1451 Second Street New Orleans, LA 70130

Permit Set Issued 07/26/2022





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	ARCHITECT		MARKER BOARD
	AUDIO/VISUAL	MECH	MECHANICAL
	BOTTOM OF		MASONRY OPENING
BD	BOARD	MTD	MOUNTED
BETW	BETWEEN	MTL	METAL
BLDG	BUILDING	MW	MICROWAVE
CG	CORNER GUARD	NIC	NOT IN CONTRACT ON CENTER
CJ	CONTROL JOINT	0.C.	ON CENTER
	CENTER LINE	OPP.	OPPOSITE HAND OWNER-FURNISHED, OWNER-INSTALLED
	CEILING	OFOI	OWNER-FURNISHED, OWNER-INSTALLED
CMU	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
	CONTROL		PAINTED
00110	CASED OPENING CONCRETE		
CONC	CARPET		RETURN AIR GRILL REFLECTED CEILING PLAN
CFI	CONCRETE CARPET CERAMIC TILE DRINKING FOUNTAIN		ROOF DRAIN
		REE	REFRIGERATOR
	DRINKING FOUNTAIN DIAMETER		SCHEDULED
	DOWN		SIMILAR
	DOWNSPOUT		STEEL
	DISHWASHER	S.S.	STAINLESS STEEL
ELEC	ELECTRICAL	STOR	STAINLESS STEEL STORAGE
ELEV	ELEVATION	STRUCT	STRUCTURAL
EQ	EQUAL	TB	TACK BOARD TELEPHONE OR TELECOM
	EXISTING	TELE	TELEPHONE OR TELECOM
EWC	ELECTRIC WATER COOLER	Т.О.	TOP OF
FD	FLOOR DRAIN	TP	TOILET PAPER
FDC	FIRE DEPARTMENT CONNECTION	TS	TUBE STEEL
FE	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET	IYP	
FEC			
	FIRE DEPARTMENT CONNECTION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR		
rLR EQ	FRAME SIZE		VERIFY
	FRAME SIZE FOOT/FEET		VERIFY VERIFY IN FIELD
	GYPSUM		WITH
÷	GYPSUM WALL BOARD		WOOD
	HOSE BIBB		WATER HEATER

Sheet Number	
General	
G001	COVER
G002	INDEX /
2	

DEMOLITION	
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D202	SECON
D203	ATTIC D
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ARCHITECTURE	
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A201	FIRST F
A202	SECONI
A203	ATTIC F
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A602	SECONI
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STRUCTURAL

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S100	FOUND
S101	2ND FL
S102	ATTIC F
S103	ROOF F
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DRAWING INDEX

Sheet Name

R SHEET X / PROJECT INFO.

FLOOR DEMOLITION PLAN ND FLOOR DEMOLITION PLAN DEMOLITION PLAN

LAN FLOOR PLAN ND FLOOR PLAN FLOOR PLAN FLOOR RCP ND FLOOR RCP RCP

CTURAL GENERAL NOTES DATION PLAN LOOR FRAMING PLAN FRAMING PLAN FRAMING PLAN ONS & DETAILS

DRAFTING SYMBOLS
ROOM REFERENCE ? ROOM NAME ? ROOM NUMBER ROOM SQUARE FOOTAGE
A A NEW COLUMN EXISTING COLUMN REFERENCE GRID REFERENCE GRID
SECTION REFERENCE SECTION OR DETAIL NUMBER DIRECTION OF CUTTING PLANE
SHEET NUMBER ON WHICH SECTION OR DETAIL IS DRAWN
BUILDING SECTION REFERENCE DIRECTION OF CUTTING PLANE LONGITUDINAL OR TRANSVERSE BUILDING SECTION NUMBER SHEET NUMBER ON WHICH LONGITUDINAL OF TRANSVERSE BUILDING SECTION IS DRAWN
BUILDING ELEVATION REFERENCE
BUILDING ELEVATION NUMBER
ELEVATION REFERENCE
SHEET NUMBER ON WHICH ELEVATION IS DRAWN INTERIOR ELEVATION NUMBER
DETAIL REFERENCE
DETAIL REFERENCE
AREA OF DETAIL
SHEET NUMBER ON WHICH ENLARGED DETAIL IS DRAWN
PROJECT INFORMATION: SINGLE FAMILY RESIDENCE (EXISTING) GARDEN DISTRICT HISTORIC DISTRICT HU-RD1 HISTORIC URBAN TWO-FAMILY RESIDENTIAL DI PROPOSAL FOR MINOR / STRUCTURAL RENOVATION (< 4722 SF BUILDING AREA 6804 SF LAND AREA
MATERIAL DESIGNATIONS
WOOD CONCRETE MASONRY UNITS
ALUMINUM GLASS

CONCRETE

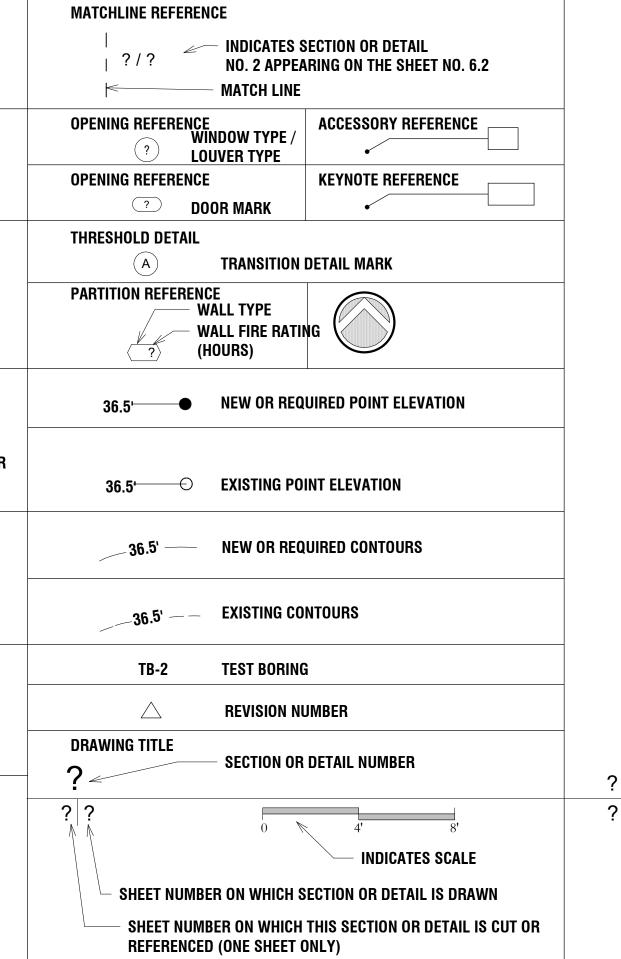


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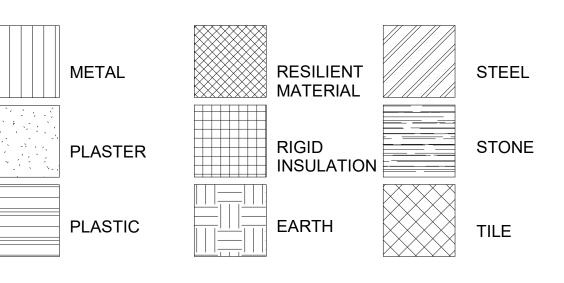
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DISTRICT <50% PROPERTY VALUE)

