

Crescent Title, LLC
7835 Maple Street
New Orleans, LA 70118
File No.: 223853

CASH SALE
Sale of Property
by:
Diamond Home Buyers LLC
to:
Kiman LLC

**United States of America
State of Louisiana
Parish of Orleans**

BE IT KNOWN That on this 28th day of July, 2022

BEFORE ME, Lauren B. Griffin,
the undersigned notary public, duly
commissioned and qualified, in and for the
Parish of Orleans and in the presence of the
witnesses hereinafter named and undersigned.

Personally Came and Appeared,

Diamond Home Buyers LLC (Tax ID# XX-XXX8895), a Louisiana Limited Liability Company organized and existing under the Laws of the State of Louisiana, pursuant to Articles of Organization registered with the Secretary of State, represented herein by Brian Boudreaux, Manager, who certified and confirmed that he is the sole member and further authorizes the sale of the herein described property.

MAILING ADDRESS: P.O. Box 674, New Roads, LA 70760

Who declare that they do by these presents, grant, bargain, sell, convey, transfer, assign, setover, abandon and deliver, with all legal warranties as to title only, but with full substitution and subrogation in and to all the rights and actions of warranty which they have or may have against all preceding owners and vendors, unto,

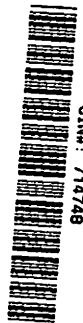
Kiman LLC (Tax ID# XX-XXX6096), a Louisiana Limited Liability Company organized and existing under the Laws of the State of Louisiana, pursuant to Articles of Organization registered with the Secretary of State, represented herein by An Vo, Member, pursuant to an Authorization, an original of which is annexed hereto and made a part hereof.

MAILING ADDRESS: 2104 Manhattan Blvd, Unit D, Harvey, LA 70058

here present, accepting and purchasing for themselves, their heirs and assigns, and acknowledging due delivery and possession thereof, all and singular the following described property, to-wit:

"Description of Property"

A CERTAIN PIECE OR PORTION OF GROUND, together with all the buildings and improvements thereon, and all of the rights, ways, privileges, servitudes, appurtenances and advantages thereunto belonging or in anywise appertaining, situated in the SEVENTH DISTRICT of the City of New Orleans, Parish of Orleans, State of Louisiana, designated by the Nos. 13 and 14 in SQUARE NO. 628, bounded by Peach, Dixon, Hamilton and Hollygrove Streets, on a sketch made by H. W. Reynolds, Deputy City Surveyor, dated August 13, 1910,



Chelisey Richard Napoleon
CLERK OF CIVIL DISTRICT COURT
INST #: 2022-30168 07/29/2022 09:49:13 AM
TYPE: S 6 PG(13)
CIN#: 714749

annexed to an act passed before Felix J. Dreyfous, Notary, on September 14, 1910, according to which sketch said lots adjoin and measure each 30' front on Peach Street, by a depth between parallel lines of 150'.

Improvements thereon bear Municipal No. 9018 Peach Street, New Orleans, LA 70118.

Being the same property acquired by Diamond Home Buyers, LLC by act dated August 23, 2021 registered in CIN 698830; being the same property further acquired by Albertine Love Baker and Edwin Baker, Sr. by act dated August 15, 2019 registered in CIN 661632 in the records of Orleans Parish, Louisiana.

PURCHASER(S) herein declared that all future notices of ad valorem tax bills and special assessments for the above described property presently for the tax year of 2023 bearing Tax Assessment No. 716428412 are to be forwarded to:

Kimman LLC
2104 Manhattan Blvd, Unit D, Harvey, LA 70058

THIS ACT IS MADE, EXECUTED AND ACCEPTED SUBJECT TO THE FOLLOWING:

1. Any and all restrictions, overlaps, overhangs, servitudes and/or easements, rights of ways and outstanding rights of record which might be shown on a current survey of the property.
2. The Road Home Declaration of Covenants Running with the Land registered in CIN 365455, partially released by CIN 663631, requiring the owner obtain and maintain flood insurance in accordance with applicable federal laws and this covenant in perpetuity.
3. Terms and conditions contained in the Road Home Program Blight Reduction Grant Adjustment Agreement dated February 9, 2012, registered in CIN 507298.

