1107 SO. PETER STREET - UNIT 220 RENOVATIONS
NEW ORLEANS, LOUISIANA 70130

GENERAL BUILDING & PROJECT INFORMATION

PROJECT ADDRESS
1107 ST. PETER STREET UNIT 220
NEW ORLEANS, LA 70130

PROJECT DESCRIPTION
RENOVATIONS TO EXISTING 2 STORY CONDO RESIDENCE. RELOCATION OF KITCHEN AND BAR. CLOSE AN OPENING IN LIVING ROOM FLOOR TO A STORAGE SPACE ON THE GROUND FLOOR. REMOVE INTERIOR DECORATIVE STAIRS. CONVERT STORAGE SPACE INTO A FOURTH BEDROOM AND BATH STUDIO LOFT. UPDATE OTHER BEDROOMS, BATHROOMS AND CLOSETS. NEW FINISHES THROUGHOUT. REPAIR WORK AS NEEDED.

BUILDING AREAS (GROSS, EXISTING)
SCOPE OF WORK

SECOND FLOOR LEVEL APPROXIMATELY	2,436	SF
GROUND FLOOR LEVEL APPROXIMATELY	140	SF

MAJOR APPLICABLE CODES AND REGULATIONS
(NOT LIMITED TO THE FOLLOWING):

INTERNATIONAL BUILDING CODE, 2012 EDITION

NFPA 101 LIFE SAFETY CODE, 2012 EDITION

AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), 2016.

ZONING CLASSIFICATION

CBD-6 URBAN CORE NEIGHBORHOOD MIXED-USE DISTRICT

FLOOD ZONE/FIRE DISTRICT

X ZONE PER FEMA FLOOD MAP

OCCUPANCY CLASSIFICATION

(IBC) RESIDENTIAL GROUP R-2

(NFPA) RESIDENTIAL R-2 APARTMENT

CONSTRUCTION TYPE

TYPE III - A / 5A

PROJECT DIRECTORY

OWNER
JEFF AND CECETTE BASSETT
202 SHINNECOCK HILLS DRIVE
BROUSSARD, LA 70518
337-945-1876
Cecette@bellsouth.net
cecette6@icloud.com
jeffB@mmrblaw.com

ARCHITECT
JOHN C. WILLIAMS ARCHITECTS, LLC
824 BARONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
504-566-0897 FAX
JOHN C. WILLIAMS
jcwilliams@williamsarchitects.com

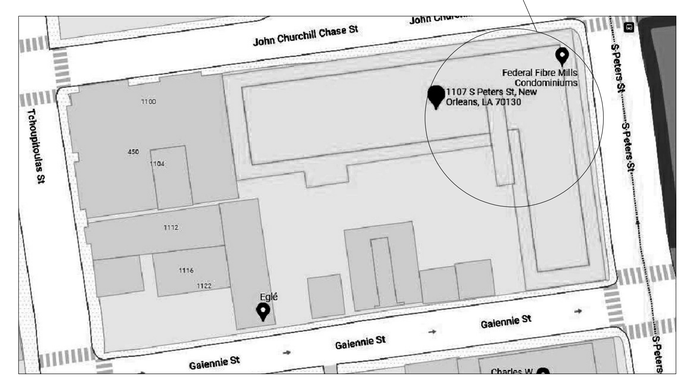
GENERAL CONTRACTOR
CHRIS SHULER
SHULER CONSTRUCTION, LLC
1511 METAIRIE ROAD, SUITE 9
METAIRIE, LA 70116
504-941-1370
shulerconstruction@gmail.com

DRAWING LIST

ARCHITECTURAL

T 1.1	TITLE SHEET
T 1.2	GENERAL NOTES
A 1.1	DEMOLITION FLOOR PLAN
	NOTES
A 1.2	PROPOSED FLOOR PLAN
	NOTES, SCHEDULES
A 1.3	POWER PLAN AND REFLECTED CEILING PLAN
	NOTES, SCHEDULES
A 2.1	ENLARGED FLOOR PLANS - INTERIOR ELEVATIONS
A 2.2	ENLARGED FLOOR PLANS - INTERIOR ELEVATIONS
A 3.1	BUILDING SECTIONS
	STRUCTURAL NOTES AND DETAILS
A 3.2	BUILDING SECTIONS
	STRUCTURAL NOTES AND DETAILS

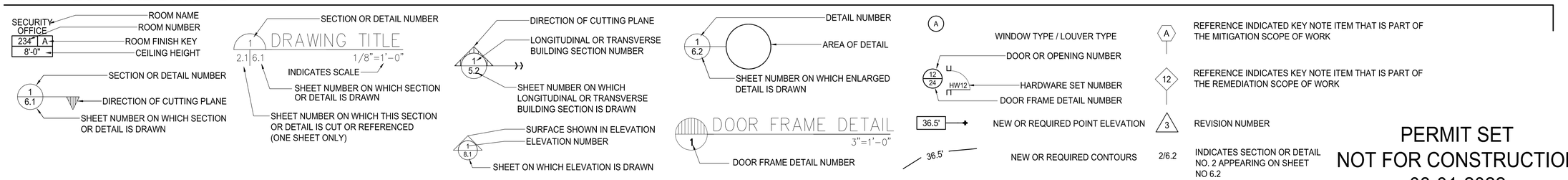
PROJECT SITE



TRUE NORTH

1 / T1.1 AERIAL VIEW OF PROPERTY

ARCHITECTURAL SYMBOLS



ALL OF THE SYMBOLS AND ABBREVIATIONS APPEARING ON THIS SHEET MAY NOT NECESSARILY BE USED ON THIS PROJECT. FOR ADDITIONS TO AND/OR DEVIATIONS FROM THESE STANDARDS, REFER TO THE APPLICABLE DISCIPLINE'S WORK THROUGHOUT THE SET OF DRAWINGS.

PERMIT SET
NOT FOR CONSTRUCTION
08-01-2022

WILLIAMS ARCHITECTS
824 BARONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) (will not) be providing project construction administrative services on this project.

x

JOHN C. WILLIAMS Reg. No. 3 STATE OF LOUISIANA REGISTERED ARCHITECT

Copyright © 2017
John C Williams Architects LLC

1107 ST. PETER STREET - UNIT 220 RENOVATIONS
NEW ORLEANS, LOUISIANA 70130

BENCHMARK INFO

-REVISIONS-

No.	Date	Scope

TITLE SHEET

DRAWING BY	JSK
SCALE	N.T.S.
JOB No.	522008.00
DATE	AUGUST 1, 2022

Sheet No.

T1.1

P:\522008.00 - 1107 S. Peters Condo Renovation\Drawings\00AUTOCAD\01_Sheets\T 1.1 TITLE SHEET.dwg

2008.12.03 - 16:40

GENERAL NOTES:

1. GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR DEMOLITION AND CONSTRUCTION OF STRUCTURES, SAFETY AND PROTECTION OF ADJACENT BUILDINGS AND OCCUPIED AREAS, DUST CONTROL, UTILITY, DISCOVERED HAZARDS, AND DISPOSAL. CONTACT APPROPRIATE AGENCIES PRIOR TO ANY BELOW GRADE EXCAVATIONS. NOTIFY OWNER AND PROTECT FROM DISTURBANCE ANY DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS.

2. EXISTING CONDITIONS INDICATED ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH ANY WORK. IF CONDITIONS VARY GREATLY FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER BEFORE PROCEEDING WITH WORK.

3. THE DESIGNER HAS ENDEAVORED TO IDENTIFY IN THE DRAWINGS EXISTING ELEMENTS, WALLS, CONSTRUCTION, ETC. THAT ARE REQUIRED TO BE REMOVED OR OTHERWISE DEMOLISHED TO ALLOW THE EXECUTION OF THE WORK. THIS INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR, AND IS IN NO WAY INTENDED TO MEAN THAT DEMOLITION IS LIMITED ONLY TO THOSE ITEMS SPECIFICALLY IDENTIFIED. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE PRIOR TO BIDDING AND TO BECOME FAMILIAR WITH THE PROJECT AND CONDITIONS TO EXECUTE THE WORK

4. THE LOCATION OF UNDERGROUND AND/OR NO VISIBLE UTILITIES NEED TO BE DETERMINED FROM DATA AND RECORDS PRIOR TO COMMENCING WORK.

5. PRIOR TO EXCAVATION AND DIGGING CALL LA-ONE-CALL (1-800-272-3020) IN THE EVENT THAT UTILITY LINES ARE UNCOVERED, WHICH ARE NOT INDICATED ON THE DRAWING, WORK SHALL BE STOPPED IMMEDIATELY AND THE OWNER/ARCHITECT SHALL BE NOTIFIED AND THE FOLLOWING UTILITY COMPANIES WHERE APPLICABLE:

   DRAIN, SEWER AND WATER:

   SEWERAGE AND WATER BOARD OF NEW ORLEANS

   GAS AND ELECTRIC:

   ENTERGY

6. TO ESTABLISH THE COMPLETE SCOPE OF ITS WORK AND TO AFFECT CLOSE COORDINATION WITH THE OTHER TRADES, EACH TRADE SHALL VISIT THE SITE PRIOR TO BIDDING AND COMPLETELY REVIEW THE DRAWINGS NOT ONLY FOR ITS RESPECTIVE TRADE, THE WORK OF OTHER RELATED TRADES AS WELL.

7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE SITE AND BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS AND COMPONENTS INTO THE BUILDING AND ON THE SITE.

8. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND SERVICES AGAINST INTERRUPTION DUE TO THIS WORK. NECESSARY DISRUPTIONS MUST BE APPROVED BY THE OWNER 48 HRS. IN ADVANCE OF NEED.

9. VERIFY PROPERTY LINES, CONDITIONS, SERVICES AND DIMENSIONS BEFORE COMMENCING THE WORK. CONTACT UTILITY COMPANIES FOR UNDERGROUND INFORMATION AND DEMOLITION WORK REQUIREMENTS

10. REMOVE AND LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS, UNLESS OTHERWISE INDICATED TO BE SALVAGED AND/ OR SAVED FOR REUSE.

11. THE CONTRACTOR WILL DEVISE A WORKING METHOD FOR THE CONTROL OF NOISE AND DUST PARTICLES FROM THE ADJACENT NEIGHBORS AND NEIGHBORHOOD AND SHALL MAINTAIN THOSE CONTROLS DURING THE DURATION OF THE WORK.

12. THE CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM CONSTRUCTION ACTIVITIES, AND SHALL ALSO PROVIDE ALL NECESSARY PROTECTION OF THIS OWN WORK UNTIL TURNED OVER THE OWNER.

13. PROGRESS CLEANING AND WASTE REMOVAL: COLLECT AND MAINTAIN AREAS FREE OF WASTE MATERIALS, DEBRIS AND RUBBISH. THE SITE WILL NOT BE USED AS A MATERIAL SALVAGE STORAGE AREA EXCEPT FOR THOSE ITEMS NOTED. NO SALE OF SALVAGED MATERIAL WILL BE ALLOWED ON SITE.

14. PARKING: THERE IS NO PARKING AVAILABLE ON SITE. OFF STREET PARKING IS AVAILABLE. FOLLOW ALL LOCAL LAWS AND ORDINANCES.

15. THE COST FOR CONNECTION TO AND POWER LINES FROM AVAILABLE POWER SOURCE SHALL BE AT CONTRACTOR'S SOLE EXPENSE.

16. CONTRACTOR SHALL PROVIDE TEMPORARY LIGHTING IF REQUIRED AND CONNECT TO TEMPORARY ELECTRIC SERVICE.

17. PROVIDE TEMPORARY VENTILATION EQUIPMENT AS REQUIRED

18. TEMPORARY WATER SERVICE: CONNECT TO EXISTING WATER SOURCE. IF UTILITY IS CAPPED, COORDINATE ACCESS WITH OWNER.

19. PROVIDE REQUIRED TEMPORARY SANITARY FACILITIES. EXISTING OWNER FACILITIES MAY NOT BE USED.

20. CONTRACTOR SHALL PROVIDE ALL SHORING AND STABILIZING BRACING AS REQUIRED TO PROTECT FROM STRUCTURAL FAILURE OR COLLAPSE.

21. ALL REQUESTS FOR INFORMATION ARE TO BE SUBMITTED TO THE ARCHITECT IN WRITING AND WILL BE RESPONDED TO WITHIN NO MORE THAN FIVE (5) CALENDAR DAYS.

22. CONTRACTOR TO PROVIDE ALL NECESSARY INSURANCE AS PER THE CONTRACT.

23. ALL PATCHES IN EXISTING WALLS TO BE FLUSH WITH EXISTING WALL SURFACE AND TO MATCH IN TEXTURE WITH SURROUNDING SO AS TO NOT BE EVIDENT.

24. AIR CONDITIONING WILL CONFORM TO NFPA #90A-1994.

25. PROVIDE MANUAL RESET FIRESTADT SETTING NOT TO EXCEED 136 DEGREES FAHRENHEIT IN RETURN AIR OF A/C STREAMS.

26. ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH NATIONAL ELECTRICAL CODE, OSHA, STATE AND LOCAL REGULATIONS AND ORDINANCE ARS 40-1603.

27. ALL NEW LIGHTING FIXTURES TO BE SELECTED BY OWNER. ALL FIXTURES TO BE INSTALLED BY CONTRACTOR.

28. NEW INTERIOR WALLS AND CEILINGS SHALL HAVE A FLAME SPREAD RATING OF 0-200 AND A SMOKE DEVELOPMENT RATING OF 0-450.

29. ALL MATERIALS SHALL BE NEW AND U.L. LISTED UNLESS SPECIFICALLY DESIGNATED OTHERWISE.

30. NO WORK SHALL BE CONCEALED UNTIL APPROVED BY LOCAL INSPECTORS.

31. ALL CONSTRUCTION SHALL COMPLY WITH CITY, STATE, AND NATIONAL CODES AS REQUIRED.

32. CONTRACTOR TO WARRANTEE ALL WORK FOR ONE YEAR FROM ACCEPTANCE OF SUBSTANTIAL COMPLETION.

GENERAL NOTES (CONT.):

1. CONTRACTOR SHALL PAY FOR ALL WATER AND POWER USED FOR CONSTRUCTION, FROM EXISTING SOURCES.

2. CAULKING ON EXTERIOR SHALL BE TOP QUALITY PAINTABLE CAULK W/MINIMUM 35 YEAR LIFE.

3. PAINT GRADE TO BE SHERWIN WILLIAMS OR EQUIVALENT. ALL WORK TO RECEIVE THREE (3) COATS. COLOR AND FINISH TO BE SELECTED BY OWNER AND VERIFIED BY CONTRACTOR PRIOR TO CONTRACT SIGNING. ALL PAINT TO BE HIGHEST QUALITY BY THE MANUFACTURER & COLORS.

4. FINE NAP FINISH FOR ALL NEW GYPSUM BOARD WALLS UNLESS SPECIFIED OTHERWISE.

5. SITE SHALL BE LEFT BROOM CLEAN DAILY. PROVIDE COMPLETE CLEANUP ON A WEEKLY BASIS. NO TRASH SHALL BE STORED IN BUILDING. PROPER DISPOSAL REQUIRED.

6. ALL BATT INSULATION SHALL HAVE A CLASS 'A' (0-25) FLAME SPREAD RATING IN COMPLIANCE WITH APPLICABLE CODE.

7. USE 6" STUDS AT PLUMBING WALLS AND AT ALL RECESSED ELECTRICAL PANELS IF APPLICABLE.

8. THE CONTRACTOR ACKNOWLEDGES THAT HE HAS EXAMINED AND THOROUGHLY FAMILIARIZED HIMSELF WITH ALL EXISTING CONDITIONS INCLUDING ALL APPLICABLE LAWS, CODES, ORDINANCES, RULES, AND REGULATIONS THAT WILL AFFECT HIS WORK. THE CONTRACTOR FURTHER ACKNOWLEDGES THAT HE HAS VISITED THE SITE, EXAMINED THE GROUNDS AND ALL EXISTING BUILDINGS, UTILITIES, AND ROADS; THAT HE HAS INVESTIGATED AND SATISFIED HIMSELF AS TO CONDITIONS AFFECTING THE WORK INCLUDING BUT NOT RESTRICTED TO THOSE BEARING UPON TRANSPORTATION, DISPOSAL, HANDLING, AND STORAGE OF MATERIALS, THE CHARACTER OF EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING PROSECUTION OF THE WORK.

9. THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN GRADES, LINES, LEVELS, AND DIMENSIONS SHOWN ON DRAWINGS AND REPORT ANY OBSERVED ERRORS OR INCONSISTENCIES TO THE ARCHITECT BEFORE BEGINNING WORK.

10. ESTABLISH BENCHMARKS AND BASIC LINES AND GRADES IN CONFORMITY WITH ARCHITECT'S PERMANENT BENCHMARKS AND COORDINATE SYSTEMS FOR THE CONSTRUCTION AREA.

11. BEFORE STARTING EACH SECTION OF WORK, THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL PREPARATORY WORK THAT HAS BEEN EXECUTED TO RECEIVE THE WORK. THE CONTRACTOR SHALL CHECK CAREFULLY, BY WHATEVER MEANS ARE REQUIRED, TO ENSURE THAT HIS WORK AND ADJACENT, RELATED WORK WILL FINISH TO PROPER CONTOURS, PLANES, AND LEVELS. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY DEFECTS OR IMPERFECTIONS IN PREPARATORY WORK, WHICH WILL, IN ANY WAY, AFFECT SATISFACTORY COMPLETION OF HIS WORK. ABSENCE OF SUCH NOTIFICATION WILL BE CONSTRUED AS AN ACCEPTANCE OF PREPARATORY WORK, AND LATER CLAIMS OF DEFECTS THEREIN WILL NOT BE RECOGNIZED. UNDER NO CONDITION SHALL A SECTION OF WORK PROCEED PRIOR TO PREPARATORY WORK HAVING BEEN COMPLETED, CURED DRIED, AND OTHERWISE MADE SATISFACTORY TO RECEIVE SUCH RELATED WORK. RESPONSIBILITY FOR TIMELY INSTALLATION OF ALL MATERIALS REST SOLELY WITH THE CONTRACTOR, WHO SHALL MAINTAIN COORDINATION CONTROL AT ALL TIMES.

12. COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING SELECTIVE DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.

13. AT NO TIME SHALL THE CONTRACTOR LEAVE THE JOB SITE OPEN AND UNLOCKED WITHOUT PERSONNEL ON SITE.

14. DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS OR SIZES OF COMPONENTS.

15. CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES, TEL/DATA, OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PERFORMANCE OF THE WORK.

