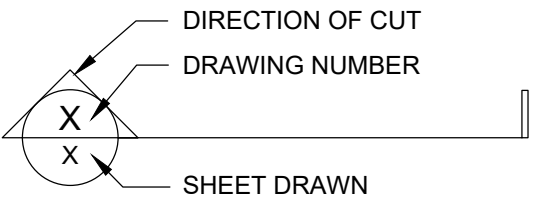
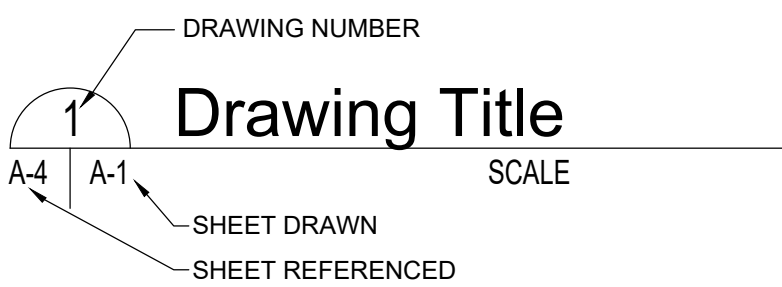


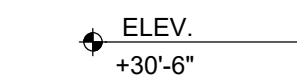
The Mackenzie - Gelfand Residence

Renovation and Addition
1214 Saint Mary Street
New Orleans, LA 70130

Architectural Symbols



SECTION REFERENCE

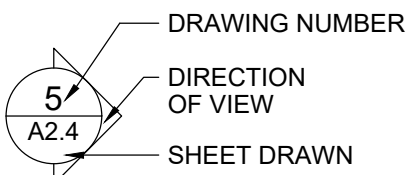


DOOR/FRAME

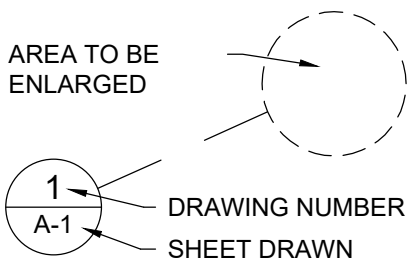
DOOR REF.

WINDOW OR LOUVER

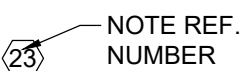
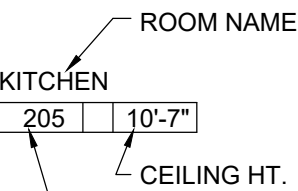
WINDOW REF.



ELEVATION REF.



DETAIL REF.



SPECIFIC NOTE

Directory

Owner

Poppy Mackenzie and Ryan Gelfand
1214 Saint Mary Street
New Orleans, LA 70130
Phone # (504) 919-8296
Phone # (412) 445-7148

Email: carrolltoncolony@gmail.com

Architect

Zangara + Partners LLC
6107 Magazine Street
New Orleans, Louisiana 70118
504-473-0064
Contact: Daniel Zangara Email: daniel@zangarapartners.com

Index Of Drawings

NO.	DESCRIPTION
A-0	- INFORMATION / TITLE SHEET
A-1	- EXISTING AND NEW SITE/ROOF PLANS
A-1A	- DEMOLITION FLOOR PLANS
A-1B	- DEMOLITION EXTERIOR ELEVATIONS
A-2	- NEW FIRST AND SECOND FLOOR PLANS
A-4	- NEW EXTERIOR ELEVATIONS
A-4A	- NEW EXTERIOR ELEVATION AND BUILDING SECTION
A-6	- INTERIOR ELEVATIONS
A-6A	- INTERIOR ELEVATIONS
A-6B	- INTERIOR ELEVATIONS
A-7	- FIRST AND SECOND FLOOR REFLECTED CEILING PLANS

Building Information

Project Address

1214 Saint Mary Street
New Orleans, LA 70130

Zoning Classification

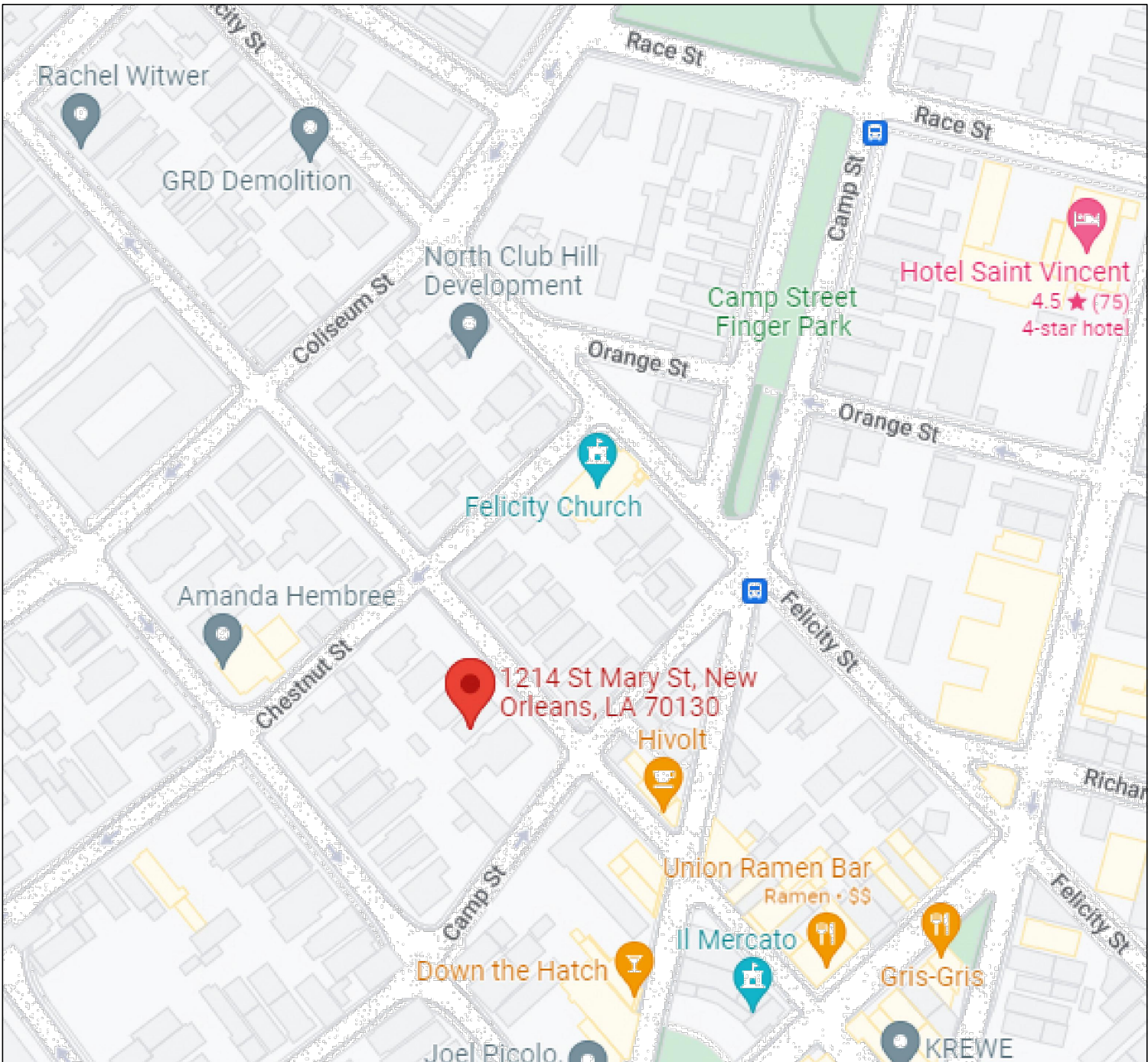
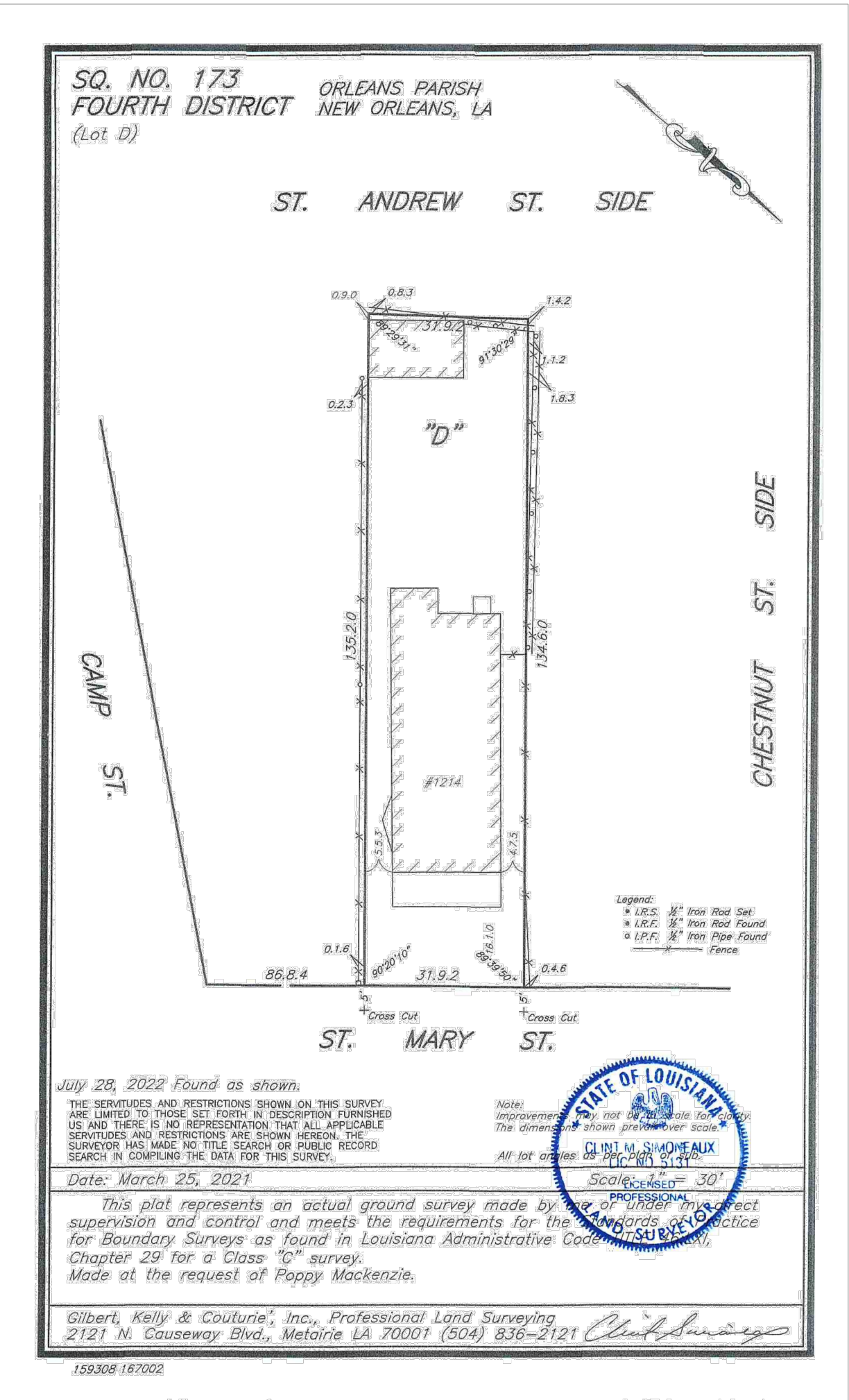
HU-RD2 Historic Urban Two Family Residential District

