



ZALOUDEK RESIDENCE

4023-25 DAUPHINE STREET
NEW ORLEANS, LA 70117

2 STRUCTURE SCOPE OF WORK

- 2.01 FLOORS/ COLUMNS OR PIERS REPAIR
REPLACE MISSING BRICKS AT REAR RIGHT/MIDDLE FOUNDATION PIER IN CRAWLSPACE.
- 2.02 FLOORS/ COLUMNS OR PIERS REPAIR
REPAIR SPALLED CONCRETE AND/OR BRICK ON ALL BRICK FOUNDATION PIERS AND ALONG FRONT CHAIN WALL.
- 2.03 FLOORS/ COLUMNS OR PIERS REPAIR
REPAIR DETERIORATED MORTAR. INSPECT ALL PIERS AND FRONT CHAINWALL. REPOINT ALL LOCATIONS WHERE DAMAGE IS NOTICED. ENCAPSULATE ALL PIERS AFTER COMPLETION OF REPOINTING.

3 EXTERIOR ENVELOPE SCOPE OF WORK

- 3.01 WALLS/WOOD SIDING
REPAIR/REPLACE DAMAGED WOOD STRUCTURE AND SIDING. INSPECT FOR MOISTURE INTRUSION. REPLACE DAMAGED WOOD STRUCTURE AND PAINT.
- 3.02 EXTERIOR GLASS/WINDOW - GENERAL
REPAIR LOOSE DOOR HANDLE - 4023 FRONT DOOR
- 3.03 NOT USED
- 3.04 EXTERIOR GLASS/WINDOW - EXTERIOR TRIM
REPLACE MISSING/DAMAGE MUNTIN AT 4023 FRONT DOOR
- 3.05 EXTERIOR GLASS/WINDOWS - SHUTTERS
REPLACE EXTERIOR SHUTTERS AND WINDOW. PROVIDE NEW HARDWARE. INSPECT SHUTTER ATTACHMENT POINTS AND CONFIRM STRUCTURAL STABILITY OF FRAMES. REPAIR AND REPLACE SHUTTER FRAMES AS REQUIRED.
- 3.05.01 EXTERIOR GLASS/WINDOWS - WINDOWS
REPLACE WINDOW, FRAME, TRIM, HARDWARE AND ACCESSORIES. PATCH SIDING AND PAINT TO MATCH EXISTING.
- 3.06 DOOR/DOORS AND FRAMES
REPLACE WEATHERSTRIPPING AT DOOR
- 3.07 DOOR/DOORS AND FRAMES
ADJUST DOOR AT 4025 KITCHEN DOOR. REMOVE AND MODIFY EXISTING SHUTTERS TO FULLY CLOSE. PROVIDE NEW HINGES AND HARDWARE AS REQUIRED. PATCH AND PAINT TO MATCH EXISTING. PROVIDE WEATHERSTRIPPING AND GASKET AT DOOR TO CLOSE ALL GAPS.
- 3.08 SOFFIT AND FASCIA BOARD
REPLACE DAMAGED COMPONENTS OF SOFFIT AND FASCIA BOARD WITH EXTERIOR GRADE LUMBER. PATCH AND PAINT TO MATCH EXISTING. COORDINATE GUTTER, DOWNSPOUT REMOVAL AND REINSTALL. COORDINATE WITH ORIGINAL WARRANTY REQUIREMENTS.
- 3.09 EXTERIOR TRIM - GENERAL
REMOVE AND REPLACE TRIM & PANELS TO PROPERLY ENCLOSE BUILDING ENVELOPE. CLOSE AND SEAL ALL GAPS. PAINT TO MATCH EXISTING.
- 3.09.01 EXTERIOR TRIM - RUNNING BOARD
INSTALL NEW RUNNING BOARD TRIM. PATCH SIDING AND PAINT TO MATCH EXISTING.
- 3.09.02 EXTERIOR TRIM - GENERAL
COORDINATE GUTTER, DOWNSPOUT REMOVAL AND REINSTALLATION TO COMPLETE TRIM WORK. COORDINATE WITH ORIGINAL WARRANTY REQUIREMENTS.
- 3.09.03 EXTERIOR TRIM - GENERAL
INSTALL PT WOOD FASCIA TRIM BEHIND GUTTER. COORDINATE WITH NOTE 3.09.02
- 3.10 DOOR/DOORS AND FRAMES - DOOR REPLACEMENT
REMOVE DOOR, FRAME, TRANSOM WINDOW AND EXTERIOR SHUTTERS. REPLACE WITH NEW DOUBLE DOOR, TRANSOM WINDOW AND EXTERIOR SHUTTER. REMOVE AND REINSTALL EXISTING EXTERIOR TRIM TO EXTENT POSSIBLE. PAINT TO MATCH EXISTING. PROVIDE ALL DOOR HARDWARE FOR THE FUNCTIONALITY OF DOORS AND SHUTTERS. PROVIDE NEW DOOR BELL.
- 3.10.01 DOOR/DOORS AND FRAMES - ALTERNATE #1 (DEDUCT)
INSTALL EXISTING DOUBLE DOOR IN EXISTING FRAME.
- 3.11 EXTERIOR TRIM - GENERAL
REMOVE EXTERIOR TRIM. REPLACE WITH PRESSURE TREATED WOOD TRIM TO MATCH ORIGINAL TRIM PROFILE AT 4025 DOOR (1"X4" - FULL DIMENSION - RIP LUMBER TO MATCH PROFILE)
- 3.12 STAIR HANDRAIL REPLACEMENT
INSTALL NEW STEEL HANDRAIL-36" H WITH VERTICAL 1/4" BAR STOCK BALUSTERS AT 4" O.C.
- 3.12.01 STAIR HANDRAIL DEMOLITION
REMOVE EXISTING WOOD HANDRAIL. PATCH/REPAIR DAMAGED SIDING AT BUILDING ENVELOPE. PATCH DAMAGE AT GRADE AS REQUIRED.
- 3.13 DOOR - PRIME & PAINT EXISTING DOOR. MODIFY DOOR TO FULLY CLOSE. PROVIDE NEW HINGES AND HARDWARE. PAINT/ PATCH TO MATCH EXISTING. PROVIDE WEATHER STRIPPING & GASKET AT DOOR TO CLOSE ALL GAPS.
- 3.14 DOOR/DOORS AND FRAME - DOOR REPLACEMENT
REMOVE DOOR, FRAME, TRIM, HARDWARE AND EXTERIOR SILL. INSTALL NEW HOLLOW METAL DOOR AND WOOD FRAME. INSTALL PRESSURE TREATED WOOD TRIM TO MATCH ORIGINAL TRIM AT 4025 FRONT DOOR (1" X 4" TRIM-FULL DIMENSIONS) - 3/4" MINIMUM PROJECTION FROM EXTERIOR CLADDING. PROVIDE METAL FLASHING WITH DRIP EDGE ABOVE DOOR - 2" MINIMUM PROJECTION.
- 3.15 FIXED LOUVER REPLACEMENT- ALTERNATE #2 (ADD)
INSTALL FIXED LOUVER SHUTTER PANEL WITH HINGE AT ONE SIDE. PROVIDE LATCH AND LOCK AT INTERIOR. PAINT EXISTING TRIM TO MATCH EXISTING.
- 3.16 METAL AWNING - DEMOLITION
REMOVE EXISTING METAL AWNING. SEAL AND CLOSE ALL HOLES AND GAPS. PAINT TO MATCH EXISTING.
- 3.17 STAIR - DEMOLITION
REMOVE EXISTING WOOD STAIR AND HANDRAILS. PREPARE FOR INSTALLATION OF NEW STAIR
- 3.18 STAIR - NEW CONSTRUCTION
INSTALL NEW CONCRETE STAIR AND LANDING WITH CONTINUOUS STEEL HANDRAIL- 36" H WITH VERTICAL 1/4" BAR STOCK BALUSTERS AT 4" O.C.. STAIR WIDTH- 34" TO ALIGN WITH EXISTING BUILDING DIMENSION TO MAINTAIN 36" MINIMUM SETBACK AT PROPERTY LINE. PROVIDE CONCRETE FOOTINGS TO SUPPORT NEW STAIR.
- 3.19 SIDING - SELECTIVE REMOVAL/DEMOLITION
REMOVE AND SALVAGE SIDING AROUND WINDOW ONLY TO EXTENT REQUIRED (1 FOOT FROM WINDOW EACH SIDE) TO CONFIRM FLASHING AND WEATHER BARRIER INSTALLATION AND INVESTIGATE FOR WATER INFILTRATION/LEAKS. REVIEW CONDITION WITH ARCHITECT FOR REMEDIATION ACTION. PROVIDE PRICING TO FLASH AND SEAL ALL SIDES OF WINDOW AND REPLACE EXISTING DAMAGED FRAMING (ASSUME 50% FRAMING REPLACEMENT REQUIRED)
- 3.20 WINDOW SHUTTERS - NEW CONSTRUCTION
INSTALL NEW EXTERIOR WINDOW, SHUTTER AND HARDWARE (BOARD AND BATTEN STYLE TO MATCH EXISTING)

