-PRIVATE RESIDENCE-

RENOVATION OF AND ADDITION TO AN EXISTING ONE-STORY RESIDENCE

LAUREL ST., NEW ORLEANS,

GENERAL NOTES

"ARCHITECT" AS USED IN THESE DRAWINGS REFERS TO:

KKJOHNSON ARCHITECTURE & DESIGN 4618 CAMP ST.

NEW ORLEANS, LA 70115

(504)327-9717

2. THE CONTRACT DOCUMENTS FOR THIS PROJECT CONSIST OF DRAWINGS AND SPECIFICATIONS PREPARED BY KKJOHNSON ARCHITECTURE & DESIGN AS WELL AS MANUFACTURERS SPECIFICATIONS PROVIDED THE CONTRACTOR AS SUBMITTALS TO BE APPROVED BY KKJOHNSON ARCHITECTURE & DESIGN.

3. ALL WORK SHALL COMPLY WITH THE APPLICABLE BUILDING CODE, THE ELECTRICAL CODE, AND THE NATIONAL BOARD OF FIRE UNDERWRITERS CODE, THE AMERICANS WITH DISABILITIES ACT, ACCESSIBILITY GUIDELINES, ALL MUNICIPAL AMENDMENTS AND MANUFACTURER'S INSTRUCTIONS/RECOMMENDATIONS.

4. THIS DOCUMENT IS NOT INTENDED TO BE A COMPLETE SPECIFICATION. IT IS A GUIDE AND GENERAL INSTRUCTION.

5. DO NOT SCALE DRAWINGS UNLESS NOTED OTHERWISE; DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS. ALL LOCATIONS ARE FINAL PER ARCHITECT'S DRAWING. 6. PLANS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE INTENDED TO INCLUDE OR IMPLY ALL THE ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. ANY ITEM OR WORK MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN IN THE DRAWINGS, OR SHOWN IN THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS SHALL BE PROVIDED BY THE CONTRACTOR AS IF INCLUDED

REQUIREMENTS IN THESE DRAWINGS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR AND COMPLY WITH THE BUILDING OWNER'S STANDARD DETAILS OF CONSTRUCTION. ANY CONFLICTING REQUIREMENTS OF THE SOURCES LISTED ABOVE SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO PROCEEDING WITH WORK.

10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL BASE BUILDING "CONTRACT DOCUMENTS", "SHOP DRAWINGS", "AS BUILT DRAWINGS", AND ANY OTHER INFORMATION OF THE BASE BUILDING IN ORDER TO COORDINATE ALL WORK WITH THE BASE BUILDING CONDITIONS.

11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL REQUIRED BONDS, AND FEES. ALL NECESSARY PERMITS, LICENSES, TESTS, CERTIFICATES, ETC. SHALL BE PAID FOR BY THE CONTRACTOR OF

12. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING FIELD CONDITIONS INCLUDING SOIL TOPOGRAPHY AND LOCATION OF PROPERTY LINES. EASEMENTS AND SETBACKS. ARCHITECT TO BE

13. VERIFY ALL SITE UTILITIES PRIOR TO BEGINNING THE WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION. 14. NO SUBSTITUTIONS FOR ITEMS SPECIFIED WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE GC. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING THE ARCHITECT WITH ALL

SAMPLES AND COMPARATIVE PRODUCT DATA REQUIRED TO EVALUATE PROPOSED SUBSTITUTIONS, IN A TIMELY MANNER SO AS NOT TO PRECLUDE PROCUREMENT OF THE PRODUCT ORIGINALLY SPECIFIED OR 15. THE GENERAL CONTRACTOR SHALL PROTECT EXISTING CONDITIONS OR WORK BY OTHER CONTRACTORS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ALL EXISTING CONDITIONS OR

WORK BY OTHERS INCURRED WHILE FULFILLING THE OBLIGATIONS OF THIS CONTRACT. 16. ALL WORK NOTED "BY OTHERS" OR "N.I.C" (NOT IN CONTRACT) IS TO BE THE RESPONSIBILITY OF THE OWNER AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR SHALL

COOPERATE WITH THE OWNER AND THE OWNER'S OUTSIDE CONTRACTORS AS REQUIRED

17. AT THE COMPLETION OF THE JOB, PRIOR TO FINAL PAYMENT, CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF MARKED UP TRANSPARENCIES AND TWO SETS OF PRINTS WITH AS BUILT CONDITIONS NOTED AND

18. ALL CONTRACTORS, SUB-CONTRACTORS AND SUPPLIERS MUST HAUL AWAY ALL GARBAGE, DEBRIS AND SCRAPS RESULTING FROM THEIR WORK AT THE SITE. ALL GARBAGE, DEBRIS AND SCRAPS MUST BE SWEPT UP AT THE END OF EACH DAY AND HAULED AWAY. ABSOLUTELY NO GARBAGE, DEBRIS OR SCRAPS CAN BE LEFT FOR THE CITY GARBAGE COLLECTION SERVICES. ANY GARBAGE, DEBRIS OR SCRAPS LEFT BY CONTRACTORS, SUBCONTRACTORS, OR SUPPLIERS WILL BE HAULED AWAY AT THEIR EXPENSE.

19. THE GENERAL CONTRACTOR SHALL PROTECT AND SECURE THE PROJECT SITE AS REQUIRED, IN CONFORMANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND REGULATIONS.

COMMENCEMENT OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

25. CONTRACTOR SHALL PROVIDE "CHALK LINE" PARTITION LAYOUT FOR THE ARCHITECT'S OBSERVATION BEFORE INSTALLATION OF PARTITION FRAMING.

26. ALL MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS SHALL BE RESPONSIBLE FOR SYSTEM ENGINEERING, LAYOUTS AND RESPECTIVE PERMITS. CONTACT ARCHITECT/OWNER WITH ANY DISCREPANCIES

27. ALL WORK SHALL BE COMPLETE IN ALL DETAILS, INCLUDING ALL MATERIALS, LABOR, TRANSPORTATION, EQUIPMENT, SCAFFOLDING, TAXES, ETC. AS MAY BE NECESSARY TO COMPLETE THE WORK AS INTENDED, WHETHER EACH ITEM IS SPECIFICALLY SHOWN OR REFERRED TO OR NOT.

CONTRACT IS AWARDED ON THE BASIS OF SUCH DOCUMENTS WITH THE UNDERST

WITHOUT ADJUSTMENTS TO THE CONTRACT PRICE. 29. THE ARCHITECT'S DECISION IN ALL MATTERS RELATING TO THE CONTRACT DOCUMENTS IS FINAL AND BINDING ON ALL PARTIES TO THE CONTRACT.

30. THE GENERAL CONTRACTOR SHALL COORDINATE WITH SUB-CONTRACTORS THE STORAGE OF BUILDING MATERIALS ON THE SITE TO AVOID OVERLOADING THE EXISTING FLOOR OR ROOF. 31. PATCH AND REPAIR ALL FIREPROOFING, IF ANY, DAMAGED OR REMOVED BY CONSTRUCTION

32. ALL OPENINGS IN WALLS, DECKS AND SLABS, INCLUDING THOSE FOR DUCTS, CONDUIT, PIPING, ETC. (EXCEPT WHEN COMPLETELY ENCLOSED BY FIRE RESISTIVE SHAFT CONSTRUCTION) MUST BE SLEEVED OR OTHERWISE SEALED AT THEIR PERIMETER WITH APPROVED METHODS TO MAINTAIN THE FIRE-RATING CONTINUITY OF THE CONSTRUCTION. 33. WALL AND/OR CEILING ASSEMBLIES THAT ARE IDENTIFIED WITH A FIRE RESISTIVE RATING SHALL BE CONSTRUCTED PER MANUFACTURER'S SPECIFICATIONS AND THE REQUIREMENTS OF ALL APPLICABLE CURRENT

34. ALL EXPOSED EXTERIOR WOOD SHALL BE BACK PRIMED. ALL FACES OF EXPOSED WOOD SHALL BE PRIMED PRIOR TO FINAL INSTALLATION. ALL EXTERIOR TRIM TO BE PRIMED AND STAINED ON ALL SIX SIDES.

PROVIDE FLASHING AT TRIM AT ALL EXTERIOR SURFACES AS REQUIRED. 35. ALL EXTERIOR HORIZONTAL SURFACES OF EXPOSED WOOD OR STONE TO SLOPE TO DRAIN.

36. ALL EXPOSED JOINTS TO BE CAULKED AND SEALED.

37. ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID MOLECULAR BREAKDOWN. 38. JUNCTURES OF NEW AND EXISTING OR OTHER WORK SHALL BE REPAIRED AND PATCHED TO MATCH ADJACENT EXISTING SURFACES. EXISTING WALLS REQUIRING MODIFICATION OF ANY KIND SHALL BE REFINISHED

TO THE NEAREST OUTSIDE OR INSIDE CORNER. 39. PROVIDE 1/4" MOVEMENT AT THE TOPS OF ALL PARTITIONS THAT GO TO THE UNDERSIDE OF DECK OR STRUCTURE. DO NOT FASTEN STUDS OR DRYWALL TO TOP RUNNER.

40. CONTRACTOR SHALL REVIEW AND APPROVE ALL SHOP DRAWINGS AND EQUIPMENT CUTS PRIOR TO SUBMITTAL TO ARCHITECT. CONTRACTOR SHALL SUBMIT ALL APPROVED SHOP DRAWINGS AND EQUIPMENT CUTS

41. ALL MATERIAL USED FOR INTERIOR WALL AND CEILING FINISH, AND INTERIOR TRIM SHALL HAVE A FLAME SPREAD INDEX LESS THAN 200 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 450.

42. NOT USED

43. THE INFORMATION CONTAINED IN THE CONSTRUCTION DOCUMENTS IS IN ITSELF INCOMPLETE AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE CONTRACT DOCUMENTS AND WITH ALL ARCHITECT'S AND MANUFACTURERS SPECIFICATIONS, TRADE ASSOCIATION RECOMMENDATIONS, ACCEPTED ENGINEERING AND CONSTRUCTION PRACTICES, AND APPLICABLE STANDARDS, CODES, ETC. INCORPORATED THEREIN BY REFERENCE WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE OF BY SIGNING THE CONTRACT.

44. CONTRACTOR IS TO ASSUME FULL RESPONSIBILITY, UNRELIEVED BY THE REVIEW OF SHOP DRAWINGS AND BY PERIODIC OBSERVATION OF CONSTRUCTION BY THE ARCHITECT, FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS, FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, SCAFFOLDING, BRACING, ERECTION, FORM WORK, ETC.), FOR COORDINATION OF THE VARIOUS TRADES. AND FOR THE SAFE CONDITIONS ON THE JOB SITE.

PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR THEIR AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

45. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY

46. THE GENERAL CONTRACTOR AND SUBCONTRACTORS MUST DELIVER CERTIFICATES OF INSURANCE TO THE OWNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, NAMING THE OWNER AS ADDITIONALLY

47. NOT USED 48. NOT USED

49. THE OWNER SHALL EMPLOY A LICENSED AND INSURED GENERAL CONTRACTOR TO PERFORM ALL WORK FOR THIS PROJECT. THE CONTRACTOR SHALL, BEFORE STARTING THE WORK, SECURE WORKMEN'S COMPENSATION AND LIABILITY INSURANCE FROM AN INSURANCE COMPANY AUTHORIZED TO WRITE POLICIES IN LOUISIANA.

50. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT, OWNER AND ENGINEER FOR REVIEW/APPROVAL PRIOR TO PURCHASE/INSTALLATION OF THE FOLLOWING SYSTEMS: DOORS, DOOR HARDWARE,

MILLWORK, CABINETRY, HVAC UNITS, STAIRS, ATTIC/ROOF ACCESS SYSTEMS, LIGHTING FIXTURES, PLUMBING FIXTURES, STRUCTURAL BEAMS. 51. THE ARCHITECT SHALL BE DEEMED AS THE AUTHOR AND OWNER OF THE INSTRUMENTS OF SERVICE (DRAWINGS AND SPECIFICATIONS) AND SHALL RETAIN ALL COMMON LAW RIGHTS AND COPYRIGHTS. ANY USE OF

THE INSTRUMENTS OF SERVICE (DRAWINGS AND SPECIFICATIONS) WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT SHALL BE STRICTLY PROHIBITED.

52. THE ARCHITECT WILL NOT PERFORM ANY CONSTRUCTION ADMINISTRATION SERVICES ON THIS PROJECT AND WILL NOT BE HELD RESPONSIBLE/LIABLE FOR ANY ACTIONS OR CIRCUMSTANCES PERFORMED DURING OR AS A RESULT OF CONSTRUCTION WORK BEING PERFORMED. THE ARCHITECT WILL NOT BE HELD RESPONSIBLE/LIABLE FOR ANY WORK CONSTRUCTED NOT IN ACCORDANCE WITH THE ARCHITECTURAL

GENERAL INTERIOR & FINISH NOTES

- A. PAINTED GYP. BOARD WALLS/CEILINGS GYP. BOARD WALL/CEILNG AREAS SHALL BE NEW PAINTED GYPSUM BOARD FINISHED TO LEVEL 4 STANDARDS (SMOOTH NO TEXTURE) (ROLLED NOT SPRAYED). THEY SHALL RECEIVE 1 PRIMER COAT AND 2 FINISH COATS OF INTERIOR LATEX PAINT (HIGH-END SHERWIN WILLIAMS OR EQUAL). ALL WALL PAINT SHALL BE FLAT EXCEPT WET AREA WALLS SHALL BE EGG-SHELL. SUBMIT PAINT TYPE TO OWNER FOR APPROVAL
- B. PROVIDE SELF-LEVELING FLOORING COMPOUND AT AREAS REQUIRED (TILE, WOOD & CARPET) TO CREATE SMOOTH, FLUSH, LEVEL TRANSITION CONDITIONS BETWEEN ALL AREAS WITH VARIED ELEVATION
- CONDITIONS. FIELD VERIFY PRIOR TO INSTALLING ANY NEW FLOORING AND ENSURE FLUSH CONDITIONS THROUGH-OUT THE ENTIRE BUILD-OUT AREA. TAPER LEVELING COMPOUND WITH A MIN. SLOPE OF 1:200. C. TILE/STONE WALLS - ALL STONE AND TILE WALLS SHALL BE INSTALLED ON A THIN-SET BED ON A ½" CEMENTITIOUS BACKER BOARD SECURED TO GYP. BOARD. STONE WALLS SHALL RECEIVE 2 COATS OF STONE
- PAINTED WOOD TRIM ALL INTERIOR TRIM TO BE PAINTED SHALL BE PAINT GRADE POPLAR. IT SHALL RECEIVE 1 PRIMER COAT AND 2 FINISH COATS OF SEMI-GLOSS PAINT.
- PROVIDE ALL FRAMING, BLOCKING AND SHIMS AS REQUIRED FOR SOUND SUPPORT OF ALL ITEMS MOUNTED ON WALLS/CEILINGS (I.E. TOILET ACCESSORIES, CABINETS, BUILT-INS, FIRE EXTINGUISHERS, RAILS, MOLDINGS ETC.) FIELD VERIFY PRIOR TO CLOSING OF THE WALLS.
- F. PATCH, REPAIR, MODIFY & PREPARE ALL EXISTING WALLS AND CEILINGS THROUGH-OUT AS REQUIRED TO RECEIVE NEW WALL FINISH. ALL EXIST. WALLS AND CEILINGS SHALL BE REPAINTED AND SHALL MATCH THE QUALITY OF ADJACENT NEW CONSTRUCTION.
- G. REMOVE ALL ABANDONED EXPOSED ITEMS. (I.E. OUTLETS, LIGHTS, PIPING STUDS, CONDUITS, DIFFUSERS, EMERGENCY FIXTURES, ELECTRICAL ITEMS, MECH. ITEMS, ETC.) THROUGHOUT ENTIRE PROJECT AREA.
- PATCH, INFILL, REPAIR AND PAINT ALL AREAS TO MATCH EXISTING ADJACENT SURROUNDINGS. PROVIDE CLEAN SMOOTH & FLUSH FINISH CONDITIONS & AT AREAS WHERE NEW CONSTRUCTION MEETS EXISTING CONSTRUCTION. (VERIFY W. ARCHITECT)
- PROVIDE NECESSARY WOOD SHIMS ON ALL EXISTING FLOORS, WALLS AND CEILING AREAS AS REQUIRED TO CREATE FLUSH, LEVEL, PLUMB CONDITIONS IN ALL ROOMS THROUGHOUT THE BUILDING. CLEAN AND PREPARE ALL EXISTING INTERIOR MASONRY WALLS TO REMAIN. SEAL WALLS WITH PRODUCT APPROVED BY THE V.C.C. AND THE NATIONAL PARK SERVICE.

EXISTING & DEMOLITION PLAN

BUILDING & PROJECT INFORMATION

DRAWING INDEX

- EXISTING & DEMOLITION ELEVATIONS
- PROPOSED PLANS
- PROPOSED ELEVATIONS
- NOTES & SCHEDULES A301 MEP PLANS
- A302 PLUMBING RISER DIAGRAMS

LOCATION MAP

CODE INFORMATION

2015 INTERNATIONAL RESIDENTIAL CODE

SINGLE-FAMILY(RESIDENTIAL) GROUP R (R-3)

 2015 INTERNATIONAL BUILDING CODE NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE

OCCUPANCY CLASSIFICATION:

WIDTHS: CORRIDORS, MIN. WIDTH = 36" IRC SECTION R311.6 DOORS. MIN. CLEAR WIDTH = 32" IRC SECTION R311.2

STAIRS:

MINIMUM WIDTH = 36" IRC SECTION R311.7 MINIMUM HEADROOM = 6'-8"IRC SECTION R311.7.2 MAXIMUM RISER HEIGHT = 7 3/4IRC SECTION R311.7.5.1 MINIMUM TREAD LENGTH = 10" IRC SECTION R311.7.5.2 MAXIMUM VARIATION TREAD DEPTHS - 3 IRC SECTION R311.7.5.2 MAXIMUM VERTICAL RISE B/T LANDINGS = 147" IRC SECTION R311.7.3 STAIR LANDING SHALL BE AS WIDE AS THE STAIRS

IRC SECTION R311.7

IRC SECTION R312.1.2

AND AS LONG AS THE STAIR IS WIDE, AND NOT IRC SECTION R311.7.6 LESS THAN 36" LONG WHERE STRAIGHT

 HANDRAILS: MIN. HEIGHT = 34" IRC SECTION R311.7.8.1 MAX. HEIGHT = 38" IRC SECTION R311.7.8.1 GUARDRAILS: MIN. HEIGHT = 36" IRC SECTION R312.1.2

PER IRC SECTION R312.1.1, GUARDS SHALL BE LOCATED ALONG OPEN SIDED WALKING SURFACES THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD.

FIRE RESISTANCE RATINGS:

MAX. HEIGHT = 38"

INTERIOR WALL AND CEILING FINISH MATERIALS(FOR ROOMS & ENCLOSED SPACES)

FLAME SPREAD INDEX: LESS THAN 200

SMOKE-DEVELOPED INDEX: NOT GREATER THAN 450
 IBC SECTION 803

TESTING SHALL BE MADE IN ACCORDANCE WITH NFPA 286 PER IBC SECTION 803.1.2.1.

ENERGY CODE COMPLIANCE

- A. AIR LEAKAGE: JOINTS, PENETRATIONS AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE THAT ARE
- SOURCES OF AIR LEAKAGE MUST BE SEALED. B. RECESSED LIGHTS MUST BE:
- TYPE IC RATED, OR 2. INSTALLED INSIDE AN APPROPRIATE AIR-TIGHT ASSEMBLY WITH A 0.5" CLEARANCE FROM COMBUSTIBLE MATERIALS. IF NON-IC RATED, THE FIXTURE MUST BE INSTALLED WITH A 3" CLEARANCE FROM INSULATION.
- VAPOR RETARDER: PROVIDE VAPOR RETARDER ON THE WARM-IN-WINTER SIDE OF ALL NON-VENTED FRAMED CEILINGS,
- WALLS AND FLOOR. MATERIALS IDENTIFICATION:
 - MATERIALS AND EQUIPMENT MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- MATERIALS AND EQUIPMENT MUST BE IDENTIFIED SO THAT COMPLIANCE CAN BE DETERMINED. PROVIDE MANUFACTURER MANUALS FOR ALL INSTALLED HEATING AND COOLING EQUIPMENT AND
- SERVICE WATER HEATING EQUIPMENT

BUILDING/SITE INFORMATION

 BUILDING DESCRIPTION: **EXISTING:** ONE-STORY RESIDENTIAL PROPOSED:

EXISTING: PROPOSED: NO. OF FLOORS: **EXISTING:**

RENOVATION OF AND ADDITION TO AN EXISTING ONE-STORY RESIDENCE

 BUILDING AREA: 1,768 S.F. 1,768 S.F. SECOND FLOOR: 0 S.F. 1,052 S.F. 1,768 S.F. 2,820 S.F.