Gross Building Area

Existing First Floor Conditioned	- 1250 sq. ft.
Existing Second Floor Conditioned	- 1185 sq. ft.
Total Floor Conditioned	- 2435 sq. ft.
New First Floor Conditioned	- 1750 sq. ft.
New Second Floor Conditioned	- 1750 sq. ft.
Total Floor Conditioned	- 3500 sq. ft.
Total Screen Porches	- 360 sq. ft.

Occupancy Type

Single Family Residential



NOTE ALL DESIGN TO MEET IBC 2015

1
A-0
Survey

N.T.S.

2
A-0
Site Map

SCALE: 3/32" = 1'-0"

SCHEMATIC DESIGN

The Mackenzie - Gelfand Res.

Renovation and Addition
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Poppy Mackenzie and Ryan Gelfand

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Revisions

Interface Data

Project Number
CN 22010

Drawn By
VAN DALTON JENKINS

Checked By
DANIEL ZANGARA

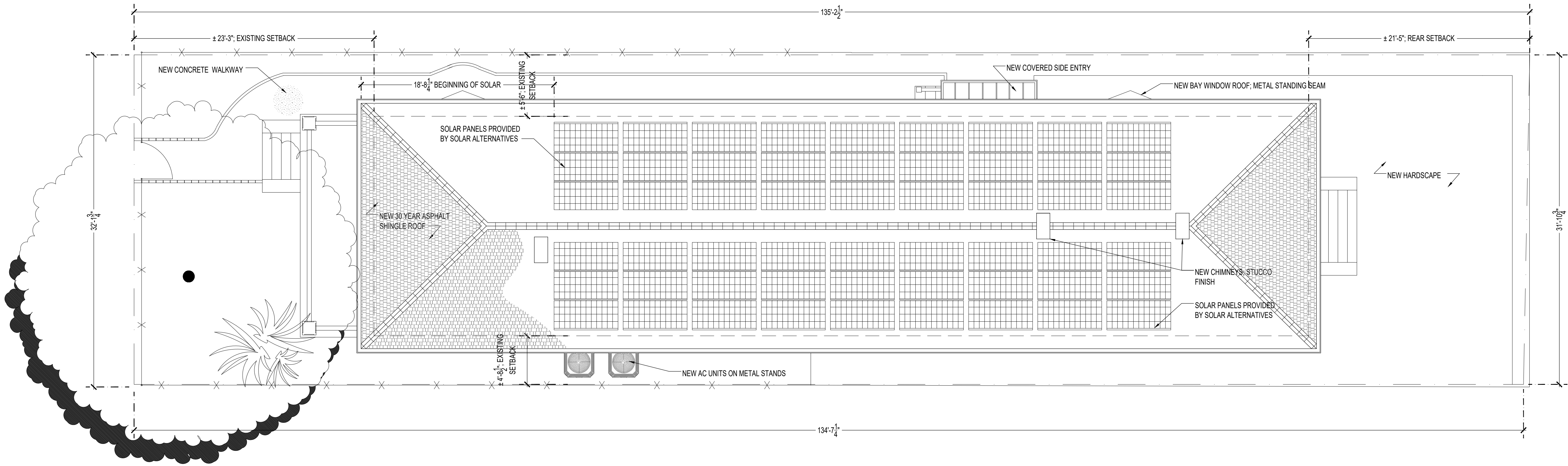
Issue Date
08.03.22

Title

Title Page

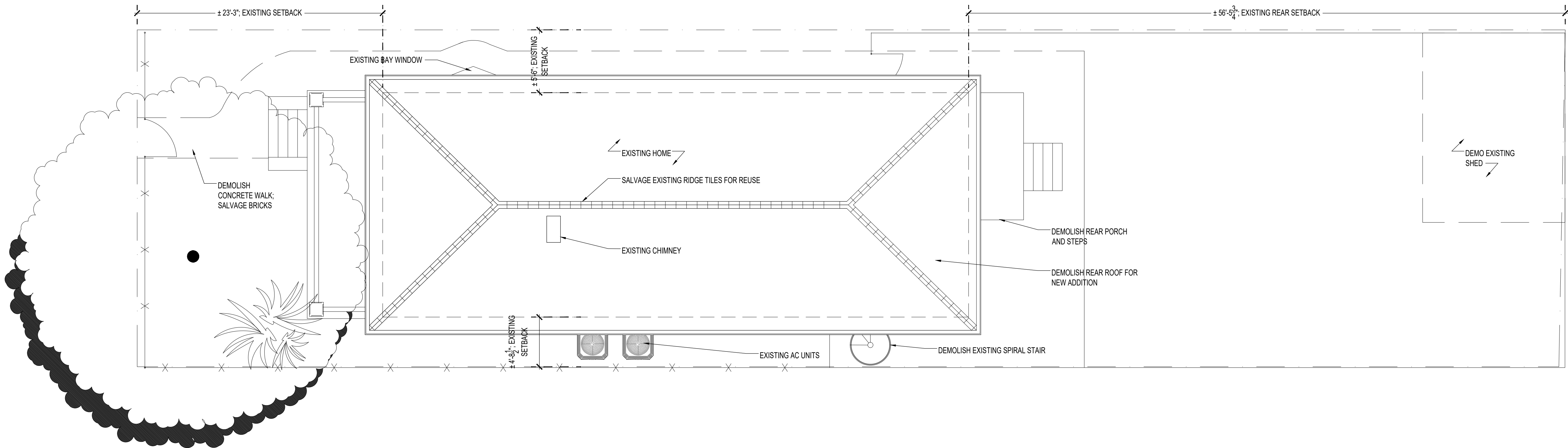
Sheet

A-0



2 New Site Plan/Roof Plan

SCALE: 3/16" = 1'-0"



1 Existing Site Plan/Roof Plan

SCALE: 3/16" = 1'-0"

The Mackenzie - Gelfand Res.