If siding replacement is required, use wood weatherboards or Hardie Plank Smooth only. Boards to match existing reveal.

- 3.21 STAIR HANDRAIL REPAIR
REMOVE AND REINSTALL EXISTING STEEL RAIL. GRIND SMOOTH, REPAIR/PATCH ALL HOLES AND PAINT RAILING.
- 3.21.01 REPAIR /ADJUST LANDING AT FRONT AND REAR ENTRY STAIRS (TYP. OF 3) TO CREATE POSITIVE DRAINAGE AWAY FROM BUILDING. INSTALL FLASHING BETWEEN TOP STAIR TREAD AND BUILDING. REPAIR/REPLACE DAMAGED TRIM AND SIDING AS REQUIRED.
- 3.22 SIDING, BUILDING WRAP, AND FLASHING AT WINDOWS
REMOVE AND SALVAGE SIDING AROUND WINDOW ONLY TO EXTENT REQUIRED (1 FOOT FROM WINDOW EACH SIDE) TO CONFIRM FLASHING AND WEATHER BARRIER INSTALLATION AND INVESTIGATE FOR WATER INFILTRATION/LEAKS. REVIEW CONDITION WITH ARCHITECT FOR REMEDIATION ACTION. PROVIDE PRICING TO FLASH AND SEAL ALL SIDES OF WINDOW AND REPLACE EXISTING DAMAGED FRAMING (ASSUME 50% FRAMING REPLACEMENT REQUIRED)
- REMOVE WINDOW IF FLASHING IS NOT PRESENT OR IS NOT CONTINUOUS. INSTALL AND LAP BUILDING WRAP OVER EXISTING BARGE BOARD AND EXISTING BUILDING WRAP. INSTALL PLYWOOD AS REQUIRED TO FASTEN BUILDING WRAP AND FLASHING. INSTALL CONTINUOUS FLASHING AT ALL SIDES OF WINDOW. REINSTALL WINDOW. REINSTALL SALVAGED SIDING. PROVIDE NEW SIDING TO MATCH EXISTING AS REQUIRED. REPAIR/REPLACE TRIM TO MATCH EXISTING.
- 3.23 EXTERIOR TRIM - DAMAGED
REPLACE DAMAGED/ ROTTED TRIM WITH NEW PRESSURE TREATED WOOD TRIM TO MATCH EXISTING PROFILE. PAINT TO MATCH EXISTING.
- GENERAL NOTE: EXISTING DOOR AND SHUTTER AT 4023 FRONT DOOR TO REMAIN. CLEAN, PATCH AND PAINT DOOR AND SHUTTERS. REVIEW DOOR HINGES AND DOOR FRAME STRUCTURE AT SHUTTER TO ENSURE PROPERLY ATTACHED. REPAIR/REPLACE FRAMING AS REQUIRED.
- ADD ALTERNATE ITEMS
- 3.0A WALLS/ FIBER CEMENT SIDING
Z FLASHING MISSING AT WALL OPENINGS. REMOVE DRIP CAP(S) AND REPLACE WITH Z FLASHING PER MANUFACTURER STANDARD. INSTALLATION. PROVIDE BACKER ROD AND SEALANT AT ALL EDGES OF WALL OPENINGS, TYP.
- 3.0B WALLS/ FIBER CEMENT SIDING
REPAIR/ADDRESS SUSPECT FIBER CEMENT SIDING INSTALLATION. REPAIR GAPS, OPEN SEAMS, MISSING FLASHING AND INCORRECTLY INSTALLED WALL SHEATHING. PROVIDE BACKER ROD AND SEALANT AS REQUIRED.
- 3.0C EXTERIOR GLASS/WINDOWS - STORMS AND SCREENS
REPAIR/REPLACE EXTERIOR SHUTTERS OVER DOORS AND WINDOWS AT FRONT AND SIDE ELEVATIONS.