GENERAL CONSTRUCTION NOTES:

PERMIT SET
NOT FOR CONSTRUCTION
08-01-2022

WILLIAMS ARCHITECTS
824 BARONNE STREET
NEW ORLEANS, LA 70113

504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) (will not) be providing project construction administrative services on this project.

x

JOHN C. WILLIAMS
REG. No. 3
STATE OF LOUISIANA
ARCHITECT

Copyright © 2017
John C Williams Architects LLC

1107 ST. PETER STREET - UNIT 220
RENOVATIONS
NEW ORLEANS, LOUISIANA 70130

BENCHMARK INFO

-REVISIONS-

No.	Date	Scope

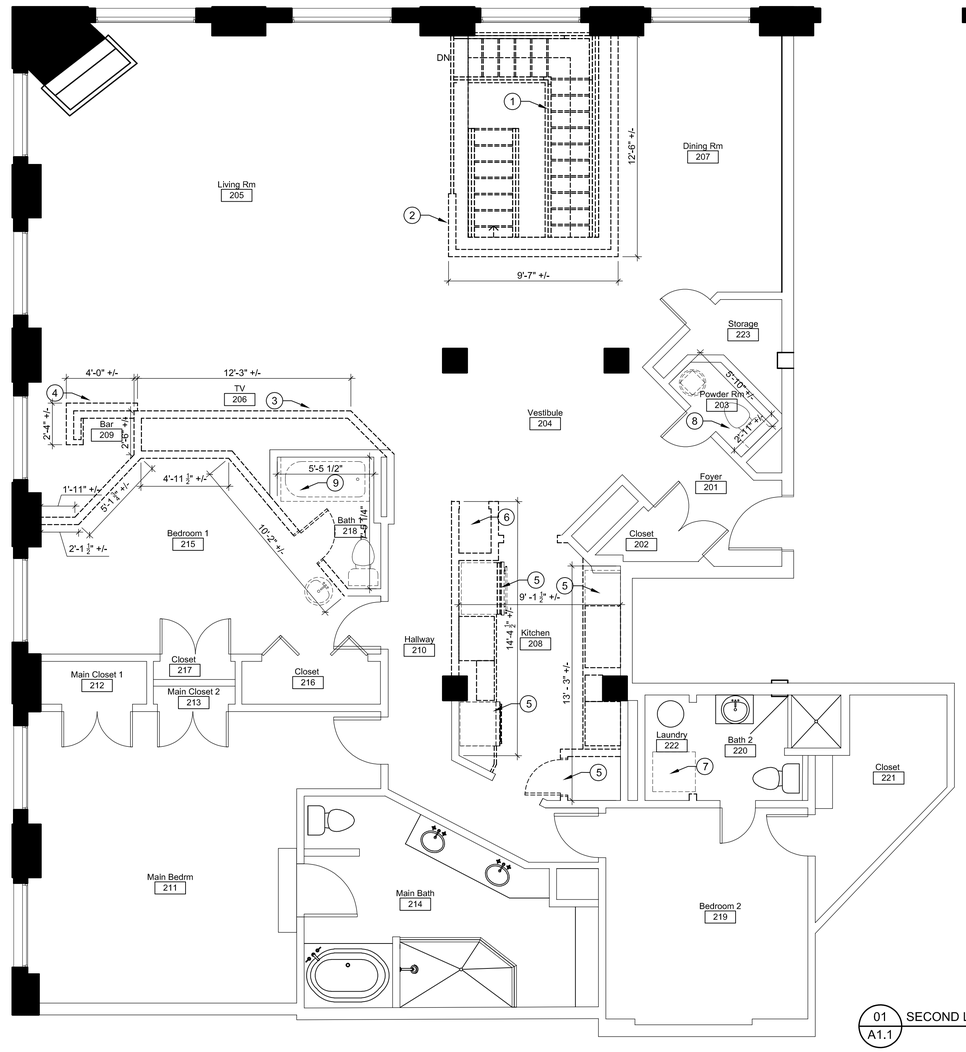
TITLE SHEET
GENERAL NOTES

DRAWING BY	JSK
SCALE	N.T.S.
JOB No.	522008.00
DATE	AUGUST 1, 2022

Sheet No.

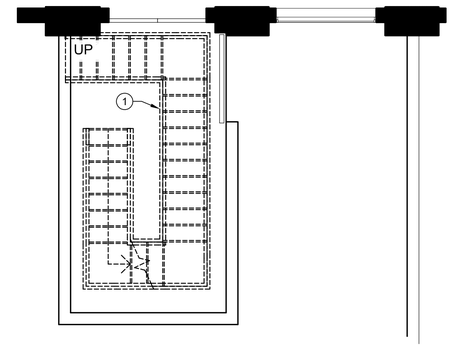
T1.2

P:\522008.00 - 1107 S. Peters Condo Renovation\Drawings\00AUTOCAD\01_Sheets\T 1.2 TITLE SHEET.dwg
2008.12.03 - 16:40



02 A1.1 GROUND LEVEL DEMOLITION FLOOR PLAN

Scale: 1/4 = 1'-0"



01 A1.1 SECOND LEVEL DEMOLITION FLOOR PLAN

Scale: 1/4 = 1'-0"

DEMOLITION KEY NOTES

1. REMOVE AND SALVAGE HISTORIC STAIRS. INVENTORY, TAG ALL PARTS (THREADS, RISERS, STRINGER, BALUSTER, RAILS, NEWELS, POSTS, BOLTS, SUPPORTS, ETC.) FOR FUTURE RE-ASSEMBLE.
2. REMOVE HALF WALL AROUND STAIRWAY. SALVAGE EXISTING BASEBOARD FOR RE-USE AS NEEDED IN RENOVATION. DETERMINE IF ELECTRIC OUTLETS IN WALL CAN BE RE-ROUTED FOR USE AS FLOOR OUTLETS.
3. REMOVE CUSTOM BUILT-IN T.V. WALL CABINET.
4. REMOVE CUSTOM BUILT-IN BAR.
5. REMOVE EXISTING BASE AND UPPER KITCHEN CABINETS AND COUNTERTOP. REMOVE PANTRY. REMOVE ALL PLUMBING AND APPLIANCES. DEMO TRAVERTINE FLOOR TILE.
6. REMOVE AND RELOCATE EXISTING H.V.A.C. SYSTEM TO NEW LOCATION.
7. REMOVE EXISTING STACK ABLE WASHING MACHINE AND DRYER.
8. DEMO ENTIRE POWDER ROOM INCLUDING STUCCO FINISH AT WALLS CEILING. DEMO FLOORING. PREP FOR NEW FINISHES.
9. DEMO ENTIRE BATH #1 INCLUDING TUB SURROUND, TOILET, TILE FLOOR AND BASE. PREP FOR NEW FINISHES.
10. REMOVE, SALVAGE AND REWORK EXISTING SPRINKLER LINE AND HEADS THAT ARE INSTALLED UNDER HISTORIC STAIRS. COORDINATE WITH SPRINKLER COMPANY BEFORE REMOVAL.

GENERAL DEMOLITION NOTES

A. COORDINATE THE REMOVAL OF HISTORIC STAIRS AS ONE OF THE LAST PHASES OF THE OVERALL JOB TO ALLOW FULL ACCESS TO JOBSITE FROM STREET LEVEL TO SECOND FLOOR CONDO.
B. OPTION # 1 : DETERMINE IF EXISTING WOOD FLOORING CAN BE REPAIRED AS NEEDED, REPLACE TO MATCH, PATCH FLOOR WITH LIKE MATERIALS AT ALL LOCATIONS WHERE EXISTING PARTITIONS ARE BEING REMOVED. TYPICAL AT ALL DEMO LOCATIONS. SAND AND STAIN COLOR CHANGED TO OWNER'S SELECTION.
OPTION # 2 : DEMO ALL EXISTING WOOD FLOORING AND REPLACE WITH WOOD AS NOTED IN FINISH SCHEDULE.
C. VERIFY ALL DIMENSIONS ON SITE.

WALL LEGEND

- EXISTING WALL
- DEMOLITION WALL
- NEW WALL CONSTRUCTION
- LOW WALL CONSTRUCTION

PERMIT SET
NOT FOR CONSTRUCTION
08-01-2022

WILLIAMS ARCHITECTS
824 BARONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) (will not) be providing project construction administrative services on this project.

x

JOHN C. WILLIAMS Reg. No. 3 STATE OF LOUISIANA ARCHITECT

Copyright © 2017
John C Williams Architects LLC

1107 ST. PETER STREET - UNIT 220 RENOVATIONS

NEW ORLEANS, LOUISIANA 70130

BENCHMARK INFO

-REVISIONS-

No.	Date	Scope

DEMOLITION FLOOR PLAN

NOTES

DRAWING BY	JSK
SCALE	1/4" = 1'-0"
JOB No.	522008.00
DATE	AUGUST 1, 2022

Sheet No.