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Project Number	CN 22010
Drawn By	VAN DALTON JENKINS
Checked By	DANIEL ZANGARA
Issue Date	08.03.22

Title

Demolition and New
Site Plans

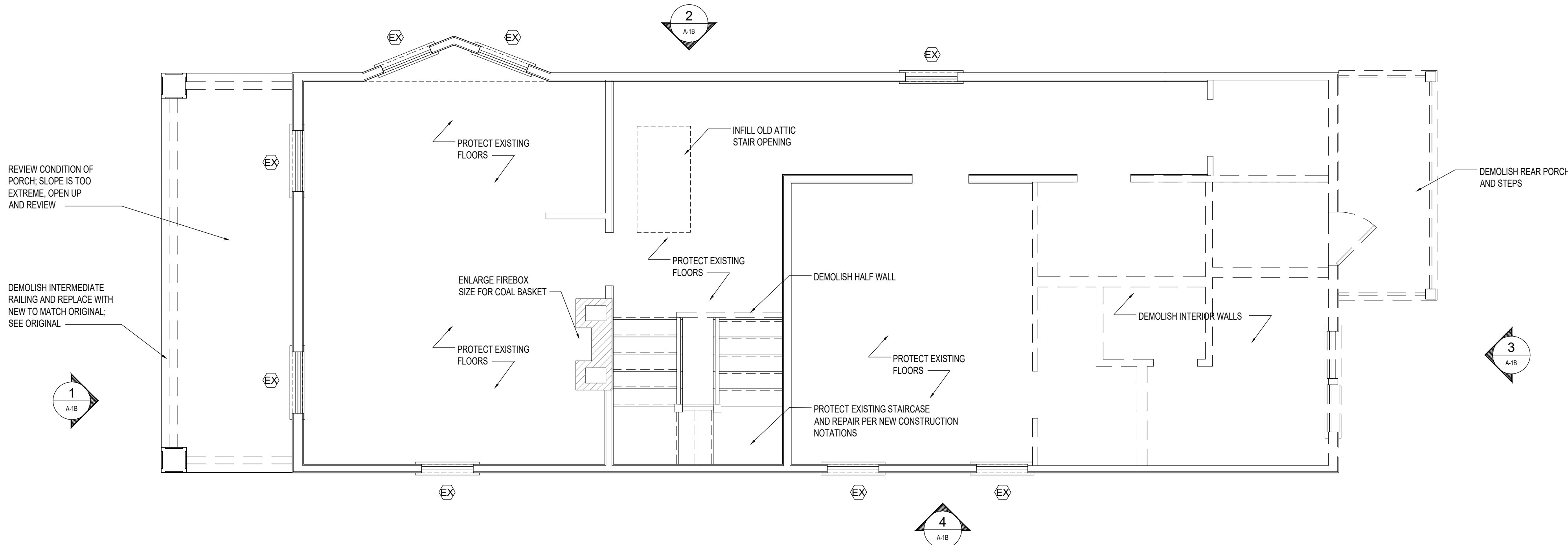
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GENERAL DEMOLITION NOTES

1. ALL INTERIOR WALL FRAMING SHALL BE REMOVED AS INDICATED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ALL ITEMS AND DISPOSE OF THEM PROPERLY AND TO MAINTAIN A STRUCTURALLY SOUND BUILDING DURING DEMOLITION. CONTRACTOR IS RESPONSIBLE TO MAINTAIN A WATERTIGHT ENVELOPE THROUGHOUT DEMOLITION AND CONSTRUCTION.
2. REMOVE ALL EXISTING WALLS AS INDICATED ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING AND STRUCTURE AS NECESSARY.
3. REMOVE ALL EXISTING LIGHTING FIXTURES, WIRING, SWITCHES, ETC AS INDICATED. SEE NEW ELECTRICAL PLANS FOR NEW OUTLETS AND SWITCHES.
4. RELOCATE EXISTING ELECTRICAL PANEL LOCATION AND REPLACE WITH NEW FOR NEW LOADS AS CALCULATED PER ELECTRICIAN.
5. SALVAGE ALL DOORS AND WINDOWS AND HARDWARE FOR REVIEW BY ARCHITECT.
6. DEMOLISH ALL HVAC DUCTWORK, PIPING, AND GRILLES AS NOTED.
7. DEMOLISH ALL EXISTING PLUMBING.
8. REMOVE ALL PIPING, CONDUIT, ETC... ON EXTERIOR OF HOUSE.
9. REMOVE ALL EXISTING CONDUIT, PIPES, ETC... FROM EXTERIOR OF BUILDING.
10. REMOVE SECOND FLOOR CHAIR RAIL AND FLOAT PLASTER.

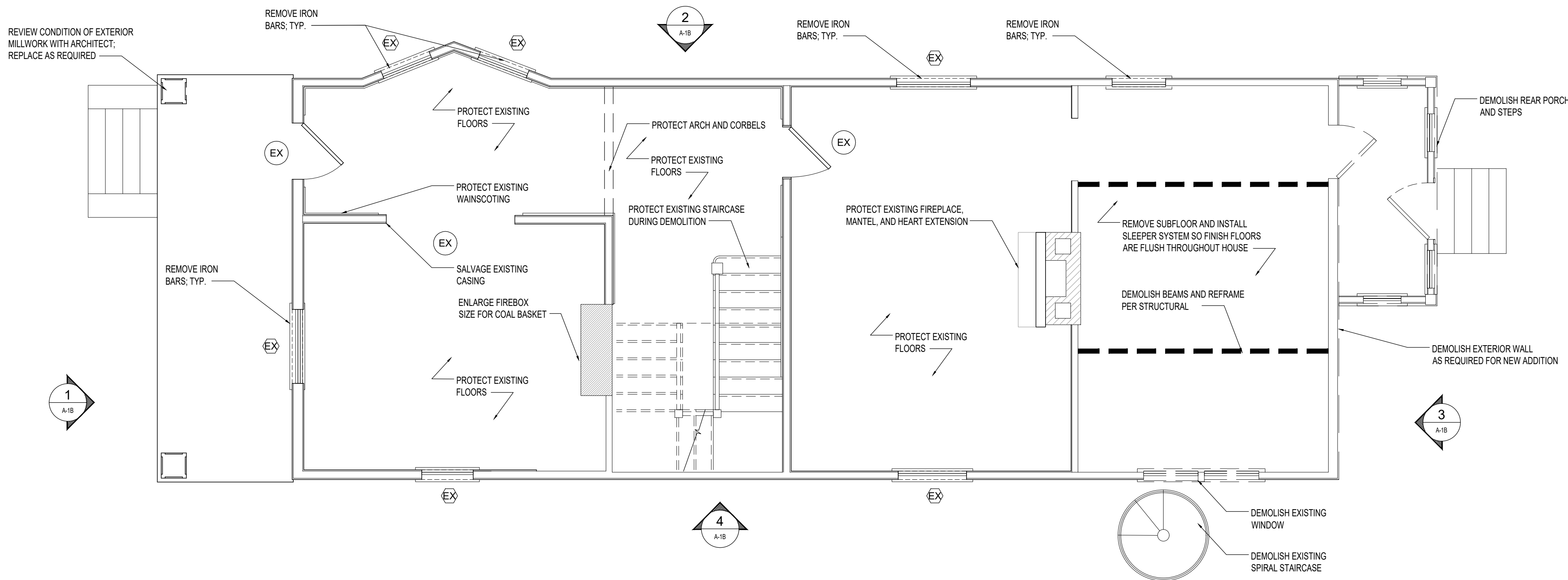
LEGEND

EXISTING WALL	
NEW WALL	
DEMO WALL	
EXISTING MASONRY WALL	



2 Demolition Second Floor Plan
- A-1A

SCALE: 1/4" = 1'-0"



1 Demolition First Floor Plan
- A-1A

SCALE: 1/4" = 1'-0"

SCHEMATIC DESIGN

The Mackenzie - Gelfand Res.