4 ROOFING SCOPE OF WORK

- 4.01 SLOPED ROOFING - CLAY /CONCRETE/ FIBER CEMENT
REPAIR RIDGE GAPS AT LOCATIONS FOR MISSING MORTAR
- 4.02 SLOPED ROOF FLASHINGS
REPAIR/REPLACE ROOF FLASHING AT TRANSITION BETWEEN ROOF AND VERTICAL SURFACES

6 MECHANICAL SCOPE OF WORK

- 6.03 SUPPLY PLUMBING/ SHUT OFF VALVE
PROVIDE MISSING HANDLE AT SHUT OFF VALVE AT FRONT EXTERIOR OF BUILDING.

7 INTERIOR SCOPE OF WORK

- 7.02 WATER DAMAGE AT INTERIOR OF EXTERIOR WALLS ADDRESS WATER INTRUSION AT EXTERIOR WALL OPENINGS BY INSTALLING FLASHING PER MANUFACTURER'S INSTALLATION STANDARDS. PROVIDE BACKER ROD AND SEALANT. REMOVE WATER DAMAGED PLASTER AND/OR GWB. ALLOW WALL CAVITY TO DRY IN AND REMOVE ANY MOLD OR MILDEW PRESENT. REPAIR/REPLACE WATER DAMAGED PLASTER, GWB AND FINISHES TO MATCH EXISTING.

DRAWING LIST	
Sheet Number	Sheet Name

A001	GENERAL NOTES
A101	LEVEL 1 PLAN
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS

DATE ISSUED: 07 JUNE 2022
REVISED:
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DRAWN BY: MTZ
CHECKED BY: MTZ
PHASE:

PERMIT SET

18001

TITLE:
GENERAL NOTES

SHEET:
A001



ZALOUDEK RESIDENCE

4023-25 DAUPHINE STREET
NEW ORLEANS, LA 70117

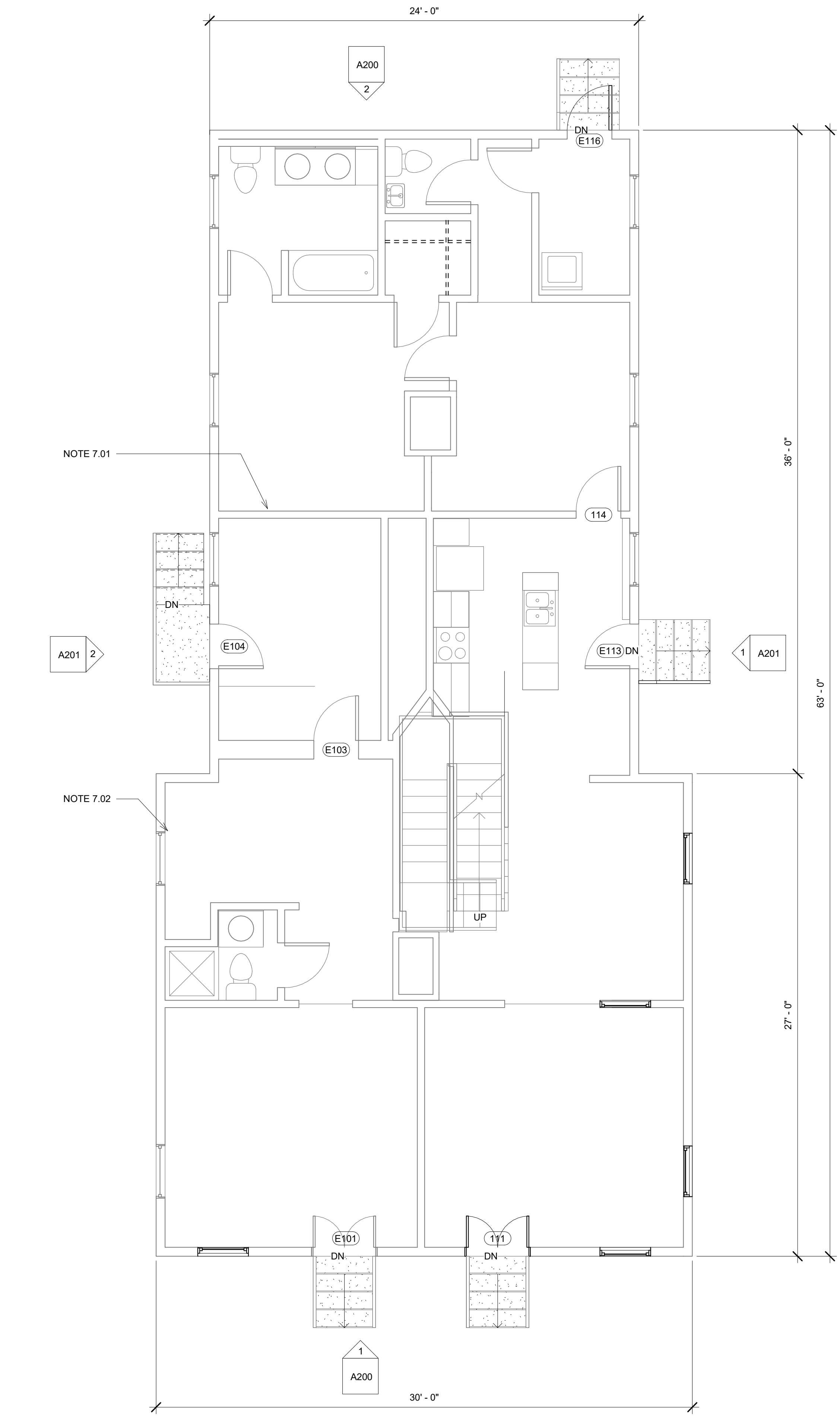
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PERMIT SET