 HISTORIC DISTRICT: ZONING DISTRICT:

ZONING INFORMATION

LOT SIZE: 31'x98' (EXISTING, NO CHANGE)

REGULATIONS FOR MULTI-FAMILY IN HU-RD2:

 MINIMUM LOT AREA: MINIMUM LOT WIDTH:

 MINIMUM LOT DEPTH: MAXIMUM BUILDING HEIGHT: MINIMUM FRONT YARD:

MIN. INTERIOR SIDE YARD:

TWO-STORY RESIDENTIAL CONSTRUCTION TYPE TYPE III (NO CHANGE) BUILDING EXTERIOR WOOD FRAME (NO CHANGE) OCCUPANCY TYPE:

R-3 (TWO-FAMILY) R-3 (SINGLE-FAMILY)

UPTOWN HISTORIC DISTRICT (PARTIAL CONTROL) HU-RD2 (HISTORIC URBAN 2-FAMILY RESIDENTIAL)

PROPOSED

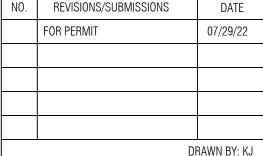
PROPERTY DESCRIPTION: SQ 132 LOT14 LAUREL AND OCTAVIA 31X98 5434-36 LAUREL ST

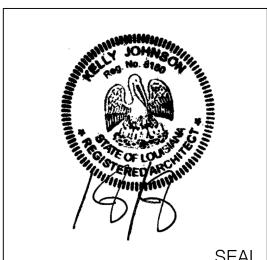
2,250 S.F./D.U. 30'-0"

90'-0" 35'-0"

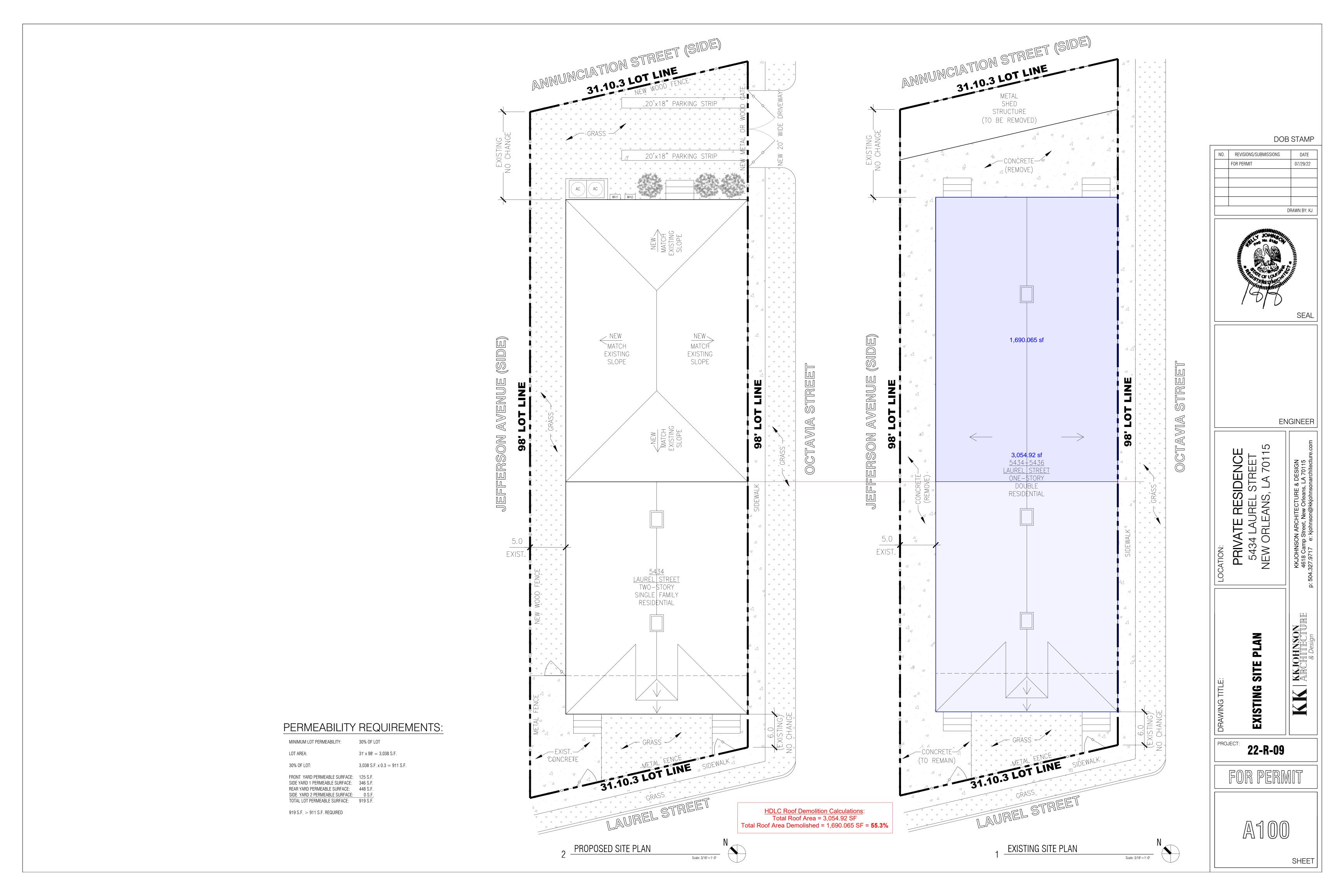
AVERAGE OF ADJACENT LOTS 3'-0" MINIMUM REAR YARD: 20% OF LOT DEPTH OR 15'-0", (WHICHEVER IS LESS)

DOB STAMP





ENGINEER



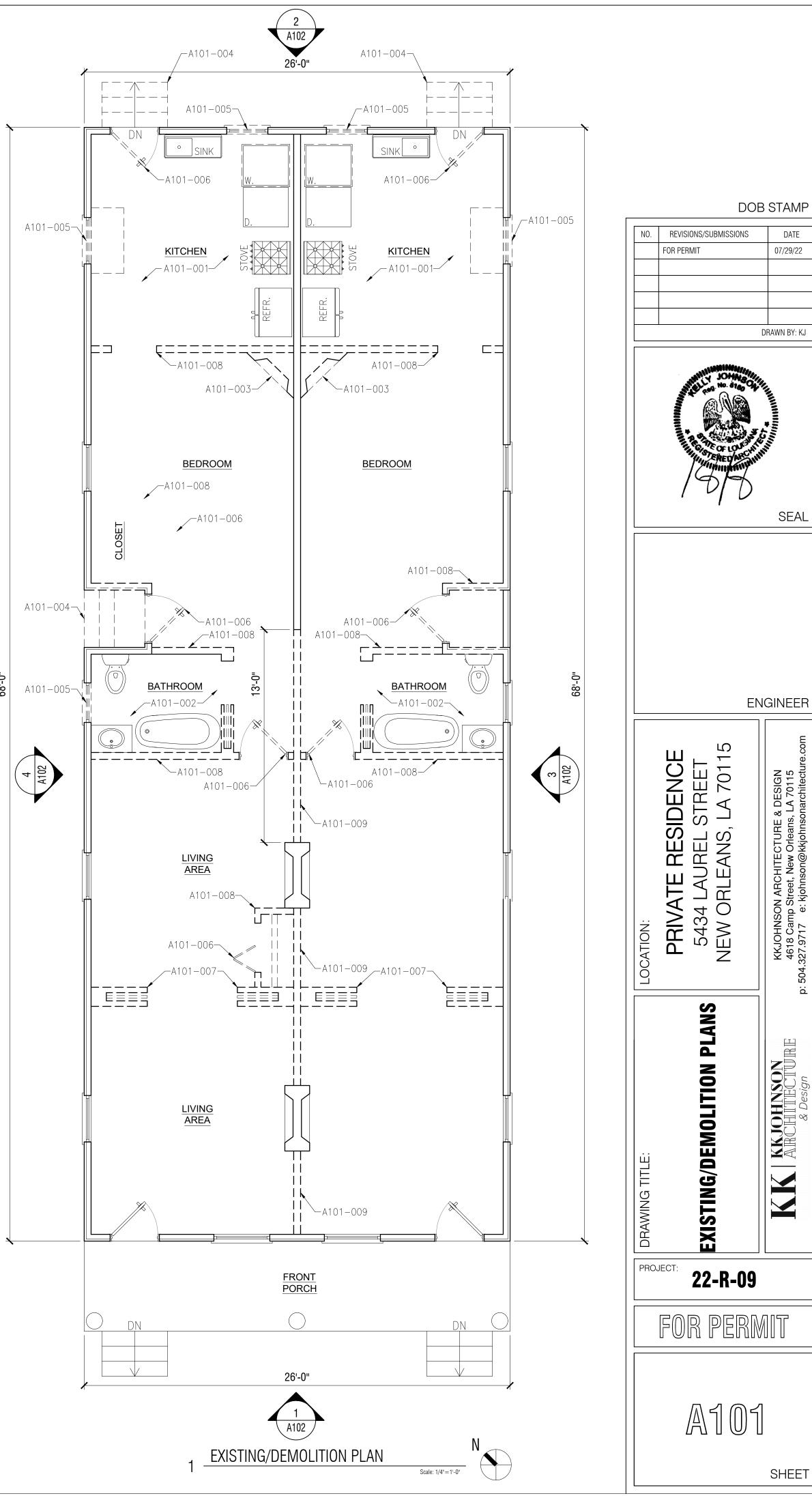
DEMO. WALL KEY

WOOD EXTERIOR WALL W/ SIDING — WOOD EXTERIOR WALL W/ SIDING —— (TO BE REMOVED) MASONRY EXTERIOR WALL (TO REMAIN) BOARD, BOTH SIDES (TO REMAIN) --- WOOD STUD WALL W/ GYPSUM BOARD, BOTH SIDES (TO BE REMOVED) AREA NOT IN CONTRACT (NO WORK)

DEMOLITION NOTES

- A. ALL DEMOLITION WORK SHALL COMPLY WITH ALL LAWS, RULES AND REGULATIONS OF GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- B. PROVIDE PROTECTION FOR PERSONS AND PROPERTY IN ACCORDANCE WITH ANSI/NFPA 241. C. PROVIDE TEMPORARY BARRICADES, CANOPIES, FENCES, RAILING, LIGHTING, ETC. REQUIRED TO PROTECT WORKMEN, ARCHITECT AND OTHERS FROM INJURY DURING THE DEMOLITION
- D. PERFORM THE DEMOLITION WORK IN SUCH A MANNER AS TO PREVENT FIRES. REMOVE ALL DEBRIS PROMPTLY TO A REFUSE CONTAINER. NO MATERIALS SHALL BE BURNED AT THE SITE. E. PROVIDE FIRE EXTINGUISHERS AND SMOKE DETECTION EQUIPMENT IN SERVICEABLE
- CONDITION, PROPER LOCATION, AND IDENTIFIED SO THAT IT WILL BE AVAILABLE FOR IMMEDIATE USE. F. PROTECT AND MAINTAIN EXISTING UTILITY LINES WHICH ARE TO REMAIN IN SERVICE IN SUCH A MANNER AS TO AVOID INTERRUPTION OF THE SERVICE. CAP ALL UTILITIES TERMINATED BY THE DEMOLITION WORK IN A MANNER APPROVED BY THE GOVERNMENTAL AUTHORITIES AND
- UTILITY COMPANIES HAVING JURISDICTION. G. VERIFY ALL DIMENSIONS IN FIELD.
- H. REMOVE NON-LOAD BEARING PARTITIONS AS DASHED ON PLANS.
- I. ALL EQUIPMENT CURRENTLY IN THE PREMISES IS THE PROPERTY OF THE OWNER. ANY EQUIPMENT, FIXTURES, FURNITURE, ETC. IDENTIFIED TO BE DEMOLISHED OR REMOVED AS PART OF THE DEMOLITION AND BUILD-OUT MUST BE DONE IN SUCH A MANNER AS NOT TO DAMAGE, DESTROY OR RENDER INOPERABLE SUCH EQUIPMENT AND FIXTURES.
- J. ALL DEMOLISHED OR REMOVED EQUIPMENT TO BE PLACED IN AN AREA DESIGNATED BY THE

KEY NOTES				
TAG	DESCRIPTION			
A101-001	REMOVE KITCHEN APPLIANCES & FIXTURES. CAP PLUMBING LINES BELOW FINISH FLOOR LEVEL. REMOVE CABINETS AND FINISHED FLOOR.			
A101-002	REMOVE BATHROOM FIXTURES. CAP PLUMBING LINES BELOW FINISH FLOOR LEVEL. REMOVE CABINETS AND FINISHED FLOOR.			
A101-003	REMOVE FIREPLACE FROM FOUNDATION THROUGH ROOF.			
A101-004	REMOVE STEPS.			
A101-005	REMOVE WINDOW INCLUDING INTERIOR AND EXTERIOR TRIM.			
A101-006	REMOVE DOOR INCLUDING TRIMWORK.			
A101-007	REMOVE POCKET DOOR AND SURROUNDING WALL AND TRIM.			
A101-008	REMOVE WALL INCLUDING BUT NOT LIMITED TO ANY ELECTRICAL OR PLUMBING.			
A101-009	REMOVE LOAD BEARING WALL AS DIMENSIONED INCLUDING ALL ELECTRICAL AND PLUMBING. CONTRACTOR TO SHORE CEILING JOISTS ABOVE PRIOR TO REMOVAL.			