Renovation and Addition
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Interoffice Data	
Project Number	CN 22010
Drawn By	VAN DALTON JENKINS
Checked By	DANIEL ZANGARA

Issue Date
08.03.22

Title

Demolition
Floor Plans

Sheet

A-1A

The Mackenzie - Gelfand Res.

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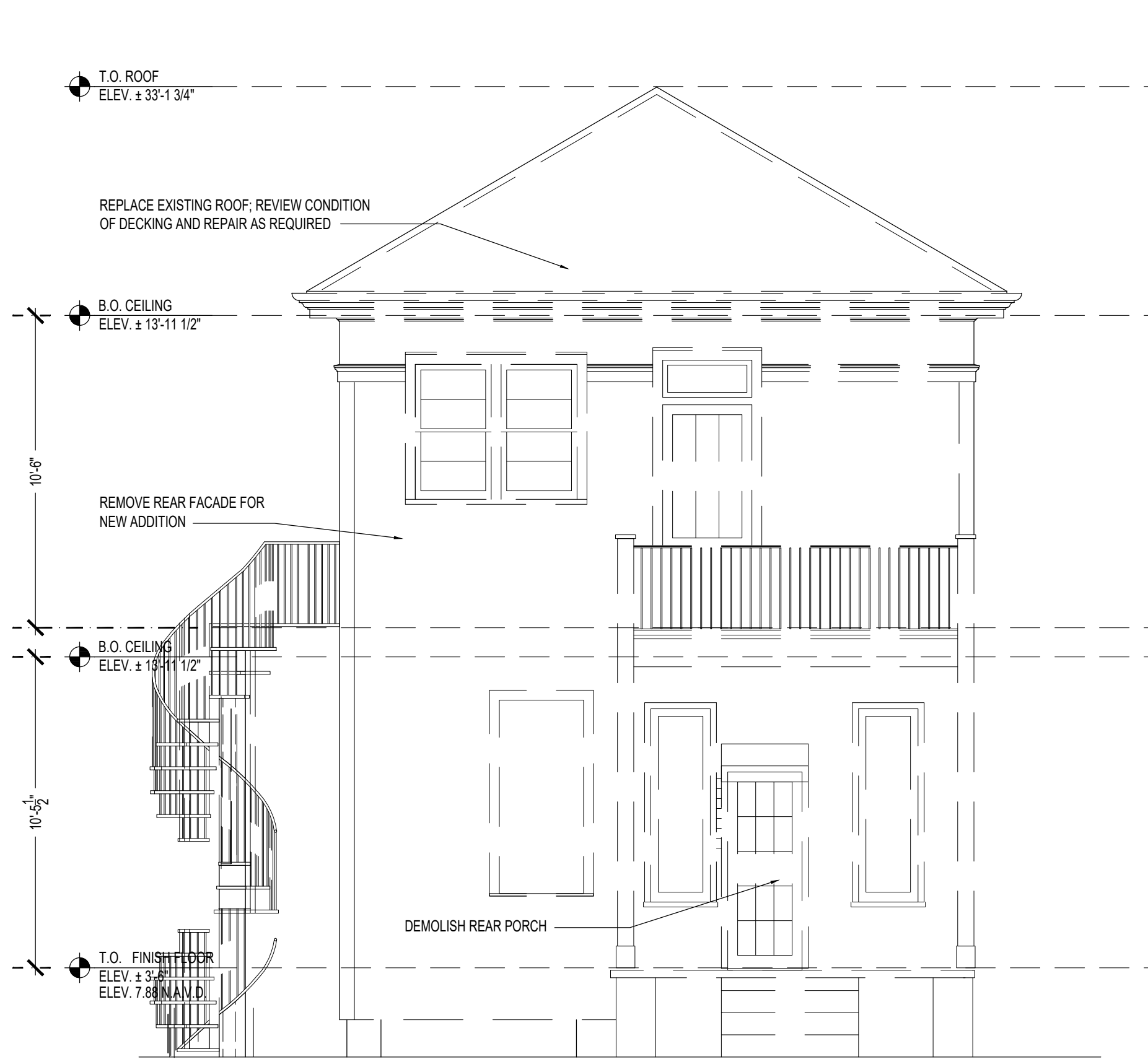
08.03.22