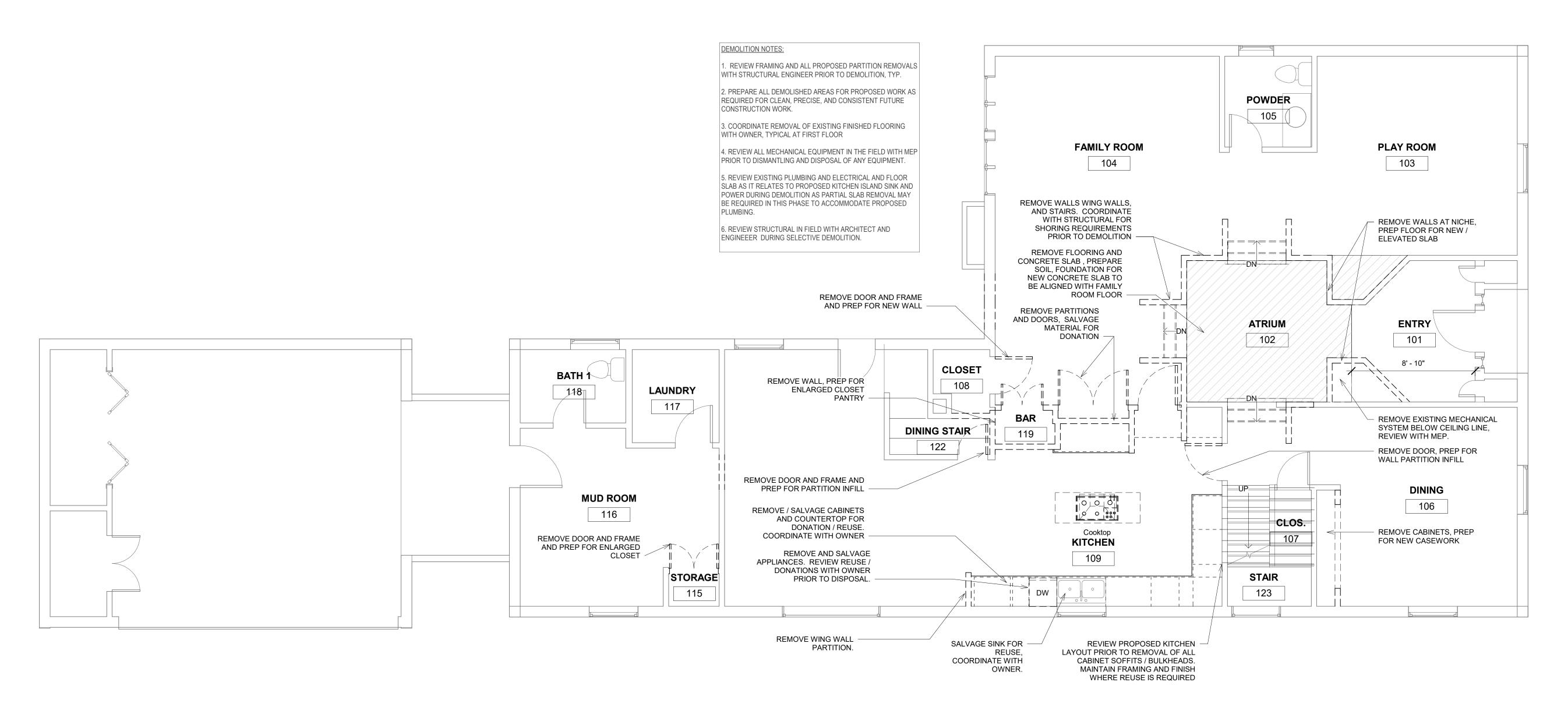




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G002



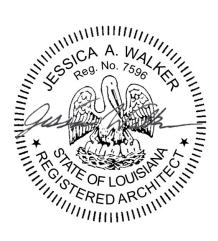
1 FIRST FLOOR DEMOLITION PLAN 1/4" = 1'-0"



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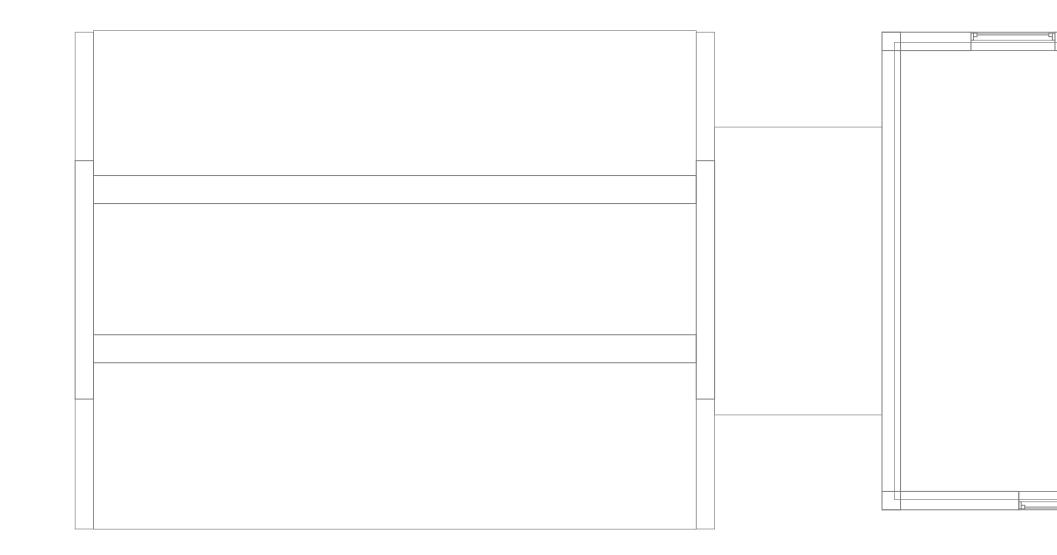
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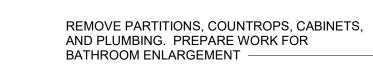
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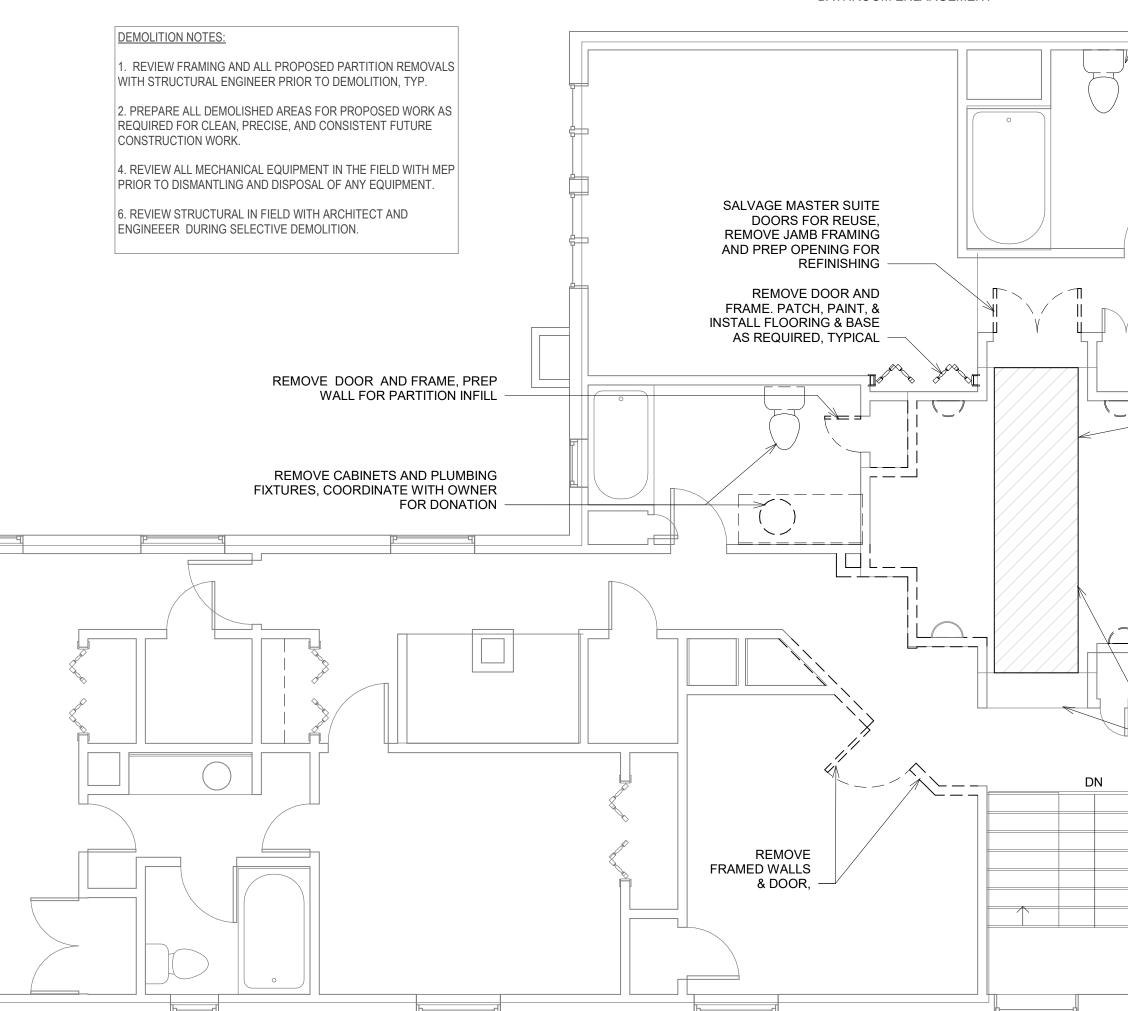
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D201