A1.1

2008.12.03 - 16:40 P:\522008.00 - 1107 S. Peters Condo Renovation\Drawings\00AUTOCAD\01_Sheets\A 1.1 DEMOLITION PLANS.dwg

PLUMBING AND APPLIANCE FIXTURE SCHEDULE

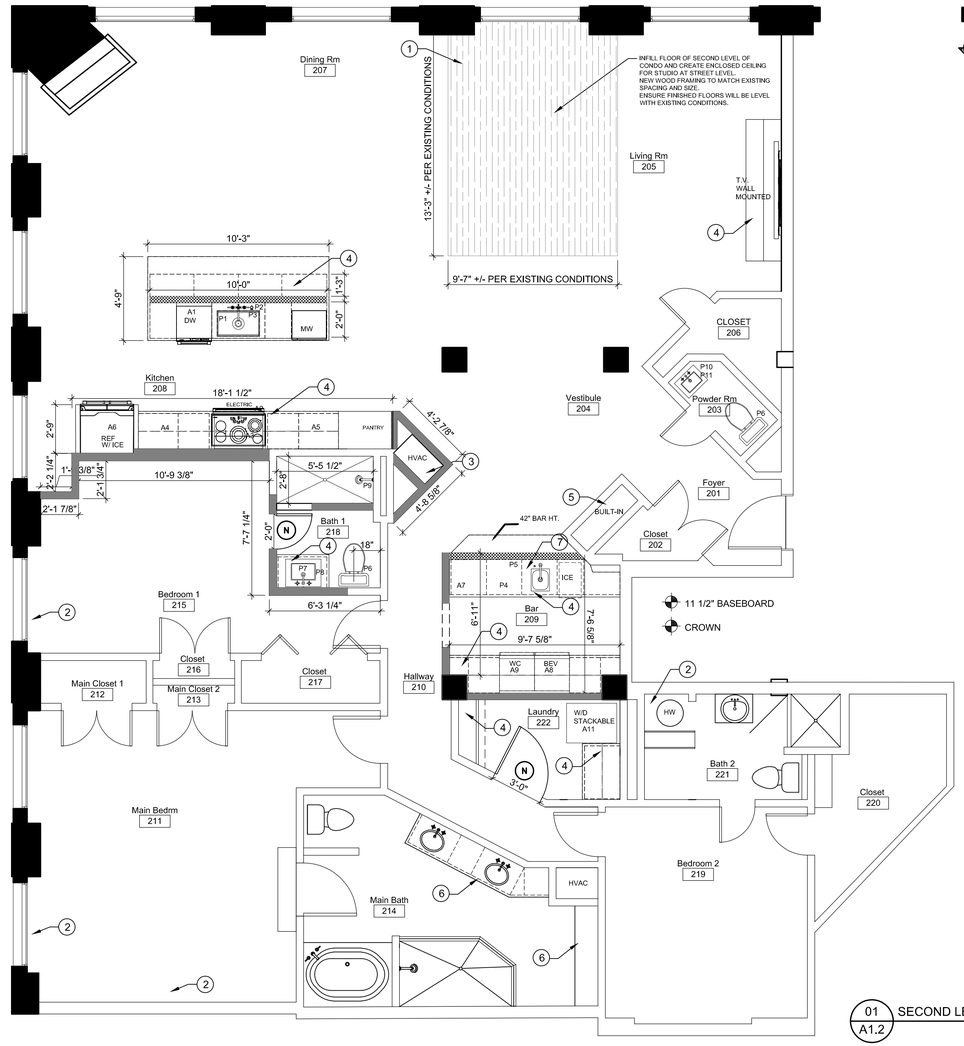
ID	ITEM	BRAND	COLOR	SIZE (W x H x D)	DESCRIPTION	QTY	ALLOWANCE
P1	Kitchen Sink 36" wide Base			33" Double	Model #	1	$ 1,500.00
P2	Kitchen Faucet with sprayer				Model #	1	$ 800.00
P3	Garbage Disposal w/ push button				Model #	1	$ 400.00
P 4	Bar Sink				Model #	1	$ 1,000.00
P 5	Bar Sink Faucet with sprayer				Model #	1	$ 400.00
P 6	Toilet				Model #	2	$ 1,000.00
P 7	Sink				Model #	1	$ 400.00
P 8	Sink Faucet				Model #	1	$ 600.00
P 9	Shower System				Model #	1	$ 1,200.00
P 10	Pedestal Sink				Model #	1	$ 1,000.00
P 11	Sink Faucet				Model #	1	$ 600.00
P 12	Toilet				Model #	1	$ 500.00
P 13	Sink				Model #	1	$ 400.00
P 14	Sink Faucet				Model #	1	$ 400.00
P 15	Shower System				Model #	1	$ 600.00
P 16	Kitchen Sink				Model #	1	$ 1,000.00
P 17	Sink Faucet				Model #	1	$ 400.00
					Sub-Total		$ 12,200..00
A 1	Dishwasher				Model #	1	$ 2,100.00
A 2	Electric Cooktop				Model #	1	$ 3,300.00
A 3	Ventless Hood				Model #	1	$ 1,300.00
A 4	Microwave Drawer				Model #	1	$ 800.00
A 5	Oven				Model #	1	$ 5,600.00
A 6	Refrigerator w/ icemaker				Model #	1	$ 4,500.00
A 7	Ice Maker				Model #	1	$ 2,400.00
A 8	Beverage Cooler				Model #	1	$ 2,200.00
A 9	Wine Cooler				Model #	1	$ 2,300.00
A 10	18" UC Refrigerator				Model #	1	$ 1,600.00
A 11	Stackable Washer/Dryer				Model #	1 Ea.	
					Sub-Total		$ 26,100.00

FINISH SCHEDULE

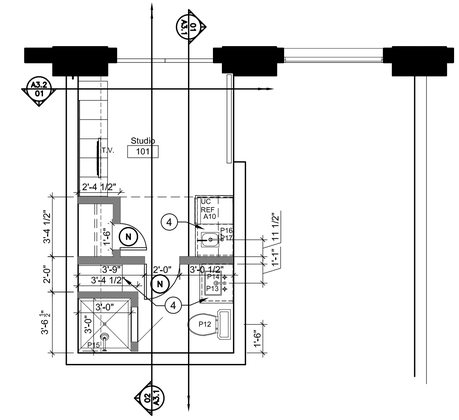
ROOM NAME	RM. NO.	FLOOR	BASE	DOORS	TRIM CROWN BEAMS	WALLS NORTH	SOUTH	EAST	WEST	CEILING
STUDIO	101	WD - 1	P WD	P WD	N/A	PAINT	PAINT	PAINT	PAINT	PAINT
LOFT	102	WD - 1	P WD	N/A	N/A	PAINT	PAINT	PAINT	PAINT	PAINT
FOYER	201	WD - 1	P WD	P WD	N/A	PAINT	PAINT	PAINT	PAINT	PAINT
CLOSET	202	WD - 1	P WD	P WD	N/A	PAINT	PAINT	PAINT	PAINT	PAINT
POWDER ROOM	203	ST - 1	ST - 1	P WD	N/A	C T	C T	C T	C T	PAINT
VESTIBULE	204	WD - 1	P WD	P WD	P WD	PAINT	PAINT	PAINT	PAINT	PAINT
LIVING ROOM	205	WD - 1	P WD	P WD	P WD	PAINT	PAINT	PAINT	PAINT	PAINT
CLOSET	206	WD - 1	P WD	P WD	P WD	PAINT	PAINT	PAINT	PAINT	PAINT
DINING ROOM	207	WD - 1	P WD	P WD	P WD	PAINT	PAINT	PAINT	PAINT	PAINT
KITCHEN	208	WD - 1	P WD	P WD	P WD	PAINT	PAINT	PAINT	PAINT	PAINT
BAR	209	WD - 1	P WD	P WD	P WD	PAINT	PAINT	PAINT	PAINT	PAINT
HALLWAY	210	WD - 1	P WD	P WD	P WD	PAINT	PAINT	PAINT	PAINT	PAINT
MAIN BEDROOM	211	WD - 1	P WD	P WD	P WD	PAINT	PAINT	PAINT	PAINT	PAINT
MAIN B CLOSET 1	212	WD - 1	P WD	P WD	P WD	PAINT	PAINT	PAINT	PAINT	PAINT
MAIN B CLOSET 2	213	WD - 1	P WD	P WD	P WD	PAINT	PAINT	PAINT	PAINT	PAINT
MAIN B BATH	214	N/A	P WD	P WD	P WD	PAINT	PAINT	PAINT	PAINT	PAINT
BEDROOM 1	215	WD - 1	P WD	P WD	P WD	PAINT	PAINT	PAINT	PAINT	PAINT
CLOSET	216	WD - 1	P WD	P WD	P WD	PAINT	PAINT	PAINT	PAINT	PAINT
CLOSET	217	WD - 1	P WD	P WD	P WD	PAINT	PAINT	PAINT	PAINT	PAINT
BATH 1	218	N/A	P WD	P WD	N/A	PAINT	PAINT	PAINT	PAINT	PAINT
BEDROOM 2	219	WD - 1	P WD	P WD	P WD	PAINT	PAINT	PAINT	PAINT	PAINT
CLOSET	220	WD - 1	N/A	P WD	N/A	PAINT	PAINT	PAINT	PAINT	PAINT
BATH 2	221	N/A	P WD	P WD	N/A	PAINT	PAINT	PAINT	PAINT	PAINT
LAUNDRY RM.	222	WD - 1	P WD	P WD	P WD	PAINT	PAINT	PAINT	PAINT	PAINT

PAINT - INTERIOR - LEVEL 4
ONE PRIMER COAT PLUS TWO FINISH COATS

SEE ELEVATIONS AND SECTIONS FOR
ADDITIONAL FINISH INFORMATION.