Title

Demolition
Exterior Elevations

Sheet

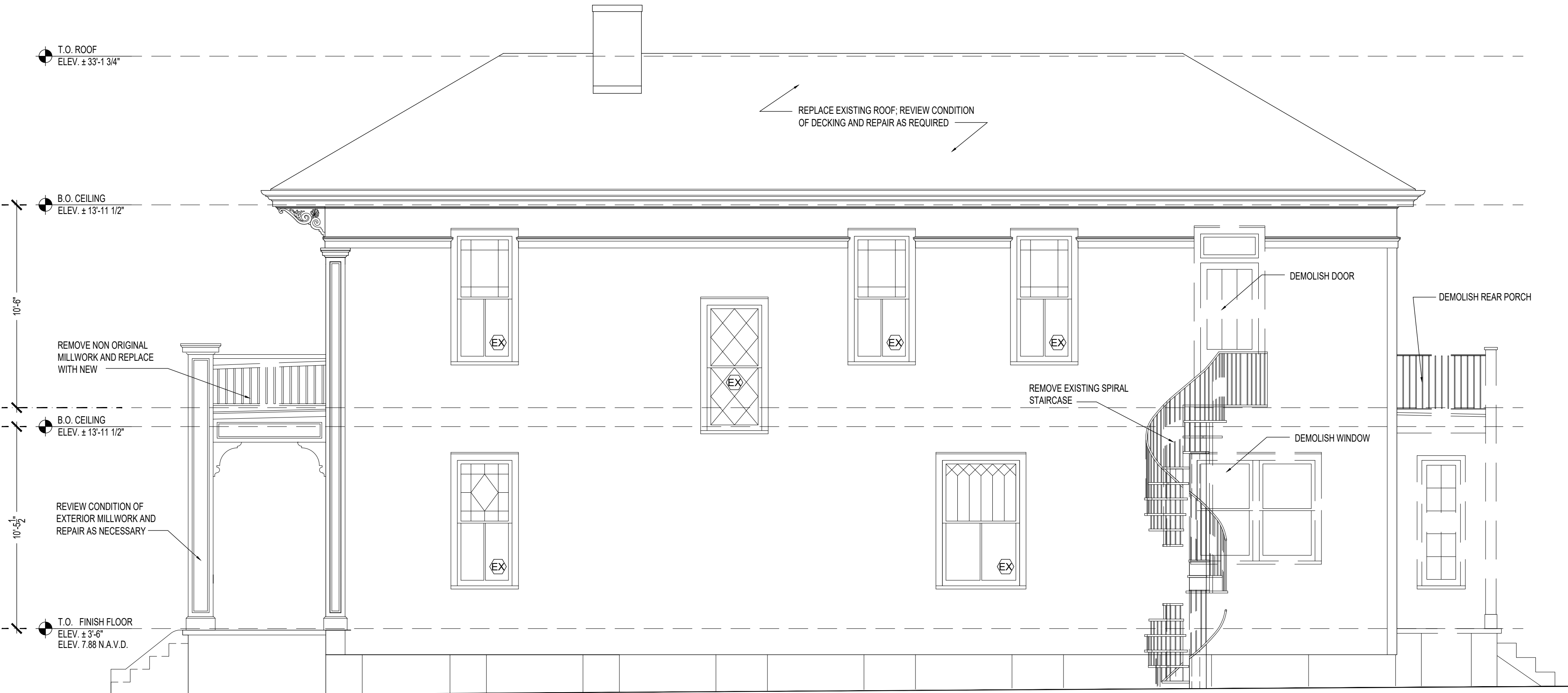
A-1B



3 Demolition Rear Elevation (Saint Andrew Street Side)

A-1B

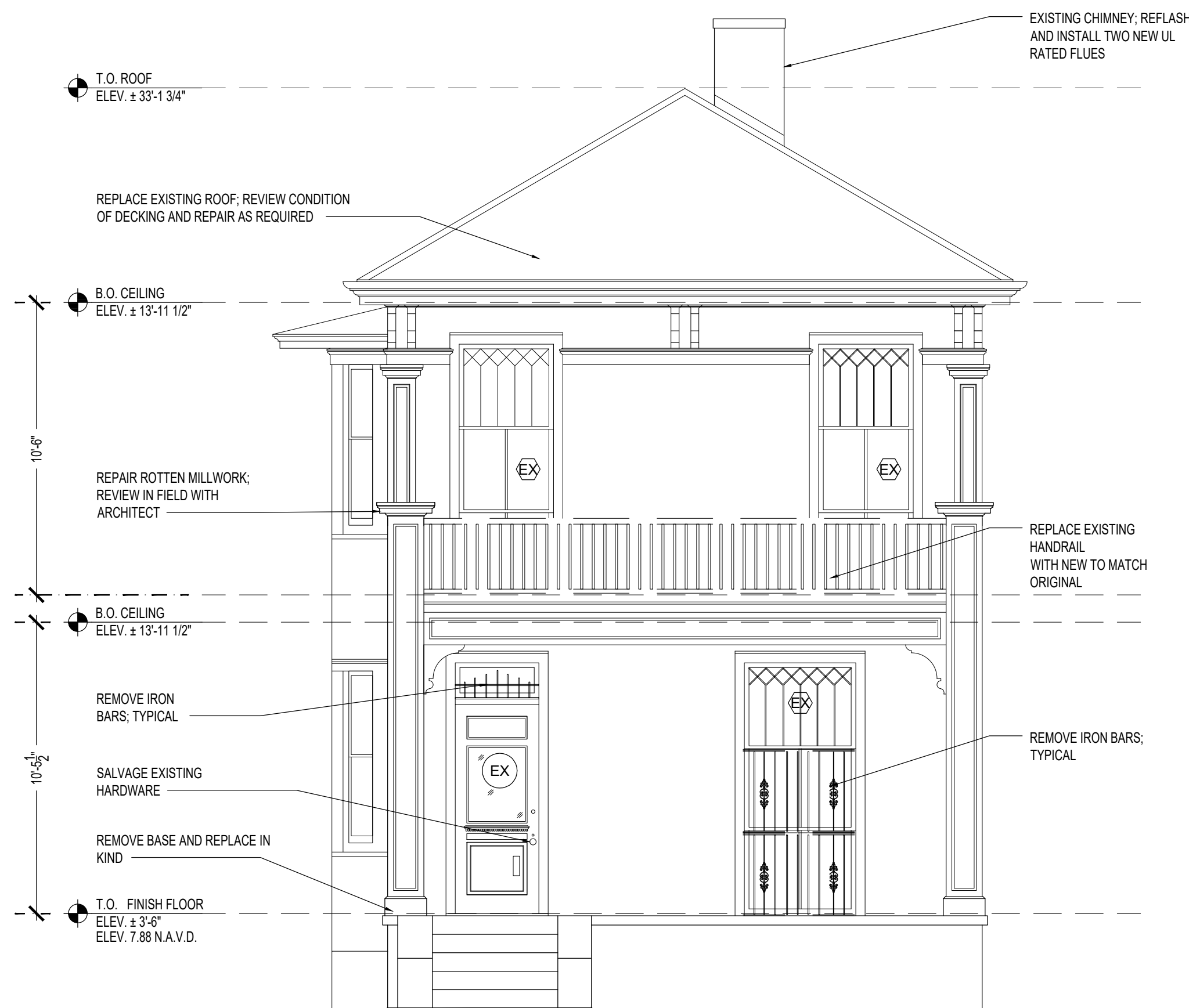
SCALE: 1/4" = 1'-0"



4 Demolition Side Elevation (Chestnut Street Side)

A-1B

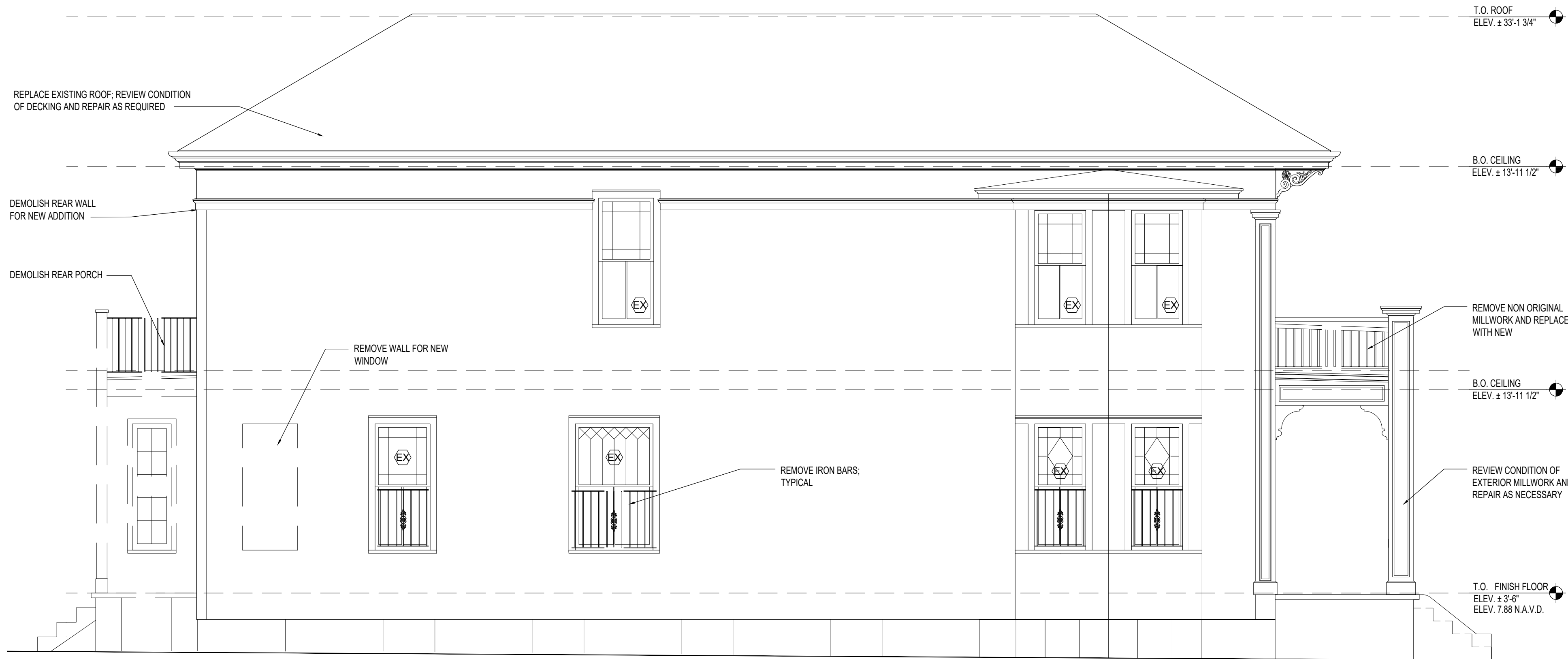
SCALE: 1/4" = 1'-0"



1 Demolition Front Elevation (Saint Mary Street)

A-1B

SCALE: 1/4" = 1'-0"



