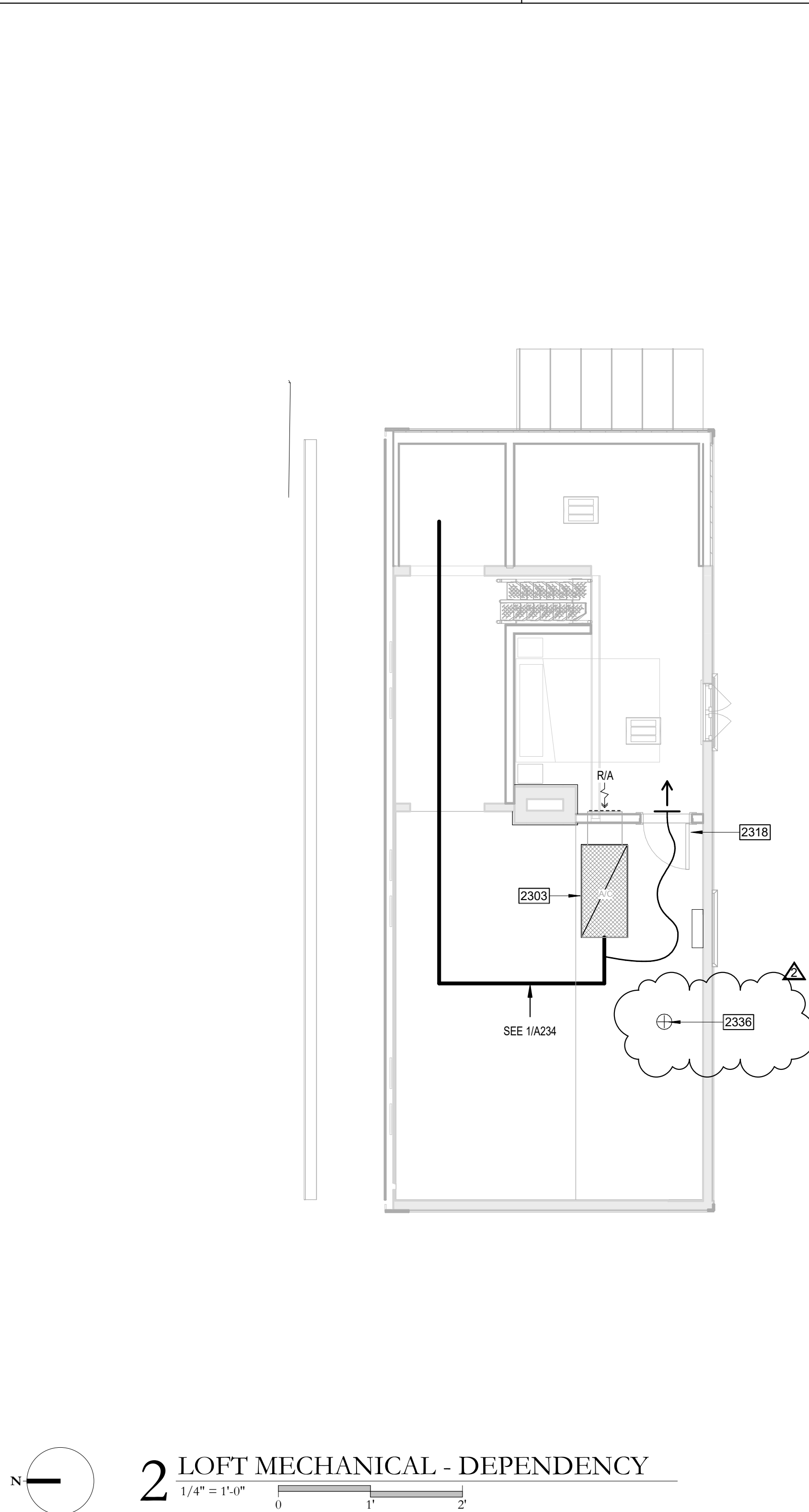
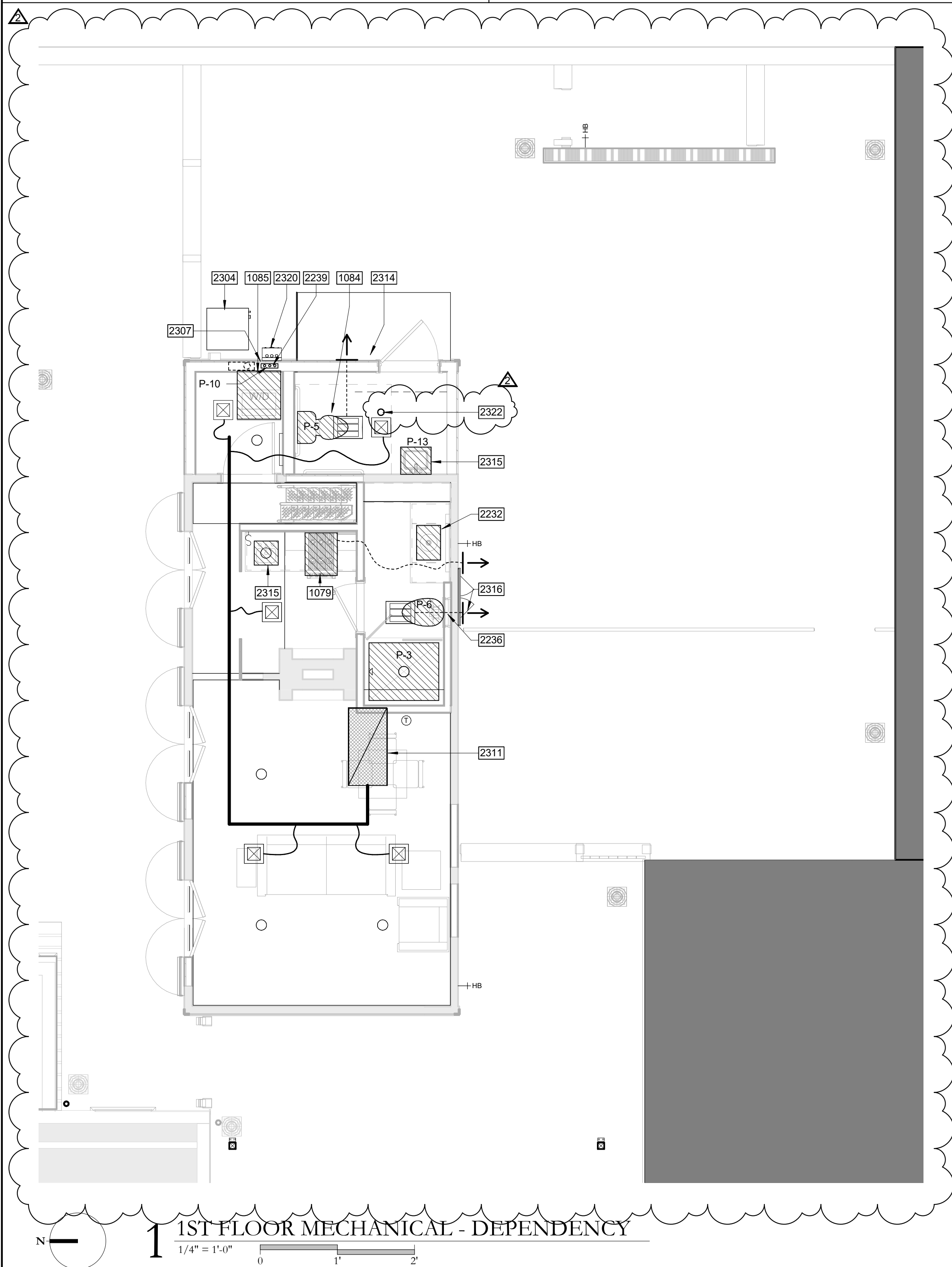
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1 NOT USED

1 NOT USED

1 NOT USED

1 NOT USED
















## GENERAL NOTES

1. CEILING GRIDS TO BE CENTERED IN ROOMS, U.N.O.
2. COORDINATE ALL MECHANICAL DUCTWORK, PIPING, SPRINKLER LINES, CABLE TRAYS AND ALL OTHER VARIOUS TYPES OF STRUCTURES.
3. THE LOCATION OF ALL DEVICES TO BE INSTALLED IN FLOORS, ON WALLS, AND CEILINGS, ASSOCIATED WITH MECHANICAL, ELECTRICAL, FIRE PROTECTION, PLUMBING AND OTHER CONSTRUCTION, SHALL BE SPECIFIED IN THE CONTRACT DRAWINGS, BUT PART OF THE CONSTRUCTION CONTRACT, SHALL BE APPROVED BY THE ARCHITECT. FAILURE TO RECEIVE APPROVAL WILL BE CAUSE FOR REMOVAL AND RELOCATION AT NO COST TO THE OWNER.
4. ALL MECHANICAL, HVAC, PLUMBING, AND ELECTRICAL SIZING BY RESPECTIVE SUB CONTRACTOR.

## KEYNOTE LEGEND

- |      |  |
|------|--|
| 1079 | RANGE; BY OWNER  |
| 1084 | TOILET   |
| 1085 | WASHER/DRYER COMBO                                       |
| 2236 | IN WALL TANK AND KOHLER TOILET                           |
| 2239 | WASHER SUMP AND DRAIN FITTING                            |
| 2304 | HVAC CONDENSER; SIZING TO BE DETERMINED                  |
| 2307 | EXHAUST VENT DOWN THRU WALL TO PERMETER                  |
| 2311 | HVAC AIR HANDLER IN ATTIC ABOVE; SIZING TO BE DETERMINED |
| 2314 | VENT UP WALL & OUT ABOVE ROOF                            |
| 2315 | SINK   |
| 2316 | VENT BETWEEN JOISTS & THRU WALL                          |
| 2318 | KEEP HIGH & CLEAR OF ACCESS DOOR                         |
| 2320 | WALL MOUNTED GAS TANKLESS WATER HEATER                   |
| 2322 | NEW FLOOR DRAIN  |

## MECH. / PLUMBING LEGEND

- |   |   |
|---|---|
|  | SUPPLY AIR SIDEWALL GRILLE  |
|  | INSULATED FLEXIBLE DUCTWORK   |
|  | INSULATED SHEET METAL SUPPLY AIR DUCTWORK / PLENUM  |
|  | CEILING SUPPLY AIR GRILLE   |
|  | 6" VENT LIGHT   |
|  | AIR HANDLER WITH ELECTRIC HEAT STRIP; PROVIDE SECONDARY GALVANIZED DRAIN PAN WITH FLOAT SWITCH; VERIFY SERVICE CLEARANCE FOR FAN SHAFT AND COIL REMOVED WITH EQUIPMENT MANUFACTURER; COORDINATE WITH ALL TRADES NOT TO OBSTRUCT |
|  | PLUMBING FIXTURE / APPLIANCE; PROVIDE NECESSARY WATER SUPPLY, SANITARY SEWER, AND OTHER CONNECTIONS AS NECESSARY FOR A COMPLETE AND OPERATIONAL INSTALLATION  |
|  | RETURN AIR SIDEWALL GRILLE  |
|  | THERMOSTAT  |
|  | GAS METER   |
|  | WATER METER   |
|  | HOSE BIB  |
|  | GAS FEED  |

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RESIDENCE AT 639 DESIRE

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CONSTRUCTION  
DOCUMENTS

A234

### MECHANICAL PLAN DEPENDENCY

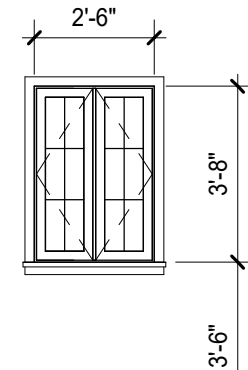
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GENERAL NOTES	
1.	VERIFY ALL DIMENSIONS IN FIELD.
2.	DIMENSIONS ARE TO ROUGH OPENING, UNO.
3.	SEE SPECIFICATIONS FOR FRAMING & SEALANT TYPES & COLOR.
4.	SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
5.	WINDOWS ARE SHOWN AS VIEWED FROM THE EXTERIOR.

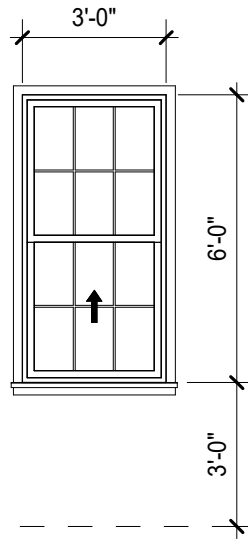
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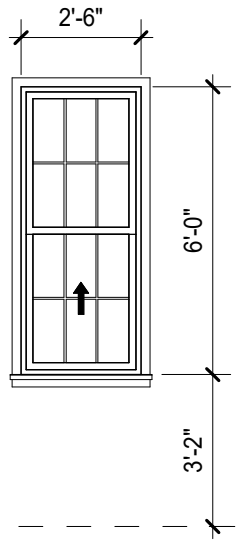
WINDOW SCHEDULE						
Type Mark	DESCRIPTION	QTY	WIDTH	HEIGHT	SILL HEIGHT	COMMENTS
101	WOOD SINGLE HUNG CLAD	5	3' - 0"	6' - 0"	3' - 0"	6 LITE OVER 6 LITE
102	WOOD SINGLE HUNG CLAD	2	2' - 6"	6' - 0"	3' - 2"	6 LITE OVER 6 LITE
103	WOOD SINGLE HUNG CLAD	2	2' - 8"	6' - 0"	3' - 2"	6 LITE OVER 6 LITE
104	WOOD FIXED W/ SASH CLAD	3	4' - 0"	2' - 0"	7' - 0"	3 LITE
105	WOOD FIXED W/ SASH CLAD	4	3' - 4"	1' - 6"	8' - 6"	1 LITE
106	WOOD FRENCH CASEMENT	1	2' - 6"	3' - 8"	3' - 6"	1 LITE; EACH PANEL
201	WOOD FRENCH CASEMENT	4	2' - 6"	3' - 8"	3' - 6"	4 LITE; EACH PANEL



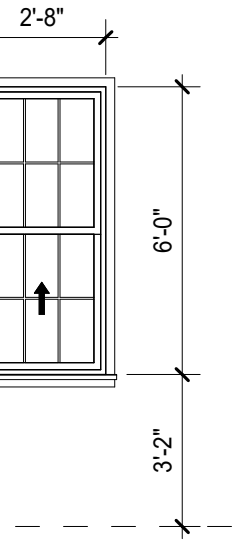
201  
EXTERIOR  
DOUBLE CASEMENT



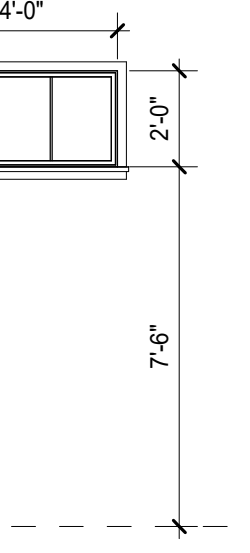
101  
EXTERIOR  
SINGLE HUNG WINDOW



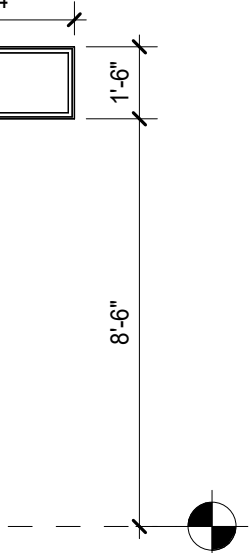
102  
EXTERIOR  
SINGLE HUNG WINDOW



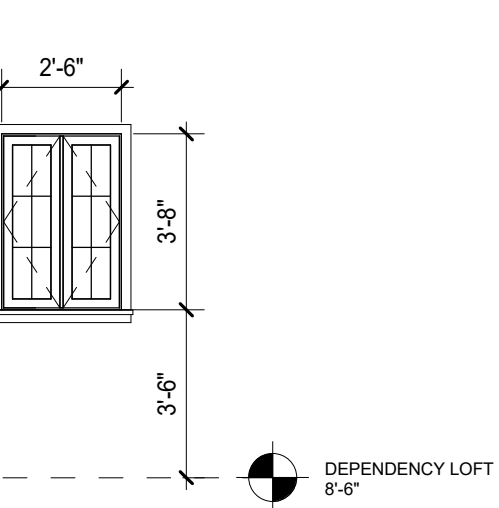
103  
EXTERIOR  
SINGLE HUNG WINDOW



104  
EXTERIOR  
FIXED WINDOW



105  
EXTERIOR  
TRANSOM FIXED WINDOW



106  
EXTERIOR  
DOUBLE FRENCH  
CASEMENT

WINDOW TYPES



GENERAL NOTES

1. VERIFY ALL DIMENSIONS IN FIELD.  
2. DIMENSIONS ARE TO ROUGH OPENING, UNO.  
3. SEE SPECIFICATIONS FOR FRAMING & SEALANT TYPES & COLOR.  
4. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.  
5. WINDOWS ARE SHOWN AS VIEWED FROM THE EXTERIOR.

