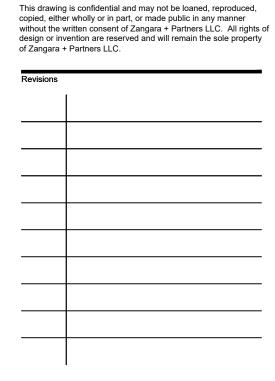
New Orleans, LA 70118 T (504) 533-9163

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Interoffice Data Project Number | CN 22010 VAN DALTON JENKINS Checked By DANIEL ZANGARA

Title Page

08.03.22

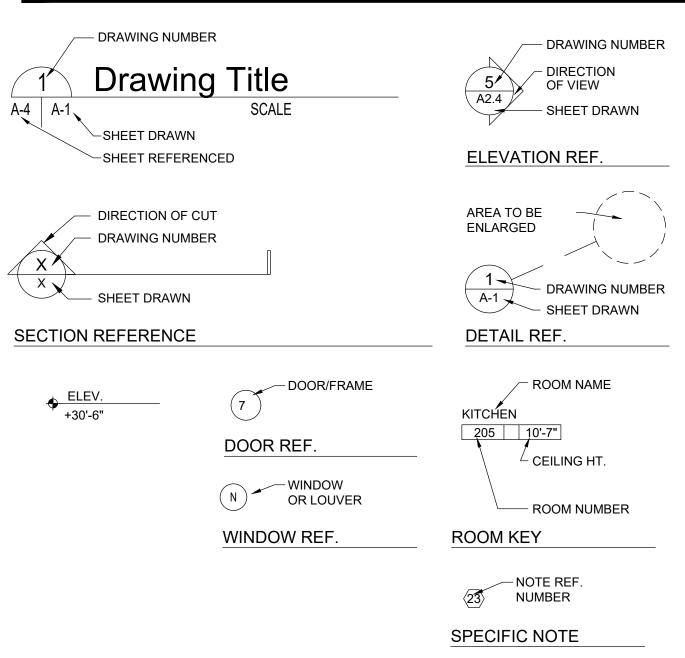
A-0

SCALE: 3/32" = 1'-0"

The Mackenzie - Gelfand Residence

Renovation and Addition 1214 Saint Mary Street New Orleans, LA 70130

Architectural Symbols



Directory

Owner

Poppy Mackenzie and Ryan Gelfand 1214 Saint Mary Street New Orleans, LA 70130 Phone # (504) 919-8296 Phone # (412) 445-7148 Email: carrolltoncolony@gmail.com

Architect

Zangara + Partners LLC 6107 Magazine Street New Orleans, Louisiana 70118 Contact: Daniel Zangara Email: daniel@zangarapartners.com

NOTE ALL DESIGN TO MEET IBC 2015

Index Of Drawings

NO.	DESCRIPTION
A-0	- INFORMATION / TITLE SHEET
A-1	- EXISTING AND NEW SITE/ROOF PLANS
A-1A	- DEMOLITION FLOOR PLANS
A-1B	- DEMOLITION EXTERIOR ELEVATIONS
A-2	- NEW FIRST AND SECOND FLOOR PLANS
A-4	- NEW EXTERIOR ELEVATIONS
A-4A	- NEW EXTERIOR ELEVATION AND BUILDING SECTION
A-6	- INTERIOR ELEVATIONS
A-6A	- INTERIOR ELEVATIONS
A-6B	- INTERIOR ELEVATIONS
A-7	- FIRST AND SECOND FLOOR REFLECTED CEILING PLANS

SQ. NO. 173 FOURTH DISTRICT NEW ORLEANS, LA ST. #1214 MARY July 28, 2022 Found as shown. This plat represents an actual ground survey made t supervision and control and meets the requirements for for Boundary Surveys as found in Louisiana Administr Chapter 29 for a Class "C" survey. Made at the request of Poppy Mackenzie. Gilbert, Kelly & Couturie', Inc., Professional Land Surveying 2121 N. Causeway Blvd., Metairie LA 70001 (504) 836-2121 Clerk Survey

