

DOB STAMP		
NO.	REVISIONS/SUBMISSIONS	DATE
	FOR PERMIT	07/29/22
DRAWN BY: KJ		



SEAL

ENGINEER

ATION: PRIVATE RESIDENCE
5434 LAUREL STREET
NEW ORLEANS, LA 70115

KKJOHNSON ARCHITECTURE & DESIGN
4618 Camp Street, New Orleans, LA 70115
p: 504.327.9717 e: kjohnson@kkjohnsonarchitecture.com

DRAWING TITLE:

EXISTING SITE PLAN

KK | KKJOHNSON
ARCHITECTURE
& Design

PROJECT: **22-R-09**

FOR PERMIT

A100

SHEET

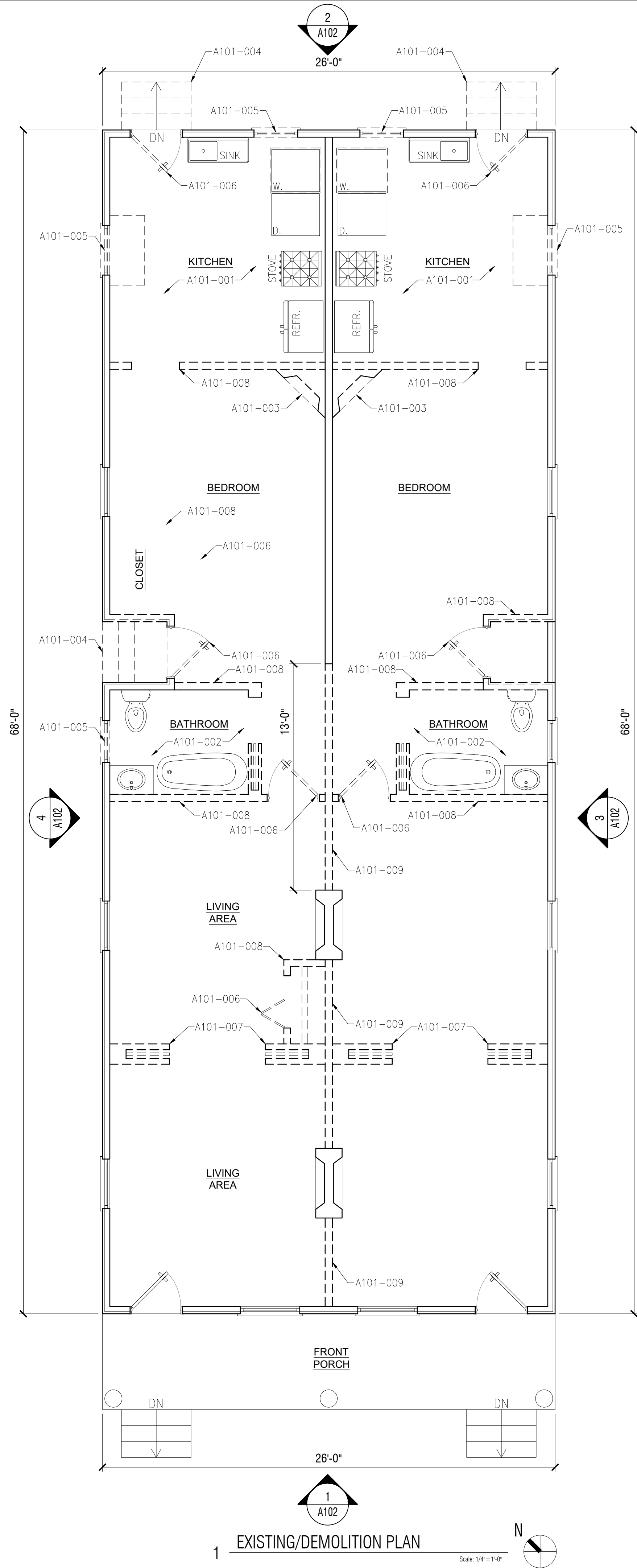
DEMO. WALL KEY

- WOOD EXTERIOR WALL W/ SIDING
- WOOD EXTERIOR WALL W/ SIDING (TO BE REMOVED)
- MASONRY EXTERIOR WALL (TO REMAIN)
- WOOD STUD WALL W/ GYPSUM BOARD, BOTH SIDES (TO REMAIN)
- WOOD STUD WALL W/ GYPSUM BOARD, BOTH SIDES (TO BE REMOVED)
- AREA NOT IN CONTRACT (NO WORK)

DEMOLITION NOTES

- A. ALL DEMOLITION WORK SHALL COMPLY WITH ALL LAWS, RULES AND REGULATIONS OF GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- B. PROVIDE PROTECTION FOR PERSONS AND PROPERTY IN ACCORDANCE WITH ANSI/NFPA 241.
- C. PROVIDE TEMPORARY BARRICADES, CANOPIES, FENCES, RAILING, LIGHTING, ETC. REQUIRED TO PROTECT WORKMEN, ARCHITECT AND OTHERS FROM INJURY DURING THE DEMOLITION OPERATIONS.
- D. PERFORM THE DEMOLITION WORK IN SUCH A MANNER AS TO PREVENT FIRES. REMOVE ALL DEBRIS PROMPTLY TO A REFUSE CONTAINER. NO MATERIALS SHALL BE BURNED AT THE SITE.
- E. PROVIDE FIRE EXTINGUISHERS AND SMOKE DETECTION EQUIPMENT IN SERVICEABLE CONDITION, PROPER LOCATION, AND IDENTIFIED SO THAT IT WILL BE AVAILABLE FOR IMMEDIATE USE.
- F. PROTECT AND MAINTAIN EXISTING UTILITY LINES WHICH ARE TO REMAIN IN SERVICE IN SUCH A MANNER AS TO AVOID INTERRUPTION OF THE SERVICE. CAP ALL UTILITIES TERMINATED BY THE DEMOLITION WORK IN A MANNER APPROVED BY THE GOVERNMENTAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- G. VERIFY ALL DIMENSIONS IN FIELD.
- H. REMOVE NON-LOAD BEARING PARTITIONS AS DASHED ON PLANS.
- I. ALL EQUIPMENT CURRENTLY IN THE PREMISES IS THE PROPERTY OF THE OWNER. ANY EQUIPMENT, FIXTURES, FURNITURE, ETC. IDENTIFIED TO BE DEMOLISHED OR REMOVED AS PART OF THE DEMOLITION AND BUILD-OUT MUST BE DONE IN SUCH A MANNER AS NOT TO DAMAGE, DESTROY OR RENDER INOPERABLE SUCH EQUIPMENT AND FIXTURES.
- J. ALL DEMOLISHED OR REMOVED EQUIPMENT TO BE PLACED IN AN AREA DESIGNATED BY THE OWNER.