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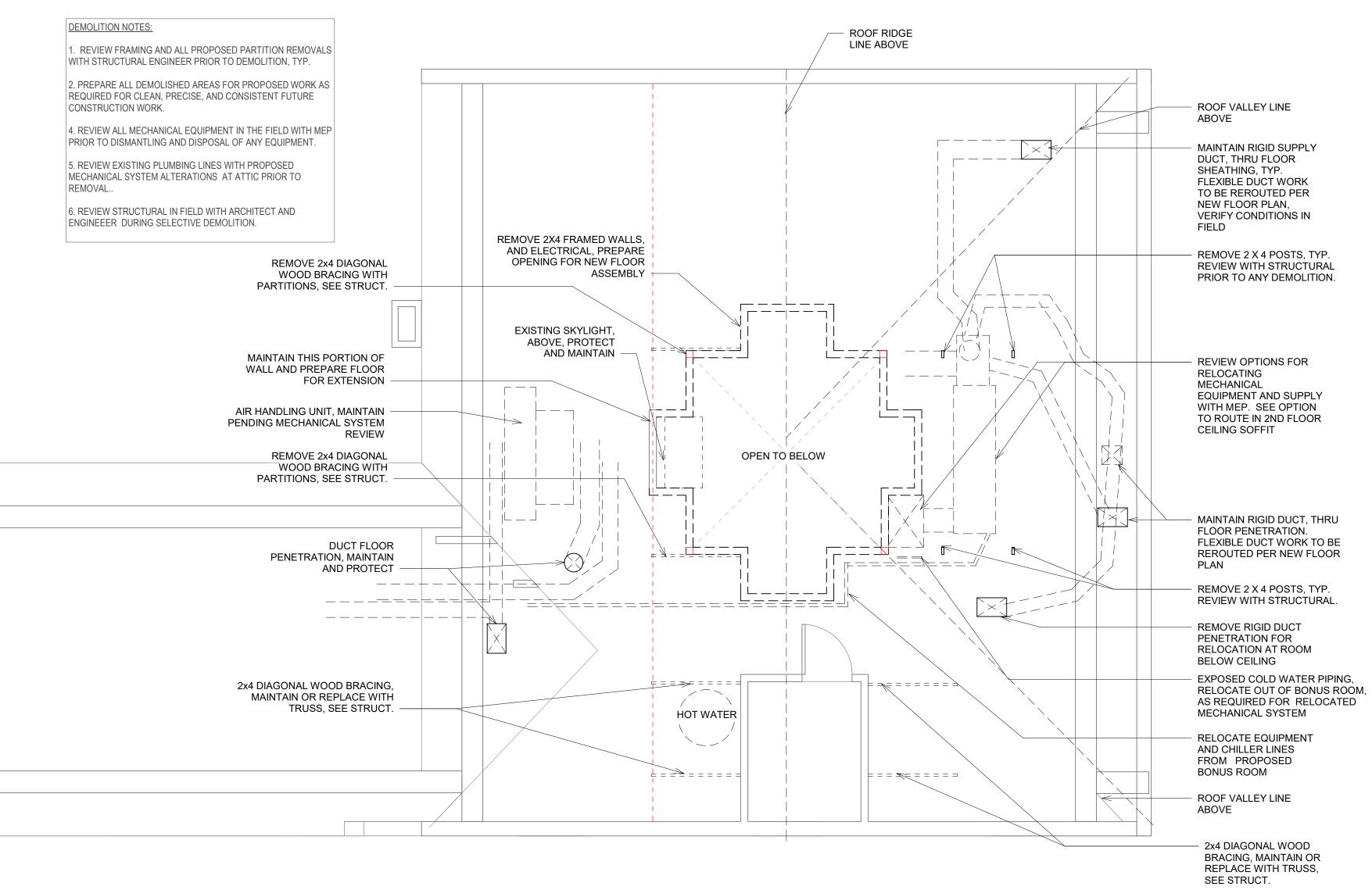


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D202





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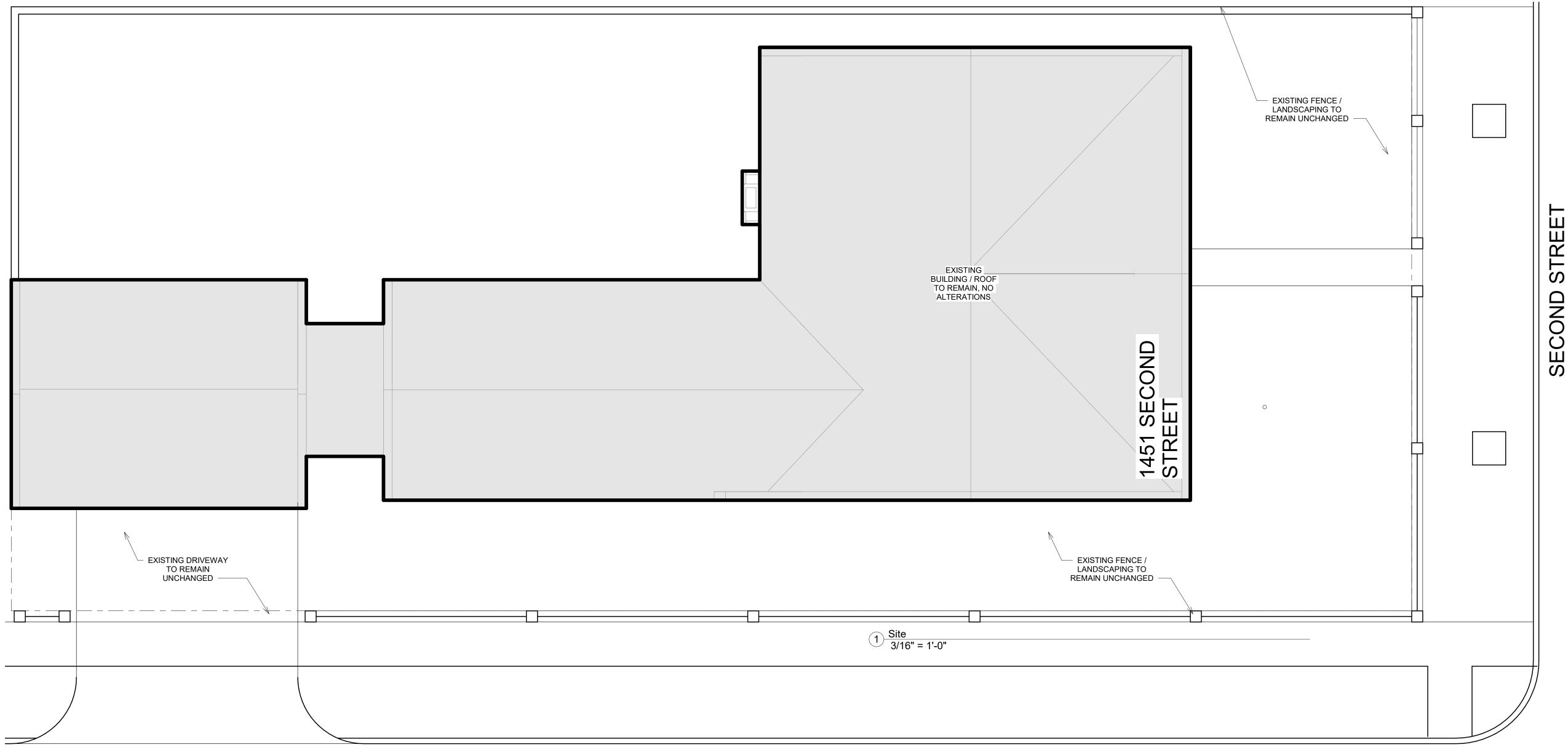
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PRYTANIA STREET