Building Information

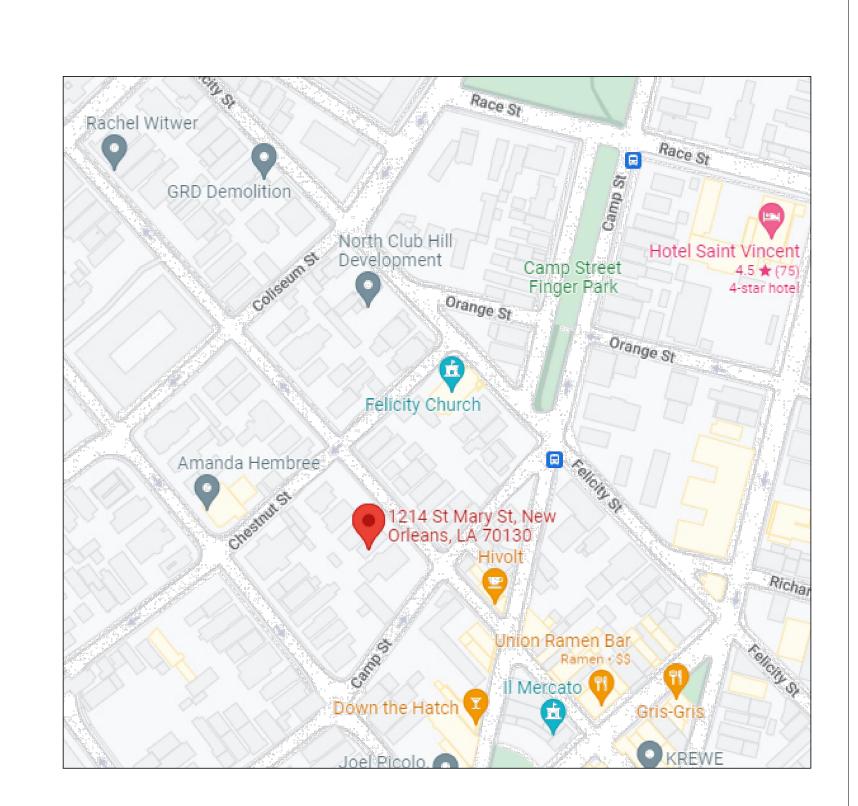
Project Address

Zoning Classification

Gross Building Area

Existing First Floor Conditioned Existing Second Floor Conditioned	- 1250 sq. fi - 1185 sq. fi
Total Floor Conditioned	- 2435 sq. fl
New First Floor Conditioned New Second Floor Conditioned	- 1750 sq. fl - 1750 sq. fl
Total Floor Conditioned	- 3500 sq. ff
Total Screen Porches	- 360 sq. ff

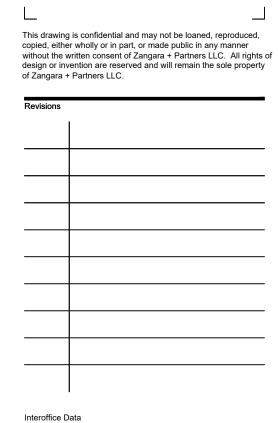
Occupancy Type Single Family Residential



SCALE: 3/16 = 1'-0"

SCALE: 3/16" = 1'-0"