KEY NOTES	
TAG	DESCRIPTION
A101-001	REMOVE KITCHEN APPLIANCES & FIXTURES. CAP PLUMBING LINES BELOW FINISH FLOOR LEVEL. REMOVE CABINETS AND FINISHED FLOOR.
A101-002	REMOVE BATHROOM FIXTURES. CAP PLUMBING LINES BELOW FINISH FLOOR LEVEL. REMOVE CABINETS AND FINISHED FLOOR.
A101-003	REMOVE FIREPLACE FROM FOUNDATION THROUGH ROOF.
A101-004	REMOVE STEPS.
A101-005	REMOVE WINDOW INCLUDING INTERIOR AND EXTERIOR TRIM.
A101-006	REMOVE DOOR INCLUDING TRIMWORK.
A101-007	REMOVE POCKET DOOR AND SURROUNDING WALL AND TRIM.
A101-008	REMOVE WALL INCLUDING BUT NOT LIMITED TO ANY ELECTRICAL OR PLUMBING.
A101-009	REMOVE LOAD BEARING WALL AS DIMENSIONED INCLUDING ALL ELECTRICAL AND PLUMBING. CONTRACTOR TO SHORE CEILING JOISTS ABOVE PRIOR TO REMOVAL.



DOB STAMP

NO.	REVISIONS/SUBMISSIONS	DATE
	FOR PERMIT	07/29/22
DRAWN BY: KJ		



SEAL

ENGINEER

LOCATION:
PRIVATE RESIDENCE
5434 LAUREL STREET
NEW ORLEANS, LA 70115

KKJOHNSON ARCHITECTURE & DESIGN
4618 Camp Street, New Orleans, LA 70115
p: 504.327.9717 e: kjohnson@kjohnsonarchitecture.com

DRAWING TITLE:
EXISTING/DEMOLITION PLANS

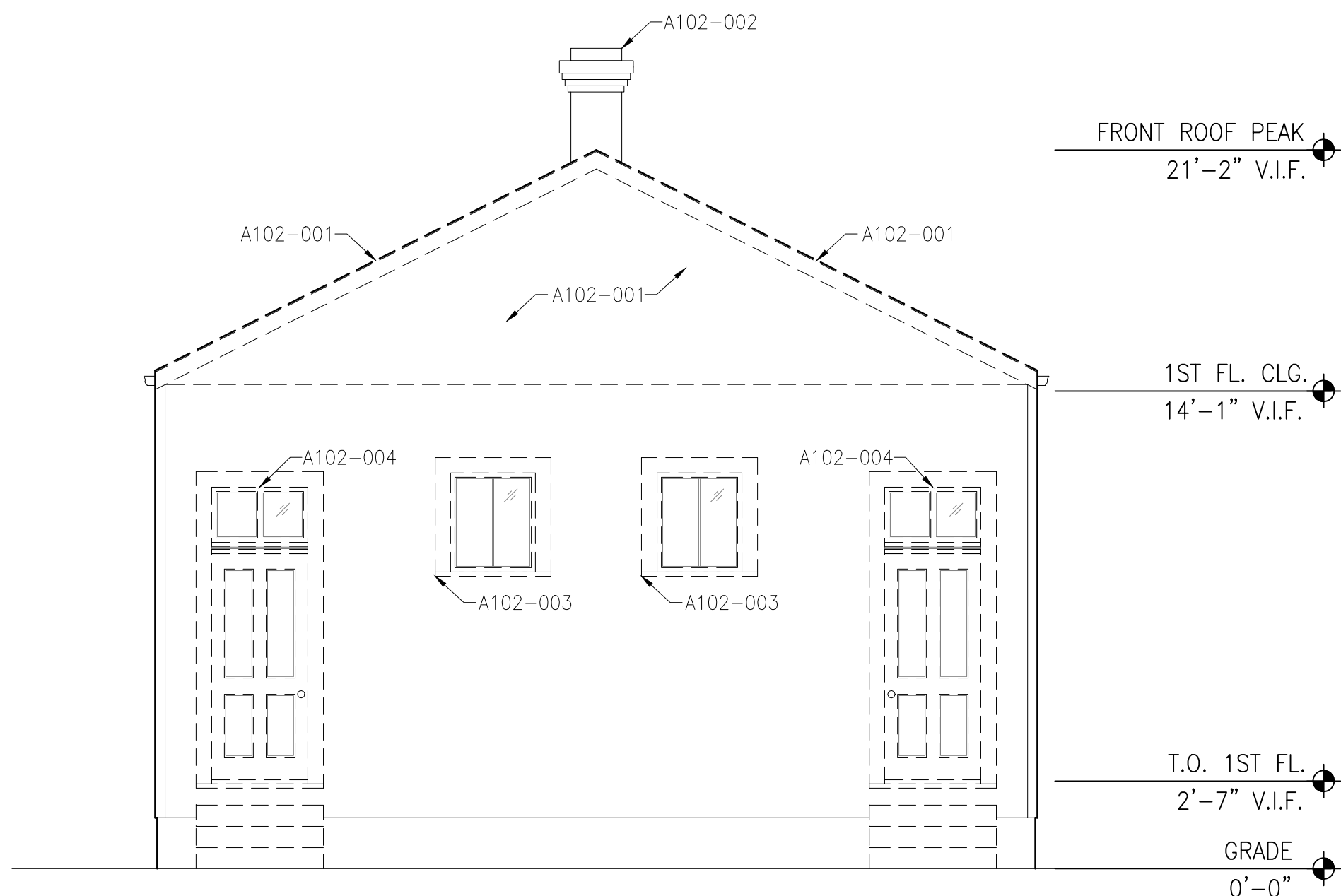
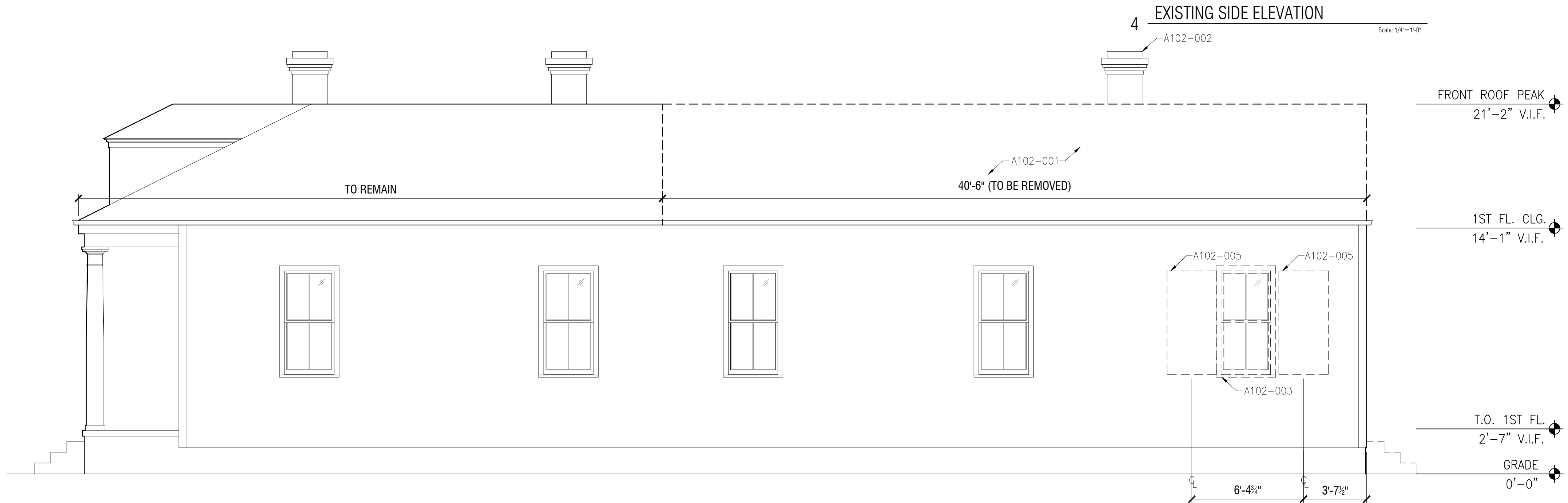
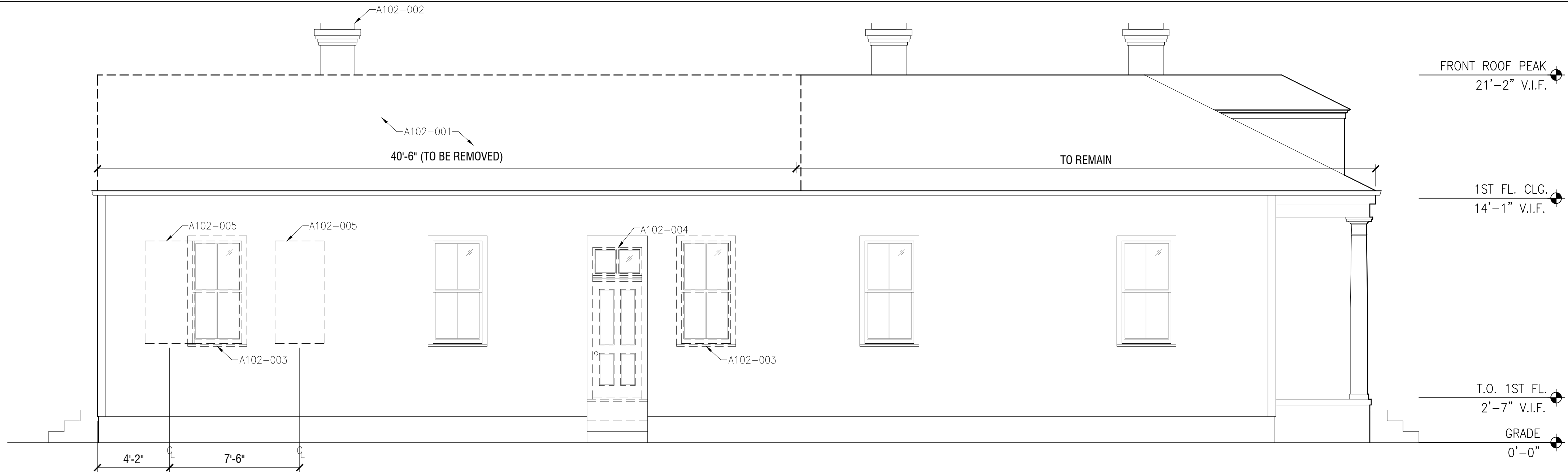
KK JOHNSON
ARCHITECTURE
& Design