<u>GENERAL NOTES:</u>

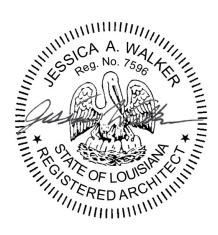
1. NO PROPOSED SITE ALTERATIONS 2. NO PROPOSED EXTERIOR ALTERATIONS



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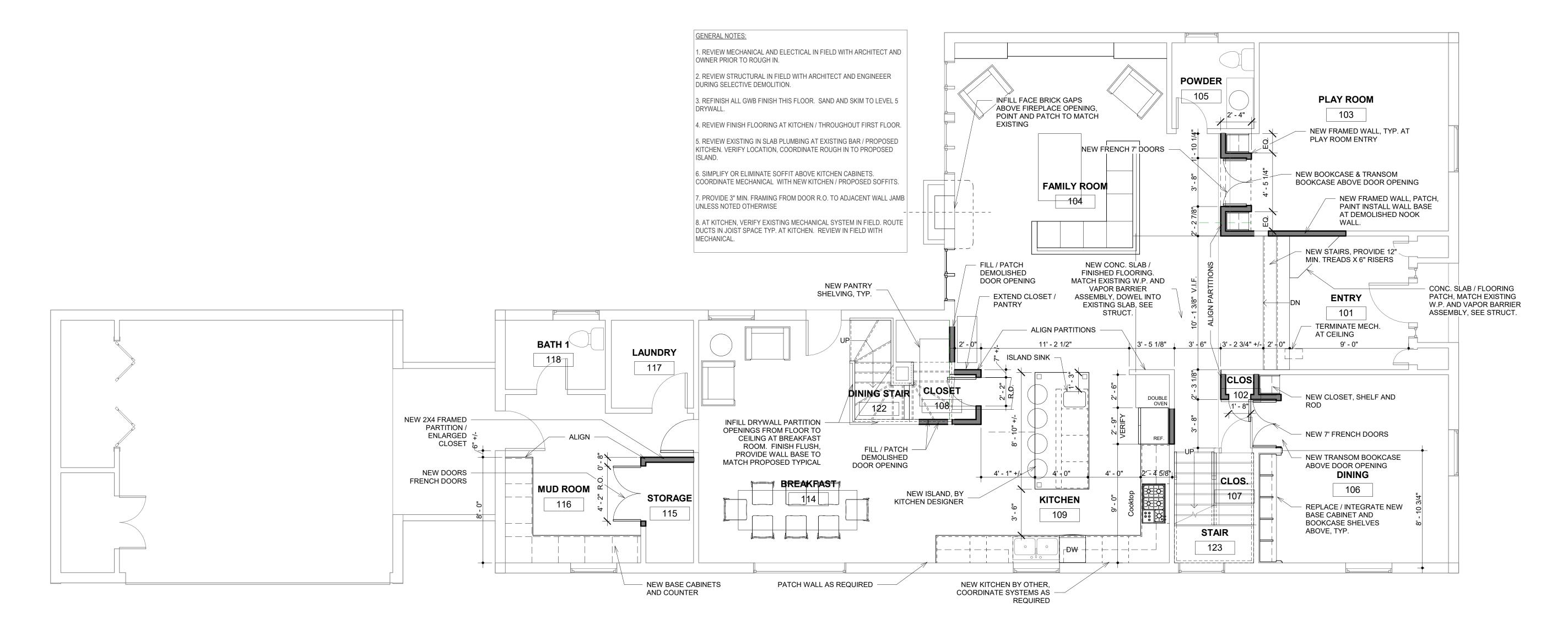


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SITE PLAN

A101



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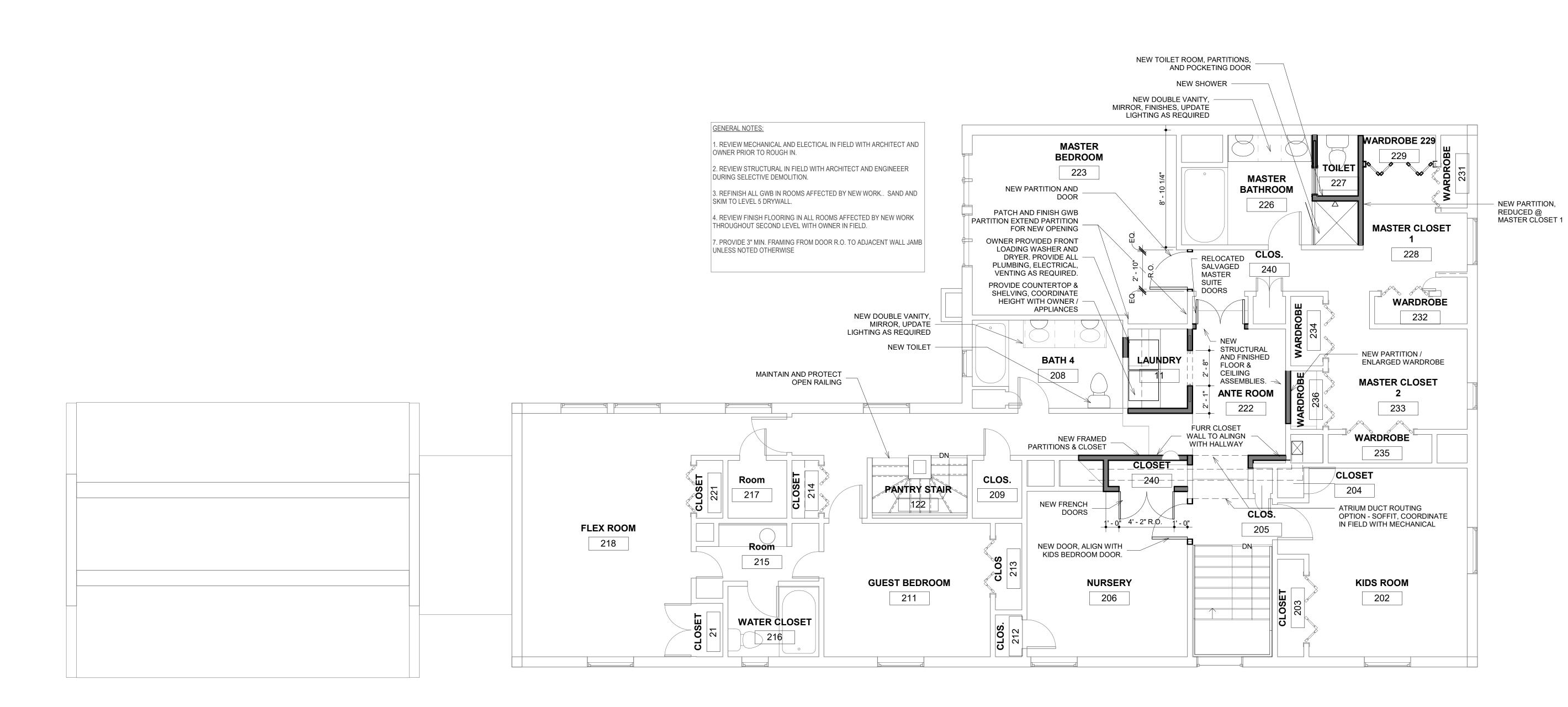
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FIRST FLOOR PLAN