01 A1.2 SECOND LEVEL PROPOSED FLOOR PLAN
Scale: 1/4 = 1'-0"



02 A1.2 GROUND LEVEL PROPOSED FLOOR PLAN
Scale: 1/4 = 1'-0"

PROPOSED KEY NOTES

1. STRUCTURALLY INFILL FLOOR. SEE NOTE.
2. REPAIR TO PLASTER WALL AS NEEDED. GENERAL CONTRACTOR TO CHECK CONDITION OF ALL PLASTER WALLS. NEW PLASTER WALLS TO MATCH EXISTING TEXTURE.
3. NEW LOCATION OF HVAC SYSTEM.
   COST TO SUPPLY HEATING AND COOLING TO NEW STUDIO AREA TO BE INCLUDED IN SEPARATE PROPOSAL.
4. GENERAL CONTRACTOR TO PROVIDE AN ALLOWANCE FOR SOLID WOOD PAINTED CABINETS.
   FULL OVERLAY - SHAKER STYLE DOOR FRONT
   DOVE-TAIL DRAWERS, SOFT CLOSE.
   SOFT CLOSE DOORS.
   FINISHED END PANELS AT EXPOSED SIDE CABINET.
   ADJUSTABLE SHELVES.
   SHOE MOLD AT BASE, DECORATIVE BASE AT ISLAND.
   3 CM THICK STONE COUNTERTOPS.
5. REFINISH EXISTING WINE CABINET IN NEW STAIN COLOR.
6. RE-PAINT EXISTING BATHROOM CABINETS IN MAIN BATH # 214.
7. PROVIDE DRAIN LINE FOR ICE MAKER.

GENERAL PRICING NOTES

1. FEDERAL FIBRE MILLS CONSTRUCTION TIME.
   MONDAY - FRIDAY 9:00 AM - 5:00 PM
   WEEKEND - SATURDAY ONLY 11:00 AM - 2:00 PM
2. DEADLINE FOR COMPLETION OF WORK IS FEBRUARY 1, 2023.
3. GENERAL CONTRACTOR TO INSPECT ALL ELECTRICAL AND PLUMBING CONDITIONS TO DETERMINE IF ANY UPGRADES ARE NEEDED FOR RENOVATION. ALL POLYBUTYLENE PLUMBING LINES MUST BE REPLACED.
4. REVIEW OF HVAC SYSTEM TO DETERMINE REQUIREMENTS NEEDED FOR RETURN AND SUPPLY FOR NEW LOCATION. A.C. CHILLER IS LOCATED ON ROOF. A.C. SYSTEM IS APPROXIMATELY 10 YEARS OLD.
5. OWNER TO REMOVE ALL FURNITURE AND HOUSEHOLD PRIOR TO START OF CONSTRUCTION.
6. GENERAL CONTRACTOR TO PRICE OUT STUDIO ON FIRST LEVEL AS A SEPARATE PROPOSAL.

WALL LEGEND

- EXISTING WALL
- DEMOLITION WALL
- NEW WALL CONSTRUCTION
- LOW WALL CONSTRUCTION

PERMIT SET
NOT FOR CONSTRUCTION
08-01-2022

WILLIAMS ARCHITECTS
824 BARONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) (will not) be providing project construction administrative services of this project.

x

JOHN C. WILLIAMS Reg. No. 2[illegible] STATE OF LOUISIANA REGISTERED ARCHITECT

Copyright © 2017
John C Williams Architects LLC

1107 ST. PETER STREET - UNIT 220 RENOVATIONS
NEW ORLEANS, LOUISIANA 70130

BENCHMARK INFO

-REVISIONS-

No.	Date	Scope

PROPOSED FLOOR PLAN
NOTES
SCHEDULES

DRAWING BY	JSK
SCALE	1/4" = 1'-0"
JOB No.	522008.00
DATE	AUGUST 1, 2022

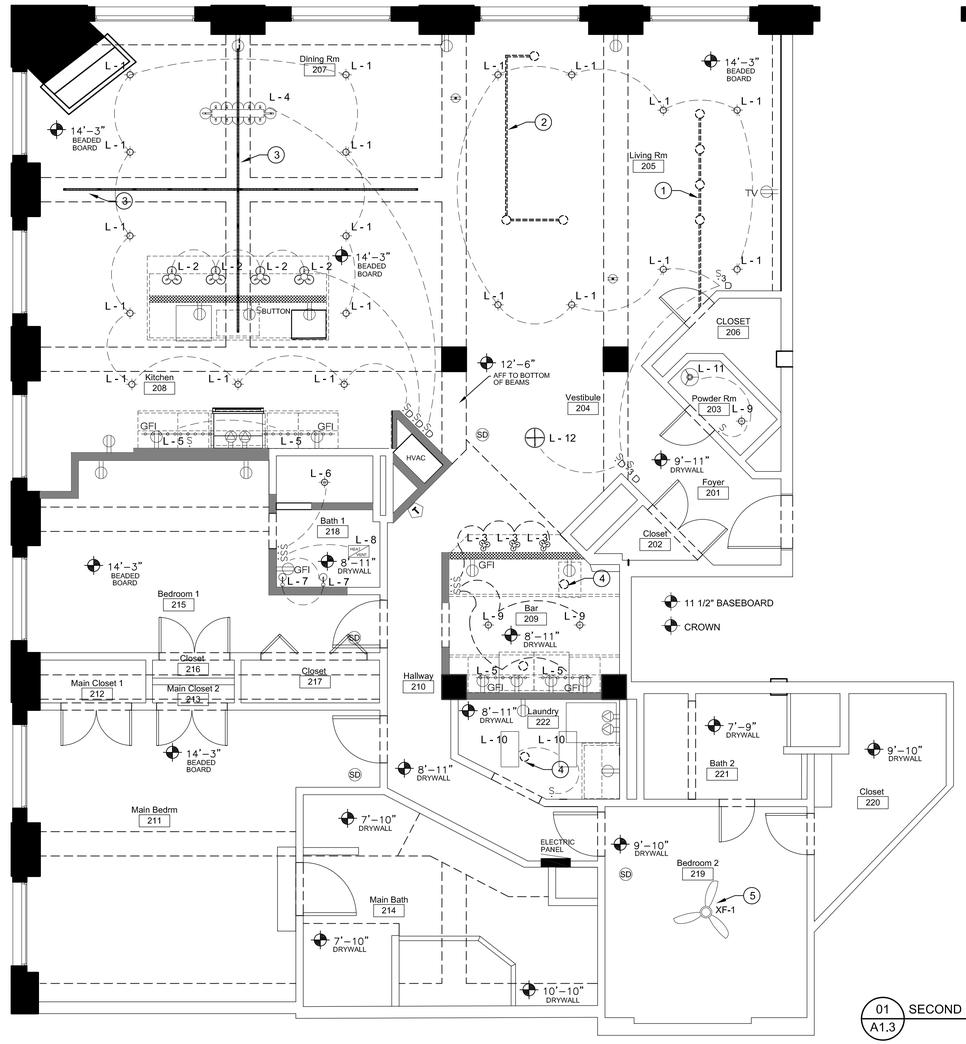
Sheet No.

A1.2

P:\522008.00 - 1107 S. Peters Condo Renovation\Drawings\00AUTOCAD\01_Sheets\A 1.2 PROPOSED PLANS.dwg
2008.12.03 - 16:40

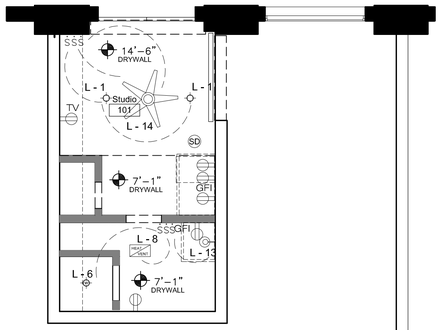
POWER AND LIGHTING SCHEDUE

ID	SYMBOL	DESCRIPTION	BRAND/MODEL NO.	QTY	ALLOWANCE
L - 1		SURFACE MOUNT CAN			
L - 2		ISLAND PENDANT FIXTURE		4	$ 2,400.00
L - 3		BAR PENDANT FIXTURE		3	$ 1,800.00
L - 4		DINING FIXTURE		1	$ 3,000.00
L - 5		UNDER-CABINET			
L - 6	W	RECESS CAN WET AREAS			
L - 7		GUEST BATHRM. WALL SCONCE		2	$ 800.00
L - 8	HEAT VENT FIXTURE	HEAT VENT FIXTURE			
L - 9	R	RECESS CAN			
L - 10		UTILITY FIXTURE			
L - 11		POWDER RM.PENDANT FIXTURE		1	$ 600.00
L - 12		VESTIBULE PENDANT FIXTURE		1	$ 1,800.00
L - 13		BATHROOM WALL SCONCE		1	$ 400.00
L - 14		CEILING FAN W/ LIGHT KIT		1	$ 650.00
			SUB-TOTAL		$ 11,450.00
		DUPLEX RECEPTACLE, 15 AMP, 110V MOUNT 18" AFF.			
	GFI	DUPLEX RECEPTACLE, 15 AMP, GFI TYPE, MOUNT 42" AFF OR ABOVE COUNTER.			
		DEDICATED CIRCUIT - 120V, 20AMP			
	GFI	DEDICATED CIRCUIT - 120V, 20AMP GROUND FAULT PROTECTED			
	TV	DUPLEX RECEPTACLE, 15 AMP, 110V MOUNT " AFF. BOTTOM OF T.V. 36" AFF.			
	SD	SMOKE DETECTOR			
		FLOOR RECEPTACLE			
	S	SINGLE POLE SWITCH			
	S D	SINGLE POLE SWITCH ON DIMMER			
	S3	THREE WAY SWITCH			
	S3D	THREE WAY SWITCH ON DIMMER			



02 A1.3 GROUND LEVEL PROPOSED POWER - RCP PLAN

Scale: 1/4" = 1'-0"



01 A1.3 SECOND LEVEL PROPOSED POWER - RCP PLAN

Scale: 1/4" = 1'-0"

PROPOSED POWER - RCP NOTES

1. REMOVE (4) DECORATIVE PENDANT LIGHTS AND ELECTRIC TRACK BOX AT UPPER CEILING LEVEL.
2. REMOVE (3) DECORATIVE GLASS PENDANT LIGHTS AND ELECTRIC TRACK BOX AT UPPER CEILING LEVEL.
3. REMOVE LIGHT TRACK SYSTEM AND TRACK LIGHTS FROM BEAMS AT CEILING.
4. REMOVE (3) RECESS CAN LIGHTS IN EXISTING KITCHEN.
5. REPAIR TO EXISTING CEILING FAN IN BEDROOM #2. FAN WORKS, LIGHT KIT DOES NOT.
6. GENERAL CONTRACTOR TO INCLUDE AN ALLOWANCE FOR A SPEAKER SYSTEM FOR EXISTING T.V. AND MUSIC SYSTEM.