PROJECT: **22-R-09**

FOR PERMIT

A101

SHEET



DEMOLITION NOTES

- A. ALL DEMOLITION WORK SHALL COMPLY WITH ALL LAWS, RULES AND REGULATIONS OF GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- B. PROVIDE PROTECTION FOR PERSONS AND PROPERTY IN ACCORDANCE WITH ANSI/NFPA 241.
- C. PROVIDE TEMPORARY BARRICADES, CANOPIES, FENCES, RAILING, LIGHTING, ETC. REQUIRED TO PROTECT WORKMEN, ARCHITECT AND OTHERS FROM INJURY DURING THE DEMOLITION OPERATIONS.
- D. PERFORM THE DEMOLITION WORK IN SUCH A MANNER AS TO PREVENT FIRES. REMOVE ALL DEBRIS PROMPTLY TO A REFUSE CONTAINER. NO MATERIALS SHALL BE BURNED AT THE SITE.
- E. PROVIDE FIRE EXTINGUISHERS AND SMOKE DETECTION EQUIPMENT IN SERVICEABLE CONDITION, PROPER LOCATION, AND IDENTIFIED SO THAT IT WILL BE AVAILABLE FOR IMMEDIATE USE.
- F. PROTECT AND MAINTAIN EXISTING UTILITY LINES WHICH ARE TO REMAIN IN SERVICE IN SUCH A MANNER AS TO AVOID INTERRUPTION OF THE SERVICE. CAP ALL UTILITIES TERMINATED BY THE DEMOLITION WORK IN A MANNER APPROVED BY THE GOVERNMENTAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- G. VERIFY ALL DIMENSIONS IN FIELD.
- H. REMOVE NON-LOAD BEARING PARTITIONS AS DASHED ON PLANS.
- I. ALL EQUIPMENT CURRENTLY IN THE PREMISES IS THE PROPERTY OF THE OWNER. ANY EQUIPMENT, FIXTURES, FURNITURE, ETC. IDENTIFIED TO BE DEMOLISHED OR REMOVED AS PART OF THE DEMOLITION AND BUILD-OUT MUST BE DONE IN SUCH A MANNER AS NOT TO DAMAGE, DESTROY OR RENDER INOPERABLE SUCH EQUIPMENT AND FIXTURES.
- J. ALL DEMOLISHED OR REMOVED EQUIPMENT TO BE PLACED IN AN AREA DESIGNATED BY THE OWNER.

KEY NOTES

TAG	DESCRIPTION
A102-001	REMOVE ROOF AS DIMENSIONED INCLUDING BUT NOT LIMITED TO SHINGLES, SHEATHING, INSULATION AND ROOF JOISTS. CEILING JOISTS TO REMAIN.
A102-002	REMOVE CHIMNEY.
A102-003	REMOVE WINDOW. STORE FOR REUSE.
A102-004	REMOVE DOOR, TRIM AND STEPS.
A102-005	REMOVED WALL AS DIMENSIONED FOR NEW WINDOW. SEE WINDOW SCHEDULE ON SHEET A203 FOR WINDOW SIZES.