2 Demolition Side Elevation (Camp Street Side)

A-1B

SCALE: 1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES

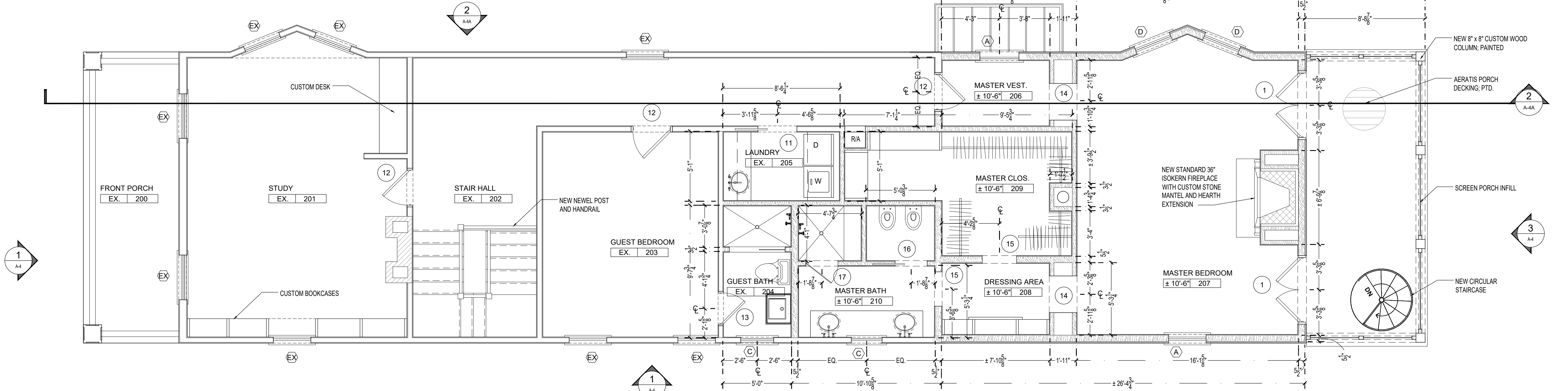
- CONTRACTOR SHALL NOT PROCEED WITH ANY WORK UNTIL A PERMIT IS POSTED.
- THE COST OF THE PERMIT SHALL BE PAID FOR BY THE CONTRACTOR AS A REIMBURSABLE EXPENSE.
- ALL NEW PLUMBING SHALL BE COPPER SUPPLY LINES AND CAST IRON DRAIN LINES. STACKS ABOVE FIXTURES CAN BE PVC.
- ALL NEW CABINETS SHALL BE CUSTOM UNITS. NO MILLWORK OR CASEWORK TO BE FABRICATED UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED BY THE ARCHITECT.
- CONTRACTOR IS TO CONFIRM THAT FLOORS ARE LEVEL AND WALLS ARE PLUMB. ALL EXISTING WALLS SHALL BE CHECKED FOR PLUMB AND FLOORS FOR LEVEL. CONTRACTOR SHALL STRAIGHTEN AS REQUIRED. WALLS OUT OF PLUMB NEED TO BE SHIMMED OR SISTERED. SAME APPLIES TO CEILINGS FOR LEVEL AND FLATNESS.
- THE CONTRACTOR SHALL PROVIDE BLOCKING IN THE WALLS FOR ALL CABINETS, BATHROOM ACCESSORIES, AND ANY GRAB BAR.
- ALL ELECTRICAL SHALL BE NEW AS INDICATED ON THE DRAWINGS.
- OWNER AND ARCHITECT TO VERIFY LOCATION OF ALL SWITCHES AND OUTLETS PRIOR TO WIRING. THERE SHALL BE A JOBSITE WALKTHROUGH TO CONFIRM LOCATIONS PRIOR TO ELECTRICIAN RUNNING WIRES.
- NEW LIGHT FIXTURES SHALL BE INSTALLED PER THE DRAWINGS AND SCHEDULE. REPLACE HANGING FIXTURES WITH NEW PER OWNER SELECTIONS.
- INSTALL NEW ON DEMAND TYPE WATER HEATERS.
- ALL FINISH FLOORS SHALL BE LEVEL AND FLUSH WITH EACH OTHER. THERE SHALL BE NO HEIGHT CHANGES OR RAISED THRESHOLDS BETWEEN ROOMS OR BETWEEN NEW CONSTRUCTION AND EXISTING.
- ALL NEW EXTERIOR WINDOWS AND DOORS TO HAVE WEATHERSTRIPPING. ADD WEATHERSTRIPPING TO EXISTING WINDOWS/DOORS.
- ALL HVAC EQUIPMENT, CONDENSERS, AIR HANDLERS, ETC. SHALL BE NEW. PROVIDE NEW DEHUMIDIFIERS FOR BOTH FLOORS.
- ALL DOWNSPOUTS TO BE INSTALLED PER SITE WALKTHROUGH. DIRECT WATER INTO SUBSURFACE LINES CONNECTED TO STORMWATER SYSTEM. REVIEW CIVIL DRAWINGS FOR ALL WORK.
- NEW ROOF TO BE 30 YEAR TIMBERLINE ULTRA HD, COLOR AS SELECTED BY ARCHITECT.
- REPAINT EXTERIOR WOODWORK SCHEDULED TO REMAIN. REPAINT ENTIRE INTERIOR AND EXTERIOR OF HOUSE. NEW SHEETROCK TO PROVIDE BE LEVEL 4 FINISH THROUGHOUT.
- ALL SECOND FLOOR GRILLES TO BE ALUMINUM CEILING SUPPLIES. LOCATE ALL WITH ARCHITECT. THERE SHALL BE A JOB SITE WALKTHROUGH TO LOCATE ALL GRILLES PRIOR TO RUNNING DUCTWORK. ALL FIRST FLOOR GRILLES TO BE WOOD.
- THERE SHALL BE A JOB SITE WALKTHROUGH TO VERIFY ALL OPENING ROUGH OPENINGS PRIOR TO FRAMING.
- PREP, PRIME, BACKPRIME, SAND AND PAINT ALL EXTERIOR WORK INCLUDING NEW AND EXISTING.
- PROVIDE SOUND INSULATION AT ALL BATHROOMS.
- PROVIDE BATT INSULATION AT ALL EXTERIOR WALLS. AT EXISTING HOUSE, WRAP #15 FELT BETWEEN STUD CAVITIES.

Finish Schedule

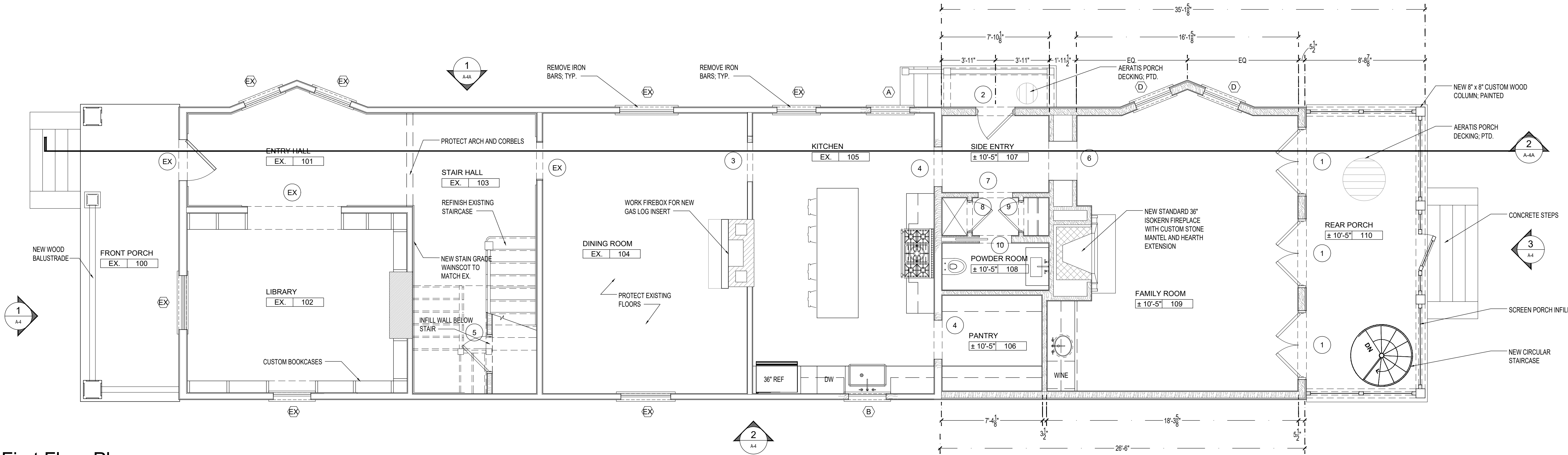
FIRST FLOOR									
ROOM #	ROOM NAME	FLOOR	BASE SIZE	WALLS	CEILING	CEILING HEIGHT	CROWN	CASING	REMARKS
100	FRONT PORCH	EXISTING							REPAINT PORCH
101	FRONT ENTRY	EXISTING	EXISTING	EX. PLASTER	EX. PLASTER	EXISTING	N/A	EX.	REPAIR WAINSCOT
102	LIBRARY	EXISTING	MATCH EX.	EX. PLASTER	EX. PLASTER	EXISTING	N/A	EX.	
103	STAIR HALL	EXISTING	MATCH EX.	EX. PLASTER	EX. PLASTER	EXISTING	N/A	EX.	REPAIR WAINSCOT
104	DINING ROOM	EXISTING	EXISTING	EX. PLASTER	EX. PLASTER	EXISTING	N/A	A	REPAIR WAINSCOT
105	KITCHEN	WOOD	A	GYP. WALLBOARD	GYP. WALLBOARD	10'-5"	N/A	A	LOWER SUBFLOOR
106	PANTRY	WOOD	A	GYP. WALLBOARD	GYP. WALLBOARD	10'-5"	N/A	A	
107	SIDE ENTRY	WOOD	A	GYP. WALLBOARD	GYP. WALLBOARD	10'-5"	N/A	A	
108	POWDER ROOM	WOOD	A	GYP. WALLBOARD	GYP. WALLBOARD	10'-5"	N/A	A	
109	FAMILY ROOM	WOOD	A	GYP. WALLBOARD	GYP. WALLBOARD	10'-5"	N/A	A	
110	REAR PORCH	AERATIS							