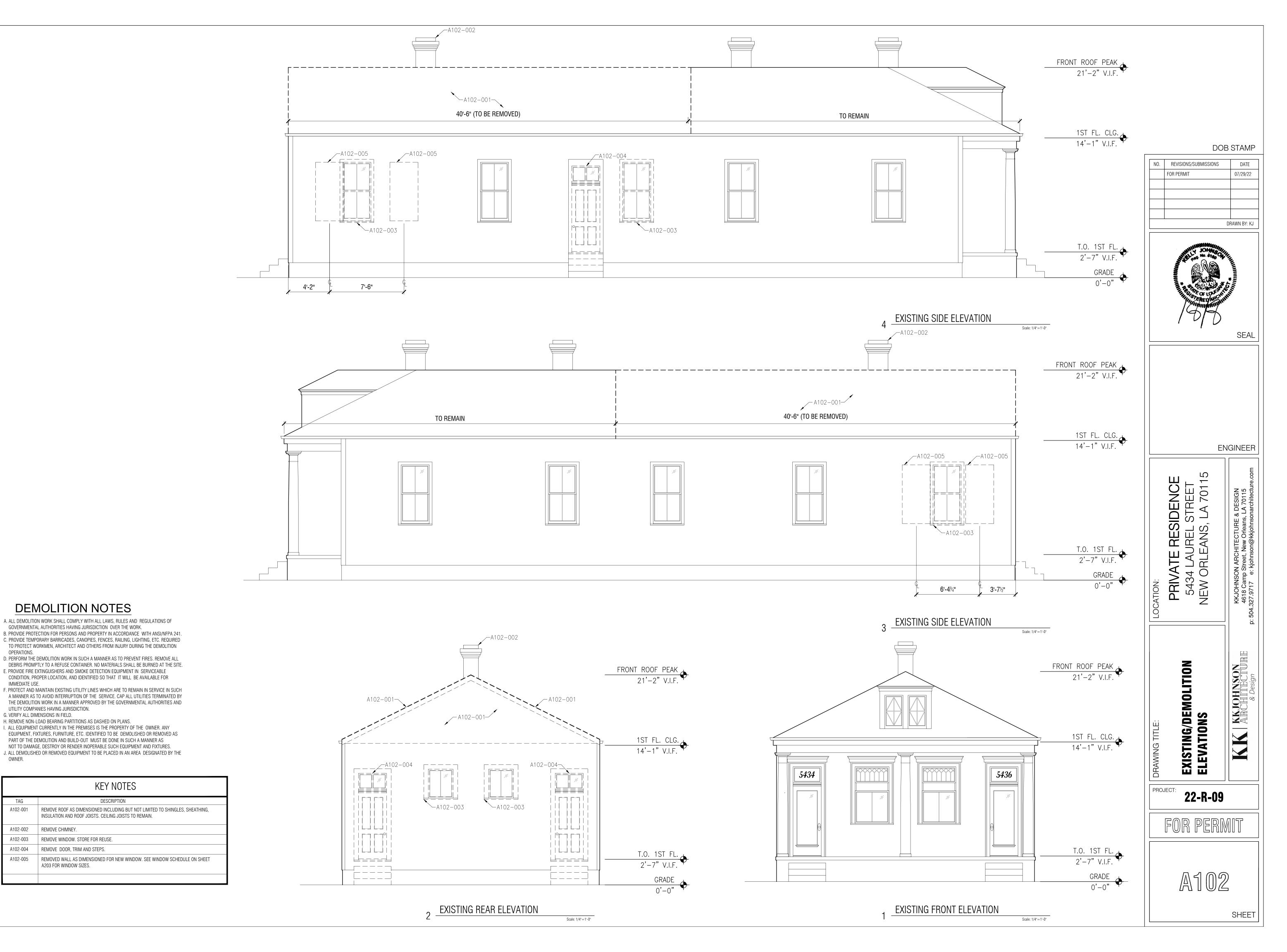


DOB STAMP

DATE 07/29/22 DRAWN BY: KJ



SHEET



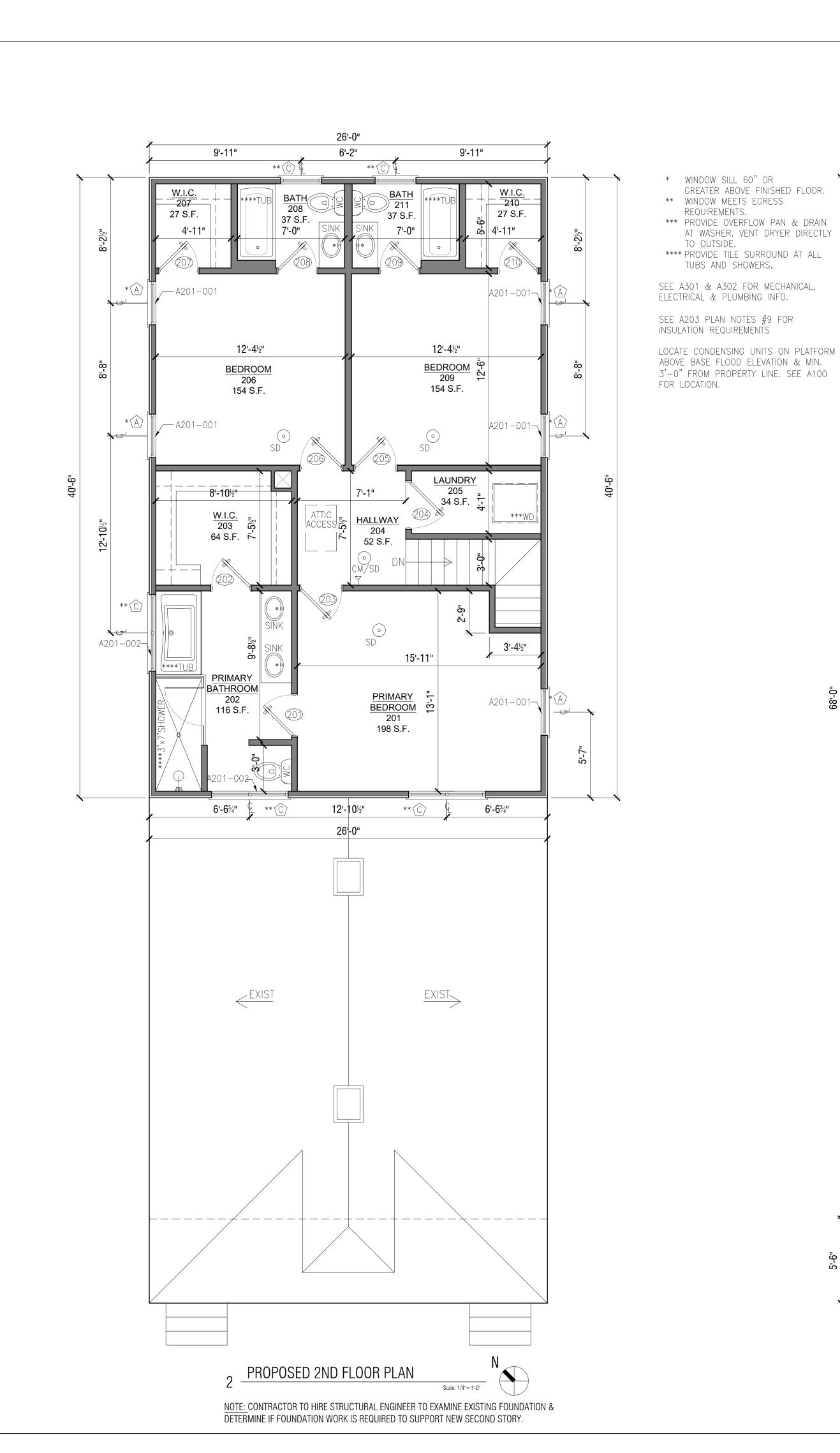
IMMEDIATE USE.

A102-001

A102-004

A102-002 REMOVE CHIMNEY.

G. VERIFY ALL DIMENSIONS IN FIELD.



WALL KEY

A201-001

A201-002

A201-003

A201-004

EXIST. WOOD EXTERIOR WALL W/ SIDING

EXISTING MASONRY WALL

EXIST. WOOD FRAMED WALL

NEW WOOD EXTERIOR WALL OR INFILL W/ SIDING

NEW WOOD FRAMED INTERIOR WALL W/ $\frac{5}{8}$ " GYP.

WOOD TO BE PAINTED OR STAINED.

KEY NOTES

INFILL FLOORING AT LOCATION OF CHIMNEY REMOVAL. MATCH EXIST. FLOORS & LAP TO BLEND

INFILL EXISTING DOOR OPENING WITH WOOD STUDS & $\frac{5}{8}$ " GYP. AT INTERIOR & PLYWOOD SHEATHING WITH SIDING AT EXTERIOR. SIDING TO MATCH EXIST. LAP TO BLEND.

INFILL EXISTING WINDOW OPENING WITH WOOD STUDS & $\frac{5}{8}$ " GYP. AT INTERIOR & PLYWOOD SHEATHING WITH SIDING AT EXTERIOR. SIDING TO MATCH EXIST. LAP TO BLEND.

PROVIDE LVL BEAM TO SUPPORT CEILING JOISTS AT LOCATION OF CENTER WALL REMOVAL SEE STRUCTURAL FOR LVL SIZES. WRAP BEAM IN WOOD TO BE PAINTED OR STAINED.

PROVIDE DECORATIVE BEAM AT LOCATION OF POCKET DOOR REMOVAL. WRAP BEAM IN

NEW WINDOW TO MATCH EXISTING WOOD SINGLE-PANE 2/2 WINDOWS.

SILL OF WINDOW TO BE MIN. 60" ABOVE FINISHED FLOOR.