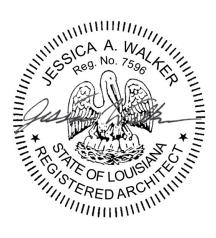
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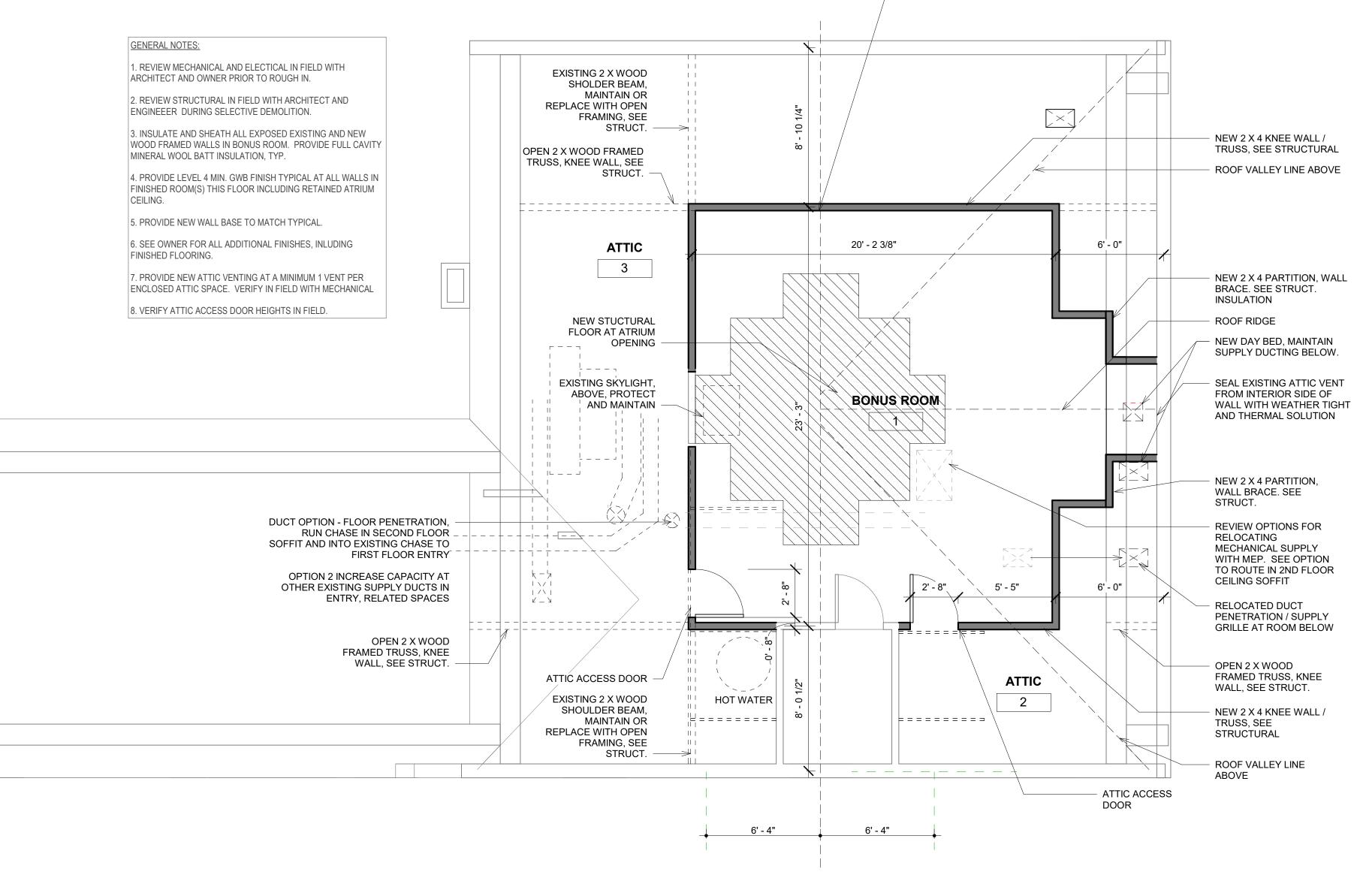
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1 <u>ATTIC FLOOR PLAN</u> 1/4" = 1'-0" workshop WDXL llc

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- ROOF RIDGE LINE ABOVE

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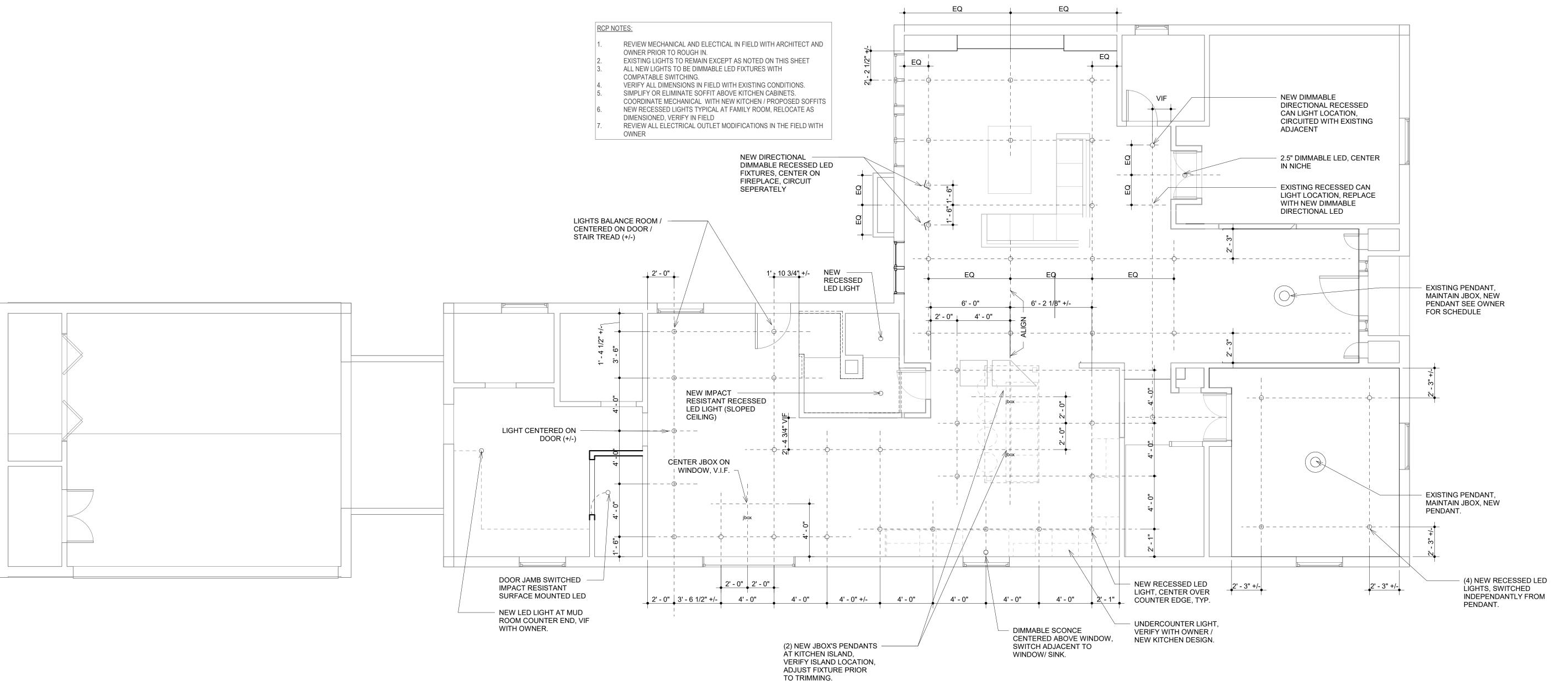
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ATTIC FLOOR PLAN





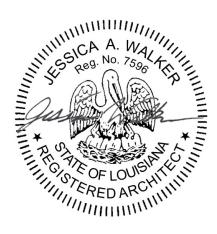
1) FIRST FLOOR R.C.P. 1/4" = 1'-0"



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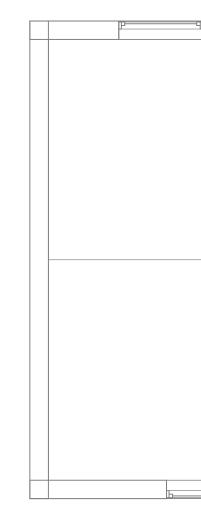
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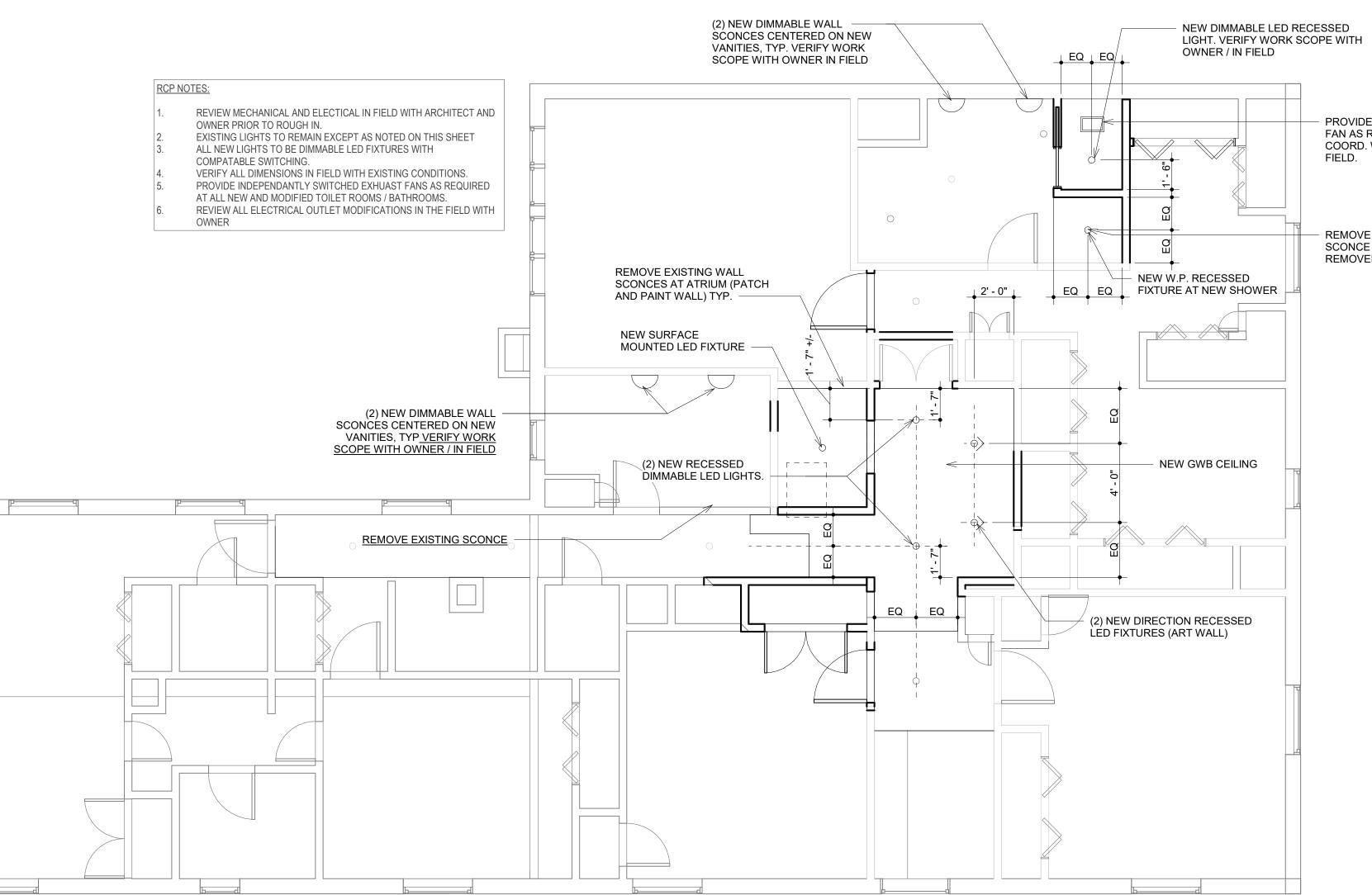
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FIRST FLOOR RCP