GENERAL NOTE:
CHANGE ALL SWITCH AND OUTLET PLATES, ENTIRE FLOOR. ONLY PROPOSED ELECTRICAL WORK SHOWN. ALL EXISTING ELECTRICAL TO REMAIN.

PROPOSED SPRINKLER LINE AND HEAD NOTES

A. SELECT AND INSTALL NEW SPRINKLER LINE AND HEADS TO MEET COVERAGE REQUIRED BY CODE.

WALL LEGEND

- EXISTING WALL
- DEMOLITION WALL
- NEW WALL CONSTRUCTION
- LOW WALL CONSTRUCTION

PERMIT SET
NOT FOR CONSTRUCTION
08-01-2022

WILLIAMS ARCHITECTS
824 BARONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) (not) be providing project construction administrative services on this project.

x

JOHN C. WILLIAMS Reg. No. 3 STATE OF LOUISIANA REGISTERED ARCHITECT

Copyright © 2017
John C Williams Architects LLC

1107 ST. PETER STREET - UNIT 220 RENOVATIONS

NEW ORLEANS, LOUISIANA 70130

BENCHMARK INFO

-REVISIONS-

No.	Date	Scope

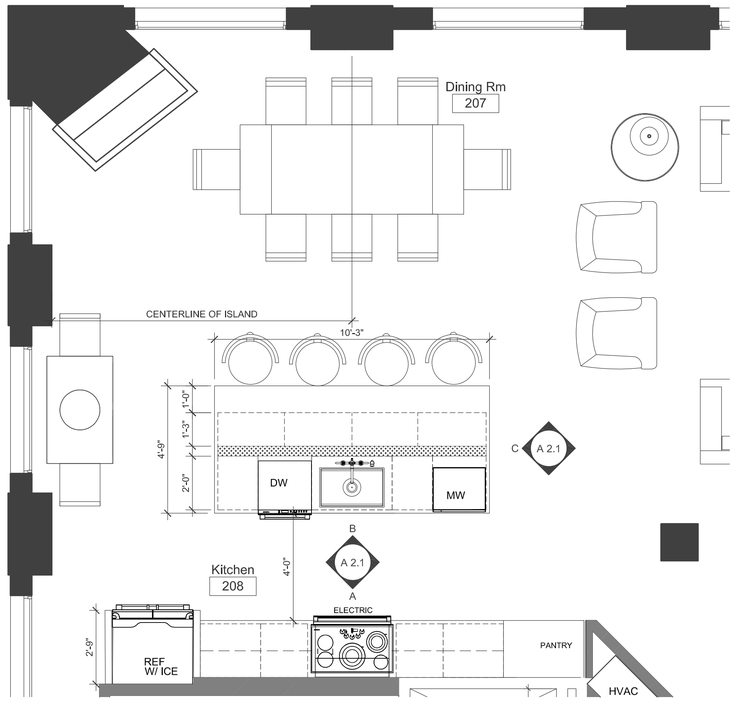
POWER PLAN
REFLECTED CEILING PLAN

DRAWING BY	JSK
SCALE	1/4" = 1'-0"
JOB No.	522008.00
DATE	AUGUST 1, 2022

Sheet No.

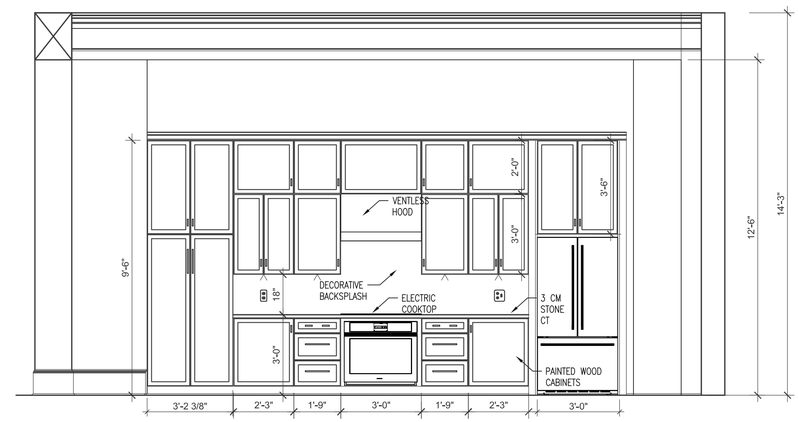
A1.3

2008.12.03 - 16:40 P:\522008.00 - 1107 S. Peters Condo Renovation\Drawings\00AUTOCAD\01_Sheets\A 1.3 REFLECTED CEILING - POWER PLANS.dwg



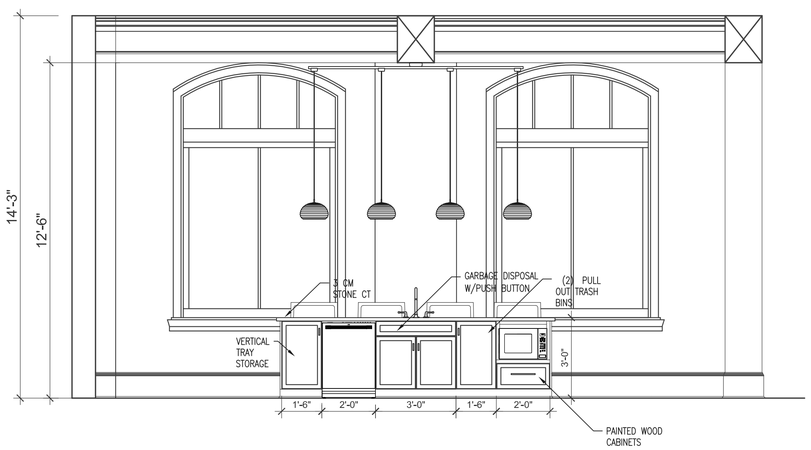
01 A2.1 ENLARGED KITCHEN PLAN

Scale: 3/8" = 1'-0"



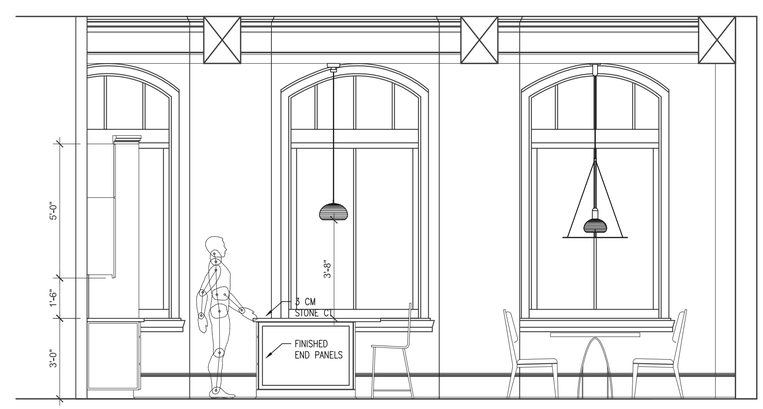
A A2.1 KITCHEN ELEVATION "A"

Scale: 3/8" = 1'-0"



B A2.1 KITCHEN ELEVATION "A"

Scale: 3/8" = 1'-0"



C A2.1 KITCHEN ELEVATION "A"

Scale: 3/8" = 1'-0"

PERMIT SET
NOT FOR CONSTRUCTION
08-01-2022

WILLIAMS ARCHITECTS
824 BARONNE STREET
NEW ORLEANS, LA 70113

504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) (~~will not~~) be providing project construction administrative services on this project.

Copyright © 2017
John C Williams Architects LLC

1107 ST. PETER STREET - UNIT 220 RENOVATIONS

NEW ORLEANS, LOUISIANA 70130

BENCHMARK INFO

-REVISIONS-

No.	Date	Scope

ENLARGED
FLOOR PLAN
INTERIOR ELEVATIONS

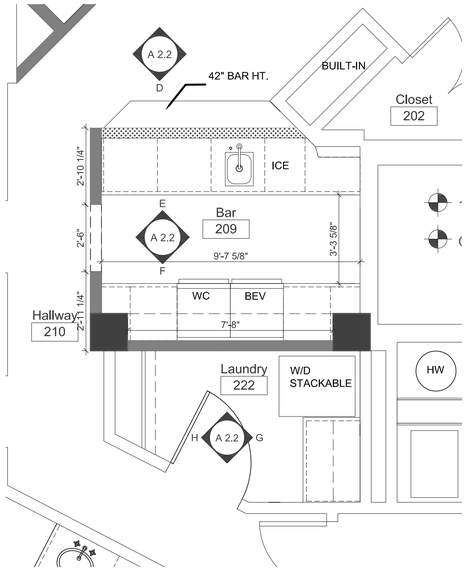
DRAWING BY	JSK
SCALE	3/8"=1'-0"
JOB No.	522008.00
DATE	AUGUST 1, 2022

Sheet No.