SYMBOLS KEY

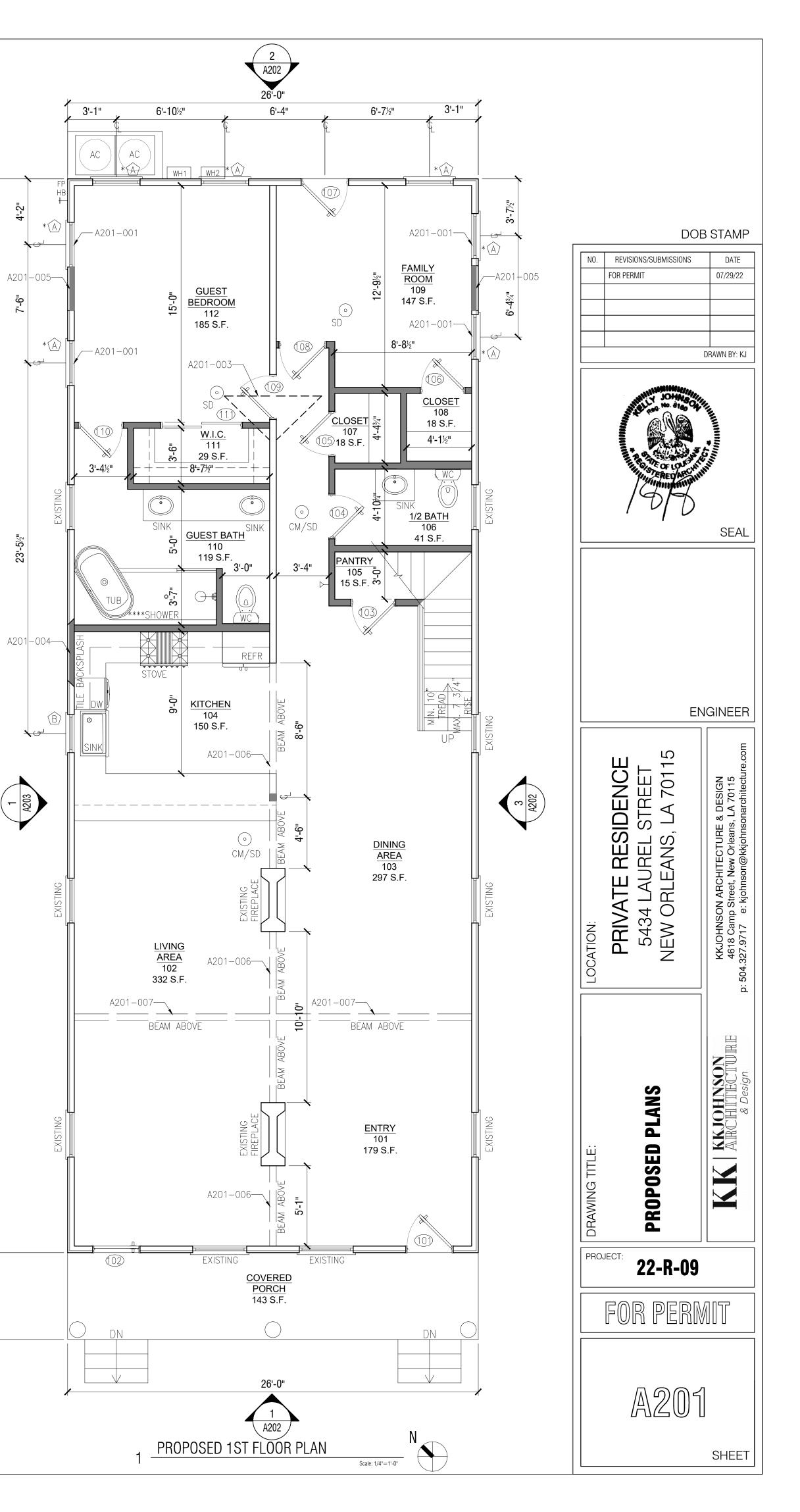
THERMOSTAT

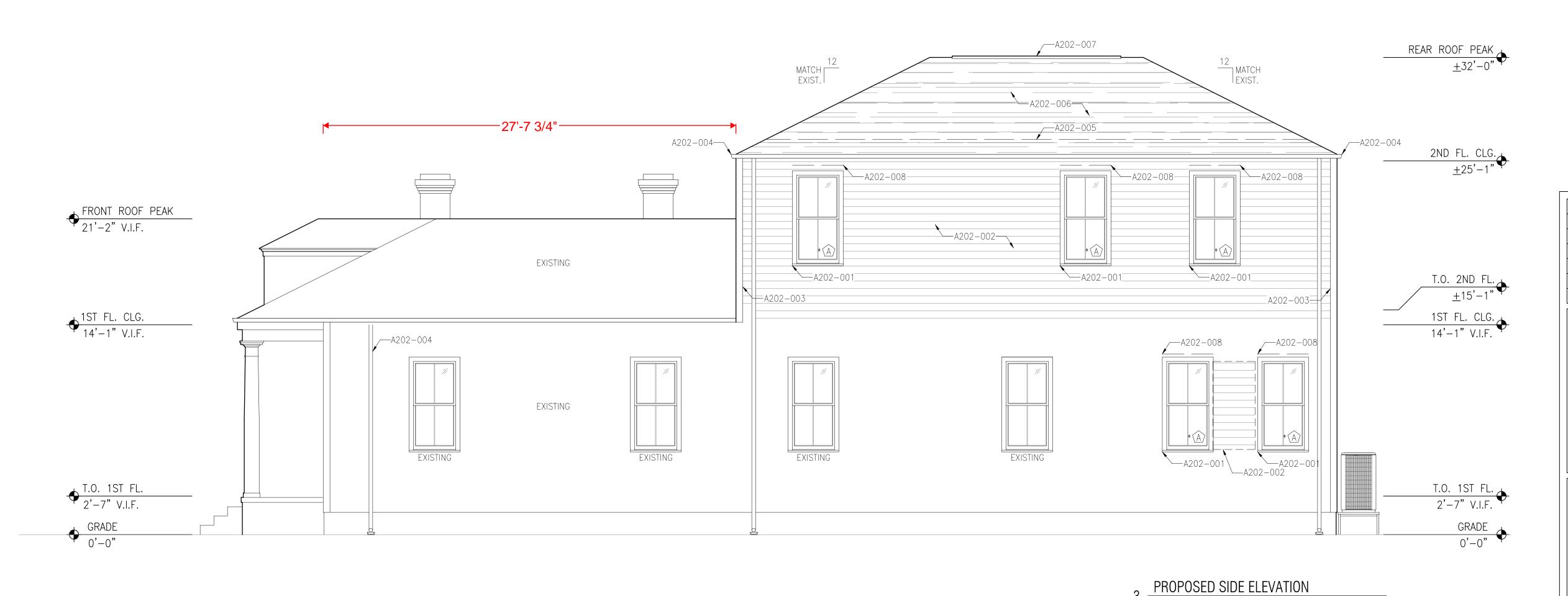
SMOKE DETECTOR

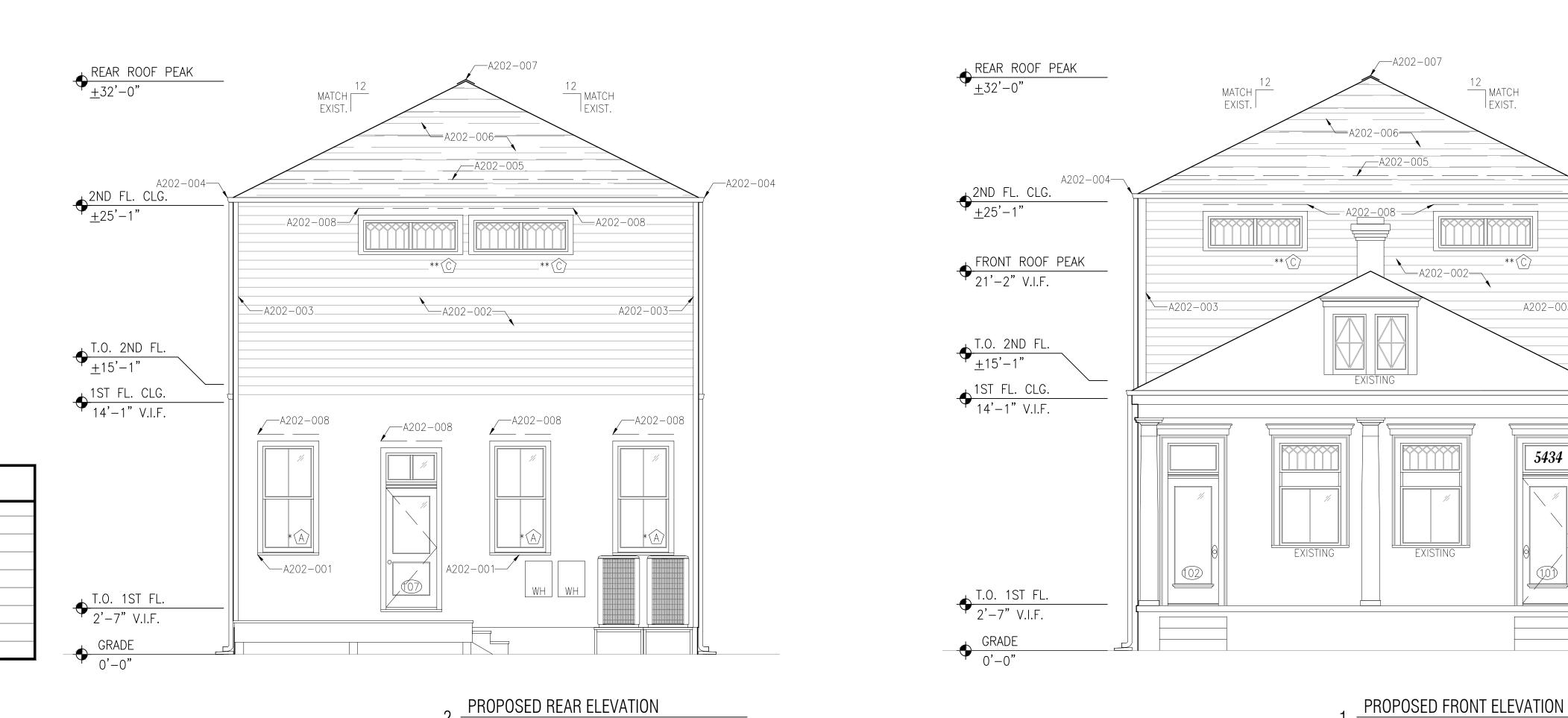
CARBON MONOXIDE/

SMOKE DETECTOR

₩ HOSE BIB







Scale: 1/4"=1'-0"

KEY NOTES

DESCRIPTION

NEW WINDOW TO MATCH EXISTING WOOD SINGLE-PANE $\frac{2}{2}$ WINDOWS. NEW SIDING TO MATCH EXISTING. AT INFILL AREAS, LAP SIDING TO BLEND.

A202-003

GUTTER & DOWNSPOUT.

PROVIDE FLASHING 12" UP AT ALL ROOF EDGES.

PROVIDE FLASHING 6" ABOVE NEW WINDOWS & DOORS.

NEW SHINGLES TO MATCH EXISTING. PROVIDE RIDGE VENT AT NEW ROOF. DATE

DOB STAMP

REVISIONS/SUBMISSIONS FOR PERMIT 07/29/22 DRAWN BY: KJ



ENGINEER

GN 115

Scale: 1/4"=1'-0"

_A202-003__

5434

NOTE: CONTRACTOR TO HIRE STRUCTURAL ENGINEER TO EXAMINE EXISTING FOUNDATION &

DETERMINE IF FOUNDATION WORK IS REQUIRED TO SUPPORT NEW SECOND STORY.