18001

TITLE:
LEVEL 1 PLAN

SHEET:
A101



① LEVEL 1 FLOOR PLAN
1/4" = 1'-0"



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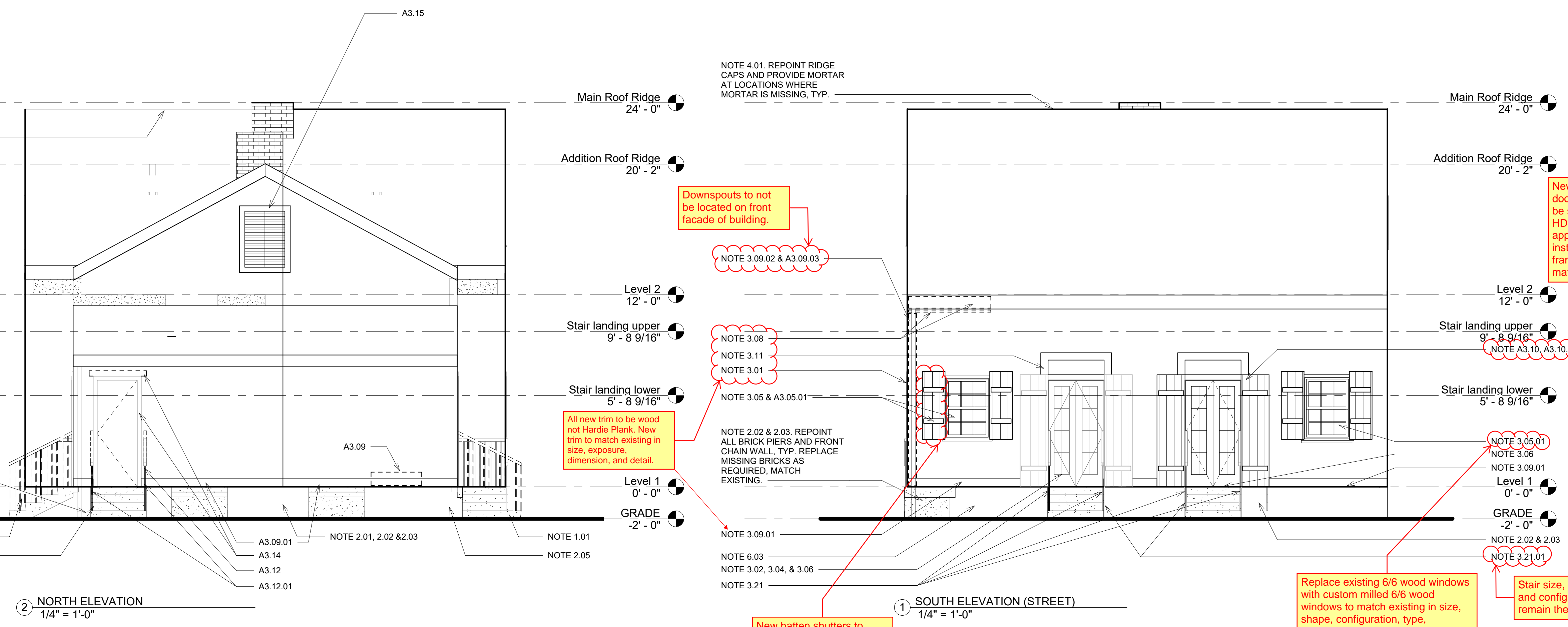
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18001

TITLE:
EXTERIOR
ELEVATIONS

SHEET:

A200



All work completed to match existing.

NOTE 4.01. REPOINT RIDGE CAPS AND PROVIDE MORTAR AT LOCATIONS WHERE MORTAR IS MISSING, TYP.

Re-point existing brick piers with mortar of the same strength and consistency to match existing, as per testing, or using attached mortar formula.

NOTE 2.02 & 2.03. REPOINT ALL BRICK PIERS AND FRONT CHAIN WALL, TYP. REPLACE MISSING BRICKS AS REQUIRED, MATCH EXISTING.

To match existing or HDLC detail at end of drawing set.

NOTE 3.12
NOTE 3.21.01

All new trim to be wood not Hardie Plank. New trim to match existing in size, exposure, dimension, and detail.