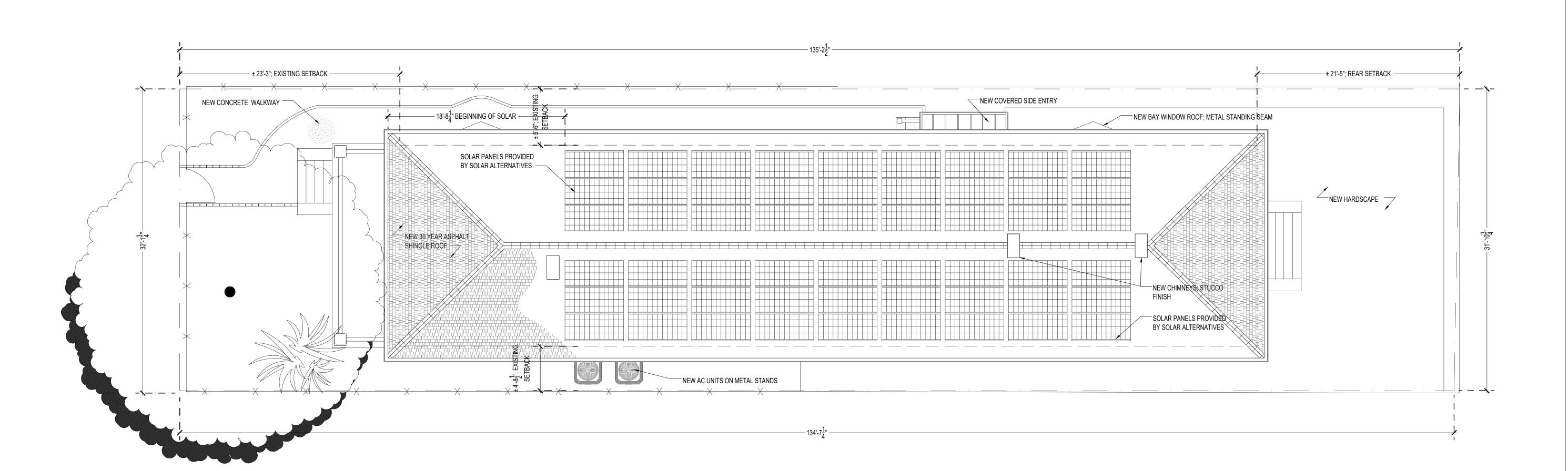
Poppy Mackenzie and Ryan Gelfand



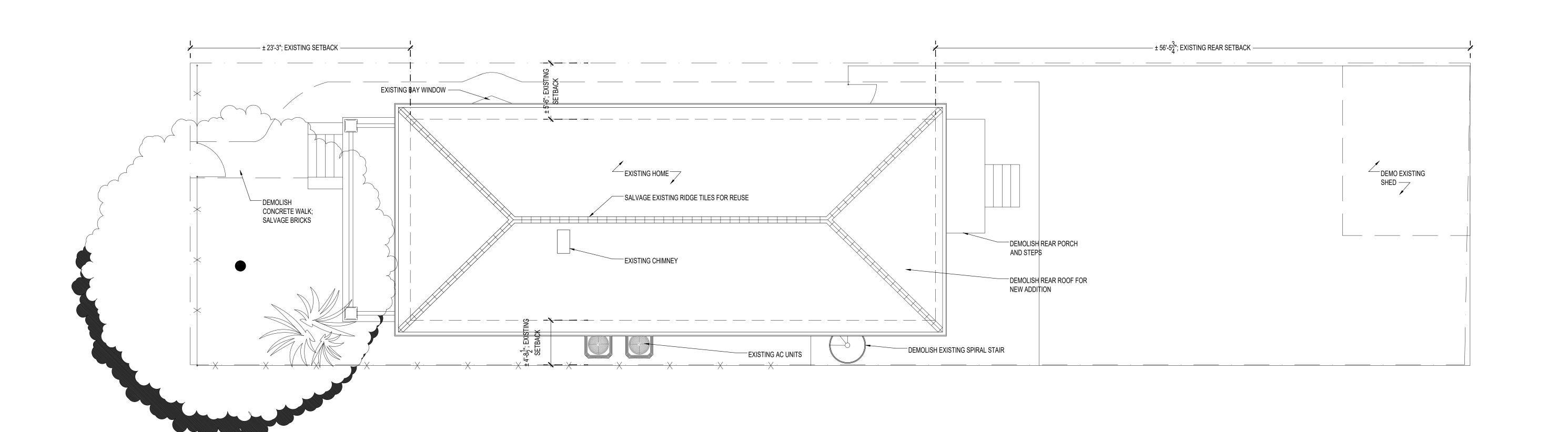
VAN DALTON JENKINS Checked By DANIEL ZANGARA

08.03.22

Demolition and New Site Plans



New Site Plan/Roof Plan



Existing Site Plan/Roof Plan

e Mackenzie - Gelfand Re

LEGEND

EXISTING WALL

NEW WALL

DEMO WALL

EXISTING MASONRY WALL

Renovation and Addition
1214 Saint Mary Street

1214 Saint Mary Street New Orleans, LA 70130 (504) 919-8296 (412) 445-7148

Poppy Mackenzie and Ryan Gelfand

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Revisions					

Revisions					
	-				

Interoffice Data

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Checked By DANIEL ZANGARA

Project Number | CN 22010

SCALE: 1/4 = 1'-0"

Demolition Floor Plans

08.03.22

A-1A

ALL INTERIOR WALL FRAMING SHALL BE REMOVED AS INDICATED. IT IS THE
CONTRACTOR'S RESPONSIBILITY TO REMOVE ALL ITEMS AND DISPOSE OF THEM
PROPERLY AND TO MAINTAIN A STRUCTURALLY SOUND BUILDING DURING DEMOLITION.
 CONTRACTOR IS RESPONSIBLE TO MAINTAIN A WATERTIGHT ENVELOPE THROUGHOUT
DEMOLITION AND CONSTRUCTION.

 REMOVE ALL EXISTING WALLS AS INDICATED ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING AND STRUCTURE AS NECESSARY.
 REMOVE ALL EXISTING LIGHTING FIXTURES, WIRING, SWITCHES, ETC AS INDICATED.

4. REMOVE ALL EXISTING LIGHTING FIXTURES, WIRING, SWITCHES, ETC AS INDICATED.
5. SEE NEW ELECTRICAL PLANS FOR NEW OUTLETS AND SWITCHES.
6. RELOCATE EXISTING ELECTRICAL PANEL LOCATION AND REPLACE WITH NEW

FOR NEW LOADS AS CALCULATED PER ELECTRICIAN.