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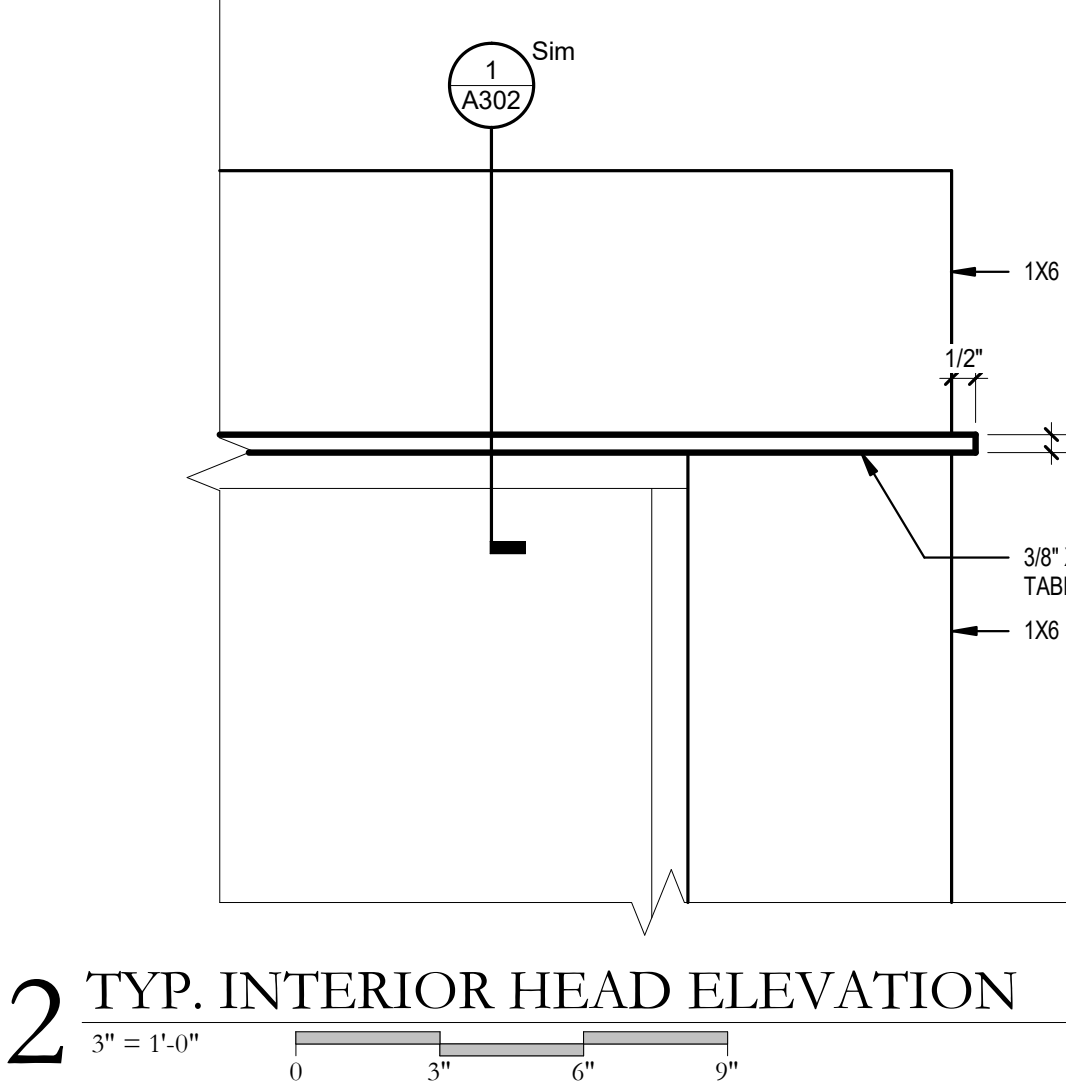
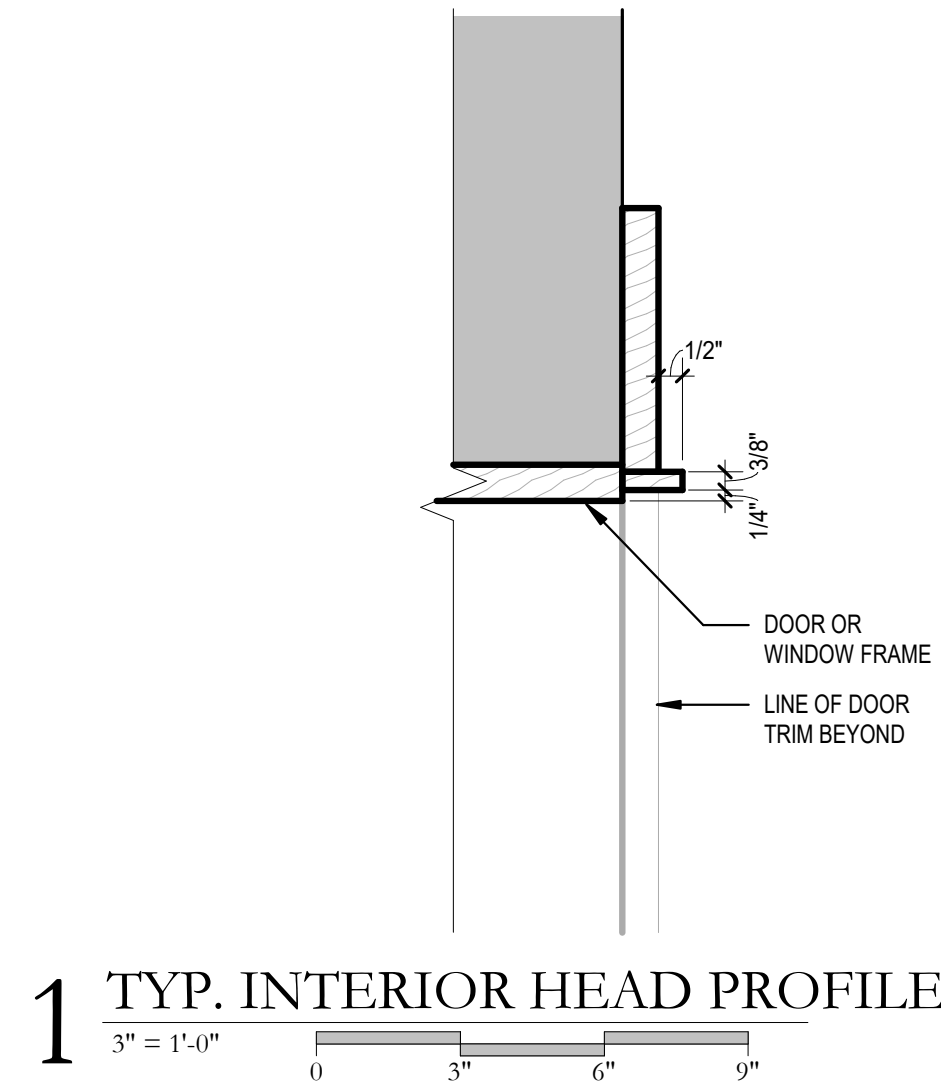
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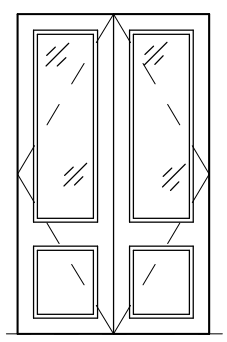
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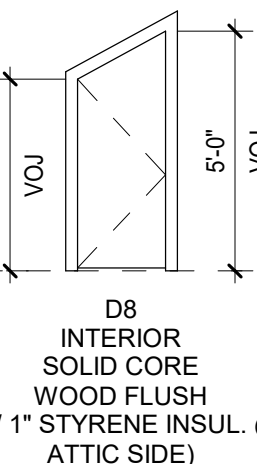
DOOR #	ROOM NAME	DOOR				MATERIAL	FRAME		COMMENTS
		WIDTH	HEIGHT	THICKNESS	TYPE		TYPE	MATERIAL	
101a	1/2 BATH	2' - 4"	8' - 0"	0' - 1 3/8"	D1	MOLDED MDF	PRE-HUNG	PRIMED WOOD	
101b	HVAC 1	2' - 6"	8' - 0"	0' - 1 3/8"	D1	MOLDED MDF	PRE-HUNG	PRIMED WOOD	
101c	UTILITY	2' - 8"	8' - 0"	0' - 1 3/8"	D1	MOLDED MDF	PRE-HUNG	PRIMED WOOD	
101d	CORRIDOR	2' - 6"	8' - 0"	0' - 1 3/8"	D1	MOLDED MDF	PRE-HUNG	PRIMED WOOD	
101e	CORRIDOR	3' - 4"	8' - 0"	0' - 1 3/4"	D3	WOOD PTD	FIELD HUNG	PRIMED WOOD	
101f	CORRIDOR	3' - 0"	6' - 8"	0' - 1 3/4"	D4	MOLDED MDF	PRE-HUNG	PRIMED WOOD	
102a	LIVING	3' - 6"	8' - 0"	0' - 1 3/4"	D4	WOOD PTD	FIELD HUNG	PRIMED WOOD	
103a	BED 2	2' - 4"	8' - 0"	0' - 1 3/8"	D1	MOLDED MDF	PRE-HUNG	PRIMED WOOD	
103b	BED 2	2' - 6"	8' - 0"	0' - 1 3/8"	D1	MOLDED MDF	PRE-HUNG	PRIMED WOOD	
103c	BED 2	3' - 6"	8' - 0"	0' - 1 3/4"	D4	WOOD PTD	FIELD HUNG	PRIMED WOOD	
106a	PANTRY	2' - 2"	8' - 0"	0' - 1 3/8"	D1	MOLDED MDF	PRE-HUNG	PRIMED WOOD	
106b	CORRIDOR	3' - 4"	8' - 0"	0' - 1 3/4"	D3	WOOD PTD	FIELD HUNG	PRIMED WOOD	
107a	CORRIDOR	2' - 4"	8' - 0"	0' - 1 3/8"	D1	MOLDED MDF	PRE-HUNG	PRIMED WOOD	
107c	BED 1	2' - 6"	8' - 0"	0' - 1 3/8"	D1	MOLDED MDF	PRE-HUNG	PRIMED WOOD	
107d	BED 1	4' - 0"	7' - 0"	0' - 1 3/4"	D6	MOLDED MDF	PRE-HUNG	PRIMED WOOD	
201a	BATHROOM	2' - 0"	5' - 0"	0' - 1 3/4"	D8	WOOD	FIELD HUNG	PRIMED WOOD	
201b	BATHROOM	2' - 4"	6' - 8"	0' - 1 3/8"	D9	MOLDED MDF	PRE-HUNG	PRIMED WOOD	
201c	BATHROOM	2' - 0"	5' - 0"	0' - 1 3/4"	D10	WOOD	FIELD HUNG	PRIMED WOOD	
201d	BATHROOM	2' - 4"	6' - 8"	0' - 1 3/8"	D5	WOOD	PRE-HUNG	PRIMED WOOD	
202a	HVAC 2	2' - 6"	4' - 4"	0' - 1 3/8"	D9	WOOD	PRE-HUNG	PRIMED WOOD	
202b	CL 4	2' - 6"	6' - 8"	0' - 1 3/4"	D9	MOLDED MDF	PRE-HUNG	PRIMED WOOD	
202c	CL 3	2' - 6"	6' - 8"	0' - 1 3/8"	D9	MOLDED MDF	PRE-HUNG	PRIMED WOOD	
203b	BED 3	2' - 0"	5' - 0"	0' - 1 3/4"	D8	WOOD	FIELD HUNG	PRIMED WOOD	
203c	BED 3	2' - 0"	5' - 0"	0' - 1 3/4"	D8	WOOD	FIELD HUNG	PRIMED WOOD	
D101A	LIVING	4' - 0"	6' - 8"	0' - 1 3/4"	D12	FIBERGLASS	PRE-HUNG	PRIMED WOOD	
D101B	LIVING	4' - 0"	6' - 8"	0' - 1 3/4"	D12	FIBERGLASS	PRE-HUNG	PRIMED WOOD	
D102A	KITCHEN	4' - 0"	6' - 8"	0' - 1 3/4"	D12	FIBERGLASS	PRE-HUNG	PRIMED WOOD	
D102B	PANTRY/LAUN.	2' - 8"	6' - 8"	0' - 1 3/8"	D9	MOLDED MDF	PRE-HUNG	PRIMED WOOD	
D102C	BATH	2' - 6"	6' - 8"	0' - 1 3/8"	D9	MOLDED MDF	PRE-HUNG	PRIMED WOOD	
D103	BATH	3' - 0"	6' - 8"	0' - 1 3/4"	D11	FIBERGLASS	PRE-HUNG	PRIMED WOOD	
D201A	LOFT	2' - 0"	5' - 0"	0' - 1 3/4"	D8	WOOD	FIELD HUNG	PRIMED WOOD	



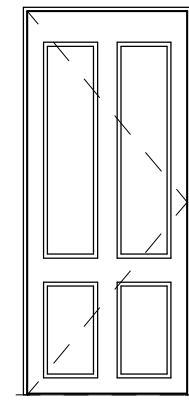
DOOR TYPES



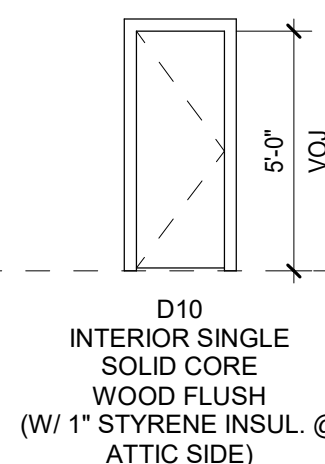
D7  
EXTERIOR 3/4 LITE  
DOUBLE  
WOOD AND GLASS



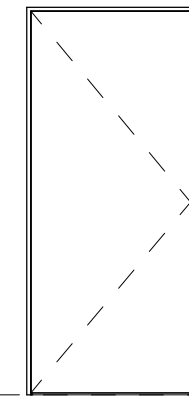
D8  
INTERIOR SOLID CORE  
WOOD FLUSH  
(W/ 1" STYRENE INSUL. @  
ATTIC SIDE)



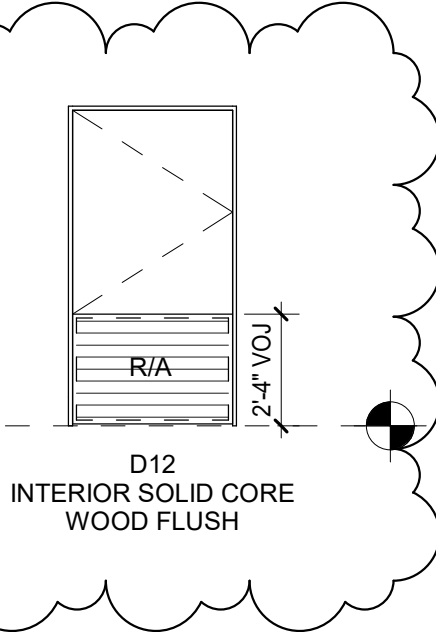
D9  
INTERIOR SINGLE  
MOLDED MDF  
SOLID CORE



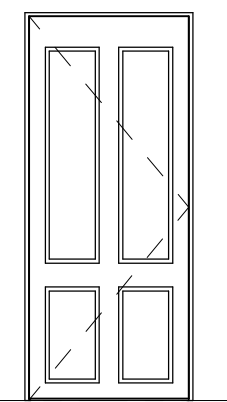
D10  
INTERIOR SINGLE  
SOLID CORE  
WOOD FLUSH  
(W/ 1" STYRENE INSUL. @  
ATTIC SIDE)



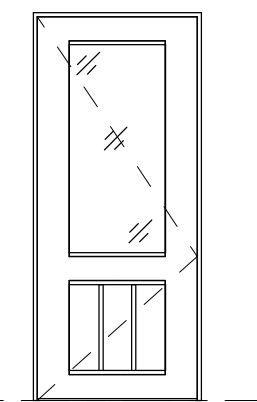
D11  
EXTERIOR SINGLE  
FIBERGLASS FLUSH  
INSULATED



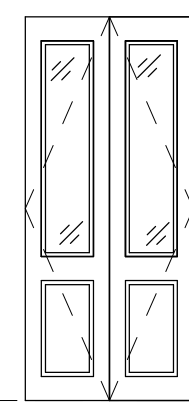
D12  
INTERIOR SOLID CORE  
WOOD FLUSH



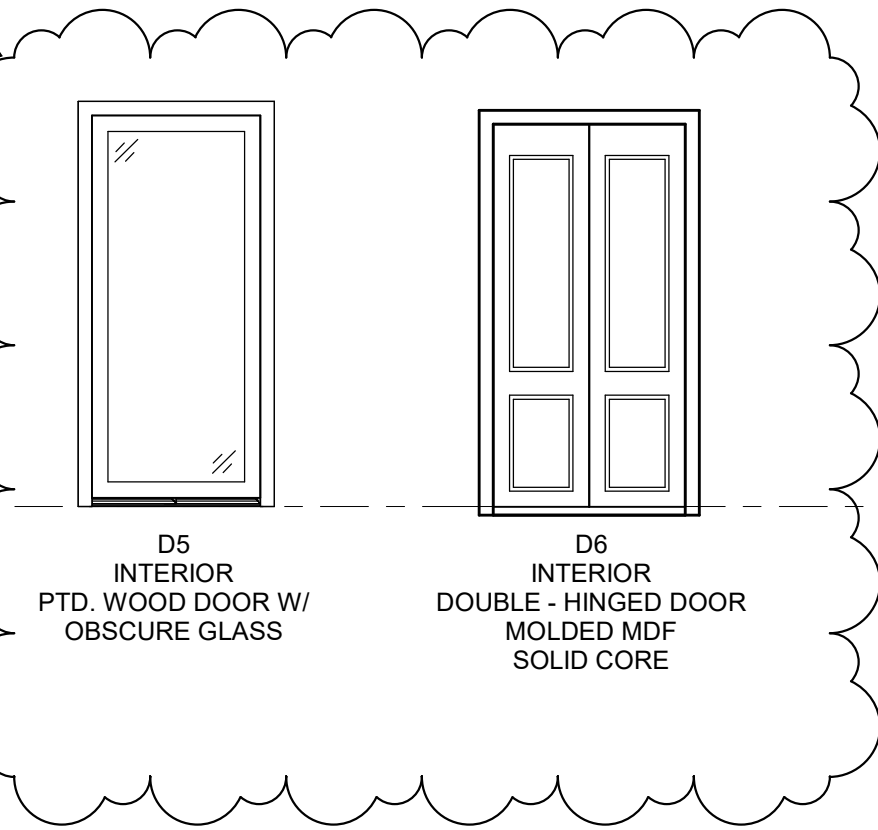
D1  
INTERIOR  
SINGLE  
MOLDED MDF  
SOLID CORE



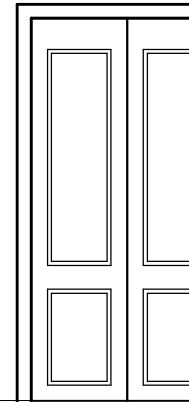
D3  
EXTERIOR 3/4 LITE  
SINGLE  
WOOD AND GLASS



D4  
EXTERIOR 3/4 LITE  
DOUBLE  
WOOD AND GLASS



D5  
INTERIOR  
PTD. HINGED DOOR W/  
OBSCURE GLASS



D6  
INTERIOR  
DOUBLE-HINGED DOOR  
MOLDED MDF  
SOLID CORE

NOTE:  
PROVIDE WEATHER STRIPPING & THRESHOLD @  
ALL EXTERIOR & ATTIC DOORS, TYP.