NOTE 4.01. REPOINT RIDGE CAPS AND PROVIDE MORTAR AT LOCATIONS WHERE MORTAR IS MISSING, TYP.

Downspouts to not be located on front facade of building.

NOTE 3.09.02 & A3.09.03

NOTE 3.08
NOTE 3.11
NOTE 3.01

NOTE 2.02 & 2.03. REPOINT ALL BRICK PIERS AND FRONT CHAIN WALL, TYP. REPLACE MISSING BRICKS AS REQUIRED, MATCH EXISTING.

NOTE 3.09.01
NOTE 6.03
NOTE 3.02, 3.04, & 3.06
NOTE 3.21

New batten shutters to match existing shutters in size, dimension, and detail. Submit for HDLC review and approval prior to purchase and installation. See HDLC batten shutter detail at end of drawing set.

New 8-lite French door and transom to be submitted for HDLC review and approval prior to installation. New framing and trim to match existing.

NOTE A3.10, A3.10.01-ALT

NOTE 3.05.01
NOTE 3.06
NOTE 3.09.01

NOTE 2.02 & 2.03
NOTE 3.21.01

Stair size, material, and configuration to remain the same.

Replace existing 6/6 wood windows with custom milled 6/6 wood windows to match existing in size, shape, configuration, type, operation, materials, muntin pattern, dimension, profiles, relief, and detailing. Submit for HDLC review and approval prior to purchase and installation. Windows to fit in existing openings with frame and trim to match existing.

② NORTH ELEVATION
1/4" = 1'-0"

① SOUTH ELEVATION (STREET)
1/4" = 1'-0"



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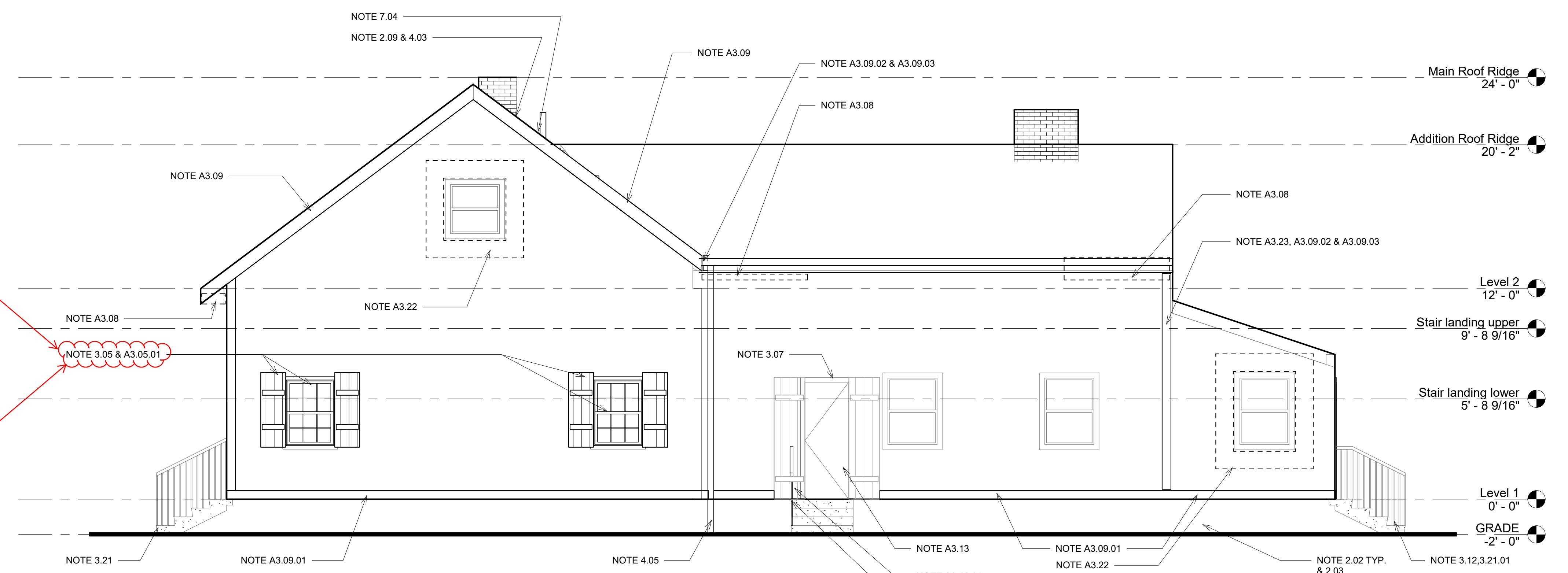
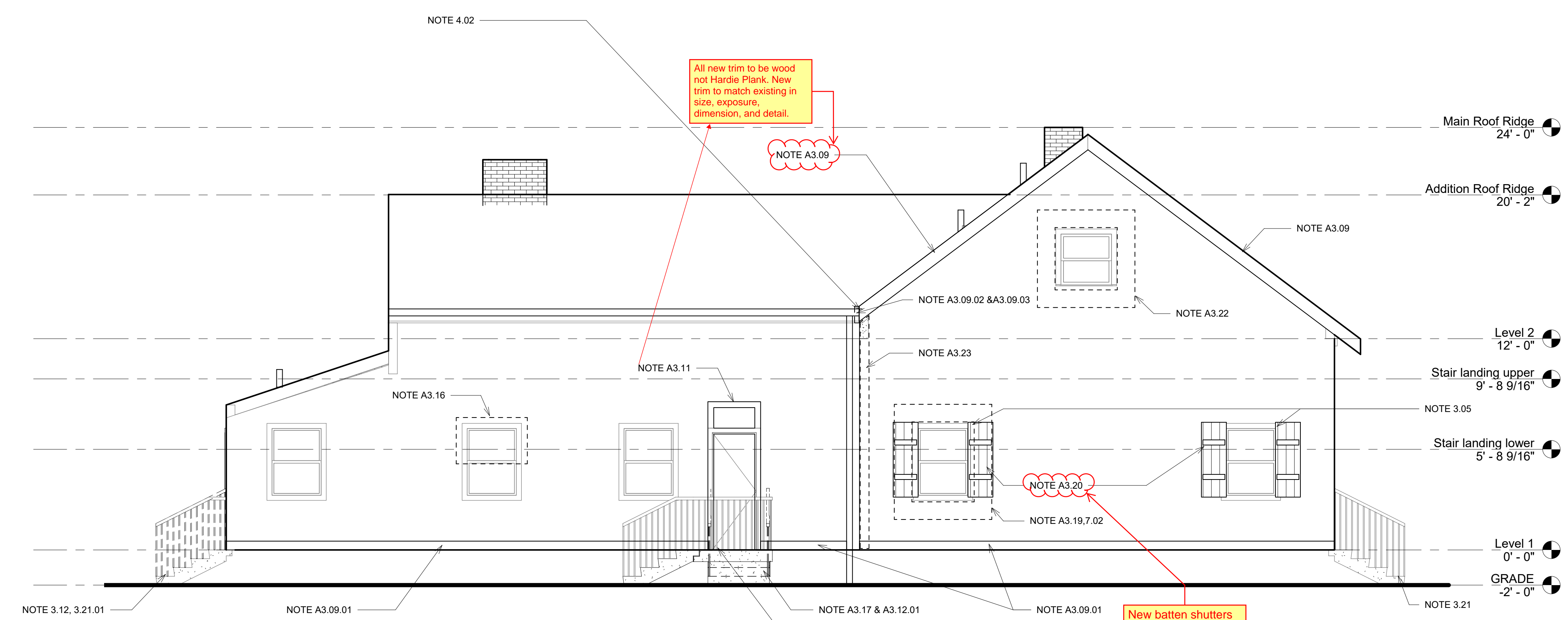
PERMIT SET