___A202-004

12 MATCH EXIST.

PRIVATE RESIDENCE 5434 LAUREL STREET NEW ORLEANS, LA 70115

PROPOSED ELEVATIONS

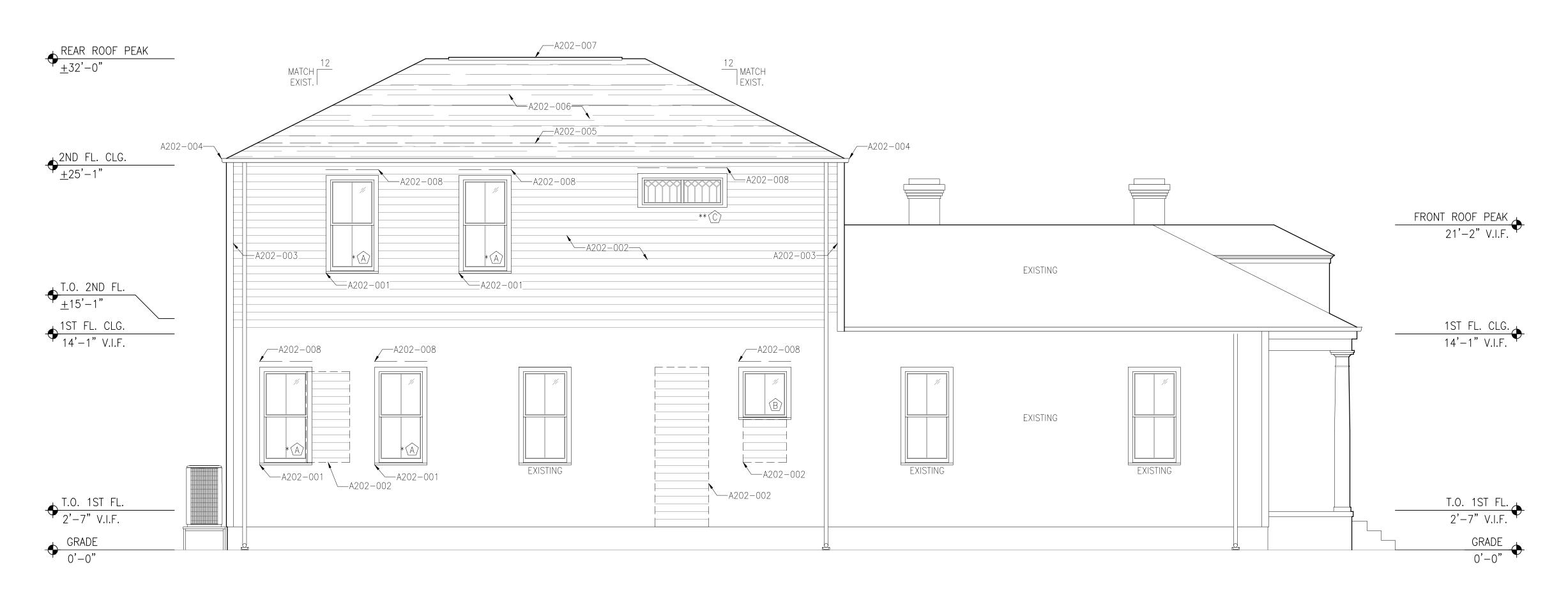
22-R-09

FOR PERMIT

A202

SHEET

KKJOHNSON ARCHITECTURE



PROPOSED SIDE ELEVATION

Scale: 1/4"=1'-0"

PLAN NOTES

- 1. NEW WALLS ARE SHOWN AS $4\frac{1}{2}$ " WIDE (2x4 STUD WITH $\frac{1}{2}$ " GYPSUM BOARD EACH SIDE). DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE.
- 2. NEW PLUMBING WALLS ARE SHOWN AS $6\frac{1}{2}$ " WIDE (2x6 STUD WITH $\frac{1}{2}$ " GYPSUM BOARD OR FIBER CEMENT BOARD IN AREAS THAT ARE TO BE TILED).
- 3. DIMENSIONS OF EXISTING CONDITIONS ARE FOR REFERENCE ONLY. ALL EXISTING DIMENSIONS TO BE FIELD VERIFIED PRIOR TO START OF CONSTRUCTION.
- PROVIDE SMOKE DETECTORS IN ALL SLEEPING AREAS AS REQUIRED BY SECTION R314 IRC 2015 ed.
 PROVIDE A COMBINATION SMOKE DETECTOR/CARBON MONOXIDE MONITOR IN HALLWAY OUTSIDE OF
- SLEEPING AREAS AS PER SECTION R315 IRC 2015 ed.

 6. BATHROOMS AND KITCHEN HOODS WILL BE VENTILATED DIRECTLY TO THE OUTDOORS. VENTILATION
- EQUIPMENT IN BATHROOMS MUST BE INSTALLED IN ACCORDANCE WITH SECTION 1507 OF THE IBC 2015 ED.
- 7. ANY ROTTED OR DAMAGED STUDS DISCOVERED IN THE EXISTING HOUSE DURING RENOVATION SHALL BE REPLACED.
- 8. ANY DAMAGED OR SAGGING FLOOR JOISTS DISCOVERED IN THE EXISTING HOUSE DURING RENOVATION SHALL BE REPLACED OR CORRECTED BY SISTERING.
- 9. HOUSE IS TO BE FULLY INSULATED AS FOLLOWS: R-19 INSULATION IN WALLS, R-13 INSULATION IN FLOOR, R-30 INSULATION IN ATTIC AS REQUIRED BY SECTION 1102 OF IRC 2015 ed.
- 10. ATTIC TO BE VENTILATED AS REQUIRED BY SECTION R806 OF IRC 2015 ed.
- 11. IN COMPLIANCE WITH R311.7.7 IRC 2015 ed., HANDRAILS SHALL BE 34" MINIMUM IN HEIGHT, MEASURED FROM TREAD NOSING, AND TOP RAIL SHALL BE $1\frac{1}{2}$ " IN DIAMETER.
- 12. IN COMPLIANCE WITH R312 IRC 2015 ed, GURADRAILS SHALL BE PROVIDED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS, THAT ARE MORE THAN 30" ABOVE GRADE.

 GUARDRAILS SHALL BE 36" MINIMUM IN HEIGHT AND GUARD OPENINGS SHALL NOT ALLOW PASSAGE FOR
- 13. FOR ANY NEW OR RECONSTRUCTED STAIR, THE MINIMUM STAIR TREAD DEPTH SHALL BE 10" AND MAXIMUM RISER HEIGHT SHALL BE $7\frac{3}{4}$ " IN ACCORDANCE WITH R311.7.4 IRC 2015 ed.
- 14. NEW ADDITION AND DECK AT REAR OF HOUSE SHALL BE BUILT WITH DIMENSIONAL LUMBER AND SIMPSON
- STRONG-TIE H-SERIES HANGERS AND ASSEMBLY SHALL RESIST 130 MPH WIND LOADS.

 15. ALL ROOFING COMPONENTS/MATERIALS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S
- INSTRUCTIONS.

 16. SEE MECHANICAL & ELECTRICAL DRAWINGS FOR ROOF PENETRATION LOCATIONS.

WINDOW/DOOR NOTES

1. ALL GLAZING TO BE PROTECTED FROM WIND-BORNE DEBRIS BY EITHER PLYWOOD PANELS, CUT TO FIT AND STORED UNDER THE HOUSE, OR SHUTTERS IN ACCORDANCE WITH R301.2.1.2 IRC 2015 ed.

2. ALL OPERABLE WINDOWS & DOORS TO HAVE FULL-SIZE SCREENS. HALF SCREENS ARE NOT

- PER IRC 2015 ED. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. UNITS MUST BE OPERABLE FROM THE INSIDE TO FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS AND SHALL HAVE SILL HEIGHT OF NOT MORE THAT 44" ABOVE THE FLOOR. ALL EGRESS WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET WITH MINIMUM NET CLEAR HEIGHT OF 24" AND MINIMUM NET CLEAR WIDTH OF 20".
- 4. ANY NEW DOORS TO BE SOLID-CORE WOOD TO MATCH EXISTING, STYLE APPROVED BY OWNER.
 5. TYPICAL WINDOW AND DOOR CASING TO MATCH EXISTING & BE WOOD ON EXTERIOR.
- ALL DOOR HINGES TO MATCH IN FINISH AND STYLE.
 SHUTTERS (IF ANY) TO BE PAINTED WOOD (EITHER PRESSURE TREATED OR SPANISH CEDAR, BOARD
- 7. SHUTTERS (IF ANY) TO BE PAINTED WOOD (EITHER PRESSURE TREATED OR SPANISH CEDAR, BOARD AND BATTEN, WITH GALVANIZED HARDWARE FOR CLOSING AND FOR STAYING CONNECTED TO THE HOUSE WHEN OPEN.

	ROOM FINISH SCHEDULE								
ROOM	ROOM NAME	FLOORS	BASE	WALLS	CEILINGS	MOLDING	REMARKS		
NO.						TRIM	V.I.F. CLG HGT W/ DEPTH OF DUCTS AND SOFFIT FRAMING		
FIRST I	FIRST FLOOR								
101	ENTRY	HARDWOOD	WOOD	PAINTED GYP .BD	PAINTED GYP .BD	WOOD	CEILING HEIGHT - 11'-6"(EXISTING)		
102	LIVING AREA	HARDWOOD	WOOD	PAINTED GYP .BD	PAINTED GYP .BD	WOOD	CEILING HEIGHT - 11'-6"(EXISTING)		
103	DINING AREA	HARDWOOD	WOOD	PAINTED GYP .BD	PAINTED GYP .BD	WOOD	CEILING HEIGHT - 11'-6"(EXISTING)		
104	KITCHEN	HARDWOOD	WOOD	PAINTED W.R. GYP .BD	PAINTED W.R. GYP .BD	WOOD	CEILING HEIGHT - 11'-6"(EXISTING)		
105	PANTRY	HARDWOOD	WOOD	PAINTED GYP .BD	PAINTED GYP .BD	WOOD	CEILING HEIGHT - 11'-6"(EXISTING)		
106	1/2 BATH	HARDWOOD	WOOD	PAINTED GYP .BD	PAINTED GYP .BD	WOOD	CEILING HEIGHT - 11'-6"(EXISTING)		
107	CLOSET	HARDWOOD	WOOD	PAINTED GYP .BD	PAINTED GYP .BD	WOOD	CEILING HEIGHT - 11'-6"(EXISTING)		
108	CLOSET	HARDWOOD	WOOD	PAINTED GYP .BD	PAINTED GYP .BD	WOOD	CEILING HEIGHT - 11'-6"(EXISTING)		
109	FAMILY ROOM	HARDWOOD	WOOD	PAINTED GYP .BD	PAINTED GYP .BD	WOOD	CEILING HEIGHT - 11'-6"(EXISTING)		
110	GUEST BATH	TILE	WOOD	PAINTED W.R. GYP .BD	PAINTED W.R. GYP .BD	WOOD	CEILING HEIGHT - 11'-6"(EXISTING)		
111	WALK-IN CLOSET	HARDWOOD	WOOD	PAINTED GYP .BD	PAINTED GYP .BD	WOOD	CEILING HEIGHT - 11'-6"(EXISTING)		
112	GUEST BEDROOM	HARDWOOD	WOOD	PAINTED GYP .BD	PAINTED GYP .BD	WOOD	CEILING HEIGHT - 11'-6"(EXISTING)		
SECON	ID FLOOR								
201	PRIMARY BEDROOM	HARDWOOD	WOOD	PAINTED GYP .BD	PTD. GYP.BD	WOOD	CEILING HEIGHT - 10'-0"		
202	PRIMARY BATHROOM		WOOD	PAINTED GYP .BD	PTD. GYP.BD	WOOD	CEILING HEIGHT - 10'-0"		
203	W.I.C.	HARDWOOD	WOOD	PAINTED GYP .BD	PTD. GYP.BD	WOOD	CEILING HEIGHT - 10'-0"		
204	HALLWAY	HARDWOOD	WOOD	PAINTED GYP .BD	PTD. GYP.BD	WOOD	CEILING HEIGHT - 10'-0"		
205	LAUNDRY	HARDWOOD/TILE	WOOD	PAINTED W.R. GYP .BD	PAINTED W.R. GYP .BD		CEILING HEIGHT - 10'-0"		
206	BEDROOM	TILE	WOOD	PAINTED W.R. GYP .BD	PAINTED W.R. GYP .BD	WOOD	CEILING HEIGHT - 10'-0"		
207	W.I.C.	HARDWOOD	WOOD	PAINTED GYP .BD	PTD. GYP.BD	WOOD	CEILING HEIGHT - 10'-0"		
208	BATHROOM	HARDWOOD	WOOD	PAINTED GYP .BD	PTD. GYP.BD	WOOD	CEILING HEIGHT - 10'-0"		
209	BEDROOM	TILE	WOOD	PAINTED W.R. GYP .BD	PAINTED W.R. GYP .BD		CEILING HEIGHT - 10'-0"		
210	W.I.C.	HARDWOOD	WOOD	PAINTED GYP .BD	PTD. GYP.BD	WOOD	CEILING HEIGHT - 10'-0"		
211	BATHROOM	HARDWOOD	WOOD	PAINTED GYP .BD	PTD. GYP.BD	WOOD	CEILING HEIGHT - 10'-0"		