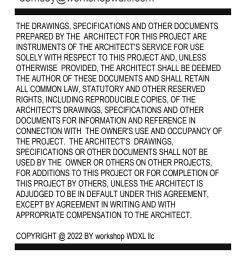


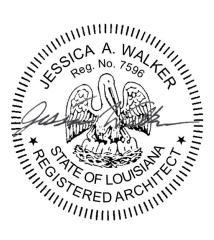
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 PROVIDE EXHAUST FAN AS REQUIRED, COORD. WITH MEP IN FIELD.

REMOVE EXISTING SCONCE VANITY AT REMOVED VANITY





1 SECOND FLOOR RCP NEW 1/4" = 1'-0"



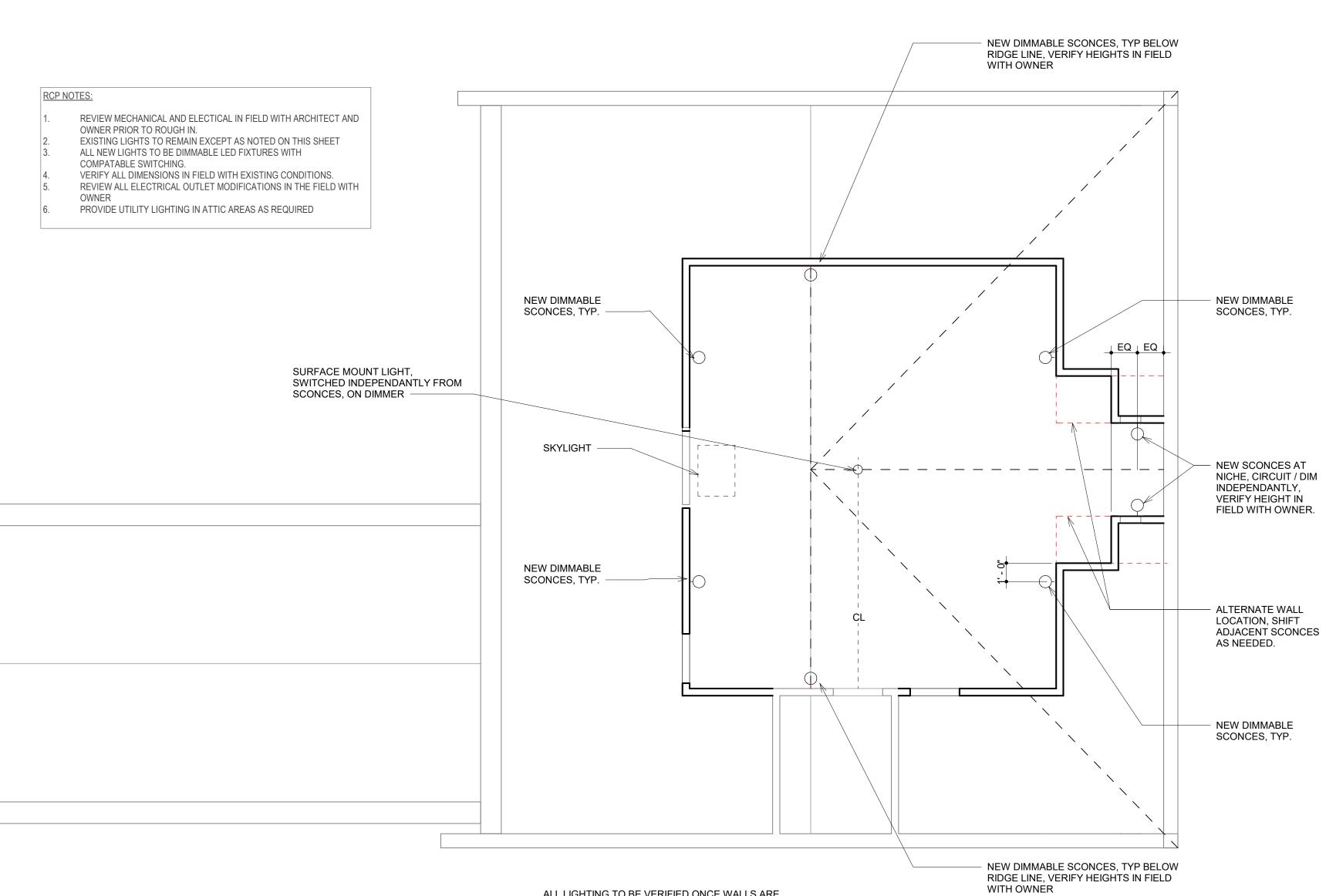
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SECOND FLOOR RCP

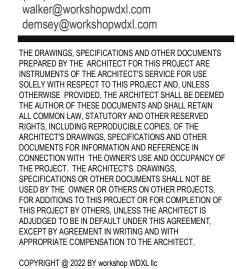






ALL LIGHTING TO BE VERIFIED ONCE WALLS ARE IN PLACE BASED ON CEILING HEIGHTS AND WALL HEIGHTS, AND INTENDED ROOM USAGE

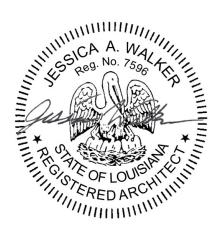
> 1 <u>ATTIC RCP</u> 1/4" = 1'-0"