18001

TITLE:
EXTERIOR ELEVATIONS

SHEET:

A201



New batten shutters to match existing shutters in size, dimension, and detail. Submit for HDLC review and approval prior to purchase and installation.

Replace existing 6/6 wood windows with custom milled 6/6 wood windows to match existing in size, shape, configuration, type, operation, materials, muntin pattern, dimension, profiles, relief, and detailing. Submit for HDLC review and approval prior to purchase and installation. Windows to fit existing openings with frame and trim to match existing.

All new trim to be wood not Hardie Plank. New trim to match existing in size, exposure, dimension, and detail.

New batten shutters to match existing shutters in size, dimension, and detail. Submit for HDLC review and approval prior to purchase and installation.

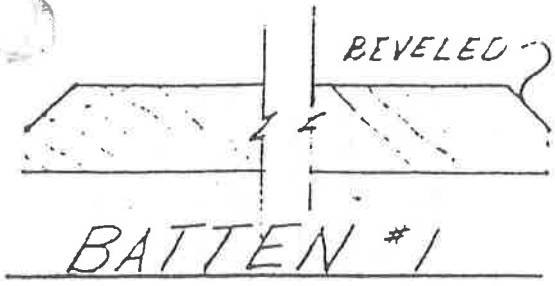
See examples of HDLC pre-approved metal handrails at end of drawing set.

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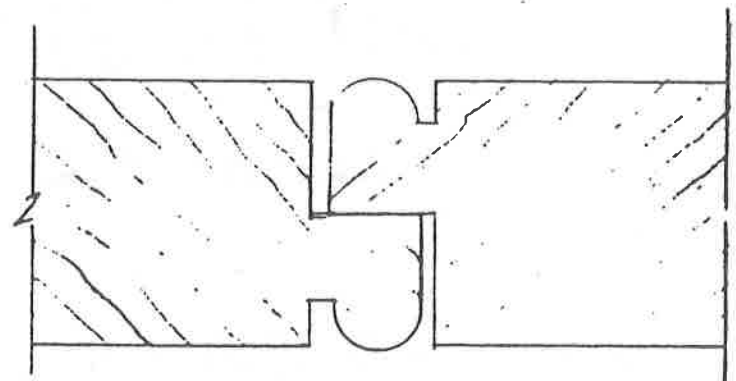
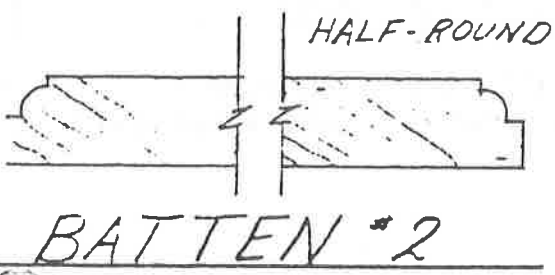
SOLID BLINDS DETAILS

NOTE:

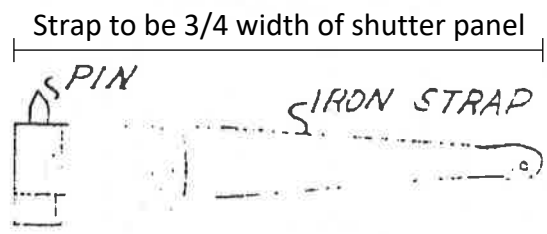
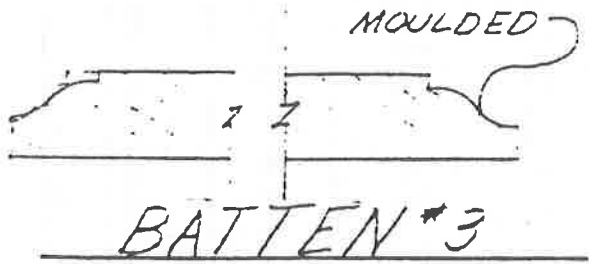
SPACED TO BE 1" MAX FROM EDGE