NOTE: ALL WALL AND CEILING FINISHES TO BE CLASS 1, FLAME SPREAD RATING OF 0 TO 25, SMOKE DEVELOPED 200 OR LESS. ALL FLOOR COVERINGS TO BE CLASS A, CRITICAL RADIANT FLUX OF 0.45 WATTS/SQ. CM. OR HIGHER.

NOTE: MATERIALS/ FINISHES SHOWN IN THIS SCHEDULE ARE GENERAL. OWNER TO SELECT FINAL MATERIALS.

		7 7 11 41	DOW SCHEDULE	_
MARK	SIZE (WxH)	HEAD HEIGHT	DESCRIPTION	COUNT
*(A)	2'-10"x6'-0"	MATCH EXISTING	NEW OR RELOCATED WOOD SINGLE PANE 2/2 WINDOW TO MATCH EXIST.	12
(B)	2'-10"x3'-0"	MATCH EXISTING	NEW WOOD SINGLE PANE DIVIDED FIXED WINDOW	1
** C	5'-0"x1'-6"	9'-0"	NEW WOOD TRANSOM WINDOW	5

DOOR				FRAMING				
000R #	DOOR SIZE(WxH)	DESCRIPTION	FINISH	MATERIAL	HEAD & JAMB	FINISH	HRD.WARE	REMARKS
101	2'-10"X7'-0"	EXIST. SOLID WOOD W. GLASS	WOOD	WOOD	WOOD	EXIST.	KEYED	
102	2'-10"X7'-0"	EXIST. SOLID WOOD W. GLASS	WOOD	WOOD	WOOD	EXIST.	FIXED	
103	2'-8"X6'-8"	SOLID WOOD DOOR	WOOD	WOOD	WOOD	PAINT	LEVER	
104	2'-8"X6'-8"	SOLID WOOD DOOR	WOOD	WOOD	WOOD	PAINT	PRIVACY	
105	2'-8"X6'-8"	SOLID WOOD DOOR	WOOD	WOOD	WOOD	PAINT	LEVER	
106	2'-8"X6'-8"	SOLID WOOD DOOR	WOOD	WOOD	WOOD	PAINT	LEVER	
107	2'-10"X7'-0"	EXIST. SOLID WOOD W. GLASS	WOOD	WOOD	WOOD	PAINT	KEYED	
108	2'-10"X6'-8"	SOLID WOOD DOOR	WOOD	WOOD	WOOD	PAINT	LEVER	
109	2'-8"X6'-8"	SOLID WOOD DOOR	WOOD	WOOD	WOOD	PAINT	PRIVACY	
110	2'-8"X6'-8"	SOLID WOOD DOOR	WOOD	WOOD	WOOD	PAINT	PRIVACY	
111	(2)2'-6"X6'-8"	WOOD SLIDING DOORS	WOOD	WOOD	WOOD	PAINT	PULLS	
201	2'-8"X6'-8"	SOLID WOOD DOOR	WOOD	WOOD	WOOD	PAINT	PRIVACY	
202	2'-6"X6'-8"	SOLID WOOD DOOR	WOOD	WOOD	WOOD	PAINT	LEVER	
203	2'-8"X6'-8"	SOLID WOOD DOOR	WOOD	WOOD	WOOD	PAINT	PRIVACY	
204	3'-0"X6'-8"	SOLID WOOD DOOR	WOOD	WOOD	WOOD	PAINT	LEVER	
205	2'-8"X6'-8"	SOLID WOOD DOOR	WOOD	WOOD	WOOD	PAINT	PRIVACY	
206	2'-8"X6'-8"	SOLID WOOD DOOR	WOOD	WOOD	WOOD	PAINT	PRIVACY	
207	2'-6"X6'-8"	SOLID WOOD DOOR	WOOD	WOOD	WOOD	PAINT	LEVER	
208	2'-6"X6'-8"	SOLID WOOD DOOR	WOOD	WOOD	WOOD	PAINT	PRIVACY	
209	2'-6"X6'-8"	SOLID WOOD DOOR	WOOD	WOOD	WOOD	PAINT	PRIVACY	
210	2'-6"X6'-8"	SOLID WOOD DOOR	WOOD	WOOD	WOOD	PAINT	LEVER	

DOB STAMP

NO.	REVISIONS/SUBMISSIONS	DATE
	FOR PERMIT	07/29/22
	DI	RAWN BY: KJ



ENGINEER

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PRIVATE RESIDENCE 5434 LAUREL STREET NEW ORLEANS, LA 70115

NOTES & SCHEDULES

22-R-09

FOR PERMIT

SHEET

PLAN NOTES

- 1. ALL NEW OUTLETS TO BE GROUND FAULT INTERRUPTED IN ALL WET LOCATIONS. 2. OWNER TO PROVIDE ALL NEW LIGHTING FIXTURES EXCEPT CANS. VERIFY TYPES AND LOCATIONS WITH OWNER
- PRIOR TO WIRING AND INSTALLATION. 3. PROVIDE OVERFLOW PANS AT FURNACES & WATER HEATERS W. FLOOR DRAIN. PROVIDE OPEN SITE DRAIN FOR CONDENSATE.
- 4. PROVIDE DISCONNECT FOR DISHWASHER AND AIR CONDENSER.

ELECTRICAL/LIGHTING NOTES

- 1. OWNER TO PROVIDE ALL FIXTURES EXCEPT RECESSED CANS.
- . OWNER TO VERIFY LOCATION OF ALL FIXTURES PRIOR TO INSTALLATION.
- 3. ALL PERMITS AND INSPECTIONS TO BE OBTAINED BY ELECTRICIAN AS REQUIRED BY LOCAL CODES AND NEC. 4. RECPETACLES IN WET AREAS (BATHROOMS AND KITCHENS) SHALL BE LOCATED IN ACCORDANCE WITH NEC AND
- SHALL BE GROUND FAULT CIRCUITED (GFI). 5. RECEPTACLES IN BEDROOMS SHALL BE LOCATED IN ACCORDANCE WITH NEC AND SHALL BE ARC-FAULT
- 6. VERIFY SWITCH AND OUTLET LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

MECHANICAL/PLUMBING NOTES

- 1. INSTALL NEW BATHROOM DUCTS FOR VENTILATION. ALL VENTILATION EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 1507 OF THE IBC 2015.
- 2. KITCHEN HOODS TO VENT THROUGH ROOF.
- 3. CONDENSING UNITS TO BE LOCATED ON PLATFORM ABOVE BASE FLOOD ELEVATION.
- 4. WHOLE-HOUSE GAS ON DEMAND HOT WATER SYSTEM TO BE INSTALLED IN ATTIC. EQUIPMENT SHALL BE 9.5 RUDD OUTDOOR TANKLASS WATER HEATER OR APPROVED EQUAL..
- 5. ANY PLUMBING PIPES UNDER HOUSE OR OUTSIDE OF CONDITIONED SPACE TO BE INSULATED R-4 MINIMUM.