DOB STAMP

NO.	REVISIONS/SUBMISSIONS	DATE
FOR PERMIT		07/29/22
DRAWN BY: KJ		



SEAL

ENGINEER

LOCATION:
PRIVATE RESIDENCE
5434 LAUREL STREET
NEW ORLEANS, LA 70115

KKJOHNSON ARCHITECTURE & DESIGN
4618 Camp Street, New Orleans, LA 70115
p: 504.327.9717 e: kjohnson@kjohnsonarchitecture.com

DRAWING TITLE:
**EXISTING/DEMOLITION
ELEVATIONS**

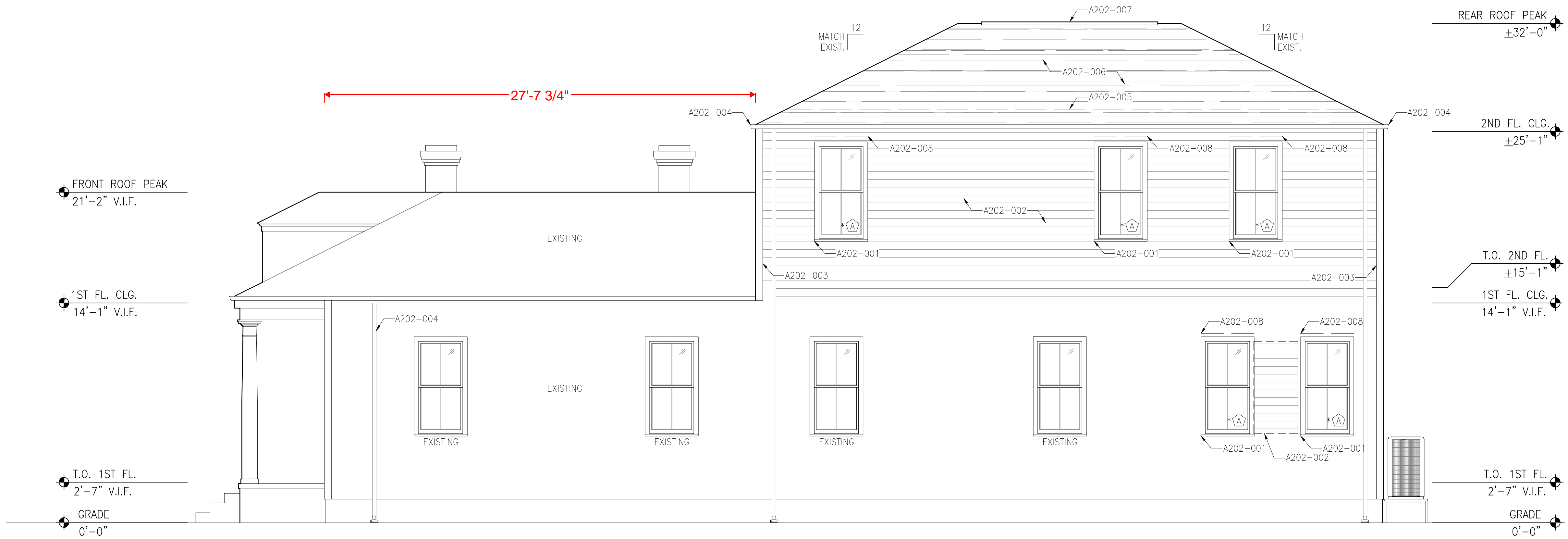
KK
ARCHITECTURE
& Design

PROJECT:
22-R-09

FOR PERMIT

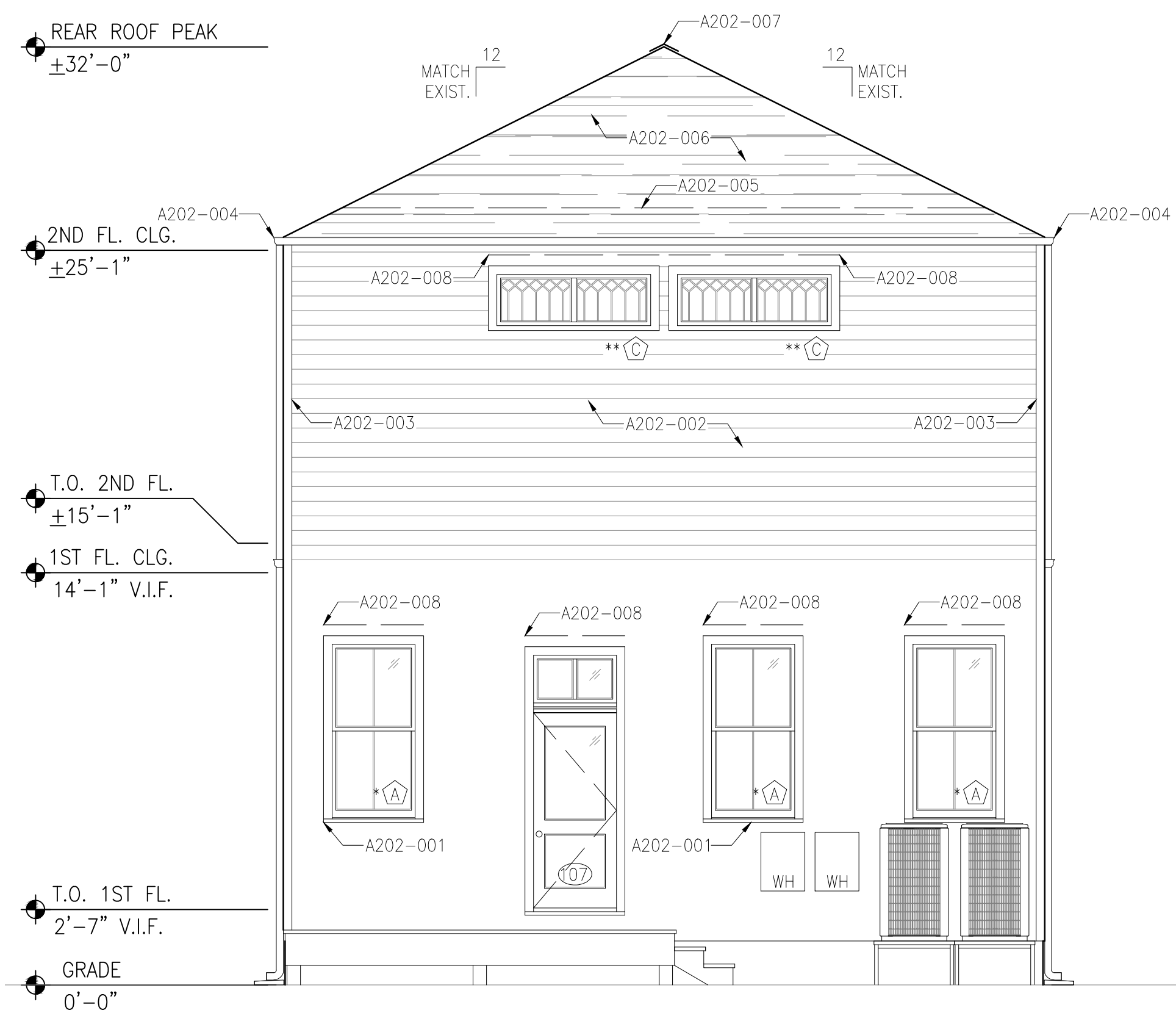
A102

SHEET



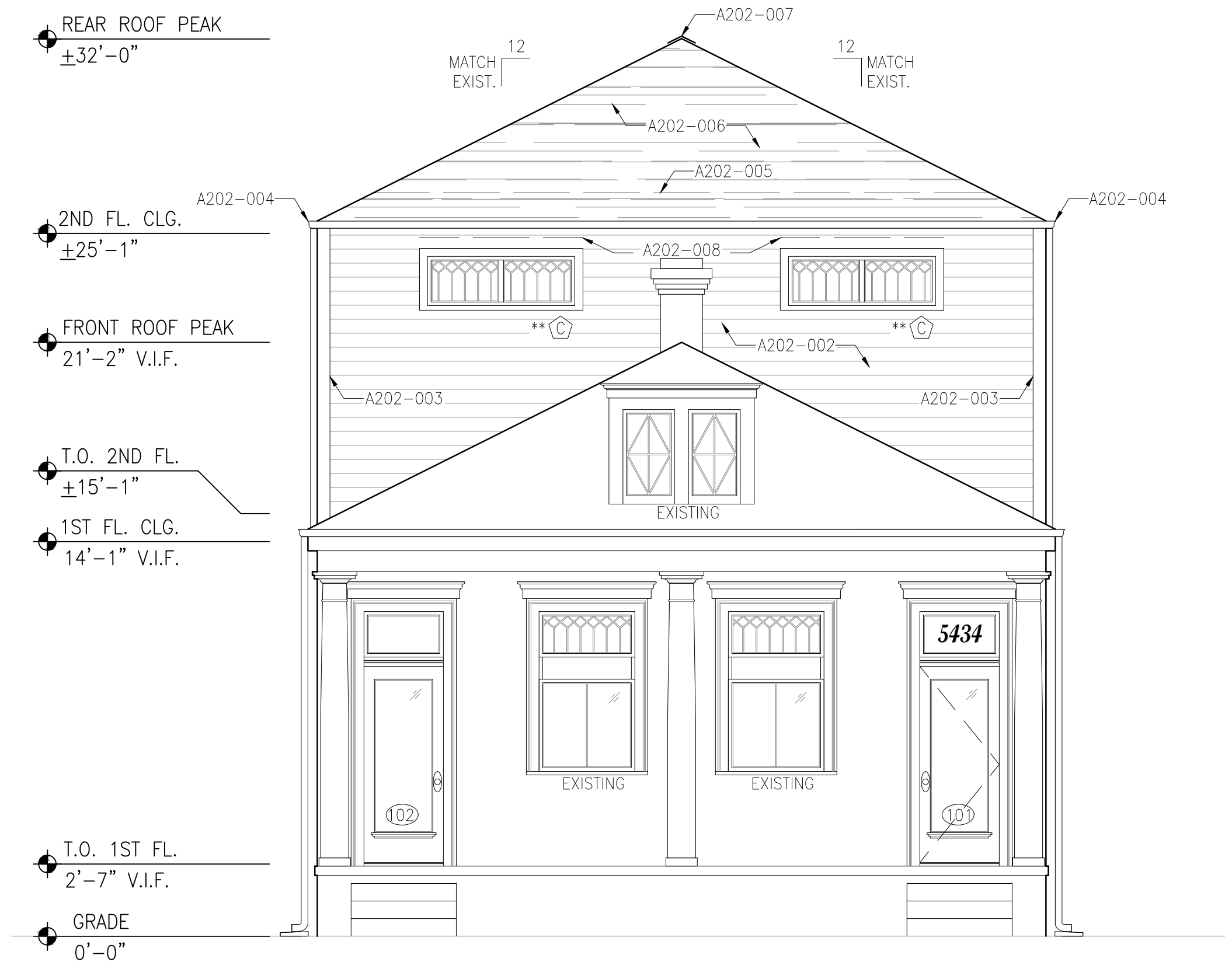
3 PROPOSED SIDE ELEVATION

Scale: 1/4"=1'-0"



2 PROPOSED REAR ELEVATION

Scale: 1/4"=1'-0"



1 PROPOSED FRONT ELEVATION

Scale: 1/4"=1'-0"

NOTE: CONTRACTOR TO HIRE STRUCTURAL ENGINEER TO EXAMINE EXISTING FOUNDATION & DETERMINE IF FOUNDATION WORK IS REQUIRED TO SUPPORT NEW SECOND STORY.

KEY NOTES	
TAG	DESCRIPTION
A202-001	NEW WINDOW TO MATCH EXISTING WOOD SINGLE-PANE 3 WINDOWS.
A202-002	NEW SIDING TO MATCH EXISTING. AT INFILL AREAS, LAP SIDING TO BLEND.
A202-003	CORNER TRIM.
A202-004	GUTTER & DOWNSPOUT.
A202-005	PROVIDE FLASHING 12" UP AT ALL ROOF EDGES.
A202-006	NEW SHINGLES TO MATCH EXISTING.
A202-007	PROVIDE RIDGE VENT AT NEW ROOF.
A202-008	PROVIDE FLASHING 6" ABOVE NEW WINDOWS & DOORS.

DOB STAMP

NO.	REVISIONS/SUBMISSIONS	DATE
	FOR PERMIT	07/29/22