NO.	DESCRIPTION	DATE
3	REVISION 3	07/28/22

PROJECT NO.	22014
PHASE	CD
DATE	05/15/2022
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QUALITY CONTROL	MH

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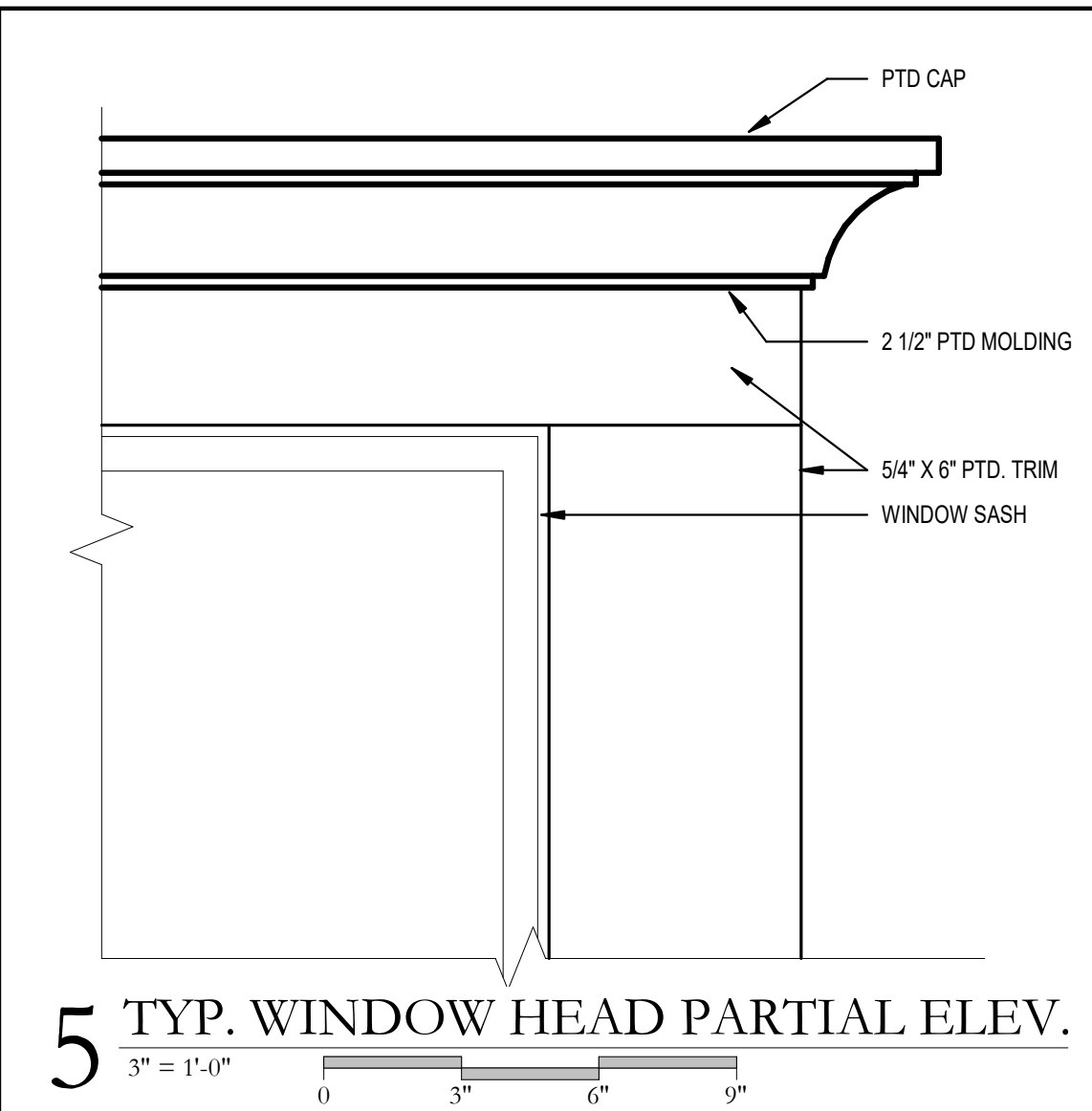
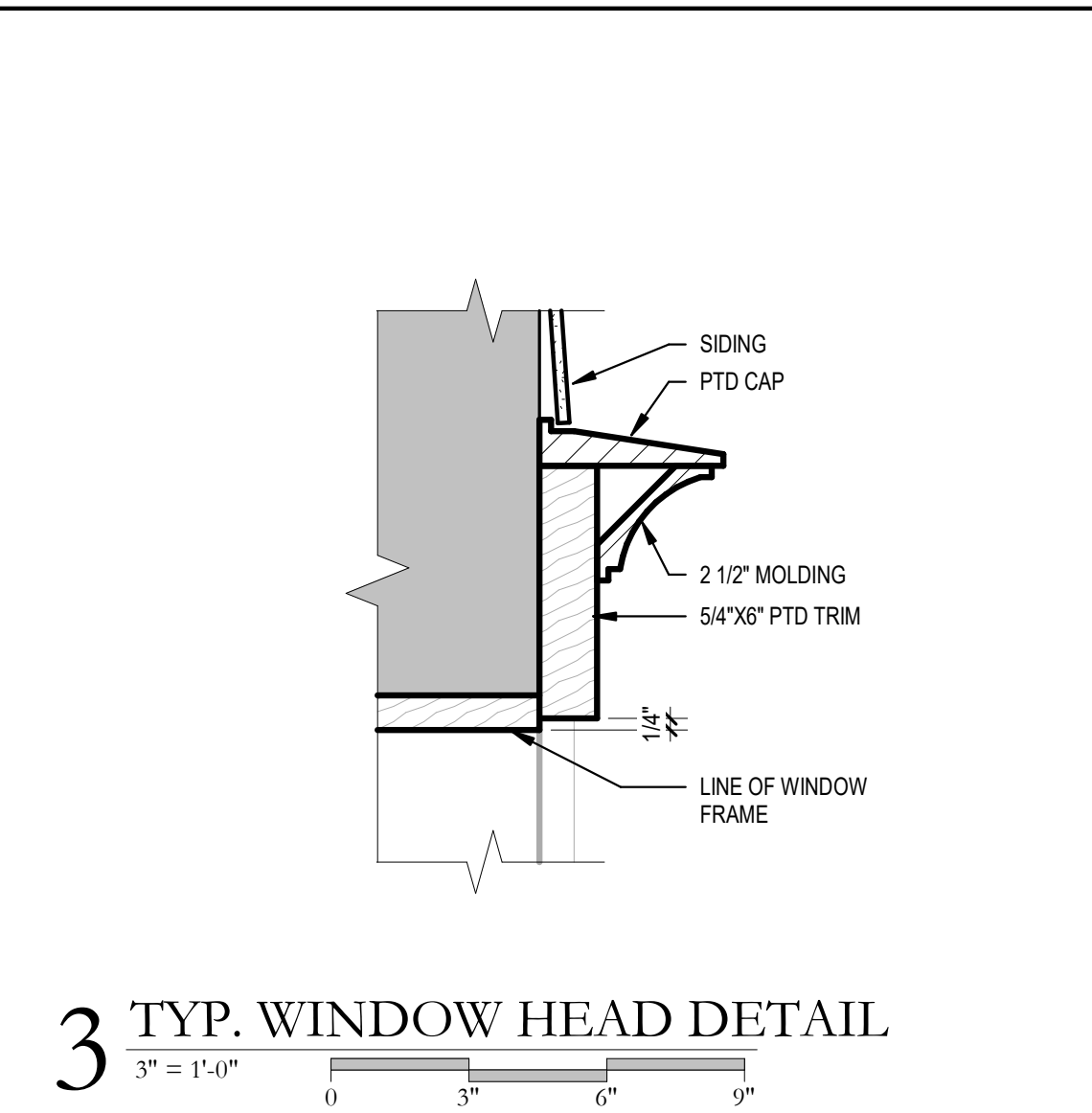
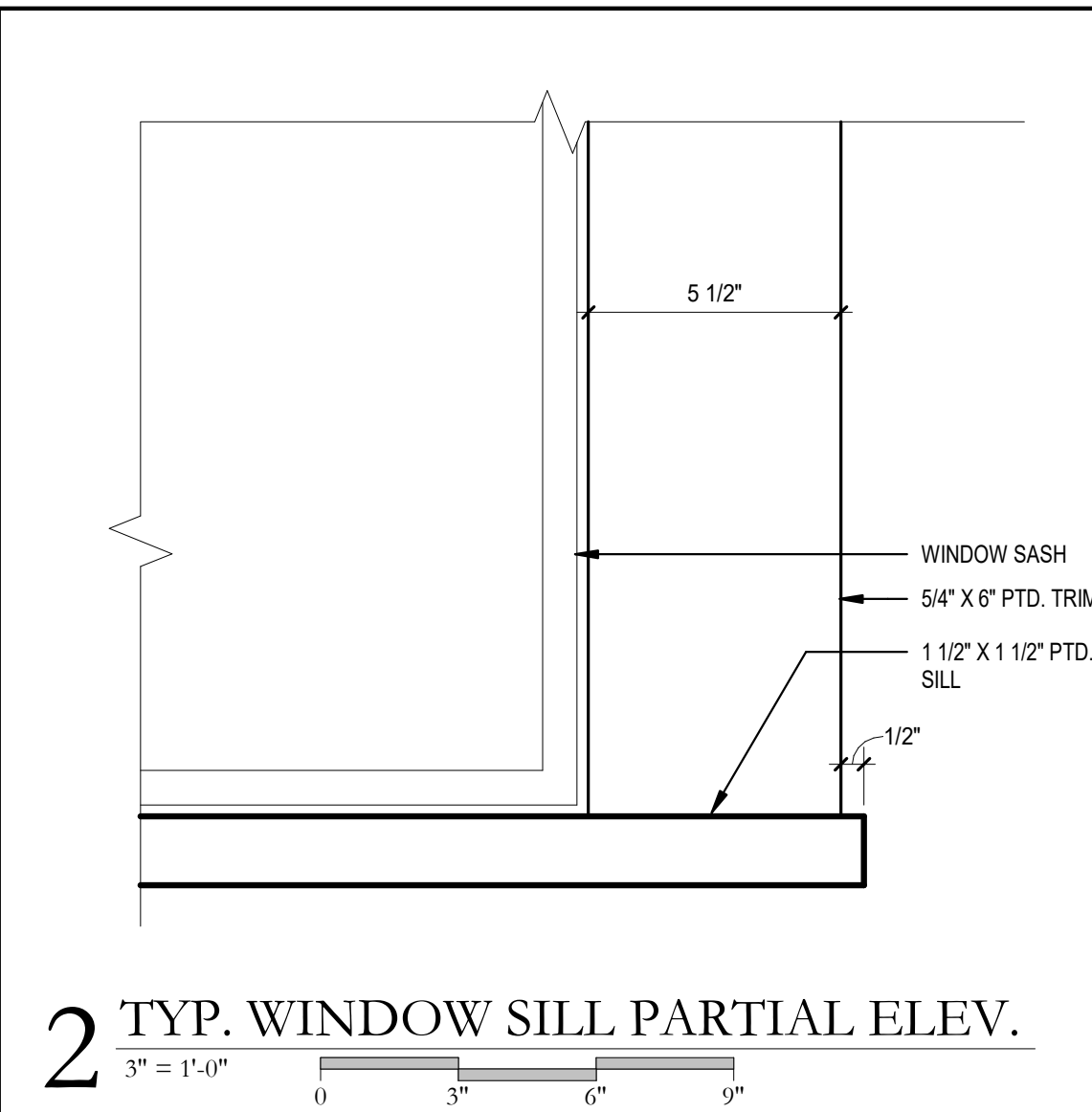
CONSTRUCTION DOCUMENTS

A302

WINDOW & DOOR

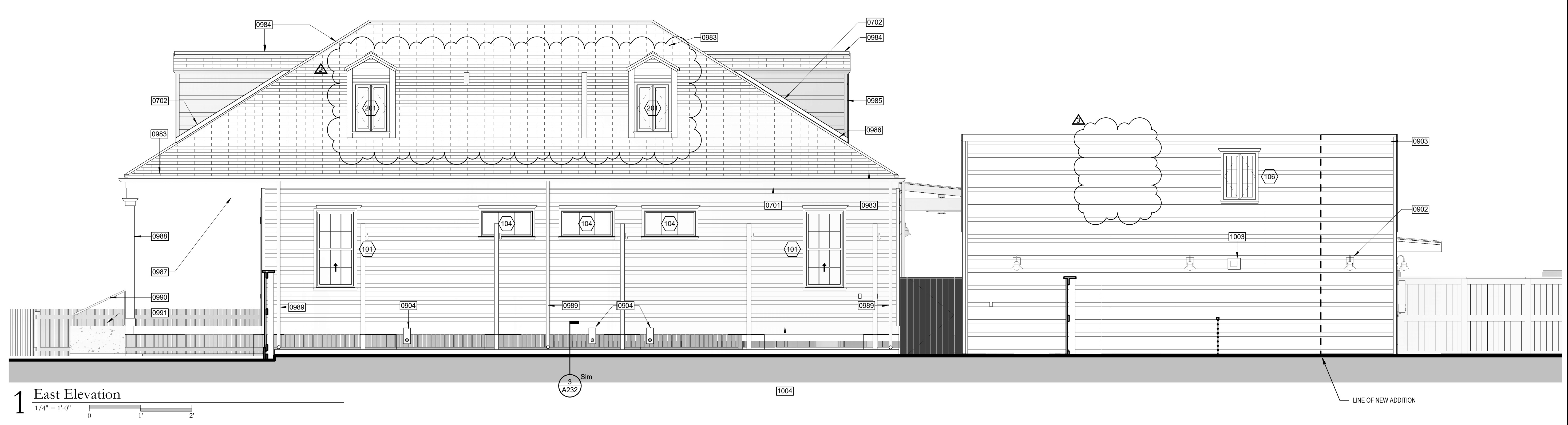
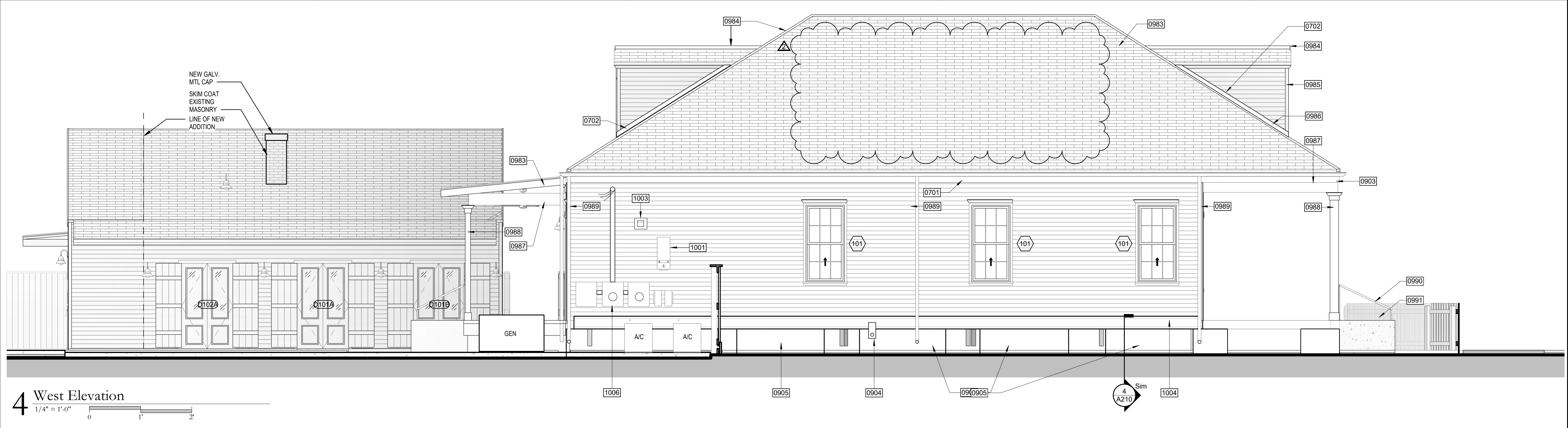
H/S





- ## GENERAL NOTES
1. PROVIDE 5/4"x6" WIDE CORNER BOARDS AT ALL CORNERS & BEHIND ALL DOWNSPOUTS
  2. PROVIDE 5/4"x4" CORNER BOARDS @ ALL DORMERS
  3. ALL CORNER BOARDS TO BE CEMENT BOARD.