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ATTIC RCP



GENERAL STRUCTURAL NOTES

GENERAL

- The contractor shall ensure that no construction load exceeds the design live loads indicated on the structural drawings and that these loads are not put on the structural members prior to the time that all framing members and their connections are in place.
- The contractor shall be responsible for the design, placement, maintenance, etc. of any and all shoring, bracing, tie backs, etc. needed to support any part of the new or existing construction during the entire construction process to ensure the safety and integrity of the structure until the necessary permanent elements are in place.
- See architectural and electrical drawings for exact location of all depressions, slopes, openings, penetrations, etc. Penetrations not shown on the structural drawings shall be brought to the attention of the structural engineer.
- Dimensions Use written dimensions only. Do not scale from this drawing. The structural drawings shall govern the work for all structural features, unless noted otherwise. The architectural drawings shall
- govern the work for all dimensions. Structural drawings are intended to be used with architectural, mechanical, and electrical drawings. See these drawings for exact location of all depressions, slopes, openings, penetrations, etc. Penetrations not shown on the structural drawings shall be brought to the attention of the structural engineer. Contractor is responsible for coordinating such requirements into their shop drawings and work
- No change in size or dimension of structural members shall be made without the written approval of the professional of record.
- Weights of mechanical equipment shown on the structural plans are for units specified by the Mechanical Engineer. Contractor shall verify weights and any substitutions that result in increased weight shall be approved by the Structural Engineer of Record. Omissions & Conflicts - Omissions or conflicts between various elements of the construction documents should be brought to the
- attention of the design team. 10. Work not indicated on a part of the drawings but reasonably implied to be similar to that shown at corresponding places shall be
- repeated.
- 11. In case of conflict between the General Notes and Specifications and details, the most stringent requirements shall govern. 12. Existing Conditions - The Contractor shall verify the existing conditions and dimensions in the field prior to fabrication/erection. The Contractor shall report any discrepancies between the drawings and the actual existing conditions and dimensions to the Engineer.
 - If the existing field conditions do not permit the installation of the work in accordance with the details shown, the Contractor shall notify the Architect/Engineer immediately and provide a sketch of the condition with his proposed modification of the details given on the Contract Documents. Do not commence work until condition is resolved and modification is approved by the Architect.
 - Verify the location of all existing utilities before commencing any work. Any interference shall be brought to the attention of the Structural Engineer.
 - Where alterations involve the existing supporting structure, the Contractor shall provide shoring and protection required to ensure the structural integrity of the existing structure.
 - With the exception of defects discovered by us or pointed out to us by others to date, our design and the work shown here assumes that the existing structural elements are sound and capable of supporting loads to their full, theoretical, code-allowed capacities. EOR is not responsible for any additional costs, damages, or injuries resulting from discovery or failure of any element that is found to be damaged, deteriorated, or otherwise structurally impaired.
- 13. If any items herein are not understandable or clear as to intent, the contractor must notify the Engineer of Record for clarification and/or supplemental information prior to actual installation.
- 14. The contractor shall inform the professional of record in writing of any deviation from the contract documents. The contractor shall not be relieved of the responsibility of such deviation by the professional of record review of shop drawings, product data, etc., unless the contractor has specifically informed the professional of record of such deviation at the time of submission, and the professional of record has given written approval to the specific deviation.
- All materials shall be stored to protect them from exposure to the elements.
- 16. All columns shall be centered on grid lines unless noted otherwise.
- 17. All column footings and pile caps shall be centered on columns unless noted otherwise.

DESIGN BASIS

- Applicable Codes and Standards
- International Building Code 2015
- Design Live Loads
- Roof 20 psf
- 2. Decks 60 psf
- Living Floors 40 psf
- 4. Assembly Areas 100 psf
- Deflection Limitations
- Floor Members

11001	Wiennberg	
a.	Live	L/360
b.	Dead + Live	L/240
Roof	Member	
a.	Roof Live	L/240

D + Roof Live L/180 b.

- Corner bars shall be provided for all horizontal reinforcing bars at the intersections and corners of all strip footings, beams, and walls unless noted otherwise. Corner bars shall be of the same size and grade as the horizontal reinforcing they connect. See Typical Details for more information.
- Typical minimum concrete protective covering for reinforcement shall be 1-1/2"; minimum cover shall be 2" on surfaces in contact with the earth and 3" at earth-formed surfaces. All welded wire fabric shall conform to ASTM A-185 and shall be lapped a minimum of (2) wire spaces.
- Bonding agent shall be used where new concrete is placed against existing concrete. 10. Chamfer all exposed concrete corners unless noted otherwise on Architectural Drawings.

III. MATERIALS

A. CONCRETE

- Concrete shall be designed and detailed in accordance with the Building Code Requirements for Structural Concrete (ACI 318
- latest edition), and constructed in accordance with the CRSI Manual of Standard Practice and ACI 301.
- All concrete shall be normal weight and have a minimum 28-day compressive strength of 4,000 psi unless noted otherwise on the drawings.
- Submit to Architect/Engineer reinforcing steel shop drawings for approval and mix designs for review prior to placing any concrete.
- Unless noted otherwise, bar laps shall be Class B tension laps and shall be lapped with minimum lengths as listed in the schedule, where splices are required in reinforcing.
- Provide minimum mil vapor barrier per Specifications below all concrete at grade level. Vapor barrier shall be continuous with 12" 8. lap to accommodate pouring direction. Barrier shall only be cut at pile locations.
- 11. Where existing concrete at the first floor level is removed to install new utilities, etc., the contractor shall notify the structural engineer of the location and extent of any such removal prior to performing the work. Where possible, existing reinforcement shall not be cut, bent, or damaged. Whenever reinforcement is cut, damaged or bent, it shall be brought to the attention of the structural engineer and repaired or replaced as directed.
- 12. EOR shall perform periodic, visual inspection of the concrete reinforcement placement prior to pouring.
- 13. Visual inspection by the EOR does not guarantee the Contractor's work or alleviate the Contractor from final responsibility to place reinforcement and concrete in accordance with the Contract Drawings and Specifications.
- 14. As part of the submittal process, the Electrical and Mechanical Contractor(s) shall submit a proposed routing plan for all pipes, conduits, or other devices to be embedded in the concrete. The submittal shall show specific sizes and locations of all proposed embed items referencing proximity to beam, column, and slab edges.
- 15. See Specifications for additional information.
- SOIL-SUPPORTED FOUNDATIONS
- a. Foundation design is based on an allowable soil bearing capacity of 750 psf.
- All soil preparation shall be in accordance with the recommendations given in the referenced Geotechnical Report, as applicable. c. Strip area of all gravel, surface vegetation, topsoil, and any debris. Remove all existing structures, foundations, and below grade site features.
- Place footings on undisturbed soil or engineered fill. Notify the Engineer if "soft spots", underground obstructions, or any unusual d. condition is encountered during stripping, excavation or filling.
- Where fill material is required over in-situ sub grade, scarify sub grade to a minimum depth of 6" and adjust moisture content to equal optimum moisture content, or as required by geotechnical report. Compact scarified sub grade using the same requirements listed below for compacted structural fill, as applicable.
- Structural fill is defined by the Specifications.
- Sheeting, shoring, and associated excavation shall be performed in accordance with OSHA guidelines and is the Contractor's responsibility.
- h. See Specifications for additional information.
- C. STRUCTURAL STEEL FRAMING
 - Fabrication and erection of structural steel shall conform to "The Manual of Steel Construction", Fourteenth Edition, American Institute of Steel Construction (AISC) including Specifications for Structural Steel Buildings, Specification for Structural Joints Using ASTM A325 or A490 Bolts, and AISC Code of Standard Practice.
 - All welding shall be performed by certified welders and shall conform to "AWS D1.1/D1.1M Structural Welding Code Steel", American Welding Society (AWS), latest edition.
 - All high-strength bolts shall be manufactured, installed, and field tested in accordance with the "Specification for Structural Joints using High Strength Bolts", RSCS, latest edition.
 - All steel in contact with weather or exterior masonry shall be galvanized unless noted otherwise. The includes steel angle, plates, and lintels along with their respective bolts and washers:
 - a. Structural shapes and rods ASTM A123
 - ASTM A153 b. Bolts, fasteners and hardware
 - All column base plates and anchor rods shall be hot-dipped galvanized per ASTM A123 and A153.
 - Anchor rods shall conform to ASTM F1554, unless noted otherwise.
 - Anchor bolts shall be headed with a nut and washer at the lower end.
 - Unless noted otherwise, all cap and base plates shall be welded to the columns continuously all around with a 1/4" fillet weld.

D. WOOD FRAMING

- - Openings less than 4'-0"...... a.
 - Openings 4'-0" to 6'-0".....

- construction. Blocking shall remain.
- shall remain.

- staggered every four feet or less.

- produced by the TrusJoist Company.

- E. ADHESIVE ANCHORS AND DOWELS

 - 4.

All wood framing fabrication and erection shall conform to the "National Design Specification (NDS) for Wood Construction" by the AFPA, the Plywood Design Specification by the APA, and the "Timber Construction Manual" as adopted by the American Institute of Timber Construction, including the AITC 106 "Code of Standard Practice" and ANSI/AITC A190.1 "American National Standard, Structural Glued Laminated Timber" by American Institute of Timber Construction.

See ICC International Building Code for minimum bracing and fastening requirements. Provide nailing patterns in compliance with IBC recommended fastening schedule.

All lumber or plywood in contact with masonry or exposed to earth or weather, including sill plates, shall be pressure treated with with CCA or MCQ to a minimum retention of 0.40 pcf in accordance with AWPA Standard U1. ACQ treatment will not be allowed. A. This shall include raised floor framing joists, raised first floor plywood subfloor, all exterior plywood, rafter tails, & sills.