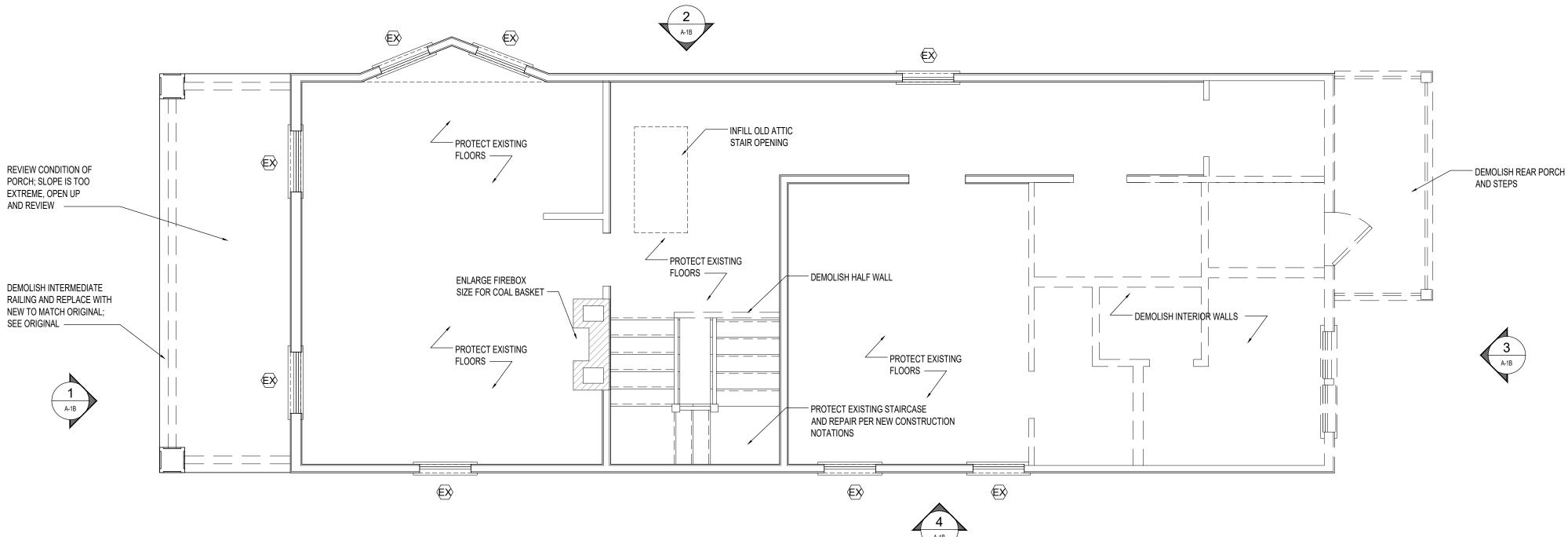
7. SALVAGE ALL DOORS AND WINDOWS AND HARDWARE FOR REVIEW BY ARCHITECT.

8. DEMOLISH ALL HVAC DUCTWORK, PIPING, AND GRILLES AS NOTED.

9. DEMOLISH ALL EXISTING PLUMBING.

10. REMOVE ALL PIPING, CONDUIT, ETC...ON EXTERIOR OF HOUSE.11. REMOVE ALL EXISTING CONDUIT, PIPES, ETC... FROM EXTERIOR OF BUILDING.

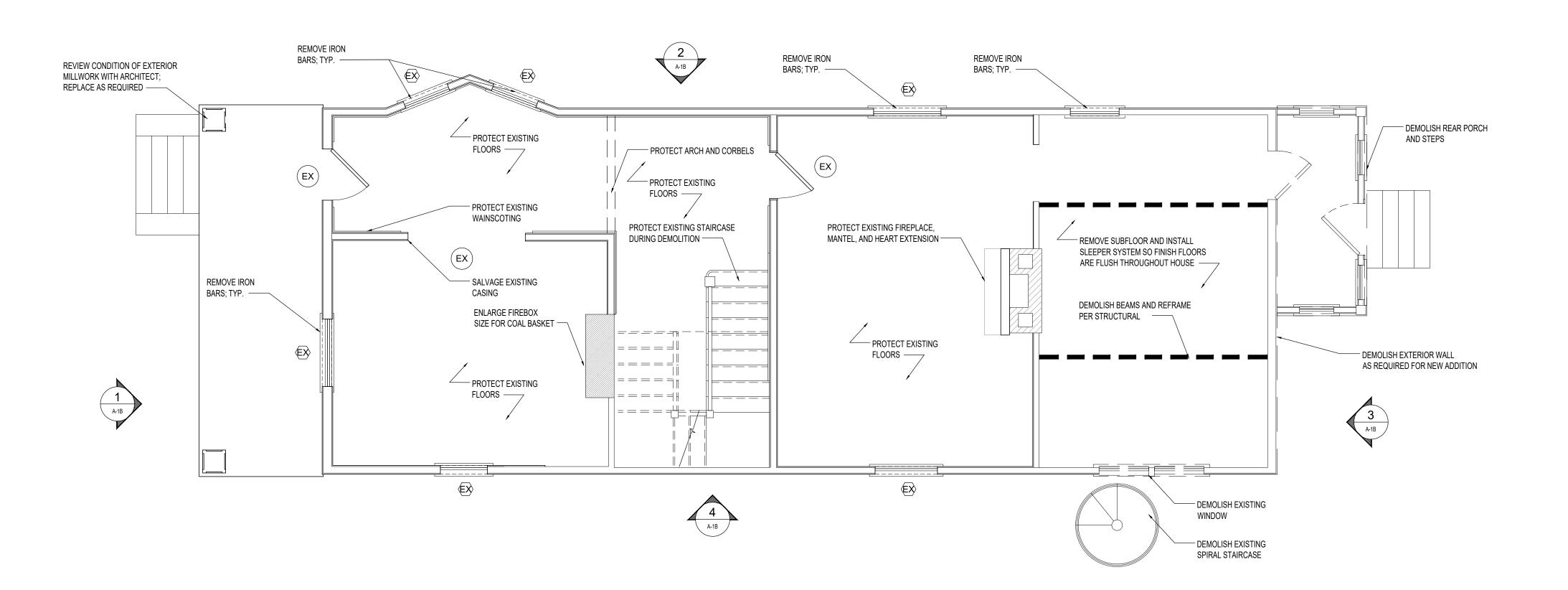
12. REMOVE SECOND FLOOR CHAIR RAIL AND FLOAT PLASTER.