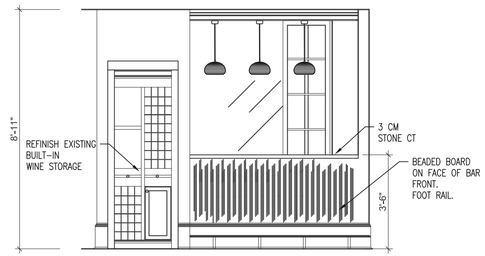
A2.1

P:\522008.00 - 1107 S. Peters Condo Renovation\Drawings\00AUTOCAD\01_Sheets\A 2.1_2.2 ENLARGED PLANS AND INTERIOR ELEVATIONS.dwg

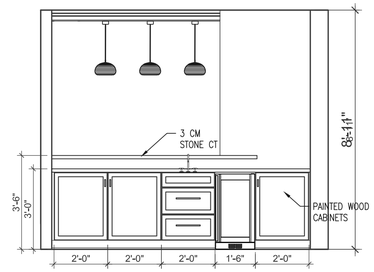
2008.12.03 - 16:40



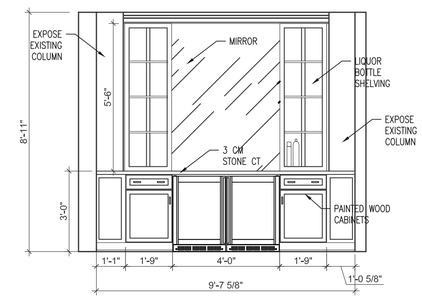
01 A2.2 ENLARGED BAR PLAN
Scale: 3/8" = 1'-0"



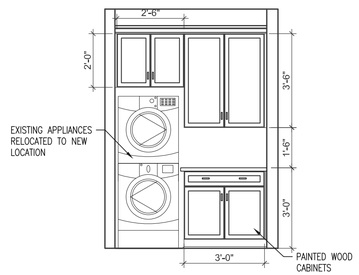
D A2.2 BAR ELEVATION "D"
Scale: 3/8" = 1'-0"



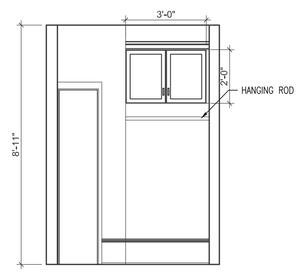
E A2.2 BAR ELEVATION "D"
Scale: 3/8" = 1'-0"



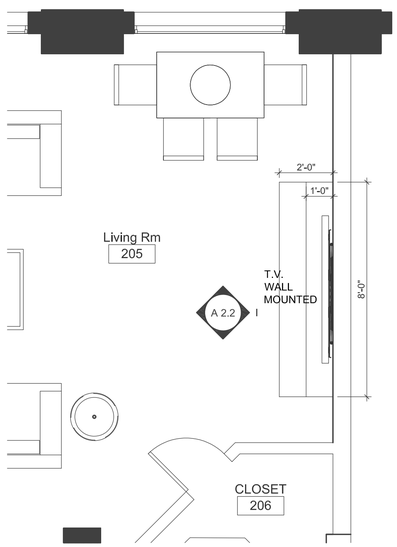
F A2.2 BAR ELEVATION "F"
Scale: 3/8" = 1'-0"



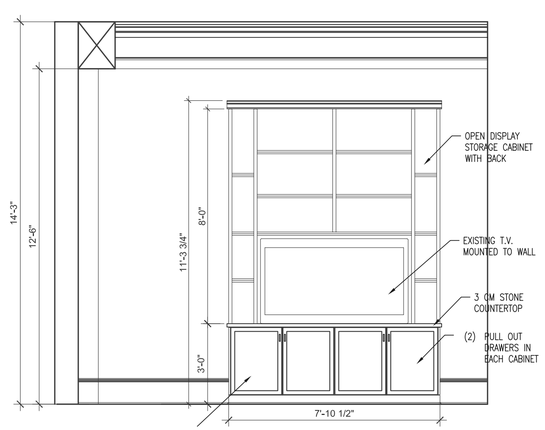
G A2.2 LAUNDRY ROOM ELEVATION "D"
Scale: 3/8" = 1'-0"



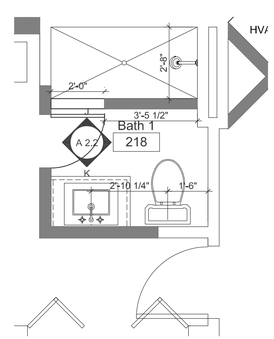
H A2.2 LAUNDRY ROOM ELEVATION "D"
Scale: 3/8" = 1'-0"



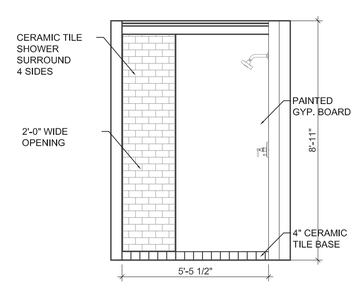
02 A2.2 ENLARGED TV MILLWORK PLAN
Scale: 3/8" = 1'-0"



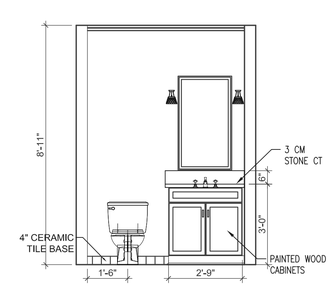
I A2.2 TV MILLWORK ELEVATION "G"
Scale: 3/8" = 1'-0"



03 A2.2 ENLARGED BATH 1 PLAN
Scale: 3/8" = 1'-0"



J A2.2 BATH 1 ELEVATION "J"
Scale: 3/8" = 1'-0"



K A2.2 BATH 1 ELEVATION "K"
Scale: 3/8" = 1'-0"

PERMIT SET
NOT FOR CONSTRUCTION
08-01-2022

WILLIAMS ARCHITECTS
824 BARONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) (have not) be providing project construction administrative services on this project.

JOHN C. WILLIAMS
Reg. No. 3[illegible]
STATE OF LOUISIANA
REGISTERED ARCHITECT

Copyright © 2017
John C Williams Architects LLC

1107 ST. PETER STREET - UNIT 220
RENOVATIONS
NEW ORLEANS, LOUISIANA 70130

BENCHMARK
INFO

-REVISIONS-

No.	Date	Scope

ENLARGED
FLOOR PLAN
INTERIOR ELEVATIONS

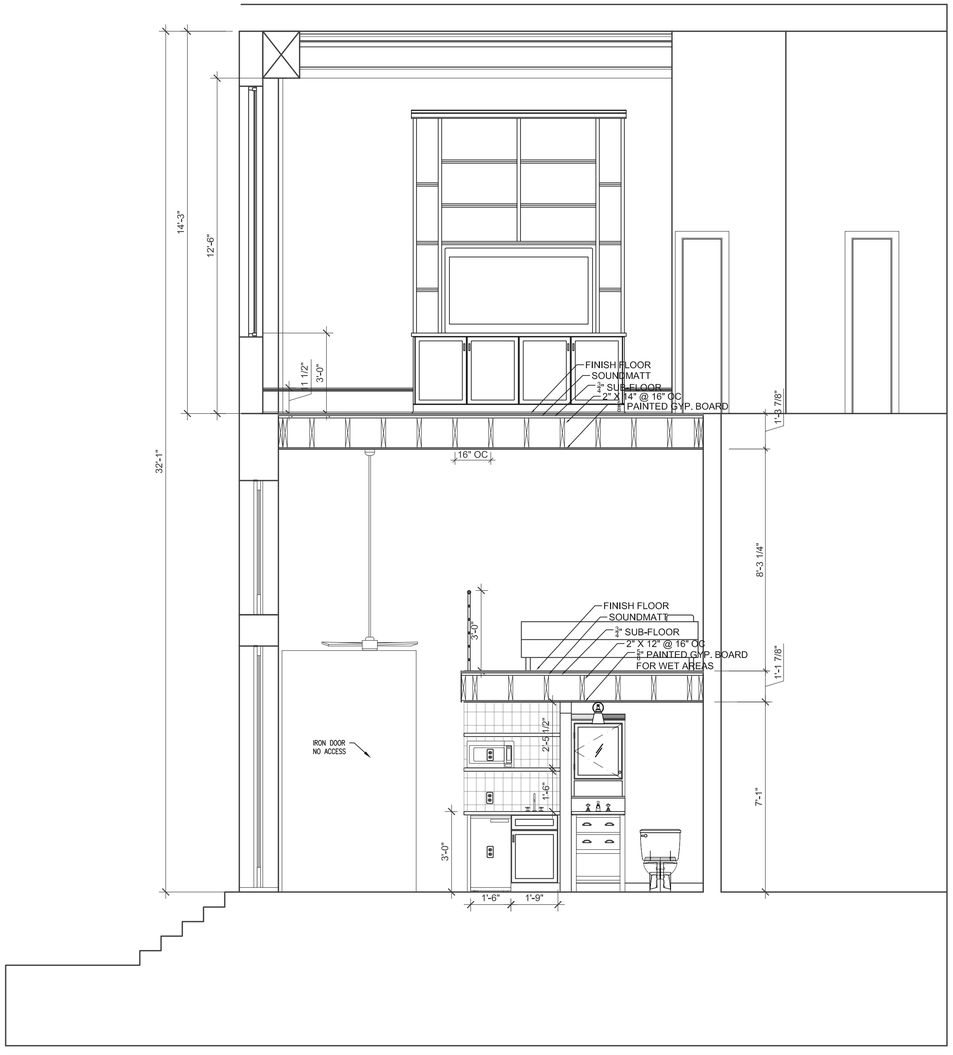
DRAWING BY	JSK
SCALE	3/8"=1'-0"
JOB No.	522008.00
DATE	AUGUST 1, 2022

Sheet No.