Covenant as to Flood Insurance: If the Property is located in a Special Flood Hazard Area under the FEMA Flood Maps or within the Special Flood Hazard Area under the Advisory Base Flood Elevations issued by FEMA, any dwelling on any part of the Property shall be insured under a policy of Flood insurance in the amount equal to the lesser of (a) the full insurable value, as determined by the Property insurer; or (b) the maximum amount of Flood Insurance coverage available under the National Flood Insurance Program to the extent coverage can be obtained under the National Flood Insurance Program. Purchaser understands that failure to maintain flood insurance means that, in the event of a future disaster, Purchaser may not be eligible for federal disaster relief assistance for repair, replacement, or restoration of damage due to flooding as provided for in 42 U.S.C. §5154a. Purchaser must notify subsequent transferees of the requirement to maintain flood insurance by including flood insurance notification language in subsequent written conveyance instruments. This Covenant as to Flood Insurance shall run with the Property in perpetuity or, alternatively, for the maximum period permitted by law, and may be enforced by Seller, any of Seller's successor in title or by FEMA.

Initial: AV Initial: BB Initial: _____ Initial: _____

THE PARTIES HERETO TAKE COGNIZANCE THAT NO SURVEY ON THE HEREIN DESCRIBED PROPERTY IN CONNECTION WITH THE ACT OF SALE HAS BEEN MADE NOR HAS ONE BEEN PRODUCED OR ATTACHED AND THE PARTIES DO HEREBY RELIEVE AND RELEASE ME, NOTARY, FROM ANY AND ALL LIABILITY, RESPONSIBILITY OR DAMAGE INCLUDING COURT COSTS AND ATTORNEYS FEES IN CONNECTION THEREWITH.

See WAIVER OF WARRANTY and REDHIBITION RIGHTS ADDENDUM attached hereto and made a part hereof.

To have and to hold the above described property unto the said purchaser(s) themselves, their heirs and assigns forever.



WAIVER OF WARRANTY AND REDHIBITION RIGHTS ADDENDUM

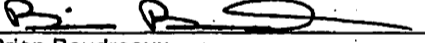
It is expressly agreed that the immovable property herein conveyed and all improvements and component parts, plumbing, electrical systems, mechanical equipment, heating and air conditioning systems, built-in appliances, and all other items located hereon are conveyed by Seller and accepted by Purchaser "AS IS, WHERE IS," without any warranties of any kind whatsoever, even as to the metes and bounds, zoning, operation, or suitability of the property for the use intended by the Purchaser, without regard to the presence of apparent or hidden defects and with the Purchaser's full and complete waiver of any and all rights for the return of all or any part of the purchase price by reason of any such defects.

Purchaser acknowledges and declares that neither the Seller nor any party, whomsoever, acting or purporting to act in any capacity whatsoever on behalf of the Seller has made any direct, indirect, explicit or implicit statement, representation or declaration, whether by written or oral statement or otherwise, and upon which the Purchaser has relied, concerning the existence or non-existence of any quality, characteristic or condition of the property herein conveyed. Purchaser has had full, complete and unlimited access to the property herein conveyed for all tests and inspections which Purchaser, in Purchaser's sole discretion, deems sufficiently diligent for the protection of Purchaser's interests.

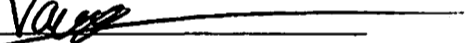
Purchaser expressly waives the warranty of fitness and the warranty against redhibitory vices and defects, whether apparent or latent, imposed by Louisiana Civil Code Articles 2520 through 2548, inclusive, and any other applicable state or federal law and the jurisprudence thereunder.

Purchaser also waives any rights Purchaser may have in redhibition to a return of the purchase price or to a reduction of the purchase price paid pursuant to Louisiana Civil Code Articles 2520 to 2548, inclusive, in connection with the property hereby conveyed to Purchaser by Seller. By Purchaser's signature, Purchaser expressly acknowledges all such waivers and Purchaser's exercise of Purchaser's right to waive warranty pursuant to Louisiana Civil Code Article 2520 and 2548, inclusive.

Diamond Home Buyers LLC

BY: 
 Brian Boudreaux
 Manager

Kimani LLC

BY: 
 An Ve
 Member

**UNANIMOUS WRITTEN CONSENT
OF THE MEMBERS
Kiman LLC**

The undersigned, being the sole Member(s) of Kiman LLC, a Louisiana Limited Liability Company (the "Company"), do hereby vote for, consent to, authorize and adopt the following actions:

WHEREAS, An Vo and Kim Tran are the sole Members/Managers of Kiman LLC and as such, have full power and authority to act in the name of and on behalf of the Company;

WHEREAS, the Company desires to authorize the purchase of the property located at 9018 Peach Street, New Orleans, LA 70118.