Finish Schedule

SECOND FLOOR									
ROOM #	ROOM NAME	FLOOR	BASE SIZE	WALLS	CEILING	CEILING HEIGHT	CROWN	CASING	REMARKS
200	FRONT PORCH	FIBERGLASS	N/A						
201	STUDY	EXISTING	A	GYP. WALLBOARD	GYP. WALLBOARD	EXISTING	N/A	A	
202	STAIR HALLWAY	EXISTING	A	GYP. WALLBOARD	GYP. WALLBOARD	EXISTING	N/A	A	
203	GUEST BEDROOM	EXISTING	A	GYP. WALLBOARD	GYP. WALLBOARD	EXISTING	N/A	A	
204	GUEST BATH	TILE	B	GYP. WALLBOARD	GYP. WALLBOARD	EXISTING	N/A	A	
205	LAUNDRY	TILE	B	GYP. WALLBOARD	GYP. WALLBOARD	EXISTING	N/A	A	
206	MASTER VESTIBULE	WOOD	A	GYP. WALLBOARD	GYP. WALLBOARD	EXISTING	N/A	A	
207	MASTER BEDROOM	WOOD	A	GYP. WALLBOARD	GYP. WALLBOARD	± 10'-6"	N/A	A	
208	DRESSING AREA	WOOD	A	GYP. WALLBOARD	GYP. WALLBOARD	± 10'-6"	N/A	A	
209	MASTER CLOSET	WOOD	A	GYP. WALLBOARD	GYP. WALLBOARD	± 10'-6"	N/A	A	
210	MASTER BATHROOM	TILE	B	GYP. WALLBOARD	GYP. WALLBOARD	± 10'-6"	N/A	A	
211	REAR PORCH	AERATIS	N/A	SIDING, PAINTED	BEADED CEILING				



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

SCHEMATIC DESIGN

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Revisions

Interface Data

Project Number CN 22010

Drawn By VAN DALTON JENKINS

Checked By DANIEL ZANGARA

Issue Date

08.03.22

Title

New First and
Second Floor Plan

Sheet

A-2

The Mackenzie - Gelfand Res.

Renovation and Addition
1214 Saint Mary Street
New Orleans, LA 70130

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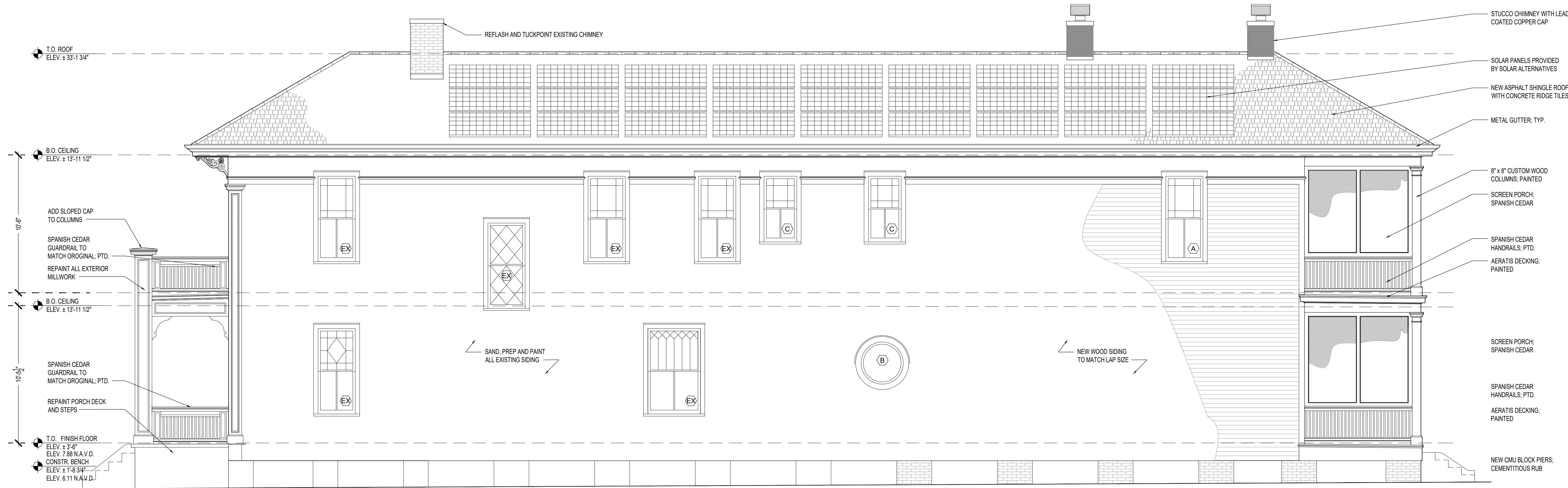
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Interface Data	
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Issue Date	08.03.22
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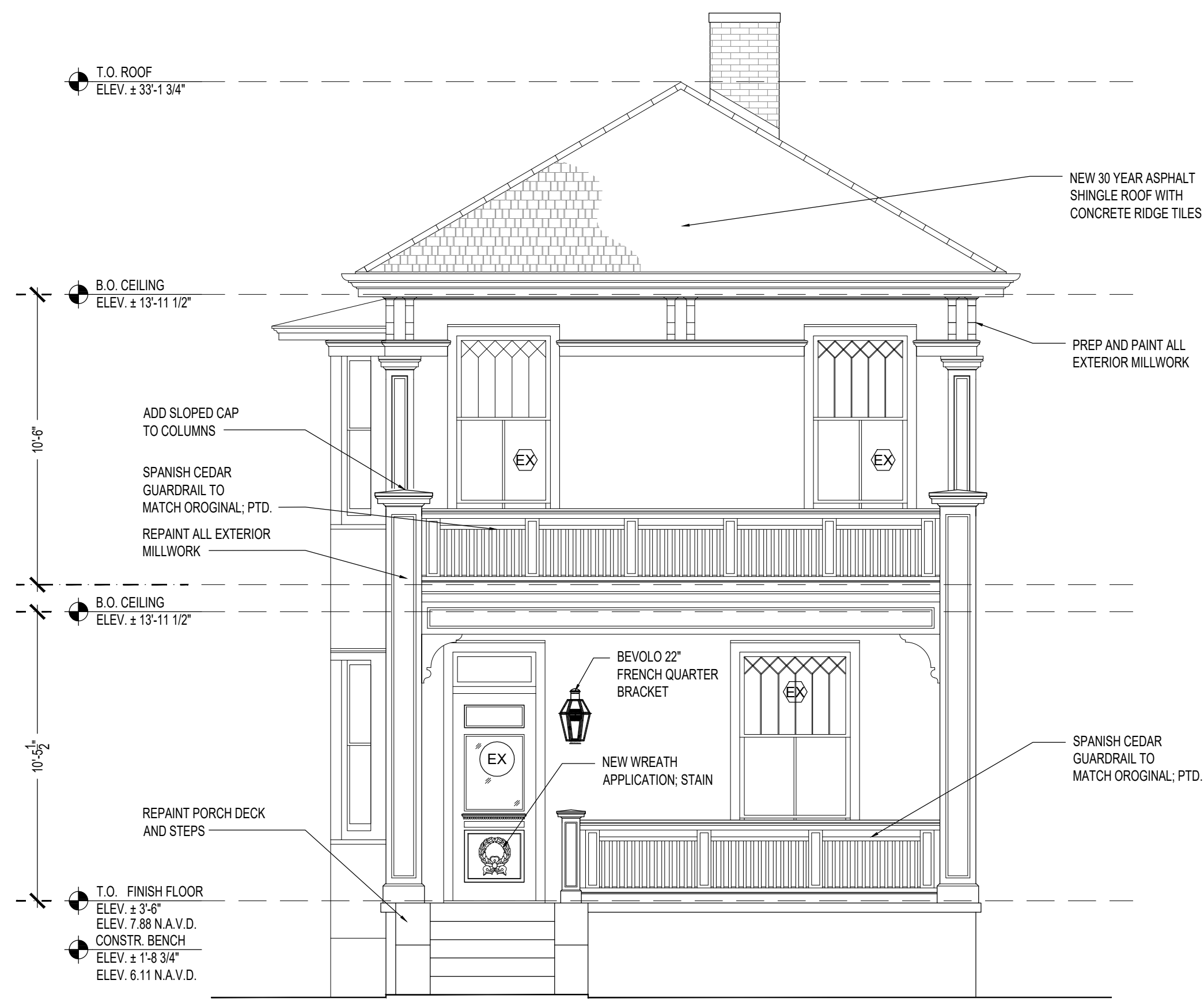
Title	New Exterior Elevations
Sheet	