- # KEYNOTE LEGEND
- 
- |      |  |
|------|--|
| 0701 | 6" HALF ROUND ALUMINUM GUTTER W/ ALUM. GUTTER SUPPORTS @ 32" O.C.                  |
| 0702 | CONT. GALV. METAL FLASHING   |
| 0902 | USE 5/4" THICK BLOCKS TO RECEIVE ALL WLAL MOUNTED PENETRATIONS & ATTACHMENTS; TYP. |
| 0903 | NEW 5/4"x6" CEMENT BOARD FASCIA  |
| 0904 | EXHAUST VENT TERMINATION RE: 3/A232  |
| 0905 | STEEL GRATES BY OWNER INSTALLED BY CONTRACTOR                                      |
| 0983 | FIBERGLASS SHINGLES  |
| 0984 | SLATE RIDGE CAPS AT ALL RIDGES; TYP.   |
| 0985 | 6" CEMENT CORNER BOARDS  |
| 0986 | FLASHING @ ROOF/WALL INTERSECTION TYP.   |
| 0987 | 3 - 2X12'S TREATED WRAPPED W/ 5/8" PVC   |
| 0988 | COLUMN REFER TO 6/A700   |
| 0989 | 3" DOWN SPOUT ON 5/4"x6" HARDI CORNER BOARD  |
| 0990 | MTL FLAT BAR HANDRAIL W/ LAMB'S TONGUE ENDS BOTH SIDES                             |
| 0991 | NEW PTD. 2" THICK TREATED RISER & TREADS   |
| 1001 | WALL MOUNTED OUTDOOR GAS TANKLESS WATER HEATER                                     |
| 1003 | KITCHEN EXHAUST VENT   |
| 1004 | SKIRT BOARD RE: 4/A210   |
| 1006 | PROVIDE 2 METERS   |



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NO.	DESCRIPTION	DATE
2	REVISION 2	07/19/22
3	REVISION 3	07/28/22

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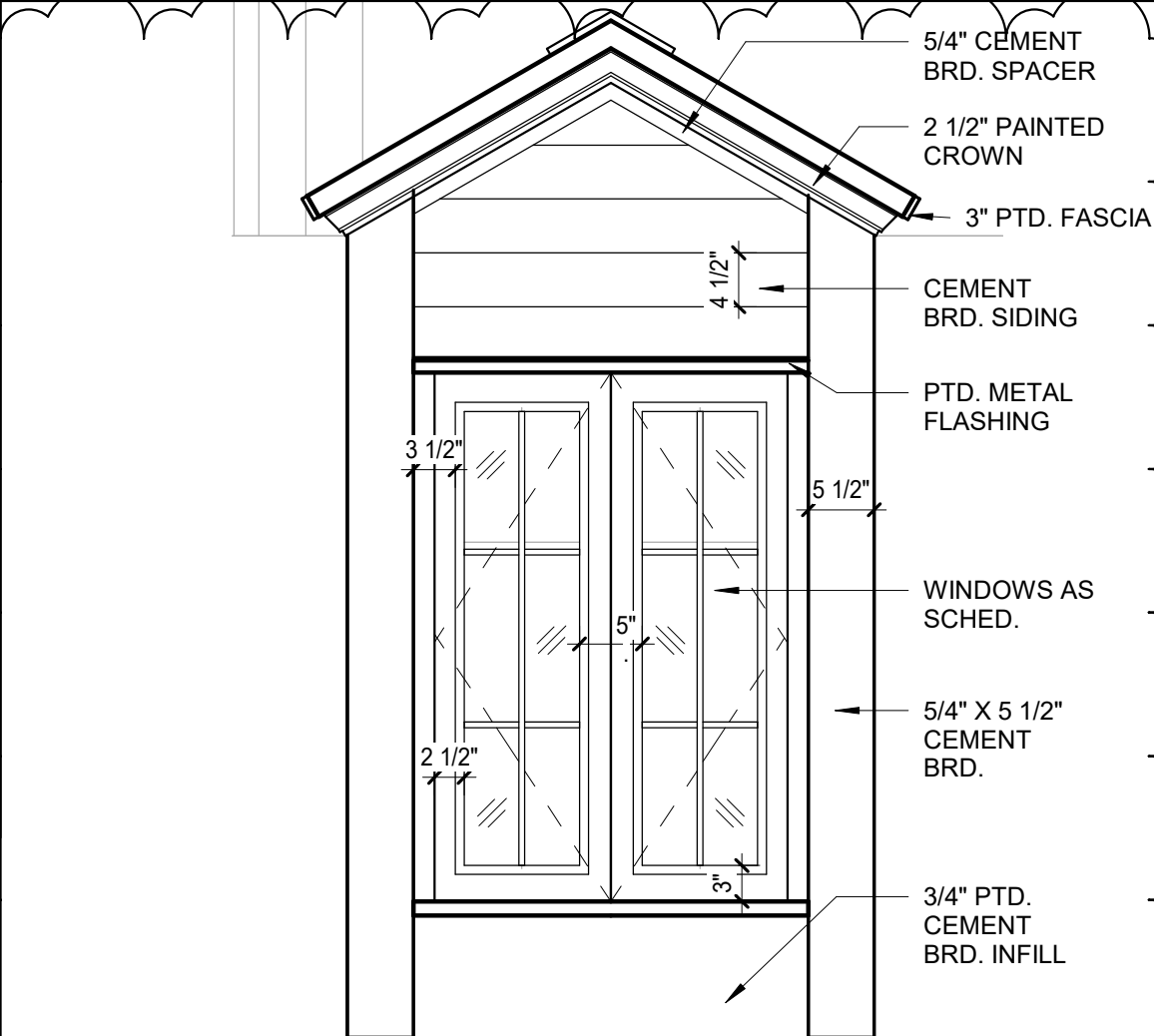
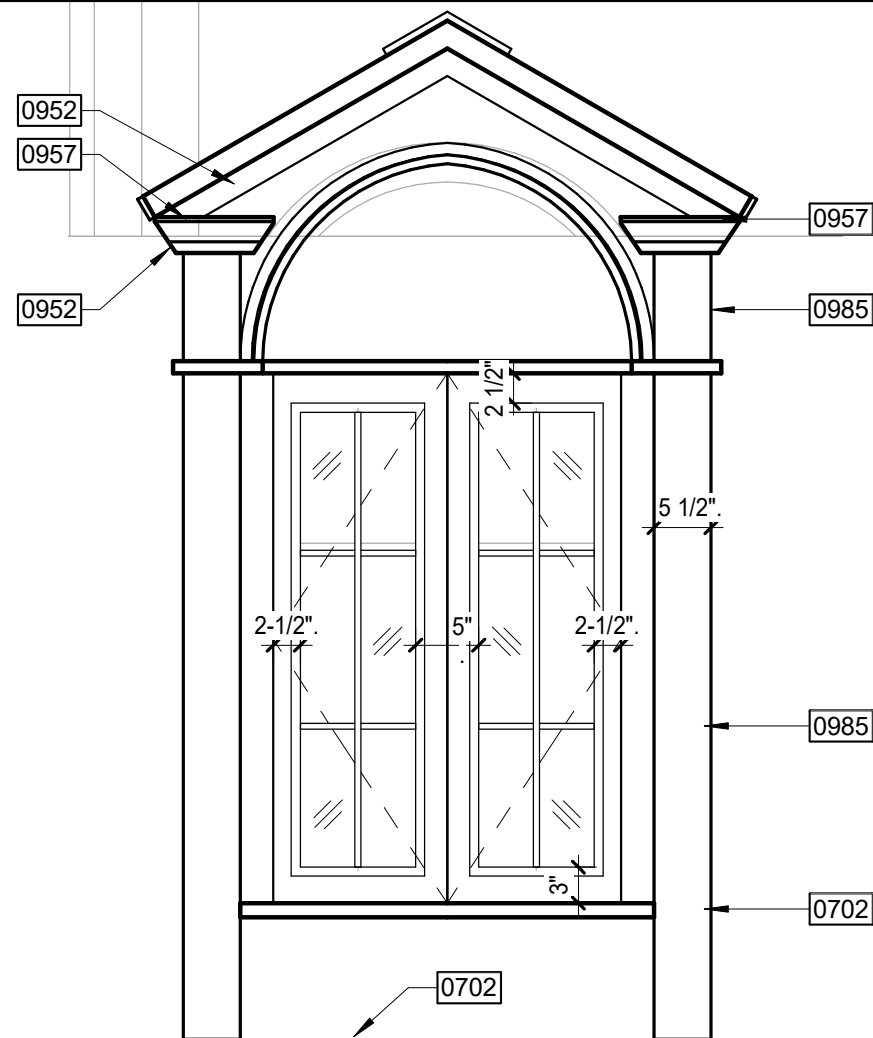
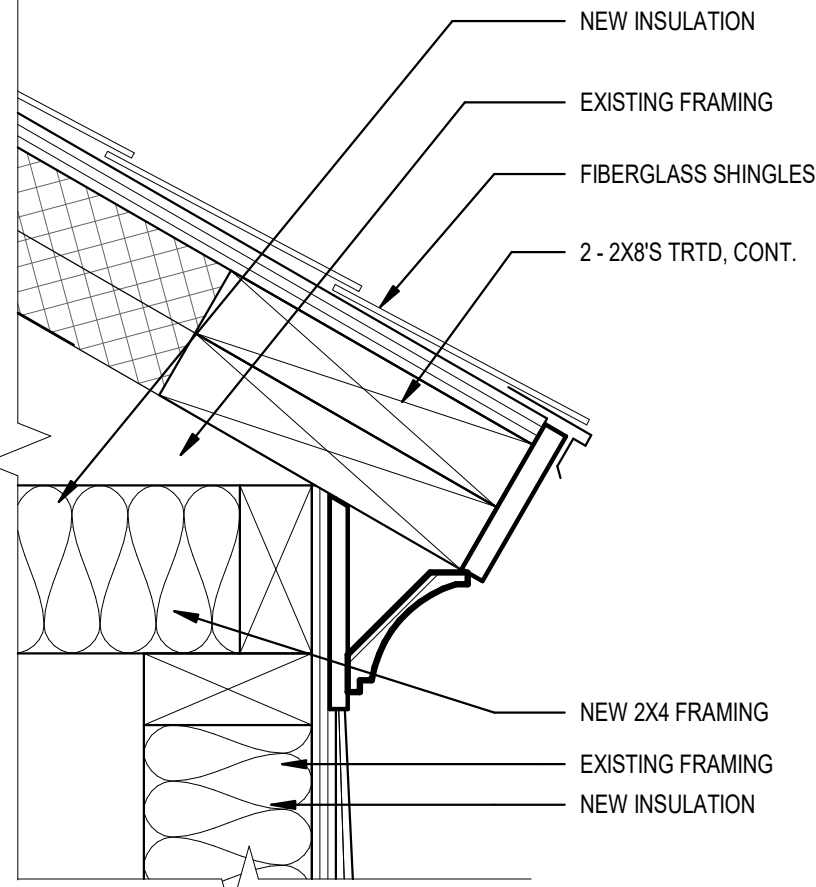
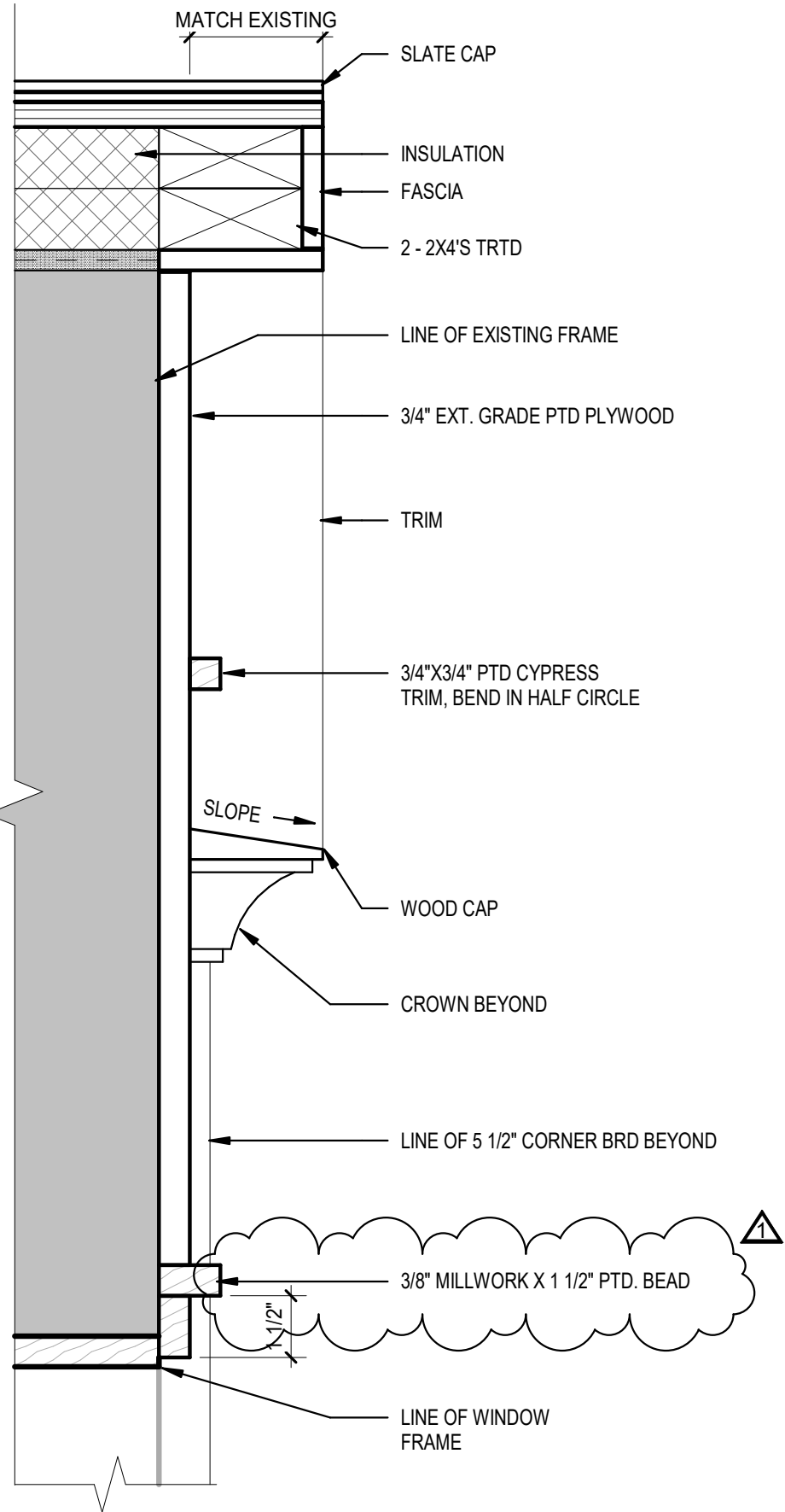
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EXTERIOR ELEVATIONS

S/H

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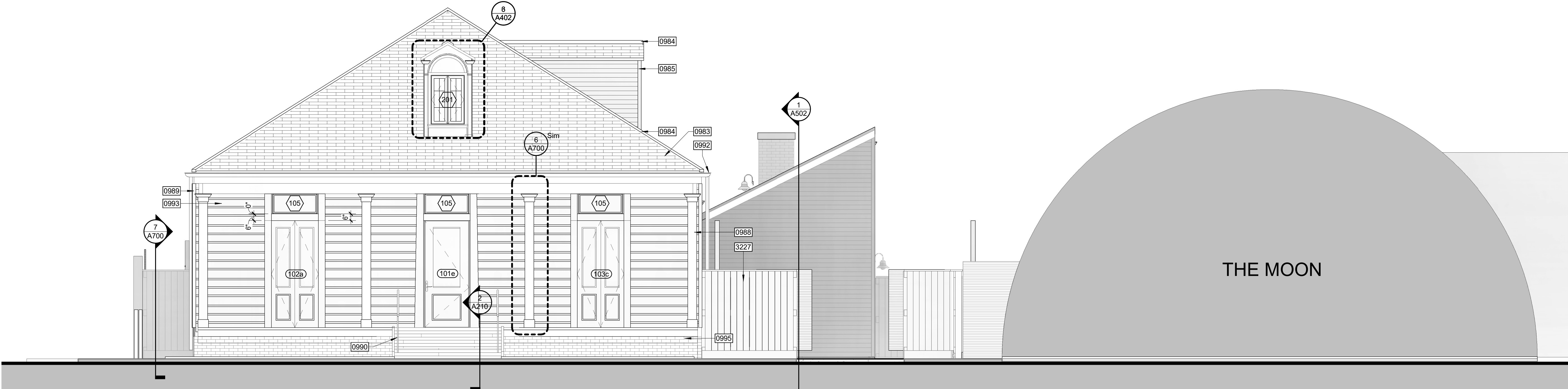
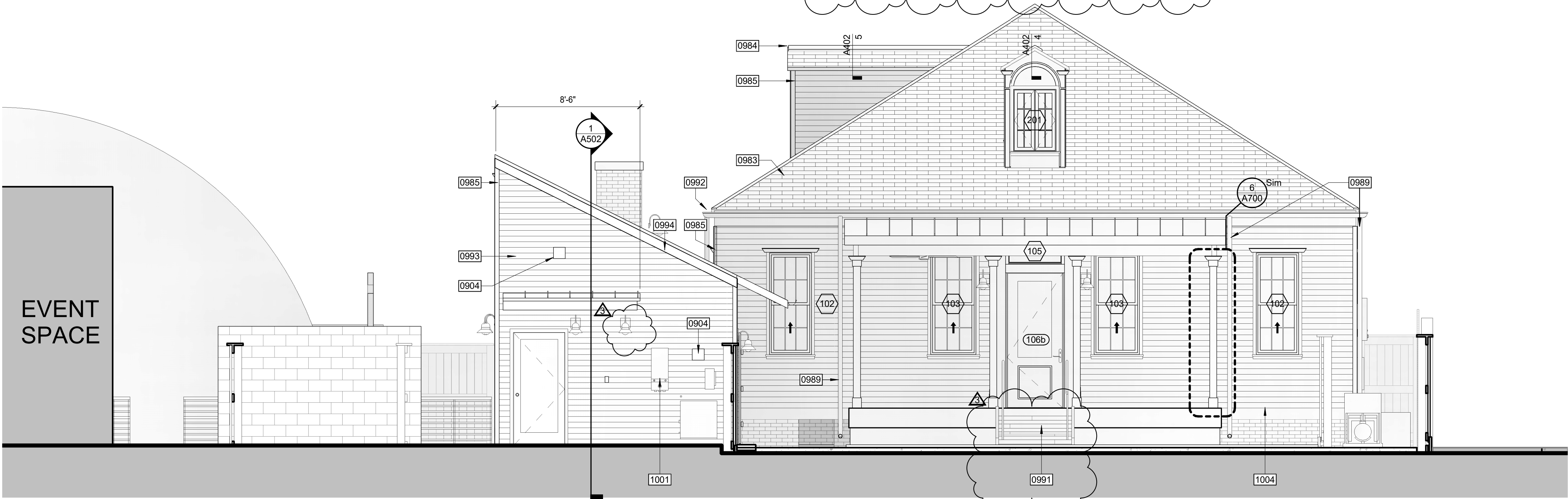