WHEREAS, the Company desires to authorize An Vo and/or Kim Tran to execute all documents in connection with said purchase of the above referenced property including but not limited to any settlement statement, closing disclosure, act of sale and/or any other documents necessarily required to effectuate the purpose of this Authorization, on behalf of Kiman LLC, and

NOW THEREFORE, BE IT RESOLVED, AGREED AND CONSENTED by the sole Members of Kiman LLC, that:

Section 1. Authorization for Purchase

The purchase the property located at 9018 Peach Street, New Orleans, LA 70118, is hereby authorized and approved;

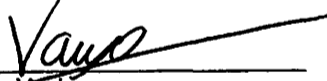
Section 2. Authorized Agent

An Vo and/or Kim Tran are hereby authorized to act as Agents for Kiman LLC, with respect to the above described purchase of property, and to execute any and all documents in connection with such purchase including, but not limited to, any settlement statement, closing disclosure, act of sale and/or any other documents as necessarily required to effectuate the purpose of this Authorization having such terms and conditions as he/she/they deem appropriate in his/her/their sole discretion.

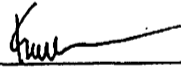
Section 3. Certification

The undersigned confirms and warrants the accuracy of the above information, and that the power and authority of the Members and designated Authorized Agent(s) as provided herein has not been limited, restricted or abrogated in any way by any action of the Company. The undersigned further confirms and warrants that this Authorization may be fully and completely relied upon by Crescent Title, LLC, its title insurance underwriters, and the law firm of Bergeron, Douglass, Frosch & Mack, LLC.

Thus done and signed on this 28th day of July, 2022.



An Vo, Member



Kim Tran, Member

This sale is made and accepted for and in consideration of the price and sum of Sixty-Five Thousand And No/100 Dollars (\$65,000.00) which the said purchaser(s) have well and truly paid, in ready and current money to the said vendors who hereby acknowledge the receipt thereof and grant full acquittance and discharge therefore.

All State and City taxes up to and including the taxes due and exigible for the current tax year are paid as per a research of the tax rolls for the year 2022. The 2022 taxes have been prorated to the date of this act of sale. Payment for all future taxes is assumed by purchaser herein.

By reference to the certificates of the Conveyance and Mortgage records in and for the Parish of Orleans, it does not appear that said property has been heretofore alienated by the Vendor or that it is subject to any unpaid encumbrances whatsoever.

Vendor is bound and obligated to have cancelled and erased immediately any inscriptions that may appear that would adversely affect the title to the herein described property.

Thus Done and Passed, in my office in New Orleans, Louisiana in the presence of the competent witnesses, who hereunto sign their names with the said appearers, and me, Notary, after reading the whole.

WITNESSES:

SIGN Sharon Bastian
PRINT Sharon Bastian

SIGN Carolyn Adde morte
PRINT Carolyn Adde morte

SELLER(S):

PURCHASER(S):

Diamond Home Buyers LLC

Kimian LLC

BY: Brian Boudreaux
Brian Boudreaux
Manager

BY: An Vo
An Vo
Member



Lauren B. Griffin
Notary Public
Lauren B. Griffin
Attorney Notary Public
State of Louisiana
Notary Bar # 148527
Commission expires with life

Title Ins. Prod.: Crescent Title, LLC
Address: 7835 Maple Street, New Orleans, LA 70118
Prod. Lic #: 300974
Title Ins. Underwriter: Fidelity National Title Insurance Company
Title Opinion by: Emily T. French
La Bar Roll #: 35132

1340 Poydras Street, 4th Floor
New Orleans, Louisiana 70112



Land Records Division
Telephone (504) 407-0005

Chelsey Richard Napoleon
Clerk of Court and Ex-Officio Recorder
Parish of Orleans

DOCUMENT RECORDATION INFORMATION

Instrument Number: 2022-30168

Recording Date: 7/29/2022 08:49:13 AM

Document Type: SALE

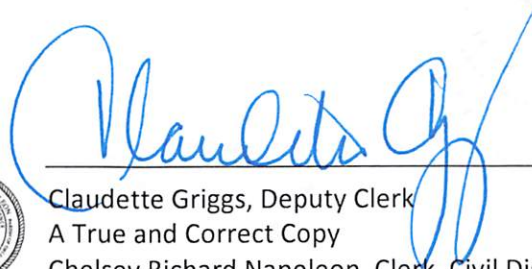
Addtl Titles Doc Types:

Conveyance Instrument Number: 714748

Filed by: CRESCENT TITLE LLC
7835 MAPLE ST
NEW ORLEANS LA 70118

THIS PAGE IS RECORDED AS PART OF YOUR DOCUMENT AND
SHOULD BE RETAINED WITH ANY COPIES.





Claudette Griggs, Deputy Clerk
A True and Correct Copy
Chelsey Richard Napoleon, Clerk, Civil District Court