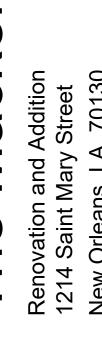


2 Demolition Second Floor Plan

Demolition Second Floor Plan

SCALE: 1/4 = 1'-0"





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SCALE: 1/4 = 1'-0"

T.O. ROOF ELEV. ± 33'-1 3/4"

REMOVE NON ORIGINAL

T.O. FINISH FLOOR

ELEV. ± 3'-6"

ELEV. 7.88 N.A.V.D.

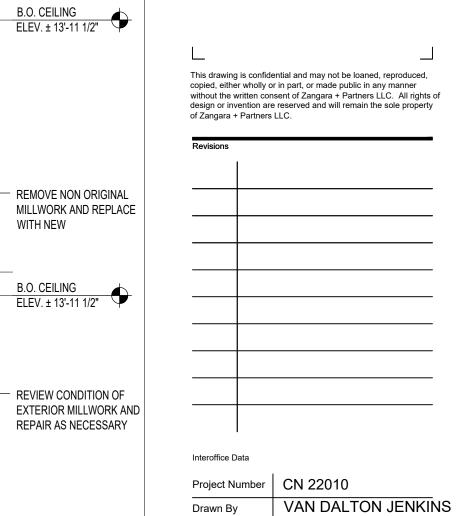
SCALE: 1/4 = 1'-0"

WITH NEW

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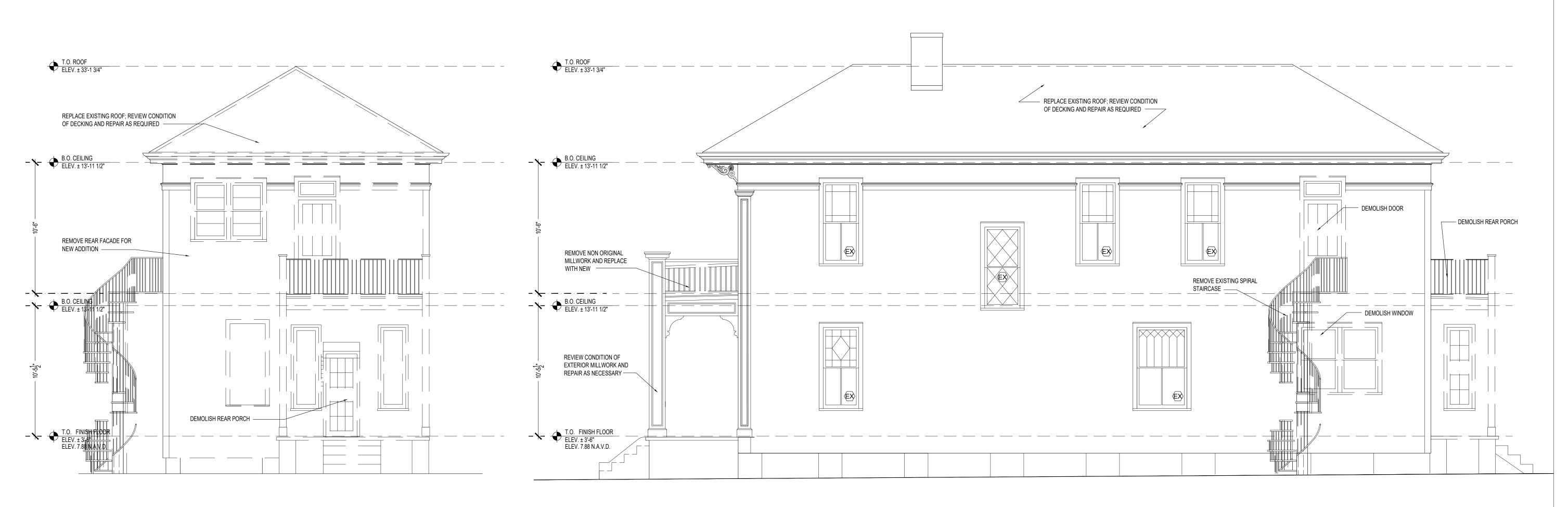


Demolition **Exterior Elevations**

08.03.22

DANIEL ZANGARA

Checked By



Demolition Rear Elevation (Saint Andrew Street Side) SCALE: 1/4 = 1'-0"

Demolition Side Elevation (Chestnut Street Side)

EXISTING CHIMNEY; REFLASH AND INSTALL TWO NEW UL RATED FLUES T.O. ROOF ELEV. ± 33'-1 3/4" REPLACE EXISTING ROOF; REVIEW CONDITION OF DECKING AND REPAIR AS REQUIRED REPAIR ROTTEN MILLWORK; REVIEW IN FIELD WITH ARCHITECT -REPLACE EXISTING HANDRAIL WITH NEW TO MATCH ORIGINAL B.O. CEILING ELEV. ± 13'-11 1/2" REMOVE IRON BARS; TYPICAL REMOVE IRON BARS; TYPICAL SALVAGE EXISTING HARDWARE REMOVE BASE AND REPLACE IN T.O. FINISH FLOOR
ELEV. ± 3'-6"
ELEV. 7.88 N.A.V.D.