### KEYNOTE LEGEND

- 0702 CONT. GALV. METAL FLASHING  
0904 EXHAUST VENT TERMINATION RE: 3/A232  
0952 2-1/2" CROWN MOLDING CYPRESS ON SPANISH CEDAR  
0957 3/4" TRTD. WOOD CAP @ TOP OF 2-1/2" CROWN EXTEND 1/2" OVER  
0983 FIBERGLASS SHINGLES  
0984 SLATE RIDGE CAPS AT ALL RIDGES; TYP.  
0985 6" CEMENT CORNER BOARDS  
0988 COLUMN REFER TO 6/A700  
0989 3" DOWN SPOUT ON 5/4"X6" HARD CORNER BOARD  
0990 MTL. FLAT BAR HANDRAIL W/ LAMB'S TONGUE ENDS BOTH SIDES  
0991 NEW PTD. 2" THICK TREATED RISER & TREADS  
0992 CONT. ALUMINUM HALF ROUND GUTTER  
0993 FIBER CEMENT SIDING W/ 1/4-1/2" EXPOSURE  
0994 6" FIBER CEMENT FASCIA  
0995 NEW PVC PORCH SKIRT BOARD  
1001 WALL MOUNTED OUTDOOR GAS TANKLESS WATER HEATER  
1004 SKIRT BOARD RE: 4/A210  
3227 NEW FENCE; RE: 17/A700

### GENERAL NOTES

1. PROVIDE 5/4"X6" WIDE CORNER BOARDS AT ALL CORNERS & BEHIND ALL DOWNSPOUTS  
2. PROVIDE 5/4"X4" CORNER BOARDS @ ALL DORMERS  
3. ALL CORNER BOARDS TO BE CEMENT BOARD.



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NO.	DESCRIPTION	DATE
1	REVISION 1	06/01/22
3	REVISION 3	07/28/22

PROJECT NO.	22014
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PROJECT MANAGER	MH
QUALITY CONTROL	MH

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EXTERIOR ELEVATIONS

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NO.	DESCRIPTION	DATE
2	REVISION 2	07/19/22
3	REVISION 3	07/28/22

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DATE	05/15/2022
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# A501

## BUILDING SECTIONS

S/H

7 NOT USED

8 NOT USED

9 NOT USED

10 NOT USED

4 NOT USED

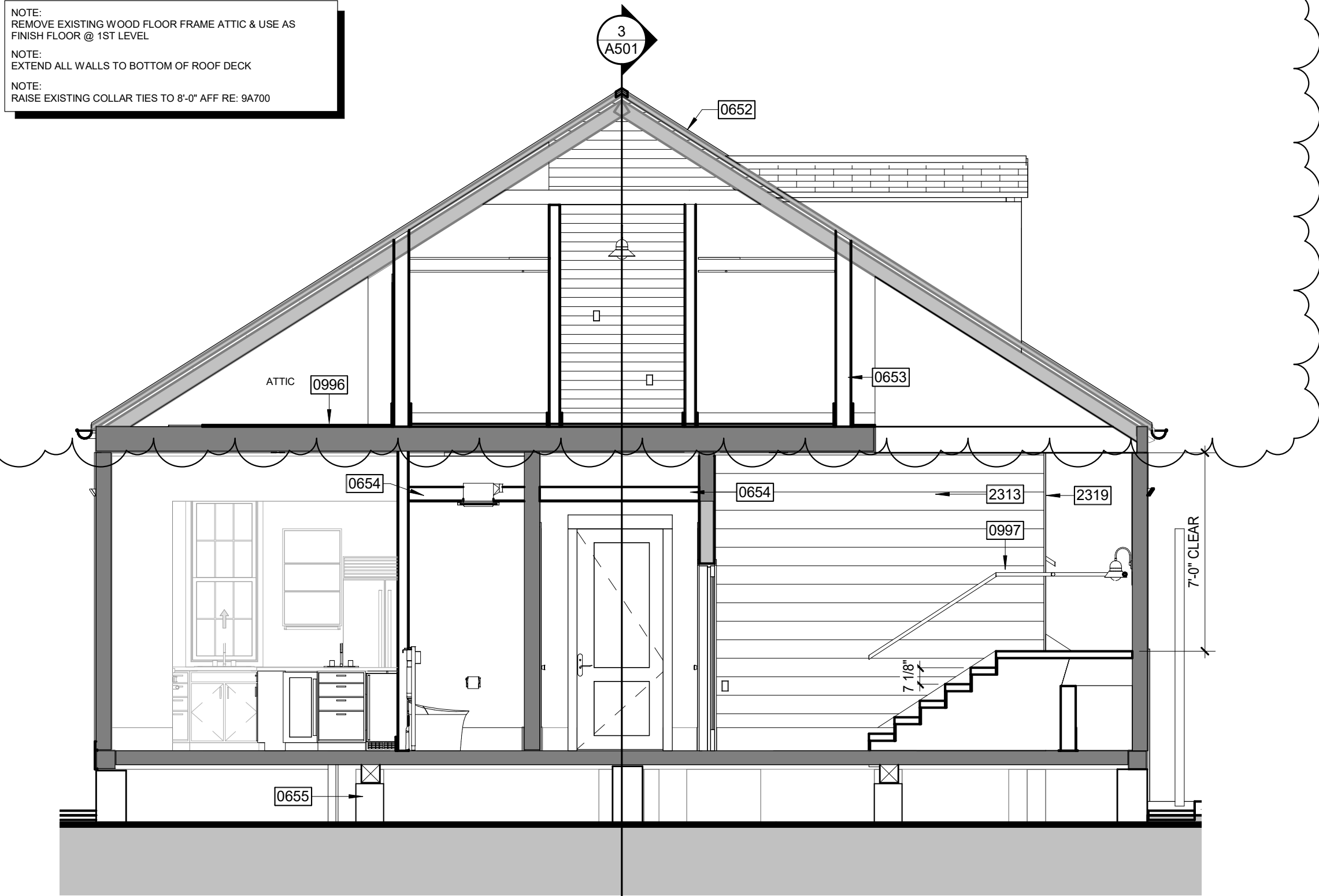
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6 NOT USED

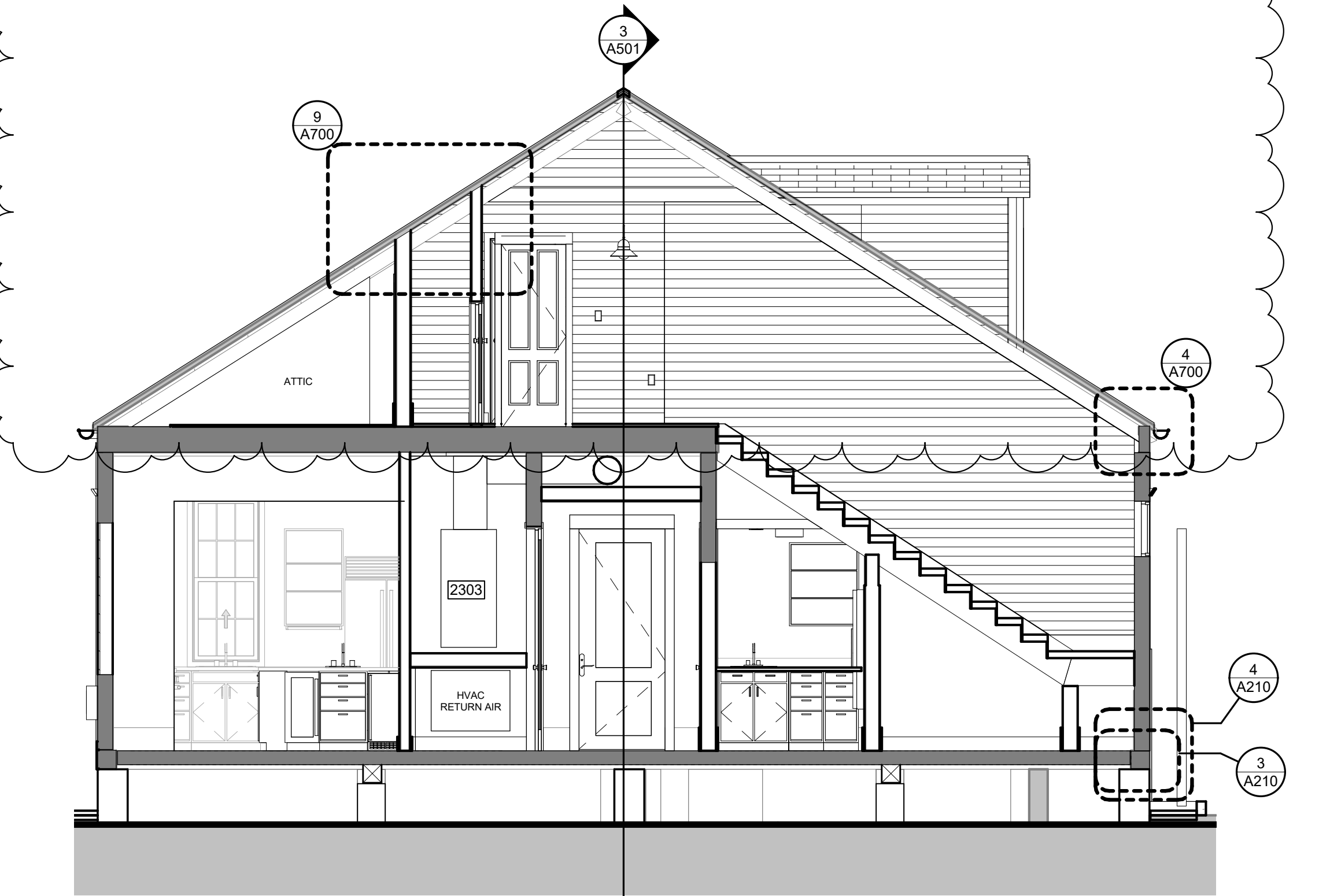
NOTE:  
REMOVE EXISTING WOOD FLOOR FRAME ATTIC & USE AS  
FINISH FLOOR @ 1ST LEVEL

NOTE:  
EXTEND ALL WALLS TO BOTTOM OF ROOF DECK

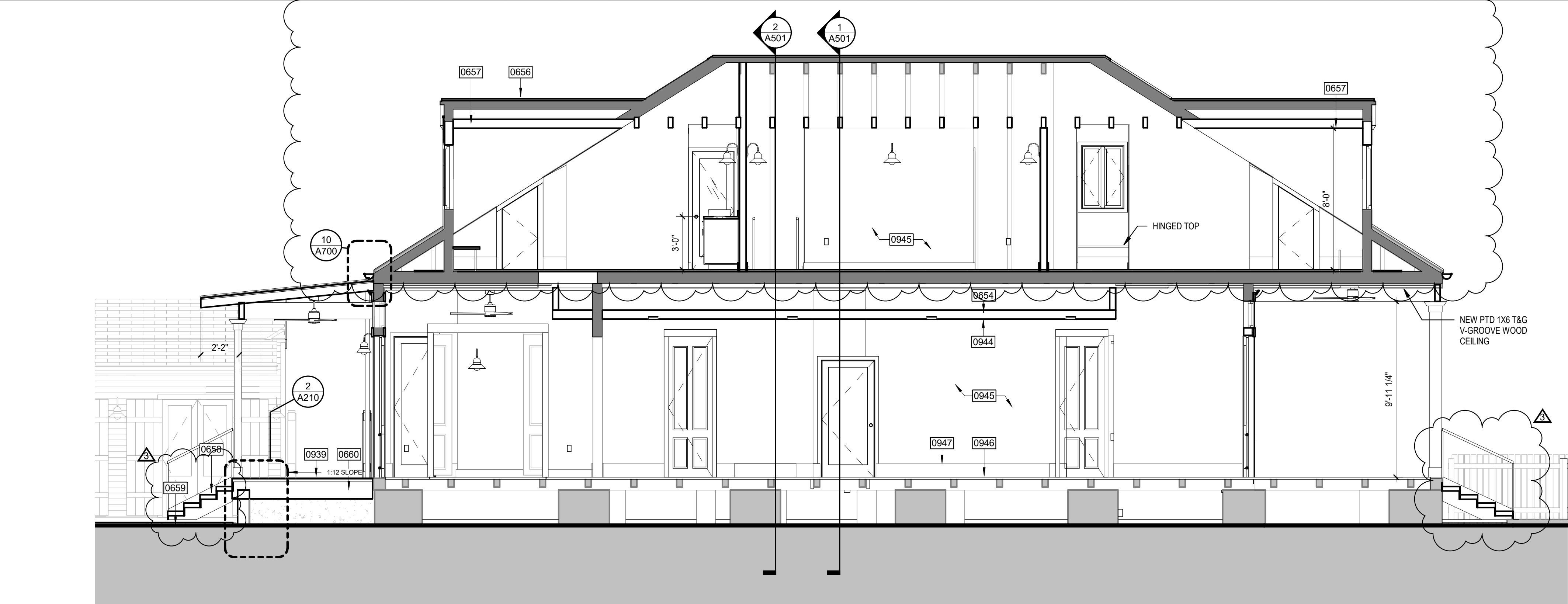
NOTE:  
RAISE EXISTING COLLAR TIES TO 8'-0" AFF RE: 9A700