DRAWN BY: KJ		

SEAL

ENGINEER

LOCATION:
PRIVATE RESIDENCE
5434 LAUREL STREET
NEW ORLEANS, LA 70115

DRAWING TITLE:
PROPOSED ELEVATIONS

PROJECT:
22-R-09

FOR PERMIT

A202

SHEET



1. ALL GLAZING TO BE PROTECTED FROM WIND-BORNE DEBRIS BY EITHER PLYWOOD PANELS, CUT TO FIT AND STORED UNDER THE HOUSE, OR SHUTTERS IN ACCORDANCE WITH R301 2.1.2 IRC 2015 ed.
2. ALL OPERABLE WINDOWS & DOORS TO HAVE FULL-SIZE SCREENS. HALF SCREENS ARE NOT ALLOWED.
3. PER IRC 2015 ALL EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTENDED SCREEN APPROVED FOR LARGED EGRESS. FIRE RESCUE UNITS MUST BE OPERABLE FROM THE INSIDE TO FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS & SHALL HAVE SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR. ALL EGRESS WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5'7" SQUARE FEET WITH MINIMUM NET CLEAR HEIGHT OF 24" AND MINIMUM NET CLEAR WIDTH OF 20".
4. ANY NEW DOORS TO BE SOLID-CORE WOOD TO MATCH EXISTING. STYLE APPROVED BY OWNER.
5. ALL TYPICAL WINDOW AND DOOR CASING TO MATCH EXISTING & BE WOOD ON EXTERIOR.
6. ALL DOOR HINGES TO MATCH IN FINISH AND STYLE.
7. SHUTTERS (IF ANY) TO BE PAINTED WOOD (ETHER PLYWOOD TREATED OR SPANISH CEDAR, DOOR AND BATTEN, WITH GALVANIZED HARDWARE FOR CLOSING AND FOR STAYING CONNECTED TO THE HOUSE WHEN OPEN).