REPLACE EXISTING ROOF; REVIEW CONDITION OF DECKING AND REPAIR AS REQUIRED DEMOLISH REAR WALL FOR NEW ADDITION DEMOLISH REAR PORCH —— REMOVE WALL FOR NEW REMOVE IRON BARS;

Demolition Front Elevation (Saint Mary Street)

SCALE: 1/4 = 1'-0"

Demolition Side Elevation (Camp Street Side)

- | A-1B

Poppy Mackenzie and Ryan Gelfand

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New Orleans, LA 70130

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Checked By DANIEL ZANGARA 08.03.22

New First and Second Floor Plan

A-2

Finish Schedule CEILING HEIGHT CROWN CASING ROOM NAME FLOOR BASE SIZE WALLS CEILING REMARKS FRONT PORCH REPAINT PORCH **EXISTING** FRONT ENTRY EX. PLASTER EX. PLASTER REPAIR WAINSCOT EXISTING EXISTING EXISTING N/A EX. LIBRARY MATCH EX. EX. PLASTER EX. PLASTER **EXISTING** N/A EX. EXISTING STAIR HALL **EXISTING** MATCH EX. EX. PLASTER EX. PLASTER **EXISTING** N/A EX. REPAIR WAINSCOT DINING ROOM EXISTING EX. PLASTER EX. PLASTER **EXISTING** REPAIR WAINSCOT EXISTING N/A LOWER SUBFLOOR KITCHEN GYP. WALLBOARD GYP. WALLBOARD 10'-5" N/A WOOD Α PANTRY GYP. WALLBOARD GYP. WALLBOARD 10'-5" WOOD N/A Α 10'-5" SIDE ENTRY WOOD GYP. WALLBOARD GYP. WALLBOARD N/A Α POWDER ROOM WOOD GYP. WALLBOARD GYP. WALLBOARD 10'-5" N/A

FIRST FLOOR ROOM# FAMILY ROOM GYP. WALLBOARD GYP. WALLBOARD 10'-5" N/A WOOD REAR PORCH **AERATIS**

 \pm 16'-1 $\frac{5}{8}$ "; MATCH FIRST FLOOR — MASTER VEST. CUSTOM DESK -(14) ± 10'-6" 206 (12) LAUNDRY ` **NEW STANDARD 36"** MASTER CLOS. ISOKERN FIREPLACE WITH CUSTOM STONE FRONT PORCH STUDY STAIR HALL MANTEL AND HEARTH EX. 201 EX. 200 EX. 202 - NEW NEWEL POST EXTENSION -AND HANDRAIL

New Second Floor Plan

REMOVE IRON REMOVE IRON - AERATIS PORCH BARS; TYP. BARS; TYP. DECKING; PTD. NEW 8" x 8" CUSTOM WOOD COLUMN; PAINTED **AERATIS PORCH** DECKING; PTD. PROTECT ARCH AND CORBELS SIDE ENTRY ± 10'-5" 107 EX. 105 3 EX. 101 (EX) (EX) STAIR HALL EX. 103 (EX) REFINISH EXISTING WORK FIREBOX FOR NEW STAIRCASE ---GAS LOG INSERT -NEW STANDARD 36" CONCRETE STEPS ISOKERN FIREPLACE REAR PORCH WITH CUSTOM STONE ± 10'-5" 110 MANTEL AND HEARTH **DINING ROOM** EXTENSION NEW WOOD BALUSTRADE-FRONT PORCH EX. 104 − NEW STAIN GRADE POWDER ROOM EX. 100 WAINSCOT TO ± 10'-5" 108 MATCH EX. LIBRARY FAMILY ROOM PROTECT EXISTING EX. 102 ± 10'-5" 109 - SCREEN PORCH INFILL _INFILL WALL BELOW STAIR ______ PANTRY ± 10'-5" 106 - NEW CIRCULAR STAIRCASE **CUSTOM BOOKCASES**

New First Floor Plan

PREP. PRIME, BACKPRIME, SAND AND PAINT ALL EXTERIOR WORK INCLUDING NEW AND EXISITNG. PROVIDE SOUND INSULATION AT ALL BATHROOMS. PROVIDE BATT INSULATION AT ALL EXTERIOR WALLS. AT EXISTING HOUSE, WRAP #15 FELT BETWEEN STUD CAVITIES.

GENERAL CONSTRUCTION NOTES

REVIEWED AND APPROVED BY THE ARCHITECT

10. INSTALL NEW ON DEMAND TYPE WATER HEATERS.

SELECTIONS.

CONTRACTOR SHALL NOT PROCEED WITH ANY WORK UNTIL A PERMIT IS POSTED

WALKTHROUGH TO CONFIRM LOCATIONS PRIOR TO ELECTRICIAN RUNNING WIRES.

SISTERED. SAME APPLIES TO CEILINGS FOR LEVEL AND FLATNESS.

ALL ELECTRICAL SHALL BE NEW AS INDICATED ON THE DRAWINGS.