**1** SECTION @ STAIR 1  
1/4" = 1'-0"  
0 4' 8'



2 SECTION @ STAIR 2

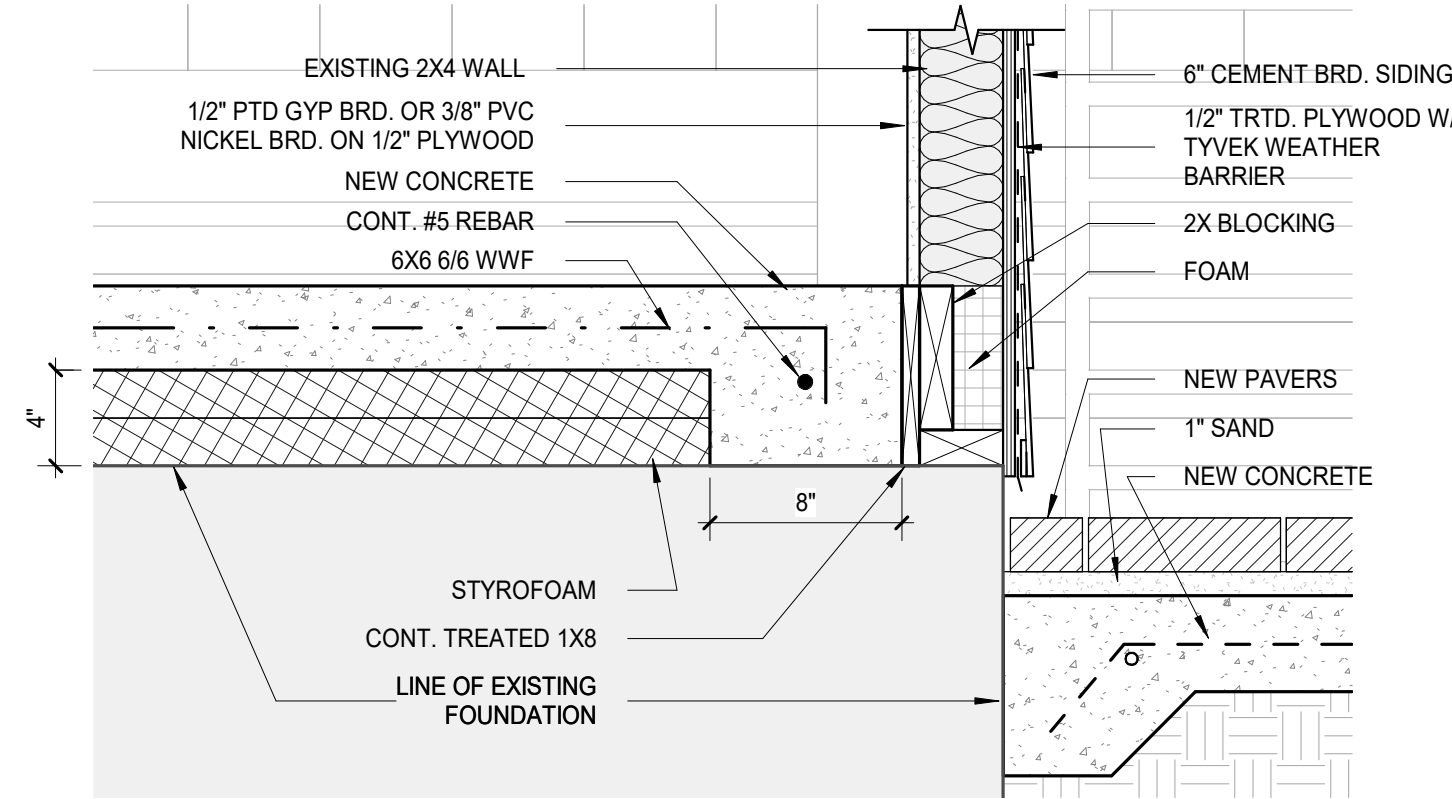


### 3 LONGITUDINAL SECTION

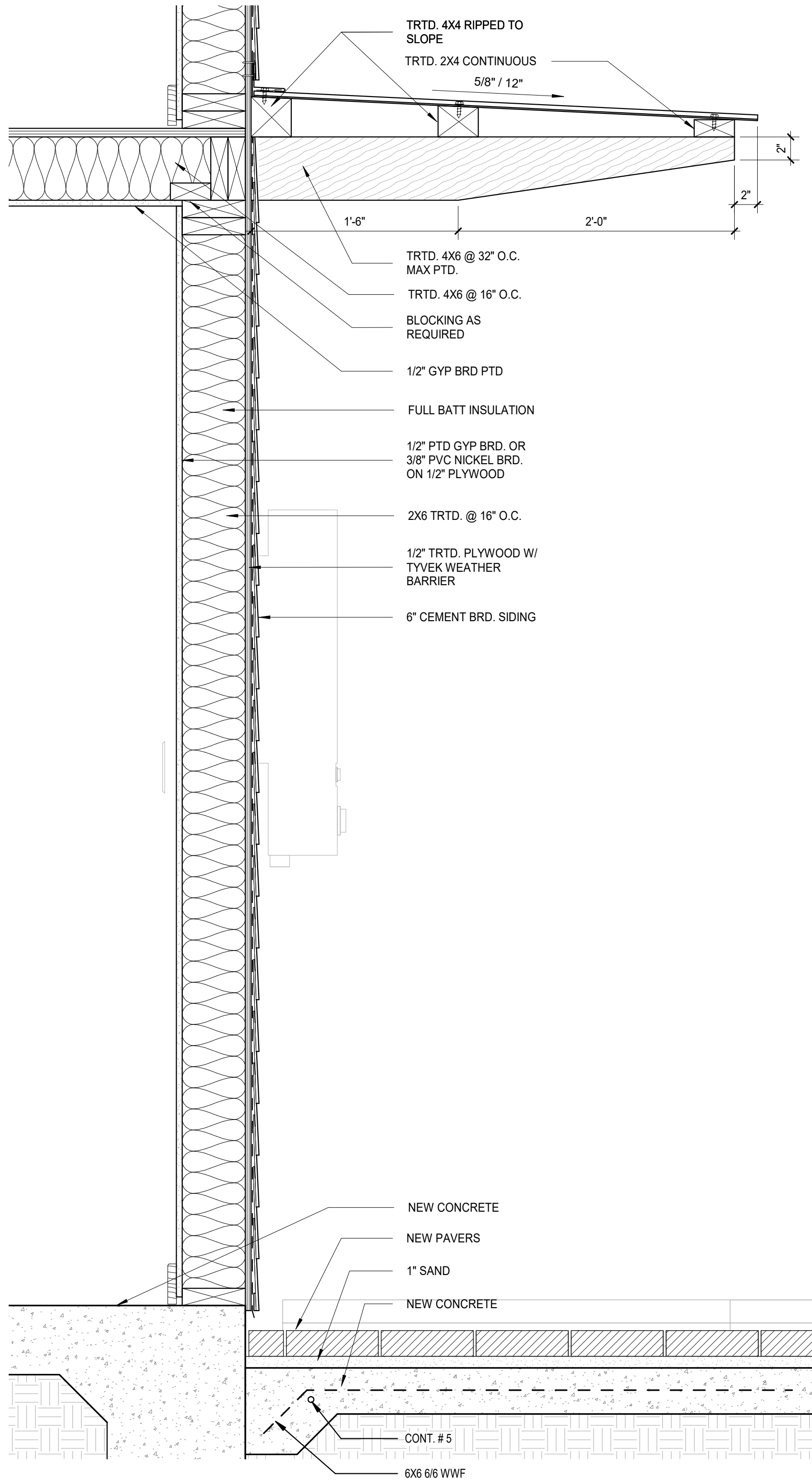


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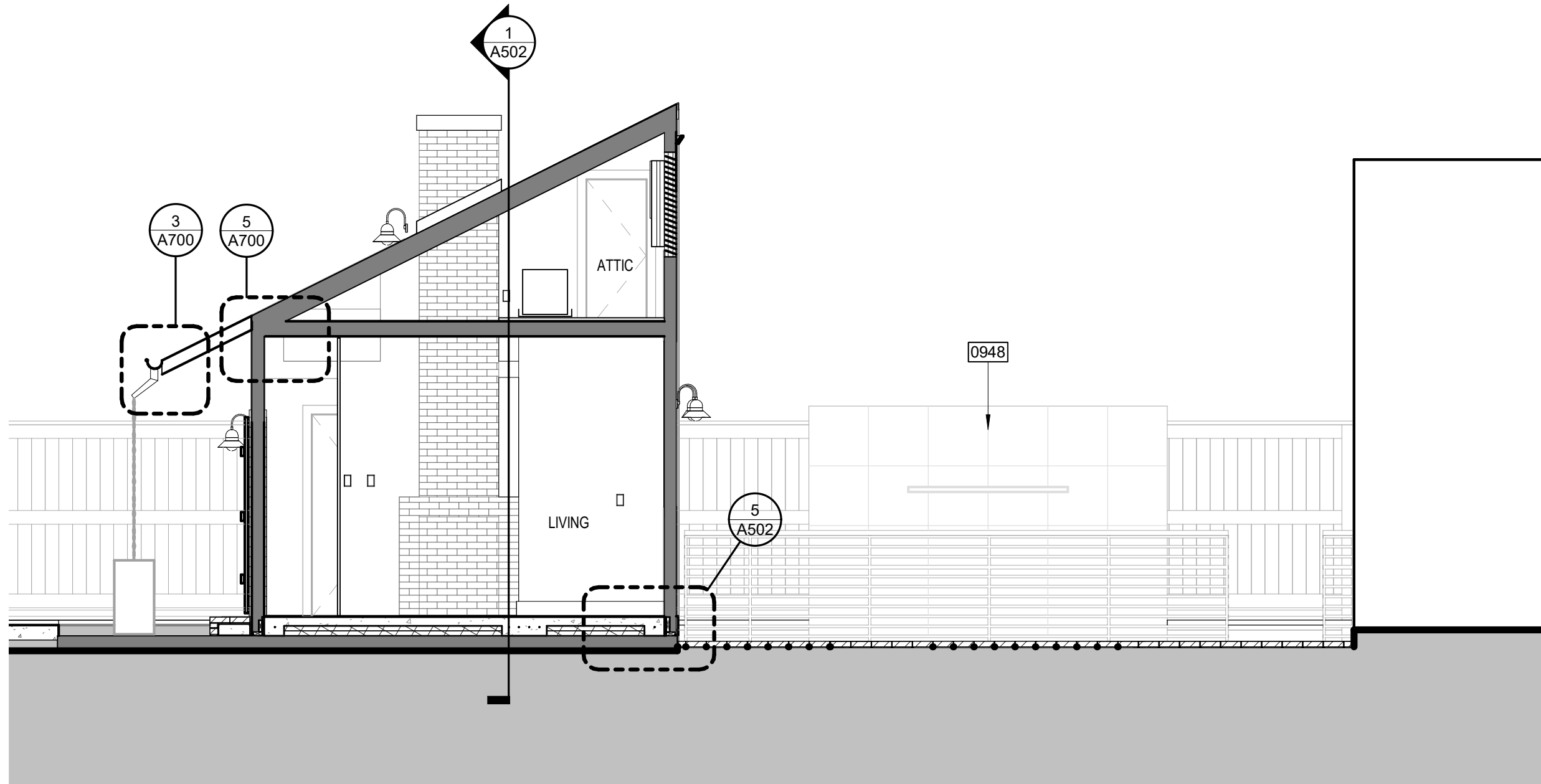
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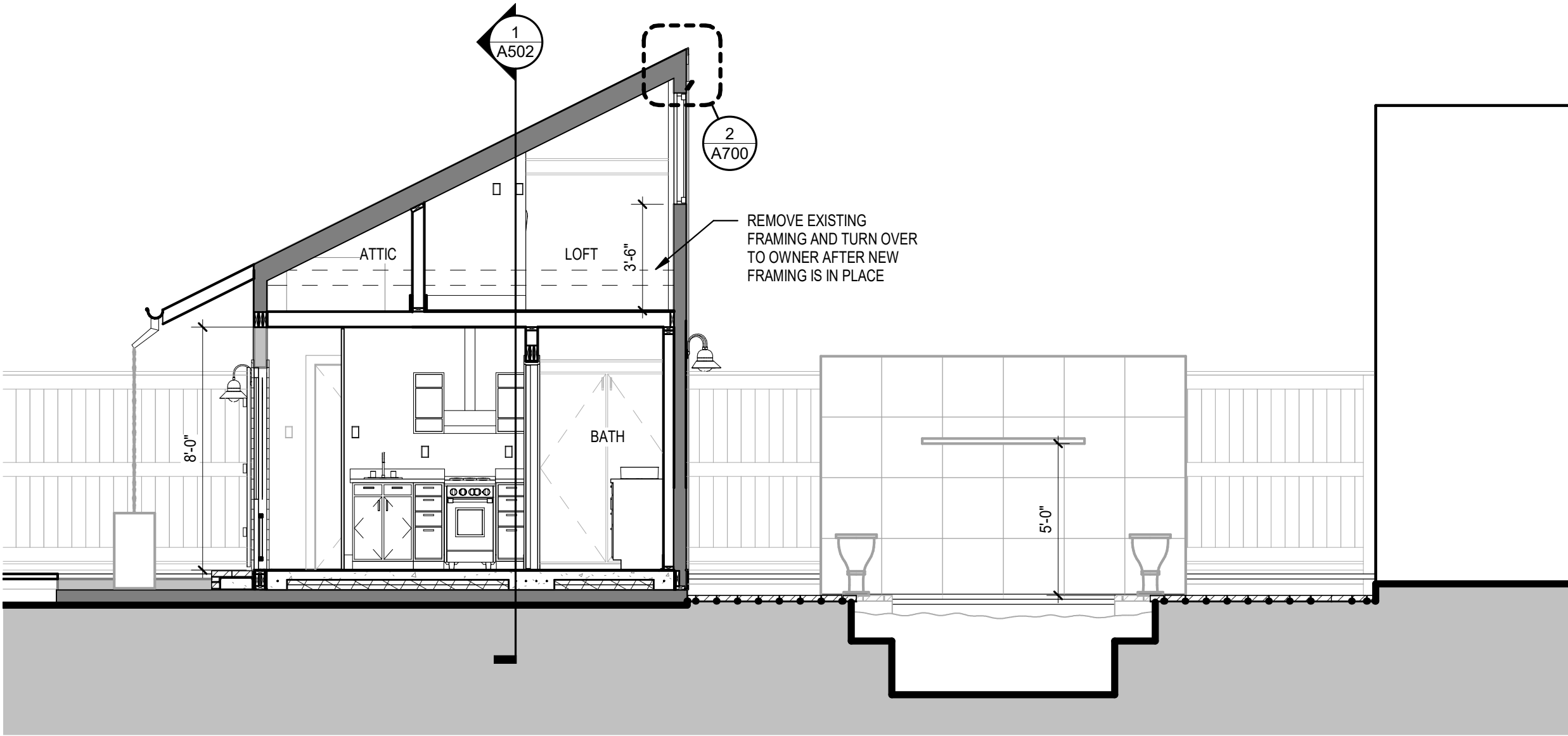
5 DETAIL @ REAR OF DEPENDENCY  
1 1/2" = 1'-0"



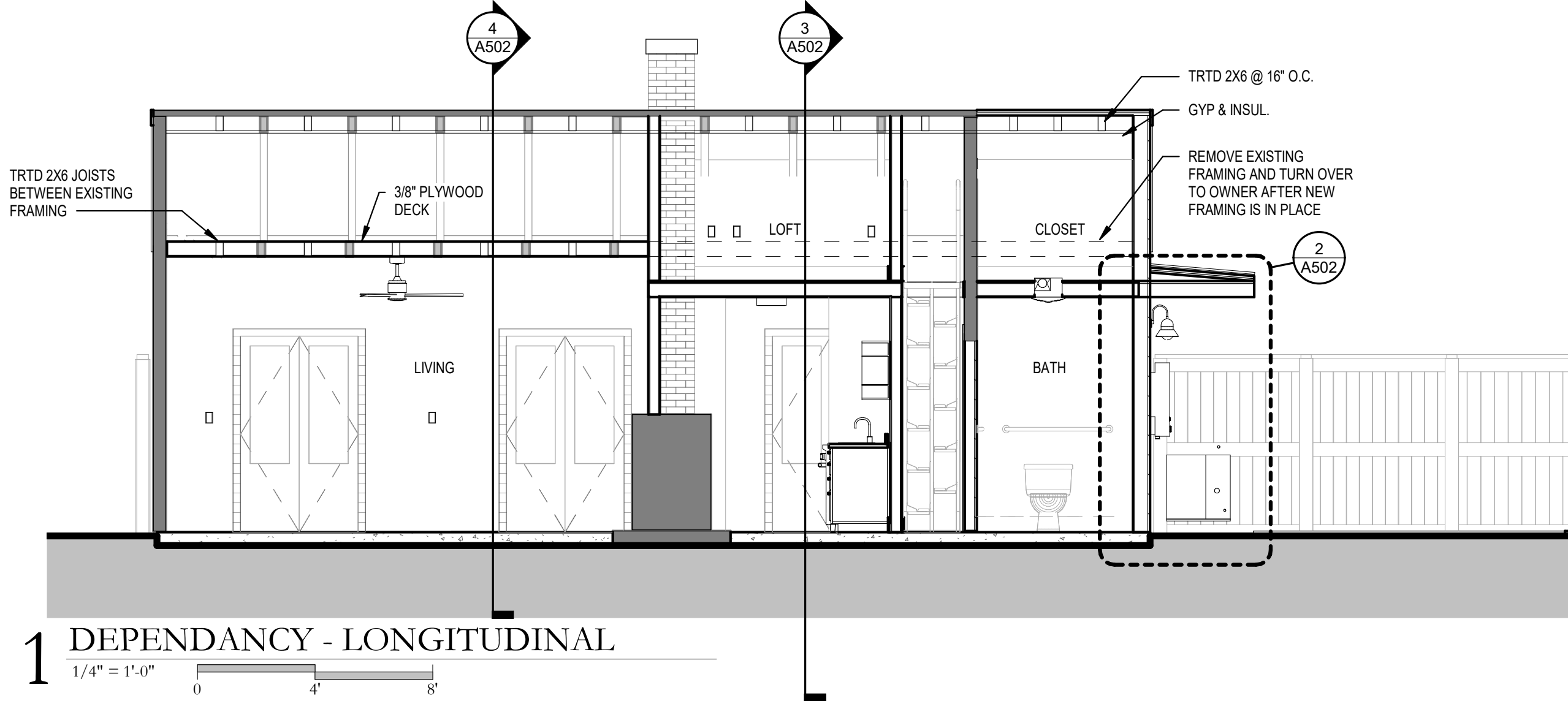
2 WALL SECTION @ ADDITION TO DEPENDENCY  
1 1/2" = 1'-0"



4 SECTION @ LIVING ROOM  
1/4" = 1'-0"



3 SECTION @ KITCHEN / BATH  
1/4" = 1'-0"



1 DEPENDANCY - LONGITUDINAL  
1/4" = 1'-0"

KEYNOTE LEGEND

- 0671 1/2" TRTD. PLYWOOD W/ TYVEK WEATHER BARRIER  
0672 6" CEMENT BRD. SIDING  
0674 2X BLOCKING  
0675 FOAM  
0676 NEW PAVERS  
0677 1" SAND  
0678 NEW CONCRETE  
0679 LINE OF EXISTING FOUNDATION  
0680 STYROFOAM  
0681 CONT. TREATED 1X8  
0682 CONT. #5 REBAR  
0683 6X6 6/6 WWF  
0684 1/2" PTD GYP BRD. OR 3/8" PVC NICKEL BRD. ON 1/2" PLYWOOD  
0685 EXISTING 2X4 WALL  
0686 TRTD. 4X4 RIPPED TO SLOPE  
0687 TRTD. 2X4 CONTINUOUS  
0688 TRTD. 4X6 @ 32" O.C. MAX PTD.  
0689 TRTD. 4X6 @ 16" O.C.  
0945 1/2" GYP BRD PTD  
0948 2'-0" X 2'-0" CERAMIC TILE ON 8" CMU