NOTE: ALL WALL AND CEILING FINISHES TO BE CLASS 1, FLAME SPREAD RATING OF 0 TO 25, SMOKE DEVELOPED 200 OR LESS. ALL FLOOR COVERINGS TO BE CLASS A, CRITICAL RADIANT FLUX OF 0.45 WATTS/SQ. CM. OR HIGHER.

NOTE: MATERIALS/ FINISHES SHOWN IN THIS SCHEDULE ARE GENERAL. OWNER TO SELECT FINAL MATERIALS.

WINDOW SCHEDULE

DOOR SCHEDULE

ENGINEER

PRIVATE RESIDENCE
5434 LAUREL STREET
NEW ORLEANS, LA 70115

NOTES & SCHEDULES

FOR PERMIT

SHEET

KKJOHNSON ARCHITECTURE & DESIGN
4618 Camp Street, New Orleans, LA 70115
p: 504.327.9717 e: kjohnson@kkjohnsonarchitecture.com

KK | **KKJOHNSON** | **ARCHITECTURE**
& Design

PLAN NOTES

- ALL NEW OUTLETS TO BE GROUND FAULT INTERRUPTED IN ALL WET LOCATIONS.
- OWNER TO PROVIDE ALL NEW LIGHTING FIXTURES EXCEPT CANS. VERIFY TYPES AND LOCATIONS WITH OWNER PRIOR TO WIRING AND INSTALLATION.
- PROVIDE OVERFLOW PANS AT FURNACES & WATER HEATERS W. FLOOR DRAIN. PROVIDE OPEN SITE DRAIN FOR CONDENSATE.
- PROVIDE DISCONNECT FOR DISHWASHER AND AIR CONDENSER.

ELECTRICAL/LIGHTING NOTES

- OWNER TO PROVIDE ALL FIXTURES EXCEPT RECESSED CANS.
- OWNER TO VERIFY LOCATION OF ALL FIXTURES PRIOR TO INSTALLATION.
- ALL PERMITS AND INSPECTIONS TO BE OBTAINED BY ELECTRICIAN AS REQUIRED BY LOCAL CODES AND NEC.
- RECEPTACLES IN WET AREAS (BATHROOMS AND KITCHENS) SHALL BE LOCATED IN ACCORDANCE WITH NEC AND SHALL BE GROUND FAULT CIRCUITED (GFI).
- RECEPTACLES IN BEDROOMS SHALL BE LOCATED IN ACCORDANCE WITH NEC AND SHALL BE ARC-FAULT CIRCUITED (AFI).
- VERIFY SWITCH AND OUTLET LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

MECHANICAL/PLUMBING NOTES

- INSTALL NEW BATHROOM DUCTS FOR VENTILATION. ALL VENTILATION EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 1507 OF THE IRC 2015.
- KITCHEN HOODS TO VENT THROUGH ROOF.
- CONDENSING UNITS TO BE LOCATED ON PLATFORM ABOVE BASE FLOOD ELEVATION.
- WHOLE-HOUSE GAS ON DEMAND HOT WATER SYSTEM TO BE INSTALLED IN ATTIC. EQUIPMENT SHALL BE 9.5 RUDD OUTDOOR TANKLESS WATER HEATER OR APPROVED EQUAL.
- ANY PLUMBING PIPES UNDER HOUSE OR OUTSIDE OF CONDITIONED SPACE TO BE INSULATED R-4 MINIMUM.