A-4



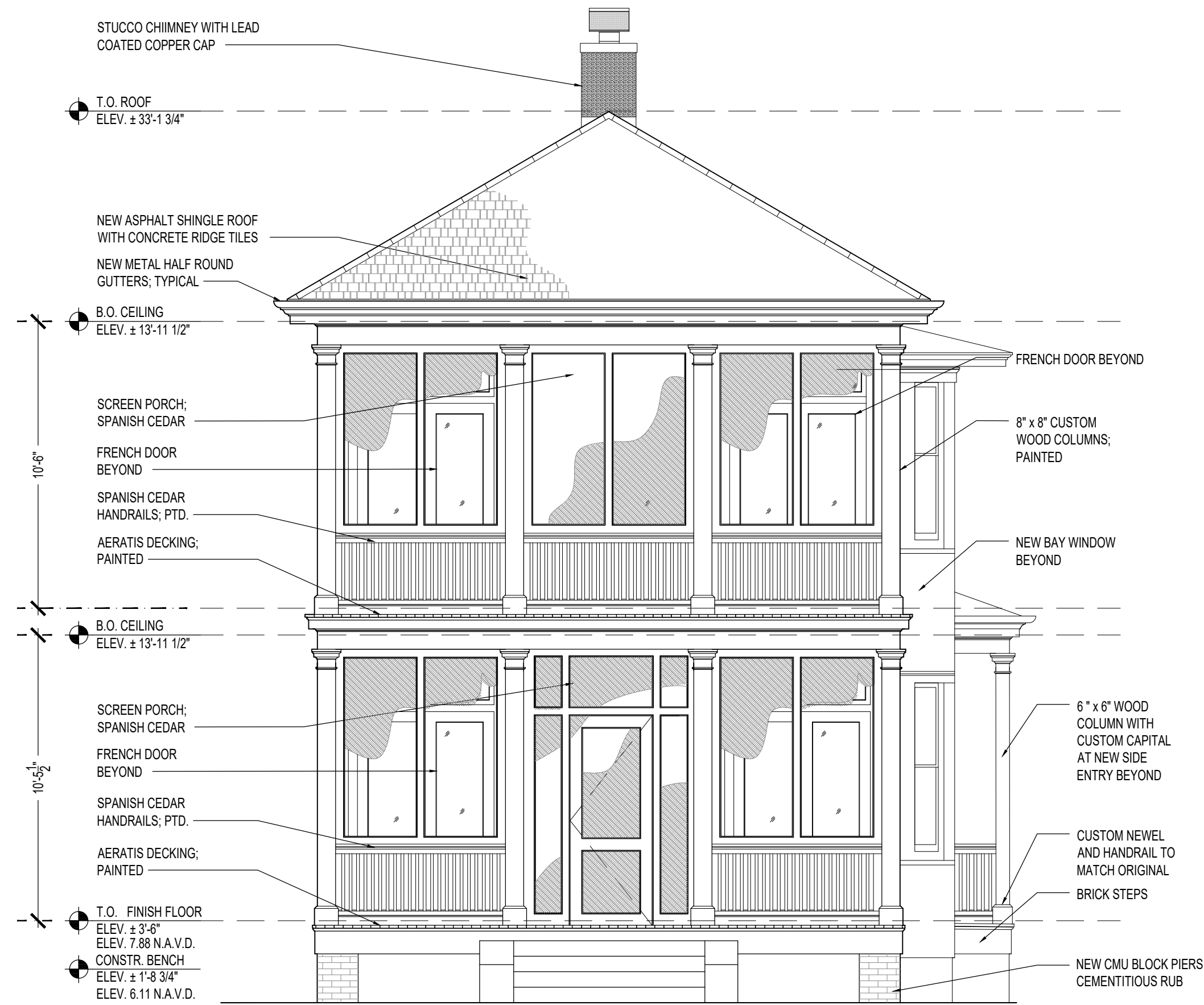
2 New Side Elevation (Camp Street Side)

SCALE: 1/4 = 1'-0"



1 New Front Elevation (Saint Mary Street)

SCALE: 1/4 = 1'-0"



3 New Rear Elevation (Saint Andrew Street Side)

SCALE: 1/4 = 1'-0"

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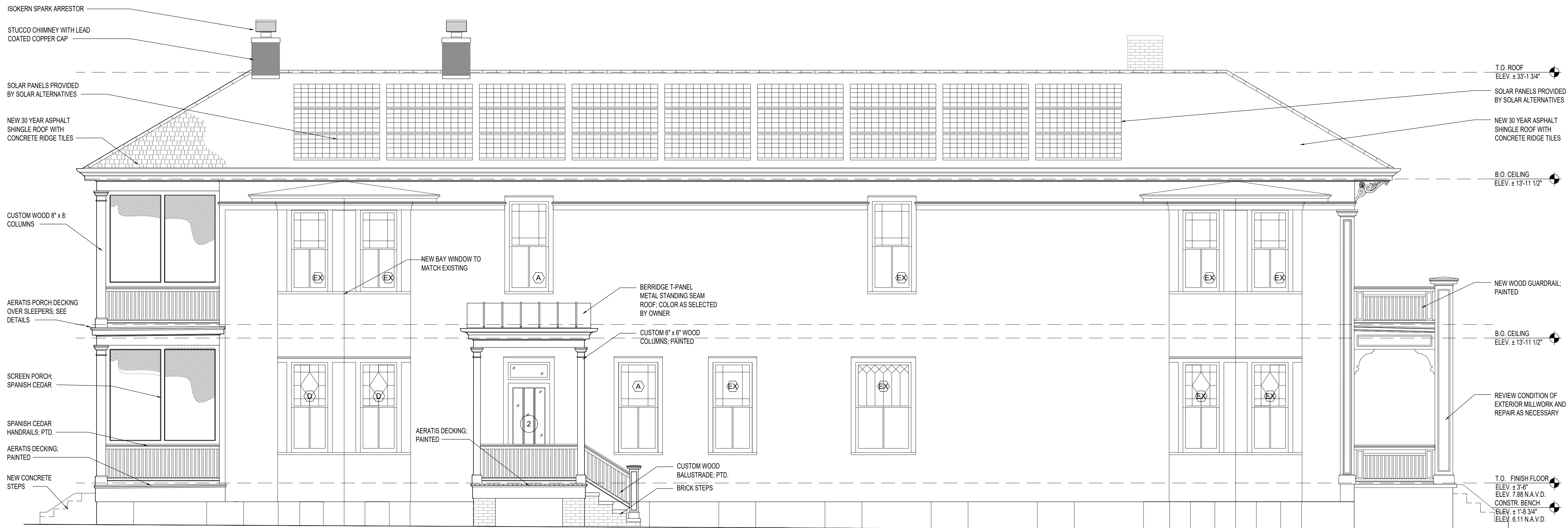
08.03.22

Title

New Exterior Elev.
and Building Section

Sheet

A-4A



1 New Side Elevation (Chestnut Street Side)

A-4A

SCALE: 1/4" = 1'-0"