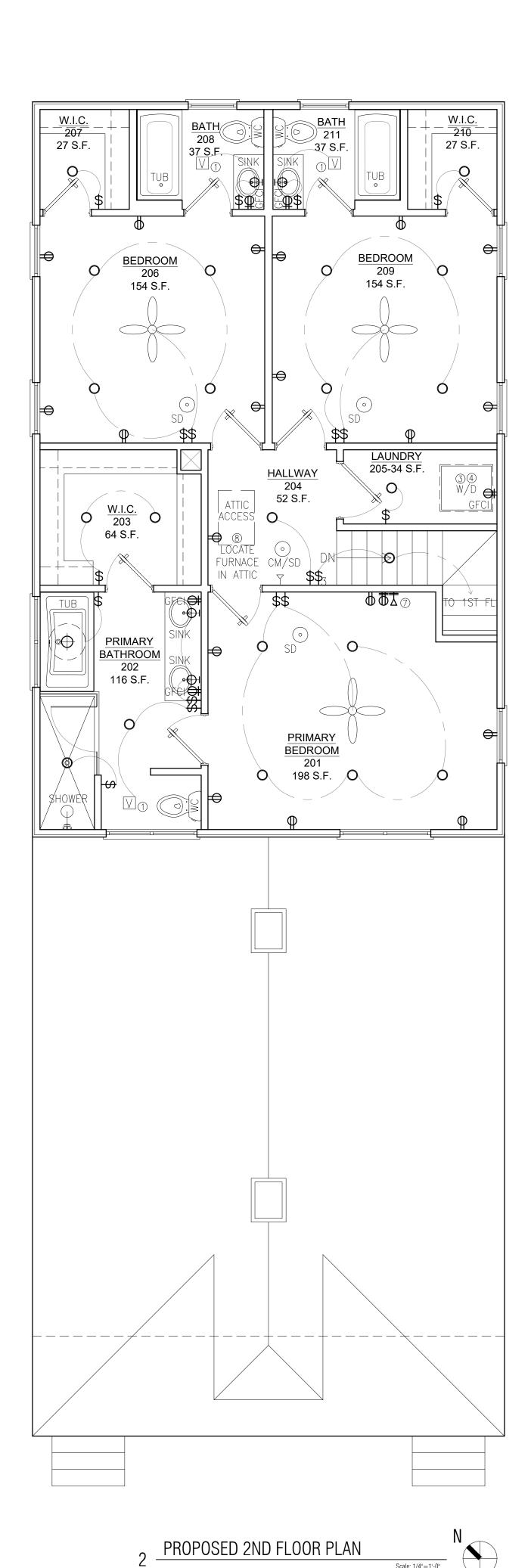
SYMBOLS KEY

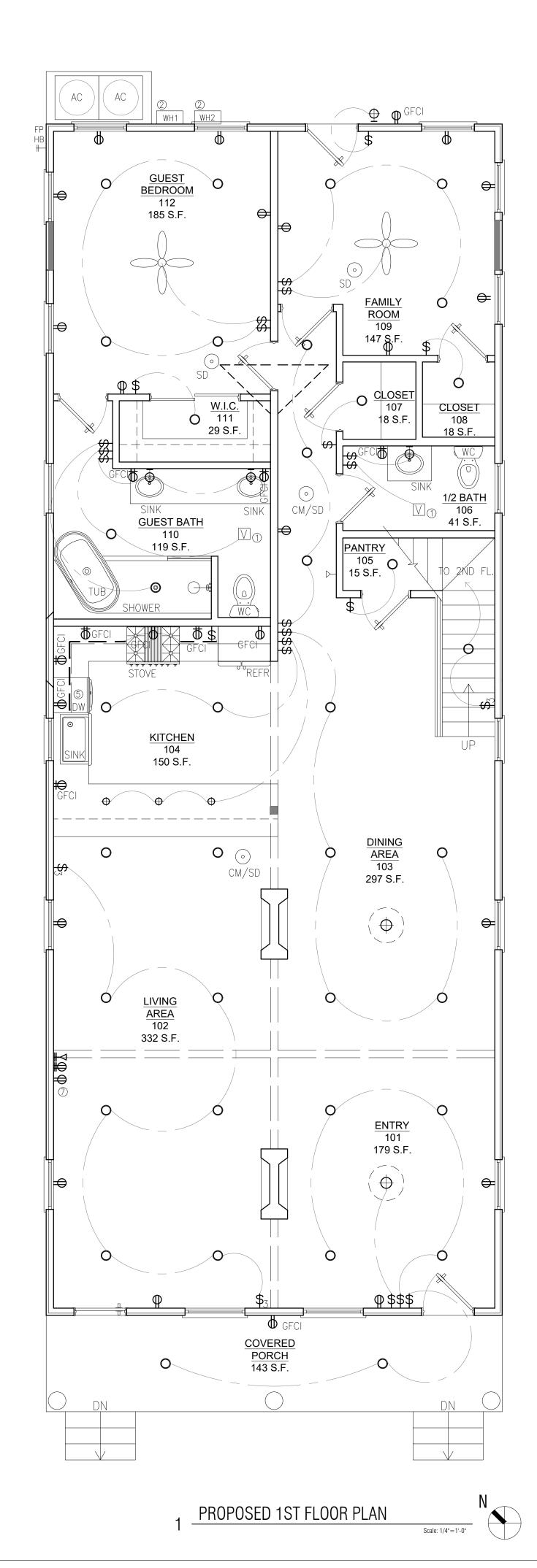
4" RECESSED CAN LIGHT FIXTURE → OUTLET W/ DAYLIGHT LED LIGHTS OUTLET, COUNTER HEIGHT DECORATIVE CEILING MOUNT FIXTURE DECORATIVE WALL MOUNT FIXTURE VENT LIGHT CEILING FAN ----- LED STRIP DISCONNECT \$ LIGHT SWITCH THERMOSTAT \$3 THREE-WAY LIGHT SWITCH ₩ HOSE BIB CARBON MONOXIDE/
SMOKE DETECTOR SMOKE DETECTOR

CARBON MONOXIDE/

KEYED NOTES

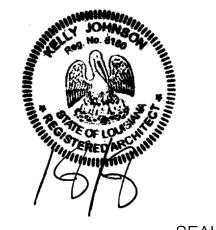
- 1- PROVIDE POWER AND DISCONNECT FOR ALL BATHROOM EXHAUST FANS. VENT BATHROOM EXHAUST THROUGH ROOF. 2- VERIFY WATER HEATER LOCATION WITH PLUMBING CONTRACTOR.
- 3- VENT DRYER THROUGH ROOF. 4- PROVIDE OVERFLOW PAN AND F.D. FOR WASHER.
- 5- PROVIDE POWER AND DISCONNECT FOR DISHWASHER.
- 7- VERIFY LOCATION AND HEIGHT OF TV CONNECTIONS WITH OWNER.
- 8- VERIFY NEW FURNACE UNIT SIZE AND LOCATION WITH HVAC CONTRACTOR.
- PROVIDE POWER AND DISCONNECT FOR FURNACE.





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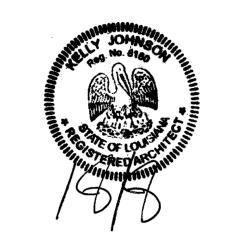
LIGHTING & ELECTRICAL PLAN KKJOHNSON ARCHITECTURE

22-R-09

SHEET

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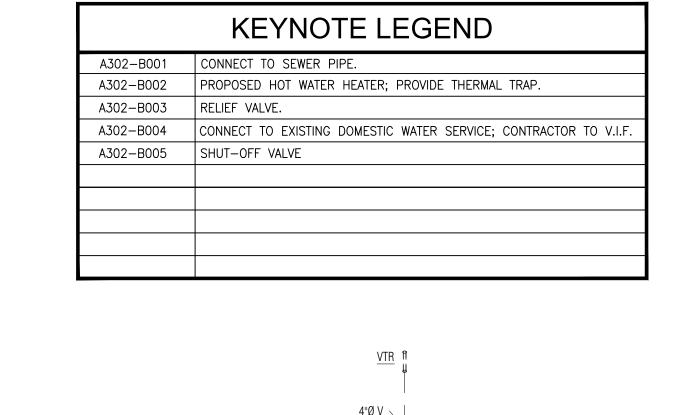
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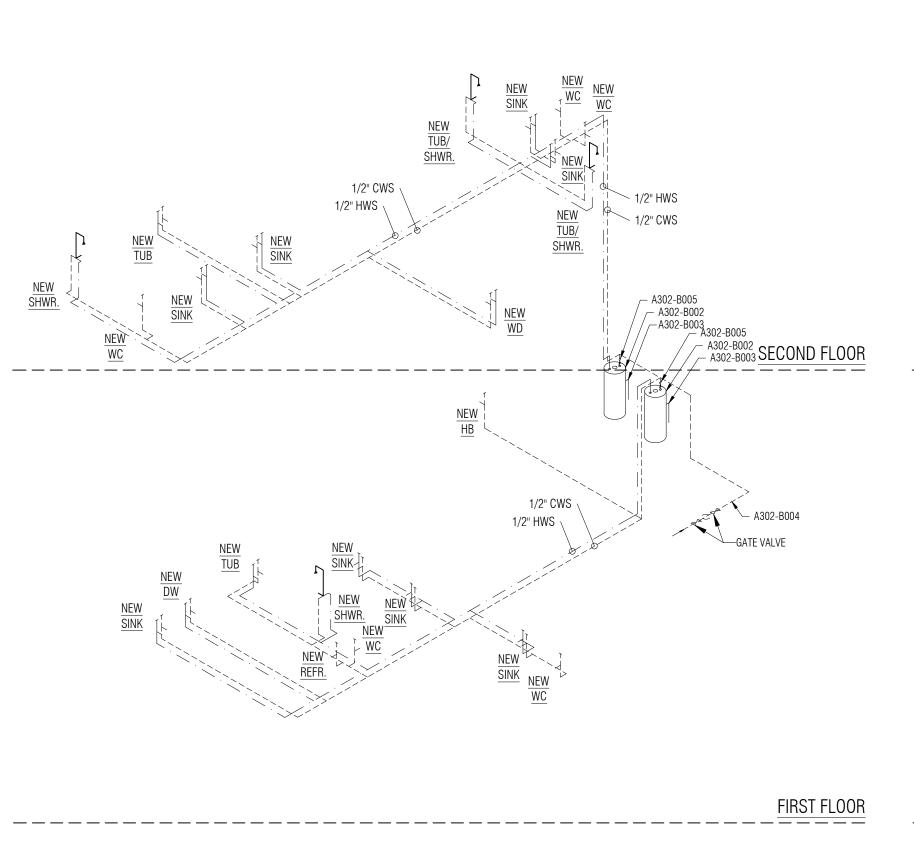
KKJOHNSON ARCHITECTURE

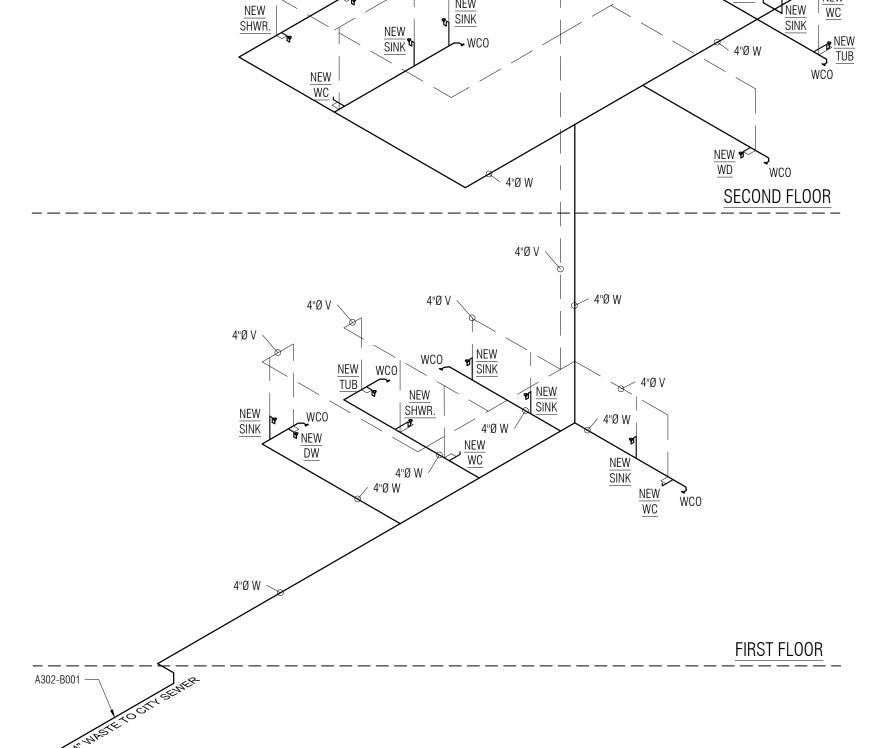
22-R-09

SHEET

PLUMBING ABBREVIATIONS		
DW	DISHWASHER	
ICE	ICE MAKER	
LAV	LAVATORY SINK	
REFR	REFRIGERATOR	
SHWR	SHOWER	
SINK	KITCHEN SINK	
TUB	TUB/SHOWER	
WC	WATER CLOSET	
WD	WASHER/DRYER	
WH	WATER HEATER	
НВ	FIRE PROOF HOSE BIB	







SUPPLY PIPE DIAGRAM NOT TO SCALE

WASTE PIPE DIAGRAM

NOT TO SCALE