SYMBOLS KEY

- ⊙

4" RECESSED CAN LIGHT FIXTURE

⊕

W/ DAYLIGHT LED LIGHTS

⊕

DECORATIVE CEILING MOUNT FIXTURE

⊕

DECORATIVE WALL MOUNT FIXTURE

⊕

VENT LIGHT

⊕

LED STRIP

⊕

LIGHT SWITCH

⊕

THREE-WAY LIGHT SWITCH

⊕

SMOKE DETECTOR
- ⊕

OUTLET

⊕

OUTLET, COUNTER HEIGHT

⊕

OUTLET, WET LOCATION

⊕

CEILING FAN

⊕

DISCONNECT

⊕

THERMOSTAT

⊕

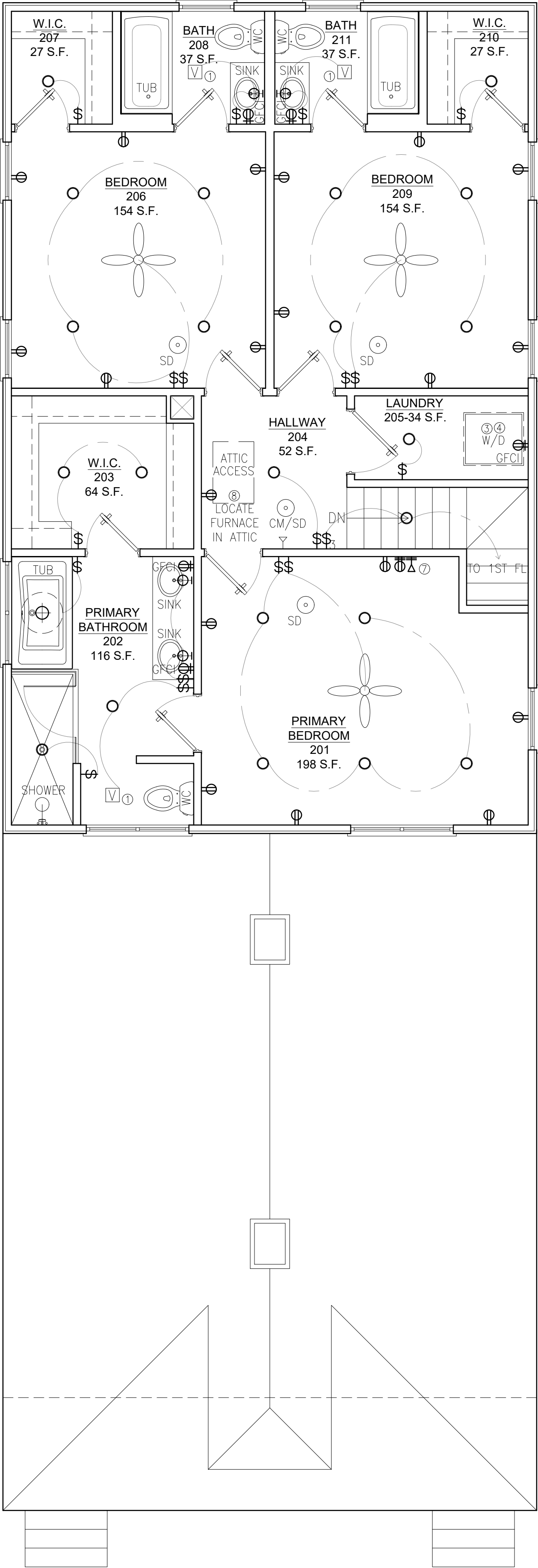
HOSE BIB

⊕

CARBON MONOXIDE/ SMOKE DETECTOR

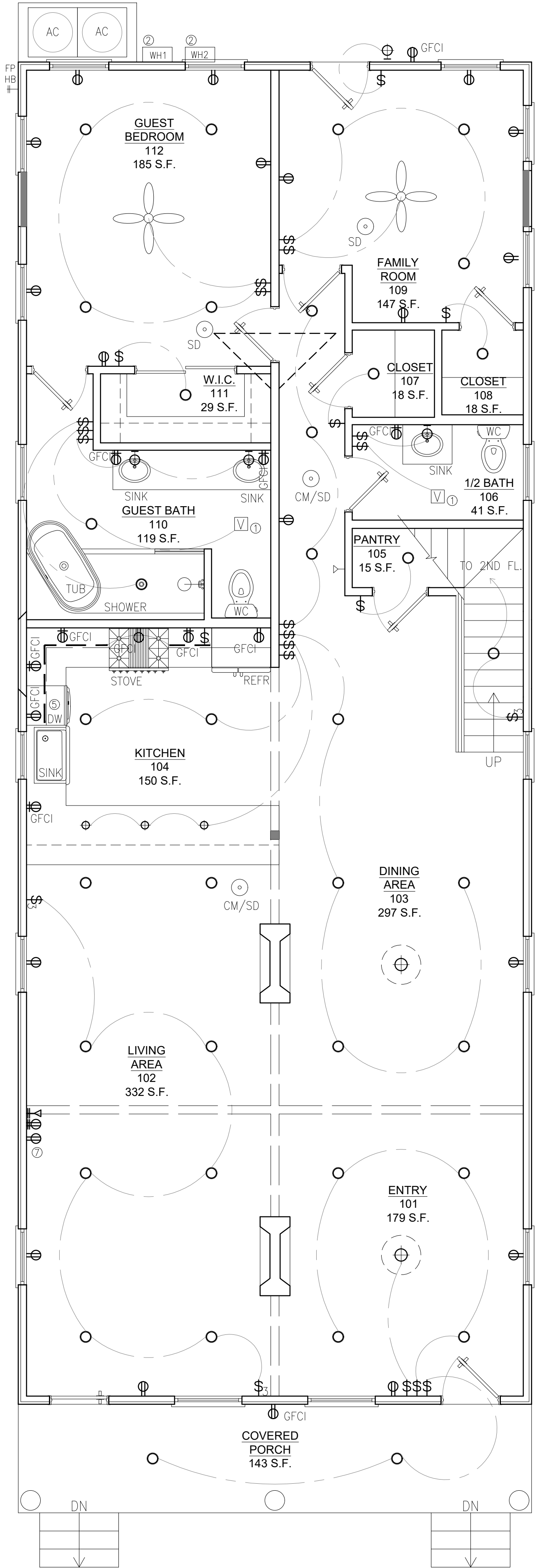
KEYED NOTES

- PROVIDE POWER AND DISCONNECT FOR ALL BATHROOM EXHAUST FANS.
- VENT BATHROOM EXHAUST THROUGH ROOF.
- VERIFY WATER HEATER LOCATION WITH PLUMBING CONTRACTOR.
- VENT DRYER THROUGH ROOF.
- PROVIDE OVERFLOW PAN AND F.D. FOR WASHER.
- PROVIDE POWER AND DISCONNECT FOR DISHWASHER.
- NOT USED.
- VERIFY LOCATION AND HEIGHT OF TV CONNECTIONS WITH OWNER.
- VERIFY NEW FURNACE UNIT SIZE AND LOCATION WITH HVAC CONTRACTOR. PROVIDE POWER AND DISCONNECT FOR FURNACE.



2 PROPOSED 2ND FLOOR PLAN

Scale: 1/4"=1'-0"



1 PROPOSED 1ST FLOOR PLAN

Scale: 1/4"=1'-0"

DOB STAMP

NO.	REVISIONS/SUBMISSIONS	DATE
	FOR PERMIT	07/29/22
DRAWN BY: KJ		



SEAL

ENGINEER

LOCATION:
PRIVATE RESIDENCE
5434 LAUREL STREET
NEW ORLEANS, LA 70115

DRAWING TITLE:
LIGHTING & ELECTRICAL PLAN

PROJECT:
22-R-09

FOR PERMIT

A301

SHEET

DOB STAMP

NO.	REVISIONS/SUBMISSIONS	DATE
	FOR PERMIT	07/29/22

DRAWN BY: KJ



SEAL

ENGINEER

LOCATION:
PRIVATE RESIDENCE
5434 LAUREL STREET
NEW ORLEANS, LA 70115

KKJOHNSON ARCHITECTURE & DESIGN
4618 Camp Street, New Orleans, LA 70115
p: 504.327.9717 e: kjohnson@kjohnsonarchitecture.com

DRAWING TITLE:

PLUMBING RISER
DIAGRAMS

KK | KKJOHNSON
ARCHITECTURE
& Design

PROJECT:

22-R-09

FOR PERMIT

A302

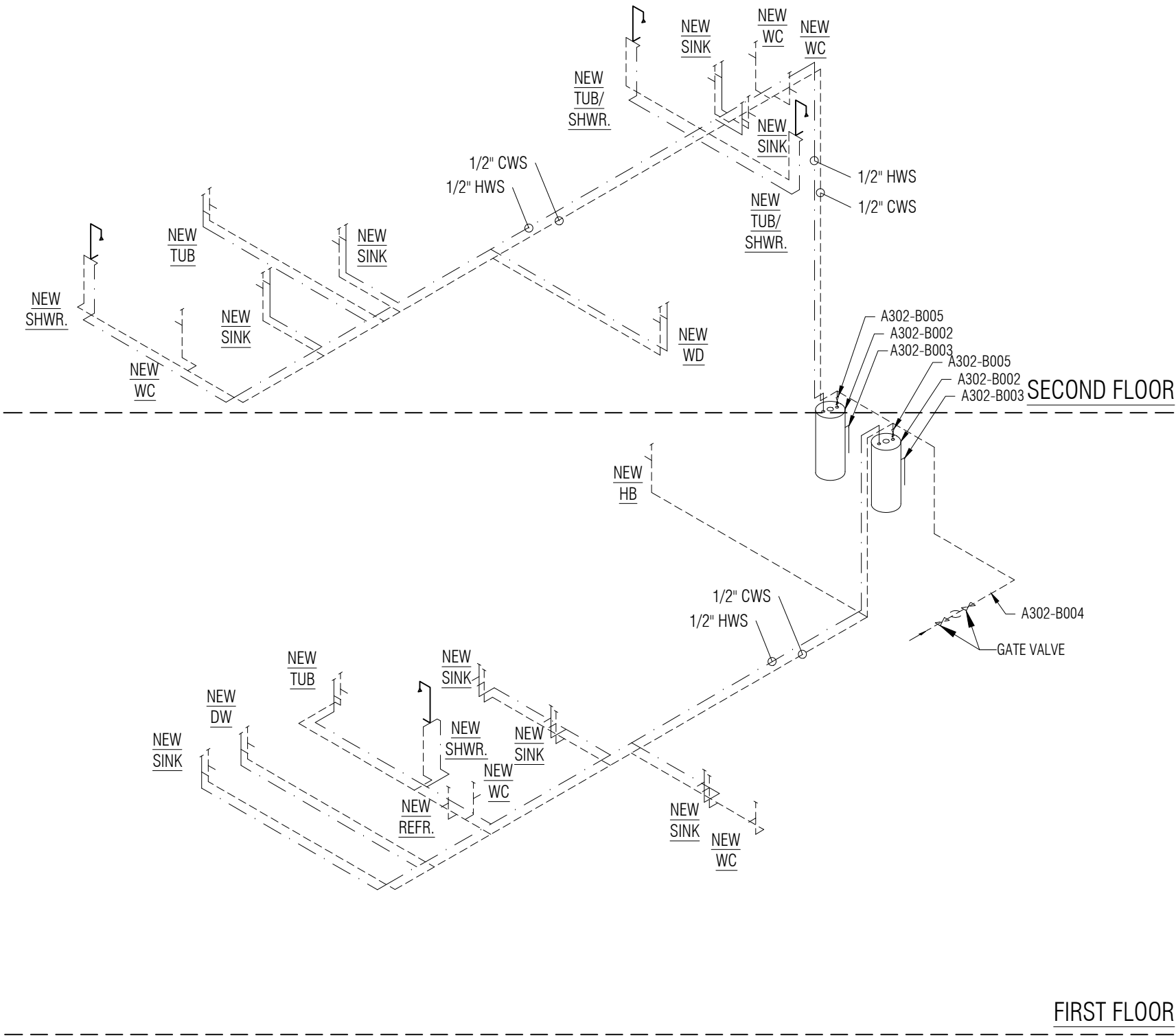
SHEET

PLUMBING ABBREVIATIONS

DW	DISHWASHER
ICE	ICE MAKER
LAV	LAVATORY SINK
REFR	REFRIGERATOR
SHWR	SHOWER
SINK	KITCHEN SINK
TUB	TUB/SHOWER
WC	WATER CLOSET
WD	WASHER/DRYER
WH	WATER HEATER
HB	FIRE PROOF HOSE BIB

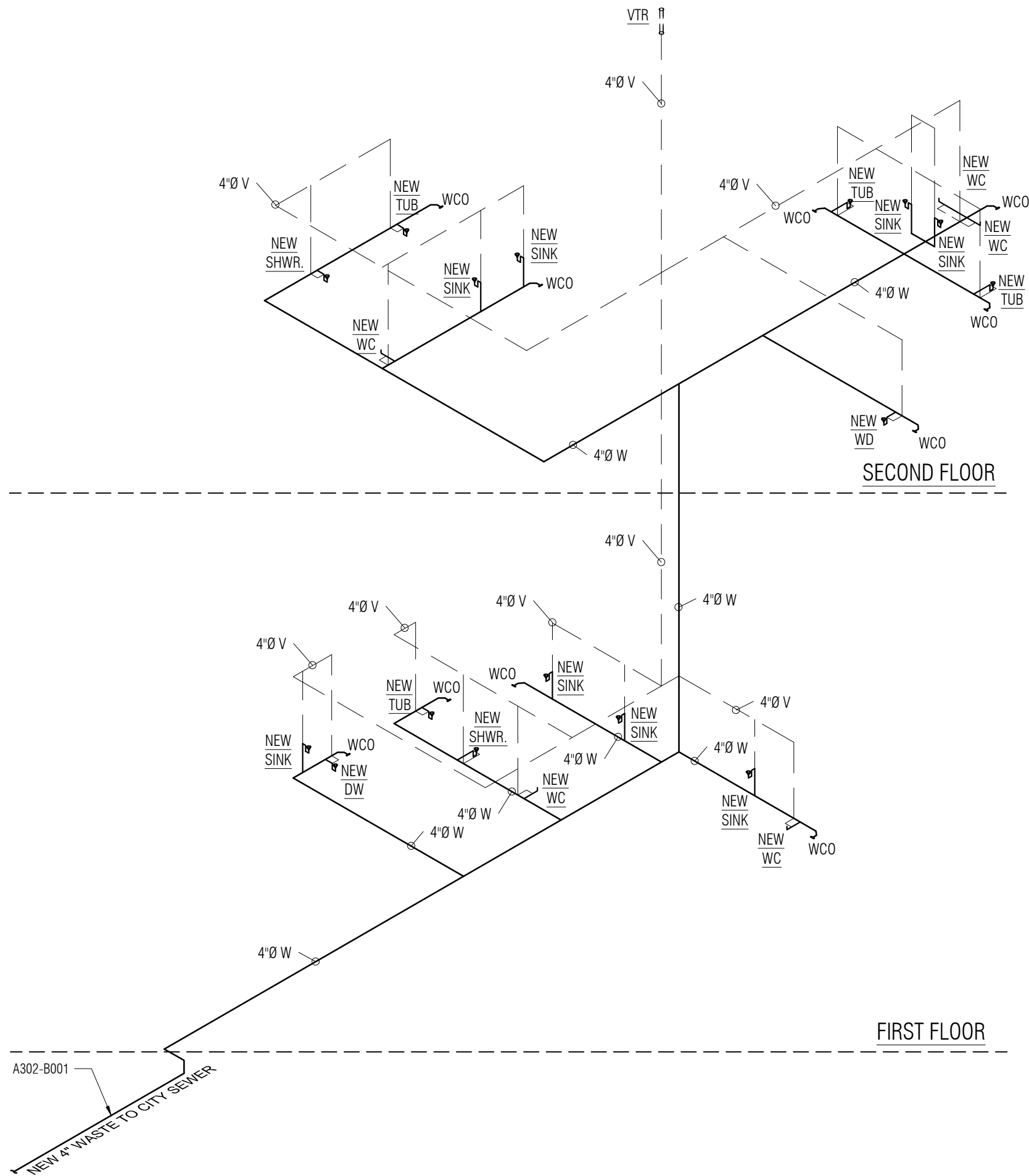
KEYNOTE LEGEND

A302-B001	CONNECT TO SEWER PIPE.
A302-B002	PROPOSED HOT WATER HEATER; PROVIDE THERMAL TRAP.
A302-B003	RELIEF VALVE.
A302-B004	CONNECT TO EXISTING DOMESTIC WATER SERVICE; CONTRACTOR TO V.I.F.
A302-B005	SHUT-OFF VALVE



2 SUPPLY PIPE DIAGRAM

NOT TO SCALE



1 WASTE PIPE DIAGRAM

NOT TO SCALE