A2.2

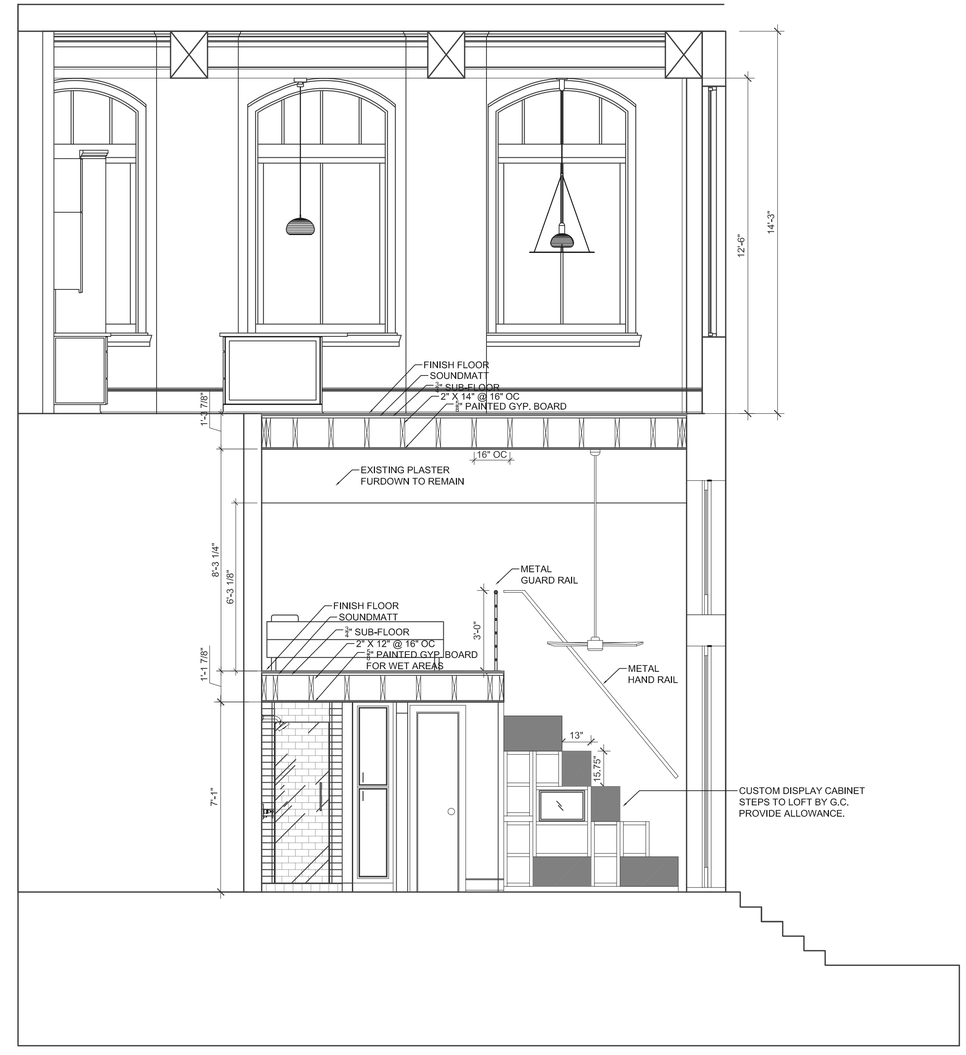
P:\522008.00 - 1107 S. Peters Condo Renovation\Drawings\00AUTOCAD\01_Sheets\A 2.1_2.2 ENLARGED PLANS AND INTERIOR ELEVATIONS.dwg

2008.12.03 - 16:40



01 SECTION A3.1

Scale: 3/8" = 1'-0"



02 SECTION A3.1

Scale: 3/8" = 1'-0"

PERMIT SET
NOT FOR CONSTRUCTION
08-01-2022

WILLIAMS ARCHITECTS
824 BARONNE STREET
NEW ORLEANS, LA 70113

504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) (have not) be providing project construction administrative services on this project.

JOHN C. WILLIAMS
REG. No. 3[illegible]
STATE OF LOUISIANA
ARCHITECT

Copyright © 2017
John C Williams Architects LLC

1107 ST. PETER STREET - UNIT 220 RENOVATIONS

NEW ORLEANS, LOUISIANA 70130

BENCHMARK INFO

-REVISIONS-

No.	Date	Scope

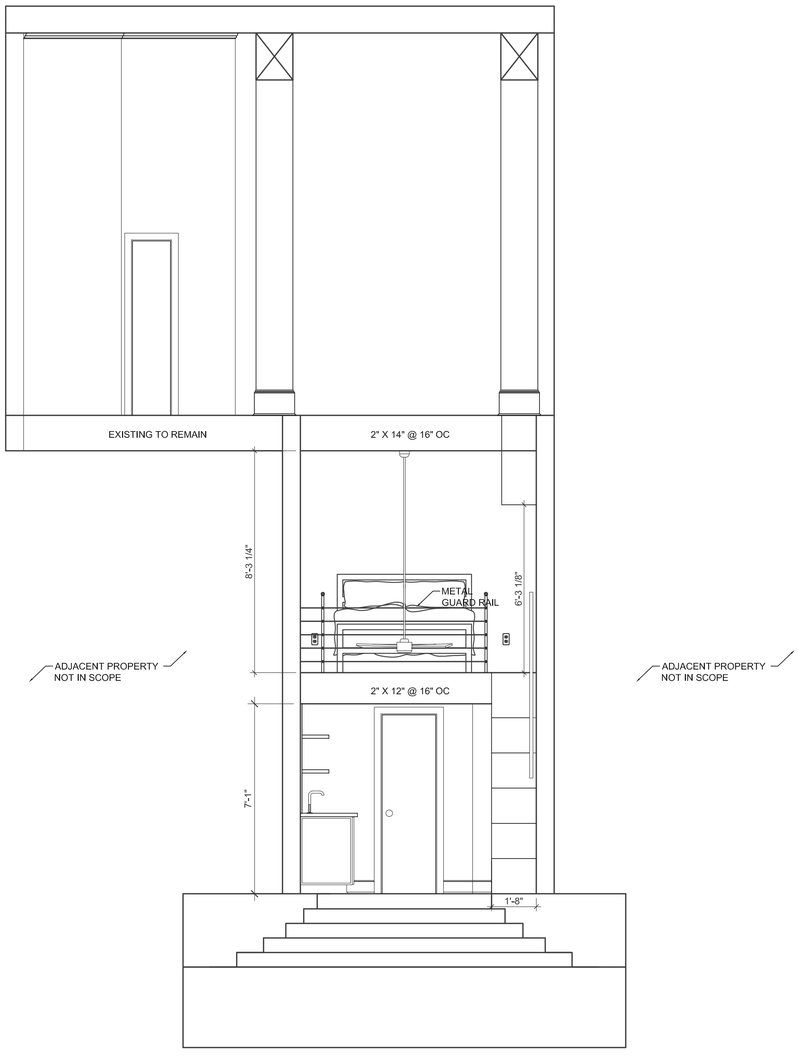
SECTION

DRAWING BY	JSK
SCALE	3/8"=1'-0"
JOB No.	522008.00
DATE	AUGUST 1, 2022

Sheet No.

A3.1

2008.12.03 - 16:40 P:\522008.00 - 1107 S. Peters Condo Renovation\Drawings\00AUTOCAD\01_Sheets\A 3.1_3.2 SECTION AND DETAILS.dwg



01 A3.2 SECTION

Scale: 3/8" = 1'-0"

PERMIT SET
NOT FOR CONSTRUCTION
08-01-2022

WILLIAMS ARCHITECTS
824 BARONNE STREET
NEW ORLEANS, LA 70113

504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) (will not) be providing project construction administrative services on this project.

x

JOHN C. WILLIAMS
Reg. No. 3[illegible]
STATE OF LOUISIANA
REGISTERED ARCHITECT

Copyright © 2017
John C Williams Architects LLC

1107 ST. PETER STREET - UNIT 220 RENOVATIONS

NEW ORLEANS, LOUISIANA 70130

BENCHMARK INFO

-REVISIONS-

No.	Date	Scope

SECTION

DRAWING BY	JSK
SCALE	3/8"=1'-0"
JOB No.	522008.00
DATE	AUGUST 1, 2022

Sheet No.

A3.2

2008.12.03 - 16:40 P:\522008.00 - 1107 S. Peters Condo Renovation\Drawings\00AUTOCAD\01_Sheets\A 3.1_3.2 SECTION AND DETAILS.dwg