8 NOT USED

7 NOT USED

6 NOT USED

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QUALITY CONTROL	MH	

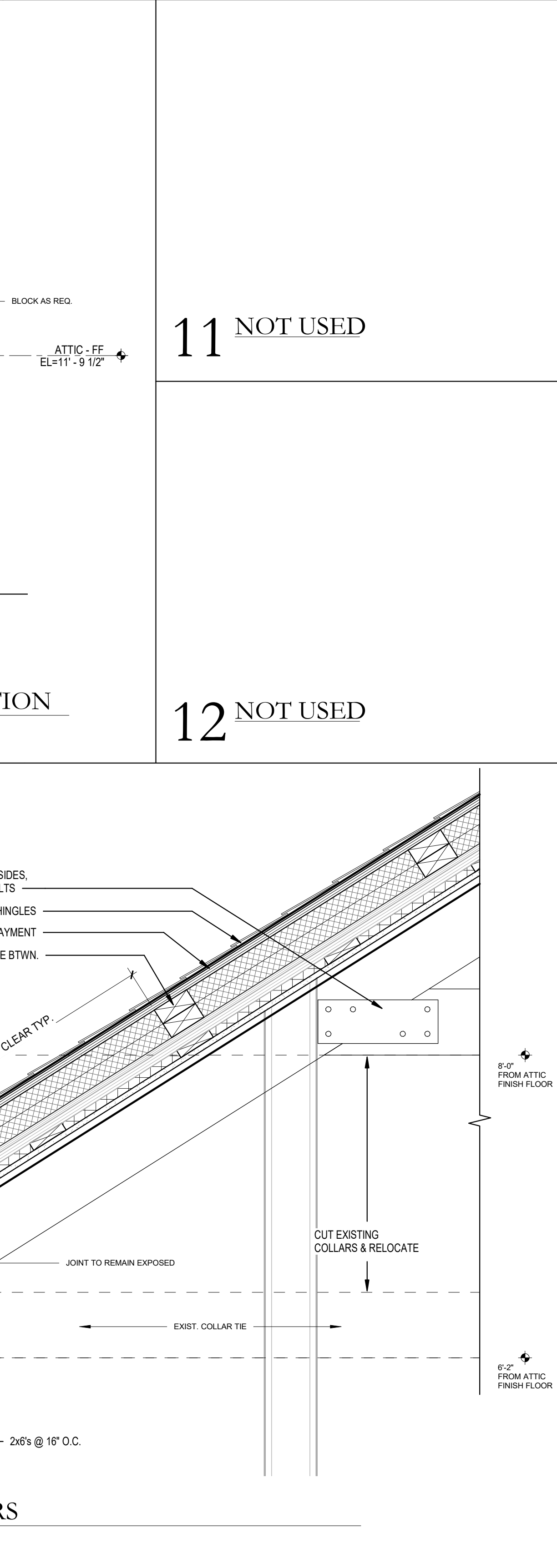
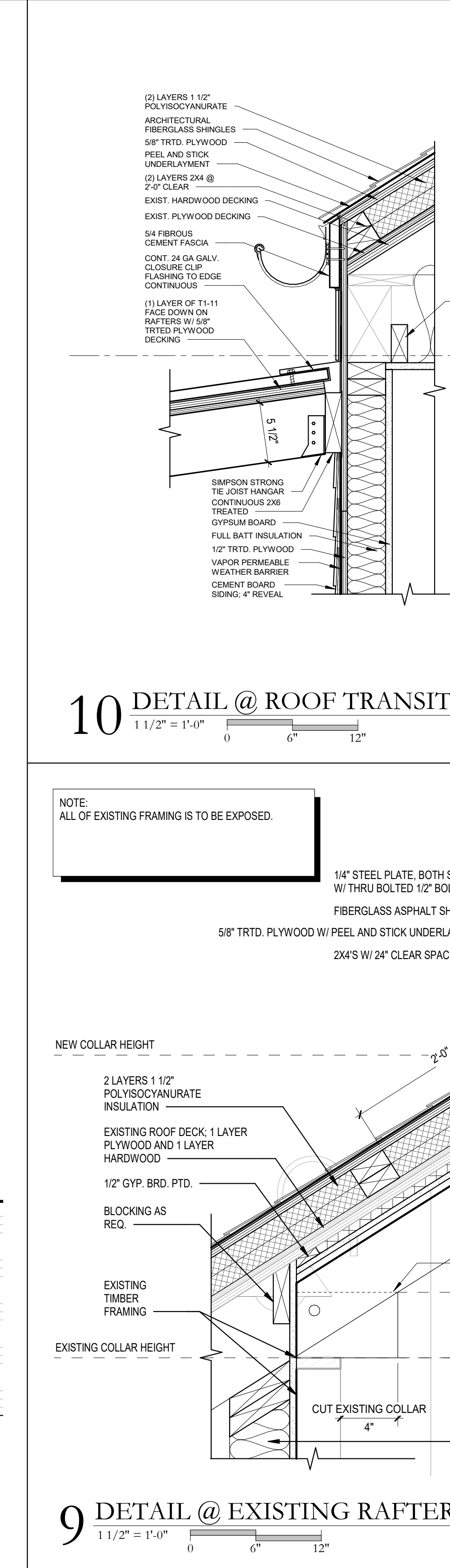
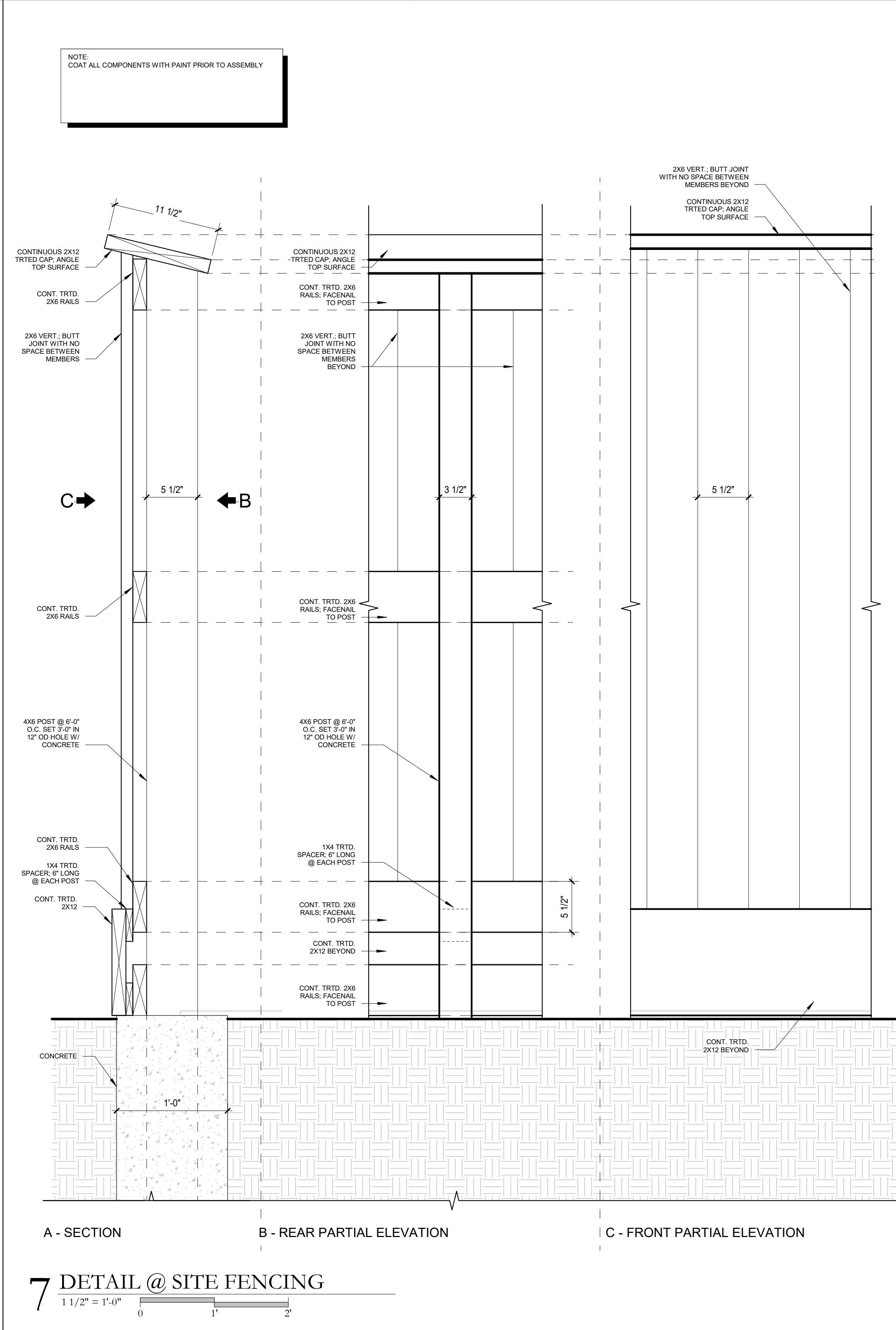
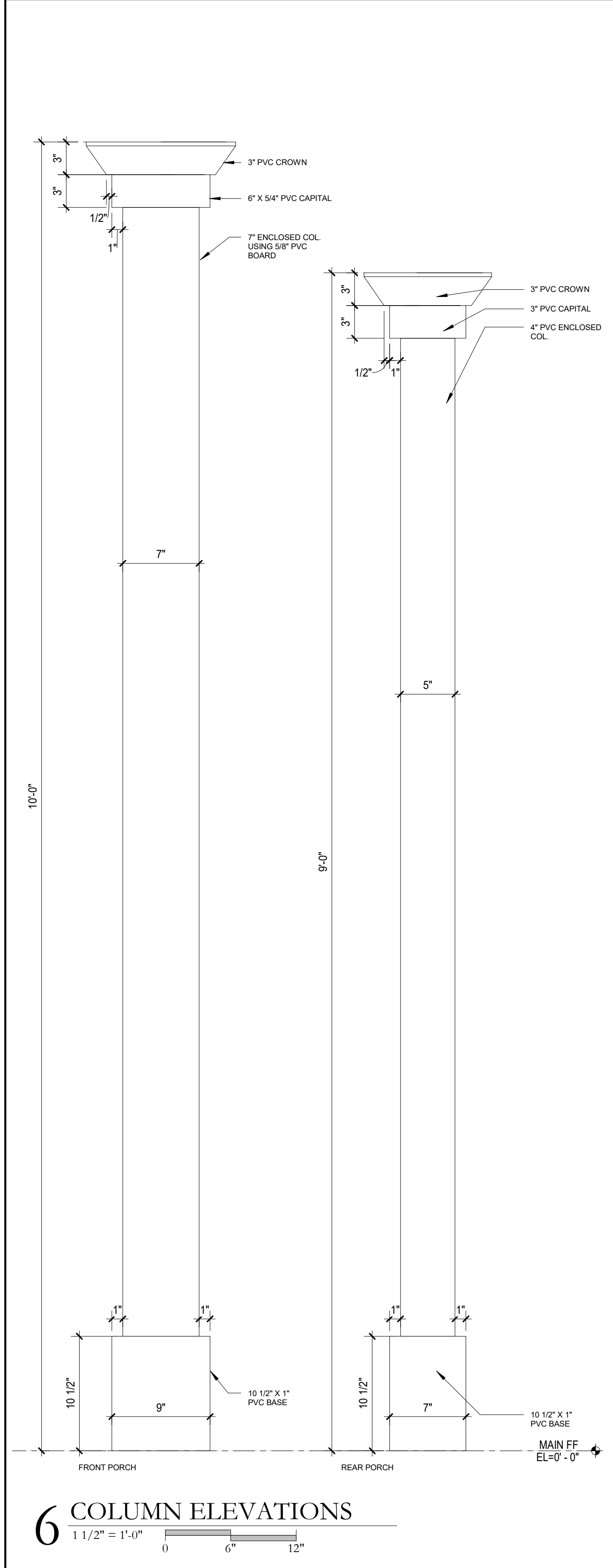
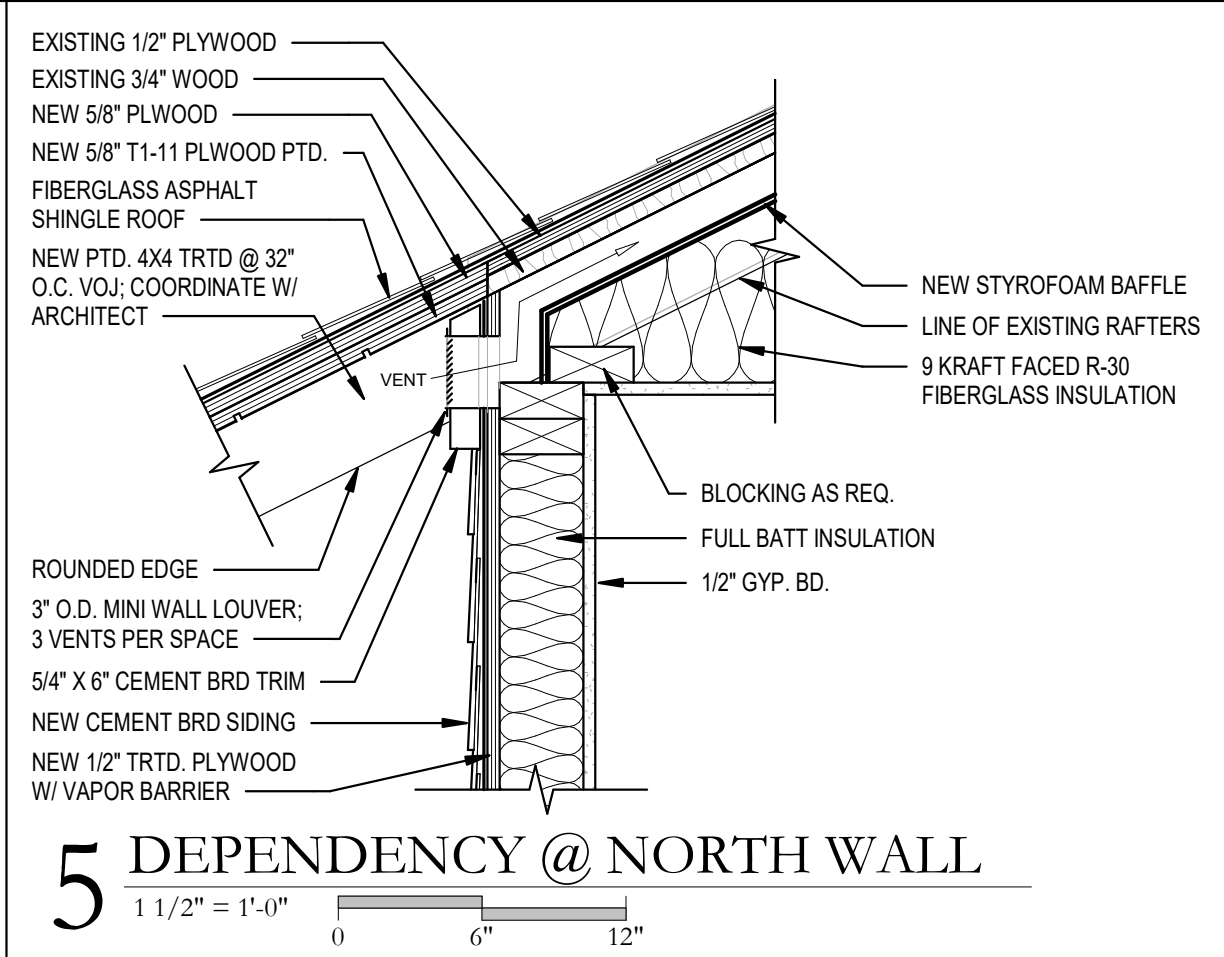
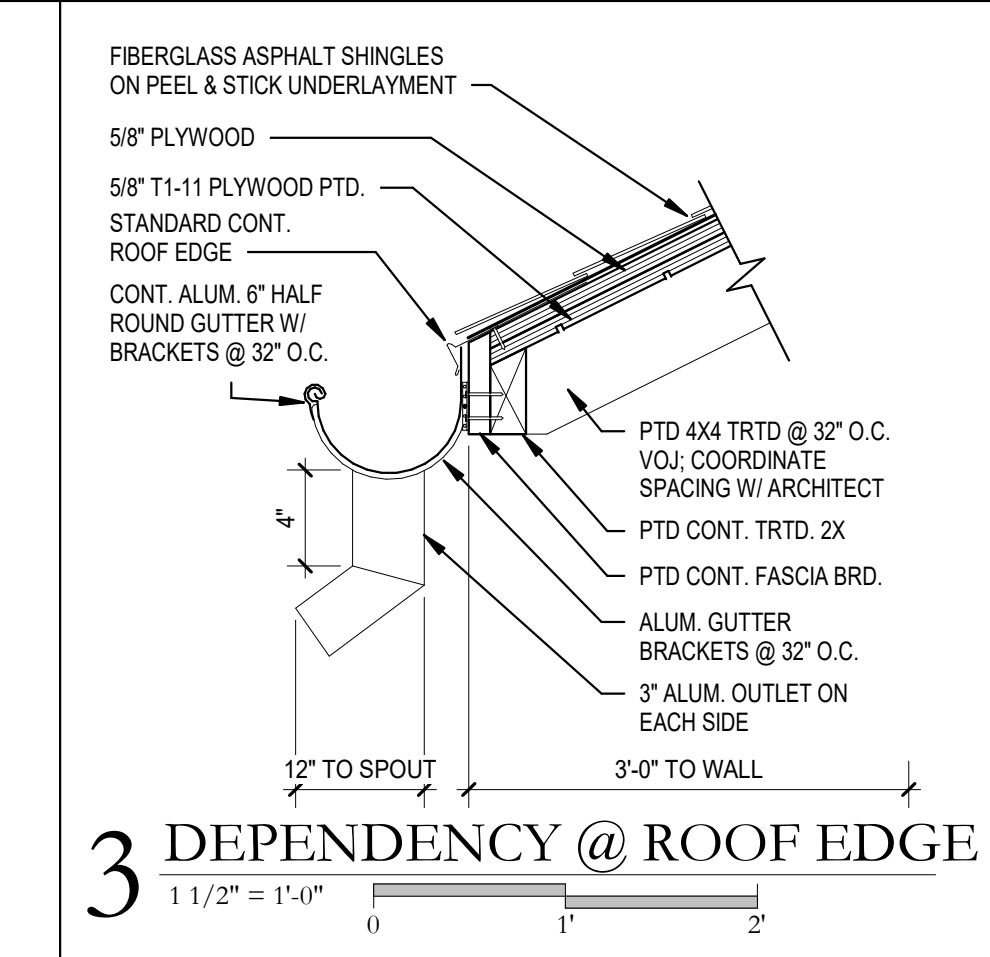
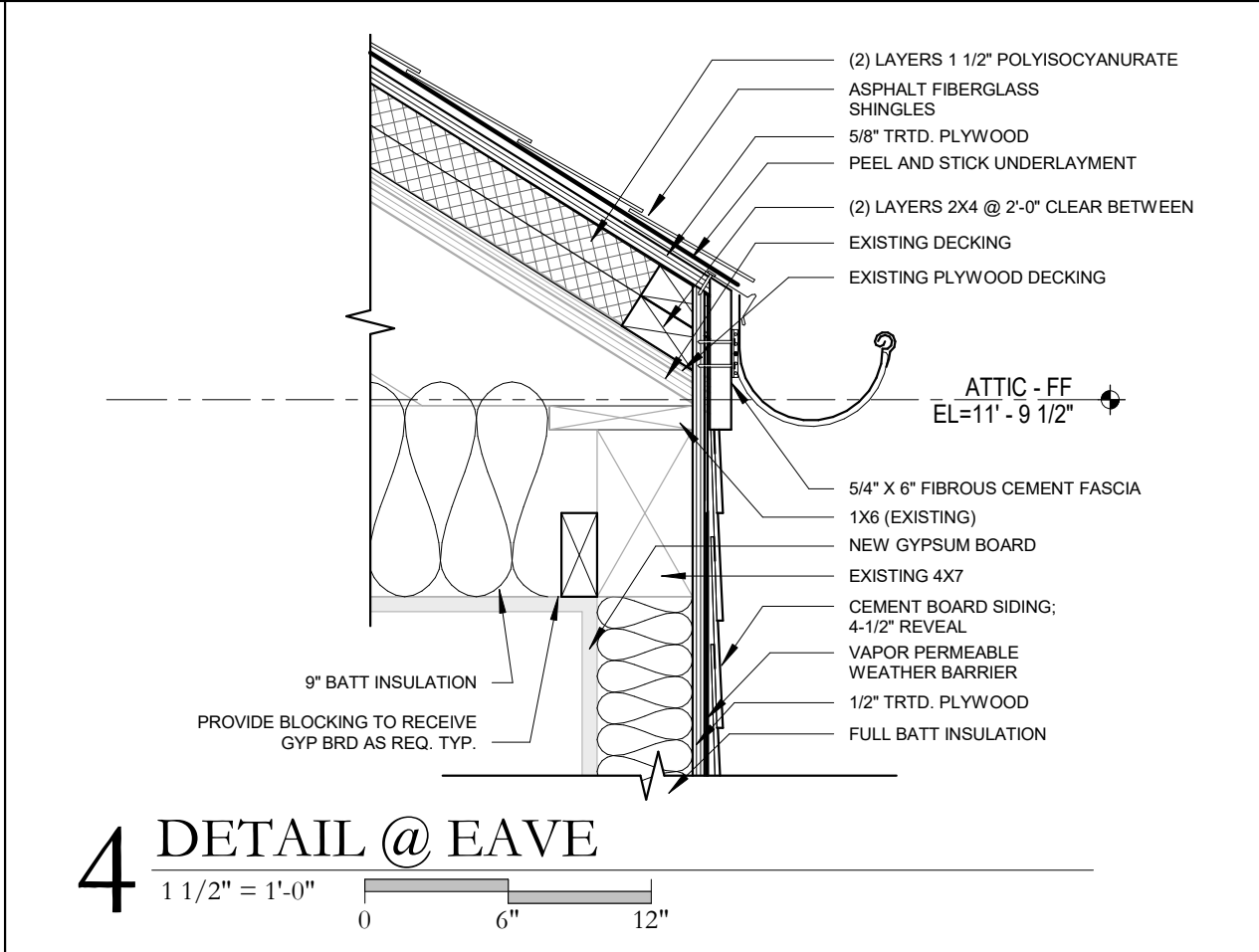
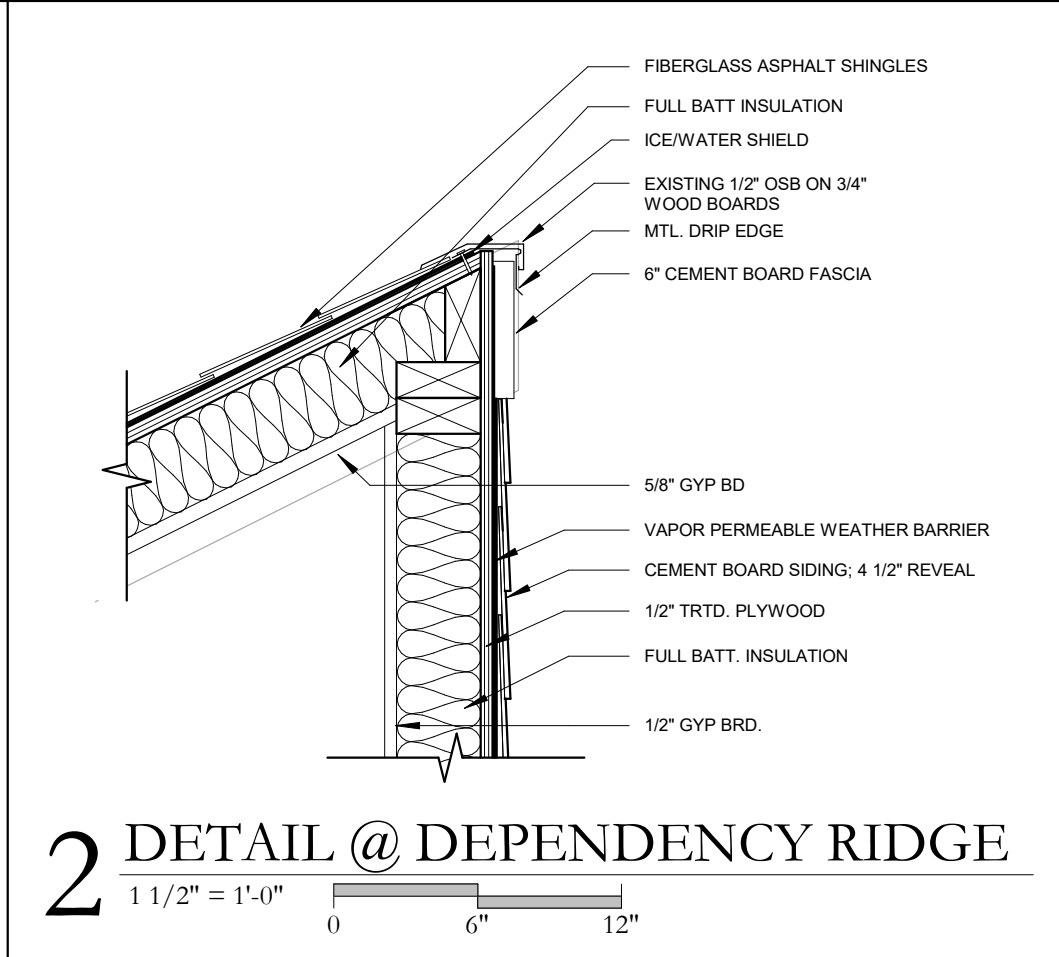
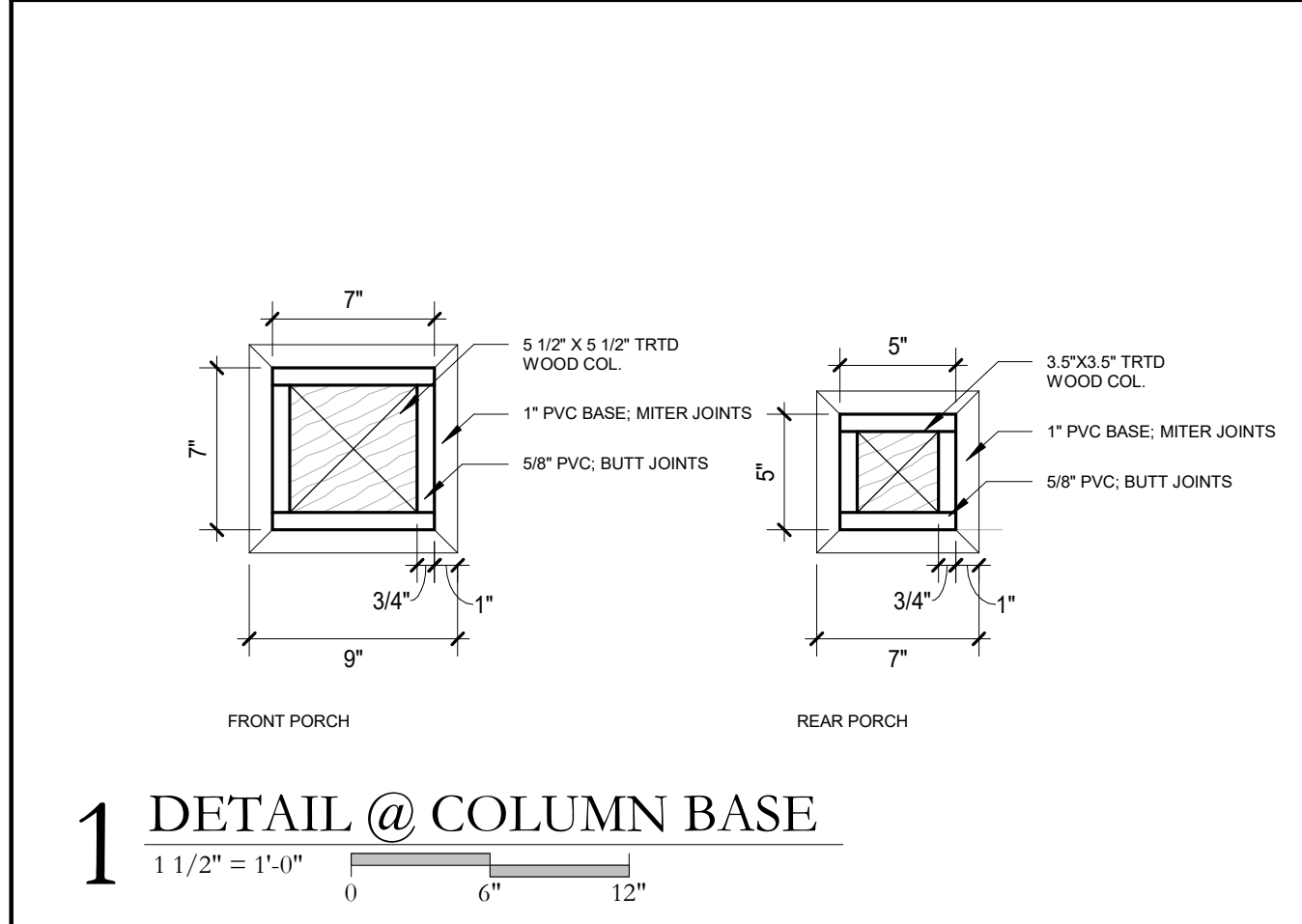
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BUILDING SECTIONS