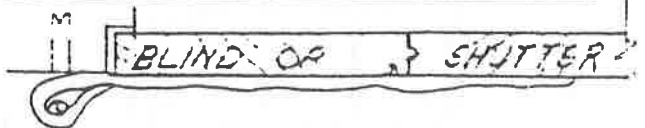
NOTE: BLIND: A SCREEN: A COVER, AS A WINDOW OR DOOR SHUTTER
 SHUTTER: A MOVABLE COVER OR SCREEN FOR A DOOR OR WINDOW: A BLIND.
 BATTEN: A STRIP OF WOOD USED FOR NAILING ACROSS TWO OR MORE OTHER PIECES OF BOARDS.



MEETING STILES OF BLIND
 NOTE: MEETING STILES MAY BE SQUARE EDGE WITH BATTEN STRIP OR ASTRAGAL...



BLIND HINGE



TYPES OF BATTENS HINGE PLAN SCALE: 3=1

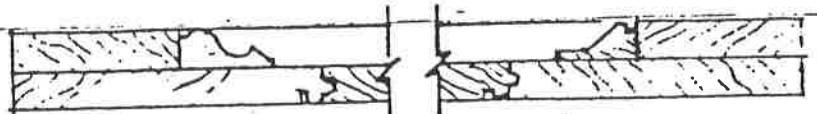
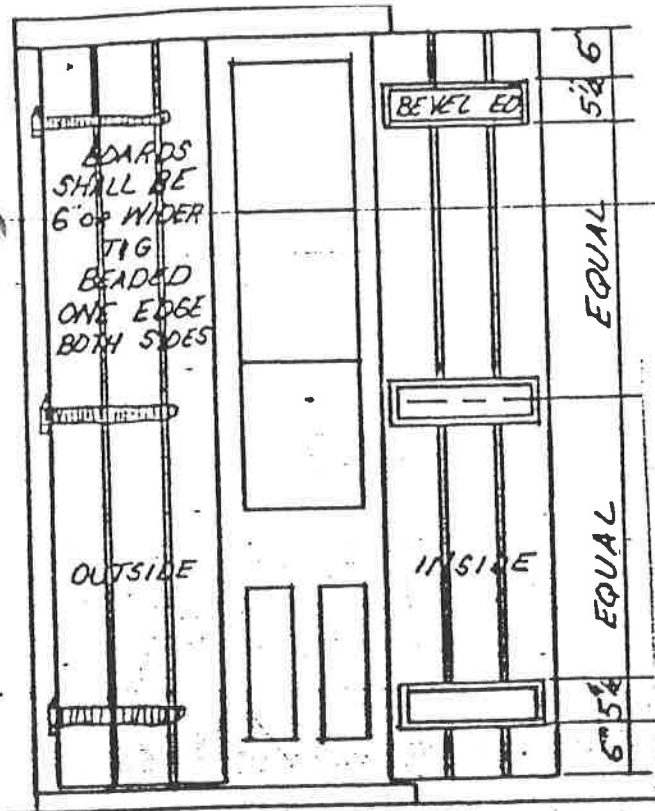
SCALE: 1/2 FULL SIZE



Vieux Carre Commission · Architectural Detail

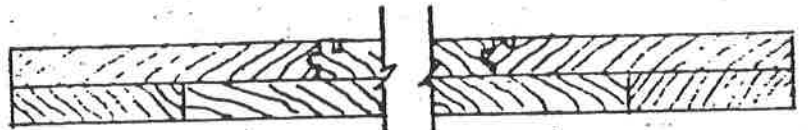
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SOLID BLINDS DETAILS



SECTION 1-1

SCALE: 3" = 1'-0"



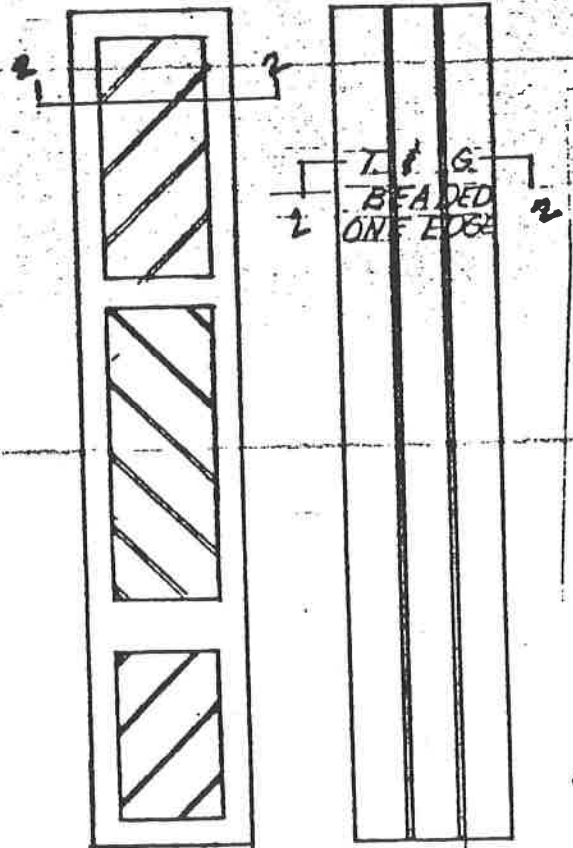
SECTION 2-2

TYPICAL BLIND DOOR ELEVATIONS SCALE: 1/2" = 1'-0"