BETWEEN ROOMS OR BETWEEN NEW CONSTRUCTION AND EXISTING.

THE COST OF THE PERMIT SHALL BE PAID FOR BY THE CONTRACTOR AS A REIMBURSABLE EXPENSE.

ALL NEW PLUMBING SHALL BE COPPER SUPPLY LINES AND CAST IRON DRAIN LINES. STACKS ABOVE FIXTURES CAN BE PVC. ALL NEW CABINETS SHALL BE CUSTOM UNITS. NO MILLWORK OR CASEWORK TO BE FABRICATED UNTIL SHOP DRAWINGS HAVE BEEN

AND FLOORS FOR LEVEL. CONTRACTOR SHALL STRAIGHTEN AS REQUIRED. WALLS OUT OF PLUMB NEED TO BE SHIMMED OR

THE CONTRACTOR SHALL PROVIDE BLOCKING IN THE WALLS FOR ALL CABINETS, BATHROOM ACCESSORIES, AND ANY GRAB BAR.

OWNER AND ARCHITECT TO VERIFY LOCATION OF ALL SWITCHES AND OUTLETS PRIOR TO WIRING. THERE SHALL BE A JOBSITE

CONTRACTOR IS TO CONFIRM THAT FLOORS ARE LEVEL AND WALLS ARE PLUMB. ALL EXISTING WALLS SHALL BE CHECKED FOR PLUMB

NEW LIGHT FIXTURES SHALL BE INSTALLED PER THE DRAWINGS AND SCHEDULE. REPLACE HANGING FIXTURES WITH NEW PER OWNER

ALL FINISH FLOORS SHALL BE LEVEL AND FLUSH WITH EACH OTHER. THERE SHALL BE NO HEIGHT CHANGES OR RAISED THRESHOLDS

ALL NEW EXTERIOR WINDOWS AND DOORS TO HAVE WEATHERSTRIPPING. ADD WEATHERSTRIPPING TO EXISTING WINDOWS/DOORS. ALL HVAC EQUIPMENT, CONDENSERS, AIR HANDLERS, ETC...SHALL BE NEW. PROVIDE NEW DEHUMIDIFIERS FOR BOTH FLOORS.

ALL DOWNSPOUTS TO INSTALLED PER SITE WALKTHROUGH. DIRECT WATER INTO SUBSURFACE LINES CONNECTED TO STORMWATER

WALKTHROUGH TO LOCATE ALL GRILLES PRIOR TO RUNNING DUCTWORK. ALL FIRST FLOOR GRILLES TO BE WOOD.

REPAINT EXTERIOR WOODWORK SCHEDULED TO REMAIN. REPAINT ENTIRE INTERIOR AND EXTERIOR OF HOUSE. NEW SHEETROCK TO PROVIDE BE LEVEL 4 FINISH THROUGHOUT.

SYSTEM. REVIEW CIVIL DRAWINGS FOR ALL WORK.

NEW ROOF TO BE 30 YEAR TIMBERLINE ULTRA HD; COLOR AS SELECTED BY ARCHITECT.

ALL SECOND FLOOR GRILLES TO BE ALUMINUM CEILING SUPPLIES. LOCATE ALL WITH ARCHTIECT. THERE SHALL BE A JOB SITE

THERE SHALL BE A JOB SITE WALKTHROUGH TO VERITY ALL OPENING ROUGH OPENINGS PRIOR TO FRAMING.

GUEST BEDROOM EX. 203

- CUSTOM BOOKCASES

GUEST BATH

MASTER BATH

Finish Schedule

ROOM NAME

FRONT PORCH

STAIR HALLWAY

GUEST BATH

LAUNDRY

GUEST BEDROOM

MASTER VESTIBULE

MASTER BEDROOM

DRESSING AREA

MASTER CLOSET

REAR PORCH

DRESSING AREA

(14)

± 10'-6" 208

MASTER BATHROOM

STUDY

BASE SIZE WALLS

GYP. WALLBOARD

SIDING'; PAINTED

MASTER BEDROOM

± 10'-6" 207

N/A

В

В

CEILING

GYP. WALLBOARD

BEADED CEILING

FLOOR

FIBERGLASS

EXISTING

EXISTING

EXISTING

TILE

TILE

WOOD

WOOD

WOOD

WOOD

TILE

AERATIS

CEILING HEIGHT CROWN CASING

N/A

N/A

N/A

N/A

N/A

N/A

N/A

N/A

Α

Α

Α

Α

- NEW 8" x 8" CUSTOM WOOD COLUMN; PAINTED

AERATIS PORCH

— SCREEN PORCH INFILL

- NEW CIRCULAR

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

STAIRCASE

DECKING; PTD.