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MICHAEL F. HOLLY  
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STATE OF LOUISIANA  
REGISTERED ARCHITECT

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PROJECT NO.	22014	
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DATE	05/15/2022	
PROJECT MANAGER	MH	
QUALITY CONTROL	MH	

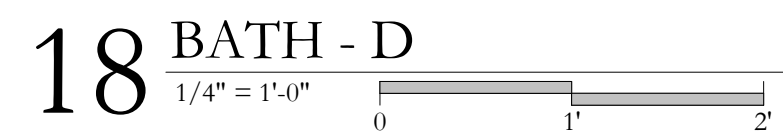
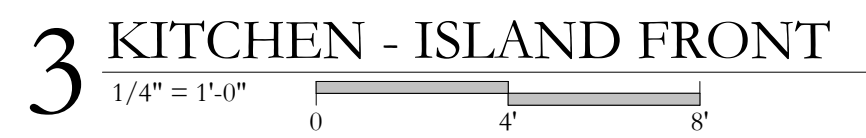
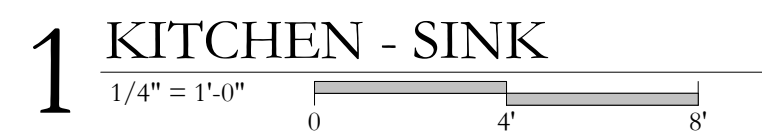
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CONSTRUCTION  
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DETAILS

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1. THE LOCATION OF ALL DEVICES TO BE INSTALLED IN FLOORS, ON WALLS, AND CEILINGS, ASSOCIATED WITH MECHANICAL, ELECTRICAL, FIRE PROTECTION, SECURITY AND OTHER SUCH SYSTEMS, NOT SPECIFICALLY INDICATED ON THE DRAWINGS, BUT PART OF THE CONSTRUCTION CONTRACT, SHALL BE APPROVED BY THE ARCHITECT. FAILURE TO RECEIVE APPROVAL WILL BE CAUSE FOR REMOVAL AND RELOCATION AT NO COST TO THE OWNER.

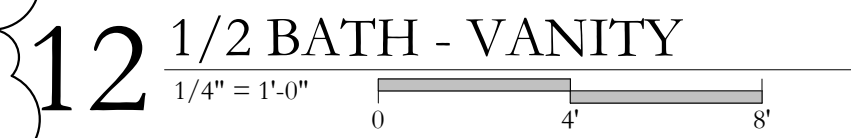
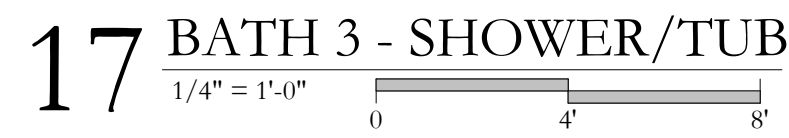
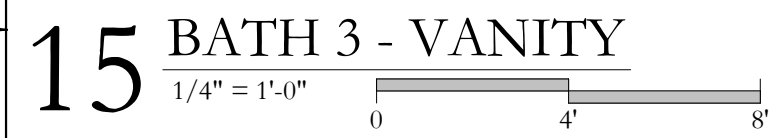
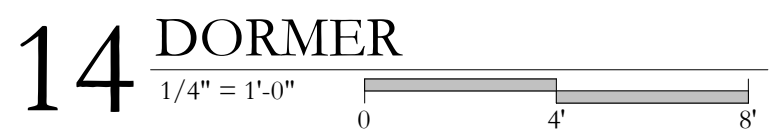
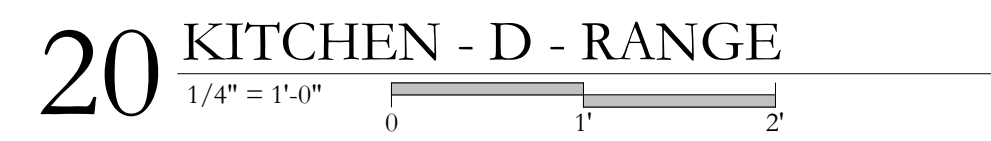
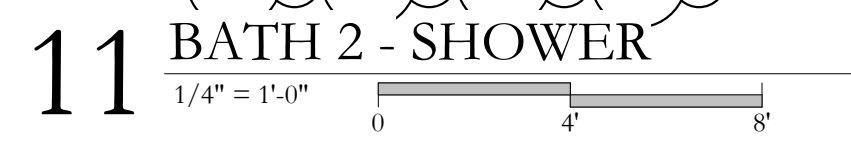
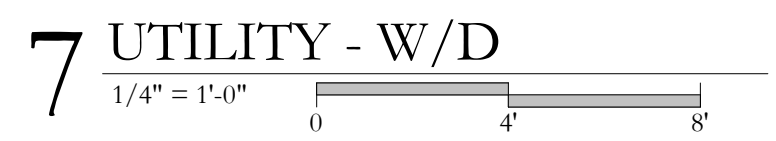
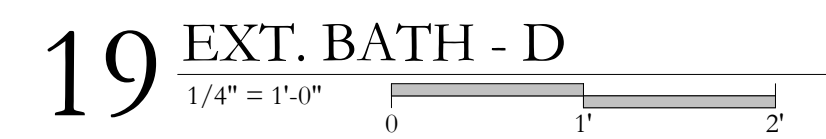
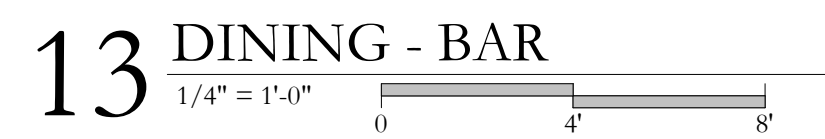
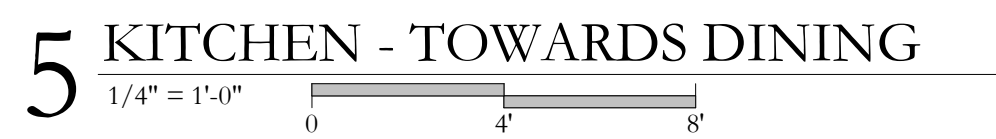
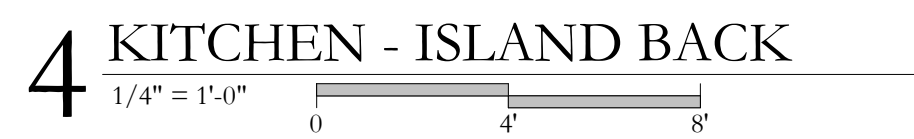
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INTERIOR ELEVATIONS /  
MILLWORK ELEVATIONS

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