CLOSED OUTSIDE

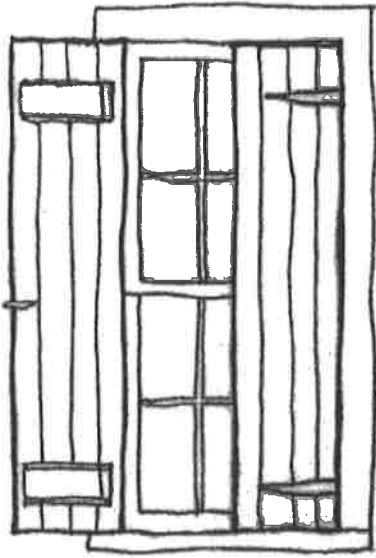
OPEN INSIDE



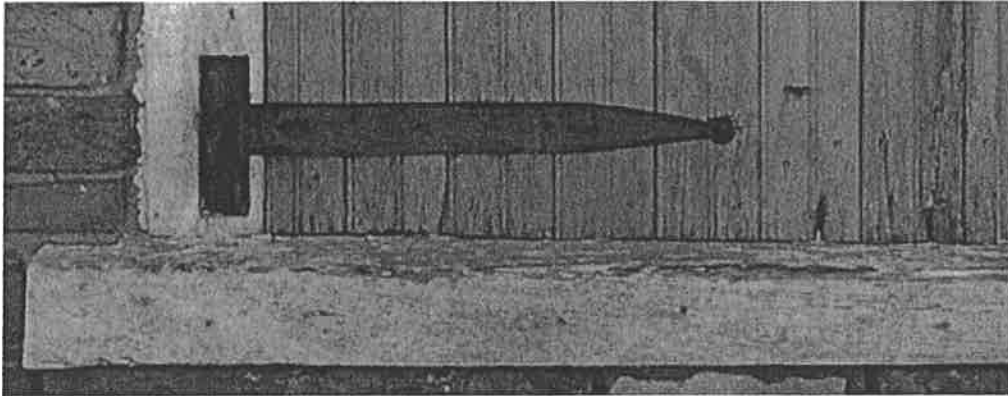
CLOSED INSIDE

CLOSED OUTSIDE



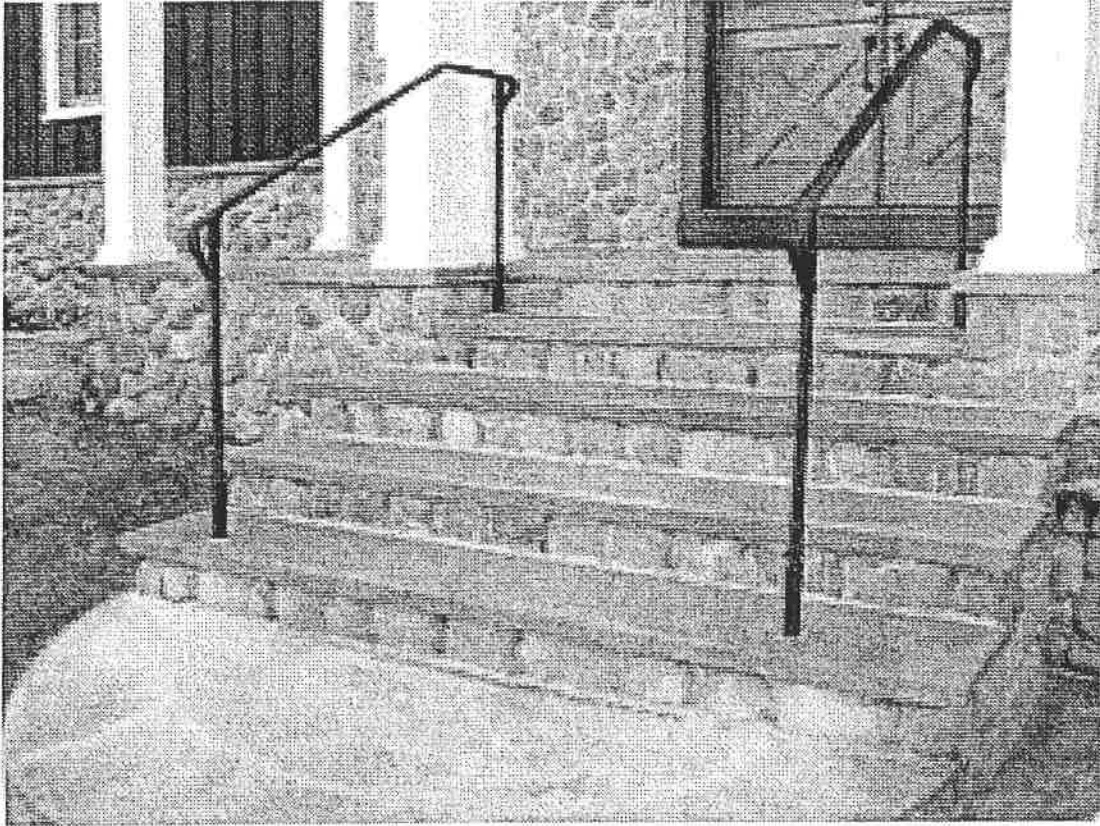


a. Batten Shutter









HDLC + VCC

APPROVED MORTAR FORMULA

MORTAR

- 1 part Portland Cement
- 3 parts lime
- 9 parts sand
- enough water to form a workable mix

STUCCO

base coat - consists of 2 coats for 5/8" total thickness

- 1 part Portland Cement
- 3 parts lime
- 9 parts sand
- 6 lbs./cubic yard hair or fiber
- enough water to form a workable mix

finish coat – 1/4" total thickness

- 1 part Portland Cement
- 3 parts lime
- 9 parts sand
- enough water to form a workable mix