EXISTING

EXISTING

EXISTING

EXISTING

EXISTING

EXISTING

± 10'-6"

± 10'-6"

± 10'-6"

± 10'-6"

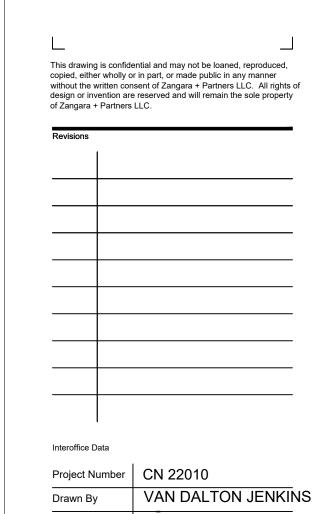
SECOND FLOOR

ROOM#

202

Poppy Mackenzie and Ryan Gelfand

1214 Saint Mary Street



New Exterior Elevations

SCALE: 1/4 = 1'-0"

Checked By

- STUCCO CHIIMNEY WITH LEAD COATED COPPER CAP - REFLASH AND TUCKPOINT EXISTING CHIMNEY T.O. ROOF ELEV. ± 33'-1 3/4" - SOLAR PANELS PROVIDED BY SOLAR ALTERNATIVES NEW ASPHALT SHINGLE ROOF WITH CONCRETE RIDGE TILES - METAL GUTTER; TYP. - 8" x 8" CUSTOM WOOD COLUMNS; PAINTED ADD SLOPED CAP TO COLUMNS SPANISH CEDAR SPANISH CEDAR **GUARDRAIL TO** HANDRAILS; PTD. MATCH OROGINAL; PTD. - AERATIS DECKING; REPAINT ALL EXTERIOR MILLWORK -B.O. CEILING ELEV. ± 13'-11 1/2" SCREEN PORCH; NEW WOOD SIDING
TO MATCH LAP SIZE SAND, PREP AND PAINT ALL EXISTING SIDING ——— SPANISH CEDAR **GUARDRAIL TO** MATCH OROGINAL; PTD. -SPANISH CEDAR HANDRAILS; PTD. REPAINT PORCH DECK AERATIS DECKING; ELEV. 7.88 N.A.V.D.
CONSTR. BENCH
ELEV. ± 1'-8 3/4" NEW CMU BLOCK PIERS; **CEMENTITIOUS RUB**

NEW 30 YEAR ASPHALT SHINGLE ROOF WITH CONCRETE RIDGE TILES B.O. CEILING

ELEV. ± 13'-11 1/2" PREP AND PAINT ALL
 EXTERIOR MILLWORK ADD SLOPED CAP TO COLUMNS SPANISH CEDAR **GUARDRAIL TO** MATCH OROGINAL; PTD. REPAINT ALL EXTERIOR MILLWORK BEVOLO 22" FRENCH QUARTER BRACKET SPANISH CEDAR GUARDRAIL TO NEW WREATH MATCH OROGINAL; PTD. APPLICATION; STAIN REPAINT PORCH DECK AND STEPS -T.O. FINISH FLOOR
ELEV. ± 3'-6"
ELEV. 7.88 N.A.V.D. CONSTR. BENCH
ELEV. ± 1'-8 3/4"

New Side Elevation (Camp Street Side)

New Front Elevation (Saint Mary Street)

ELEV. 6.11 N.A.V.D.

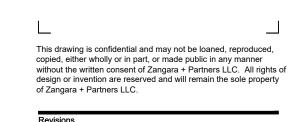
STUCCO CHIIMNEY WITH LEAD COATED COPPER CAP NEW ASPHALT SHINGLE ROOF WITH CONCRETE RIDGE TILES NEW METAL HALF ROUND GUTTERS; TYPICAL ——— B.O. CEILING ELEV. ± 13'-11 1/2" FRENCH DOOR BEYOND SCREEN PORCH; SPANISH CEDAR 8" x 8" CUSTOM WOOD COLUMNS; FRENCH DOOR PAINTED BEYOND -SPANISH CEDAR HANDRAILS; PTD. AERATIS DECKING; NEW BAY WINDOW BEYOND B.O. CEILING ELEV. ± 13'-11 1/2" 6 " x 6" WOOD SCREEN PORCH; COLUMN WITH CUSTOM CAPITAL SPANISH CEDAR FRENCH DOOR AT NEW SIDE BEYOND -ENTRY BEYOND SPANISH CEDAR HANDRAILS; PTD. CUSTOM NEWEL AND HANDRAIL TO AERATIS DECKING; PAINTED -MATCH ORIGINAL BRICK STEPS T.O. FINISH FLOOR
ELEV. ± 3'-6"
ELEV. 7.88 N.A.V.D. CONSTR. BENCH ELEV. ± 1'-8 3/4" - NEW CMU BLOCK PIERS; CEMENTITIOUS RUB

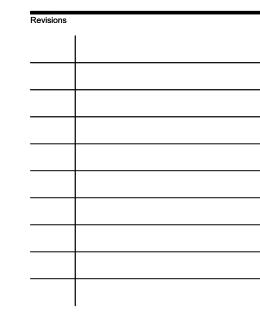
SCALE: 1/4 = 1'-0"

New Rear Elevation (Saint Andrew Street Side)

DANIEL ZANGARA

08.03.22





Interoffice Data

SCALE: 1/4 = 1'-0"

Project Number CN 22010

Drawn By VAN DALTON JENKINS

Checked By DANIEL ZANGARA

Issue Date 08.03.22

New Exterior Elev. and Building Section

A-4A