4. Framing Lumber - Southern Yellow Pine grade marked and kiln dried, S4S, No. 2, maximum moisture content 19%. All member piece ends, joints, or splices shall be over supports unless noted otherwise.

See Specifications for fastening pattern for joining multiple pieces of lumber or engineered wood.

All openings in exterior wood-framed walls shall have the following minimum number of jack & king studs at each jamb:

.....2 jack studs, 1 king stud

...3 jack studs, 2 king studs Openings 6'-0" to 10'-0"......4 jack studs, 2 king studs

Openings larger than 10'-0"....See Plan or consult Struct. Eng.

Unless shown otherwise all openings in wall shall have headers consisting of a minimum of two 2x12s.

Members shall be set with crown up and have a minimum of 3 inches bearing.

Splice double sole plates directly over stud. Stagger splice of each plate.

10. Provide solid wood blocking or diagonal bridging for dimensioned lumber floor joists at intervals not exceeding 8'-0" o.c. max during

11. All load-bearing dimensional lumber walls shall have solid blocking at a maximum interval of 4ft o.c. during construction. Blocking

12. All plywood sheathing shall comply with APA and have exterior glue.

13. Plywood Floor Sheathing - APA rated 48/24, 23/32" (3/4" nominal) thick. Nail with 12d nails spaced at 6" o.c. at panel ends and 12" o.c. at intermediate supports. The use of staples will not be allowed

14. Plywood Roof Sheathing - APA rated 32/16, 19/32" (5/8" nominal) thick. Nail with 8d ring shank or 10d nails spaced at 6" o.c. at panel edges and 12" o.c. at intermediate supports. The use of staples will not be allowed. Vertical joints of plywood roof sheathing shall be

15. Plywood Wall Sheathing - Wall sheathing shall be APA rated 32/16 sheathing, 15/32" (1/2" nominal) thick. Provide plywood sheathing on all the exterior walls to brace the structure for wind loads. Unless shown otherwise all plywood sheathing shall be fastened with 8d ring shank nails (.131" min. diameter) or #10 screws (.19" nominal diameter) spaced at 6" o.c. maximum along supporting members on the interior or each sheet and spaced at 4" o.c. maximum along supporting members at the edges of each sheet. All plywood wall sheathing shall have solid blocking at all horizontal joints.

16. OSB will not be accepted as a substitution for plywood without approval by the EOR.

17. LVL Members - All members designated as "LVL" shall be laminated veneer lumber having properties and strength equal to Trus Joist "Microllam" with a minimum designated modulus of elasticity of 2000 ksi (2.0E) for all headers and beams. LVL members shall be glued and nailed together following the manufacturer's instructions.

18. PSL Members - All members designated as "PSL" or "PSL Plus" shall be parallel strand lumber having properties and strength equal to Trus Joist "Parallam" with a minimum designated modulus of elasticity of 2000 ksi (2.0E) for all headers and beams. Members exposed to weather shall be "Parallam Plus" members with a minimum Service Level II pressure treatment by the manufacturer. 19. TJI Members - All members designated as "TJI" shall be I-shaped joist members having properties and strength equal to those

20. Trimjost Members - All members designated as "Trimjoist" shall be open-web truss members having properties and strength equal to

those produced by the Trimjoist Company. If alternative company is requested, stamped shop drawings shall be provided by the Contractor with request for approval.

21. See Specifications for additional information.

1. Substitution of expansion or adhesive anchors for embedded anchors shall not be permitted unless specifically approved in writing by the Structural Engineer of Record prior to pouring the concrete containing the anchors.

Unless noted otherwise, Hitli HIT-HY 270 epoxy system shall be used for an adhesive anchor in brick and concrete masonry. Unless noted otherwise, Hilti HIT-HY 200 epoxy system shall be used for an adhesive anchors or dowels in concrete.

Where base material is hollow block brick or other material containing pockets or voids, a screen tube, per manufacturer's

recommendations, shall be employed in the system.

5. The spacing, minimum embedment, and installation of the anchors shall be in accordance with the manufacturer's recommended procedures and in accordance with the plans.

Follow manufacturer's requirements for minimum depth of base material, minimum edge distances, and minimum bolt/bar spacing.

BATTURE engineers + land survey REBET ST. NEW OBLEANS, LA $(\mathbf{0})$ Ο Õ 70 \triangleleft ANS, Ш m Ο S Ш $\overline{}$ Ζ DRAWN BY: PNA CHECKED BY: HAA DATE 7/26/2022 ISSUE: PERMIT

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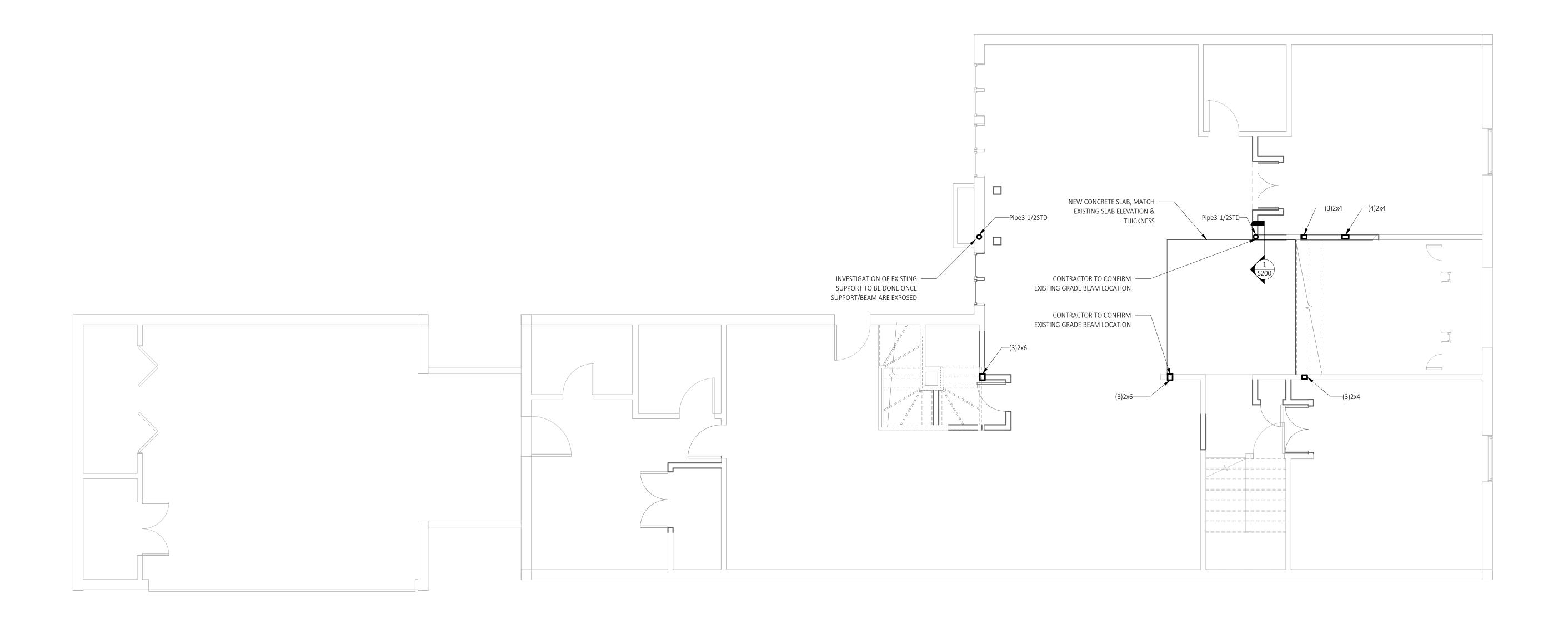
GENERAL NOTES

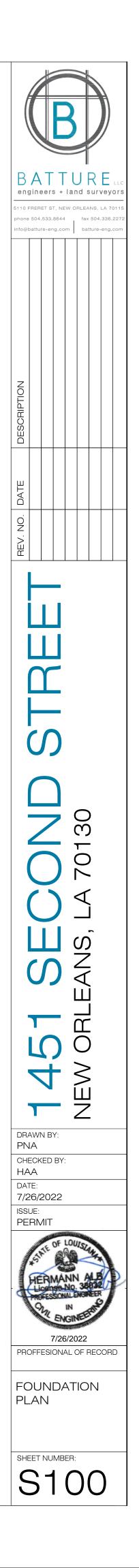
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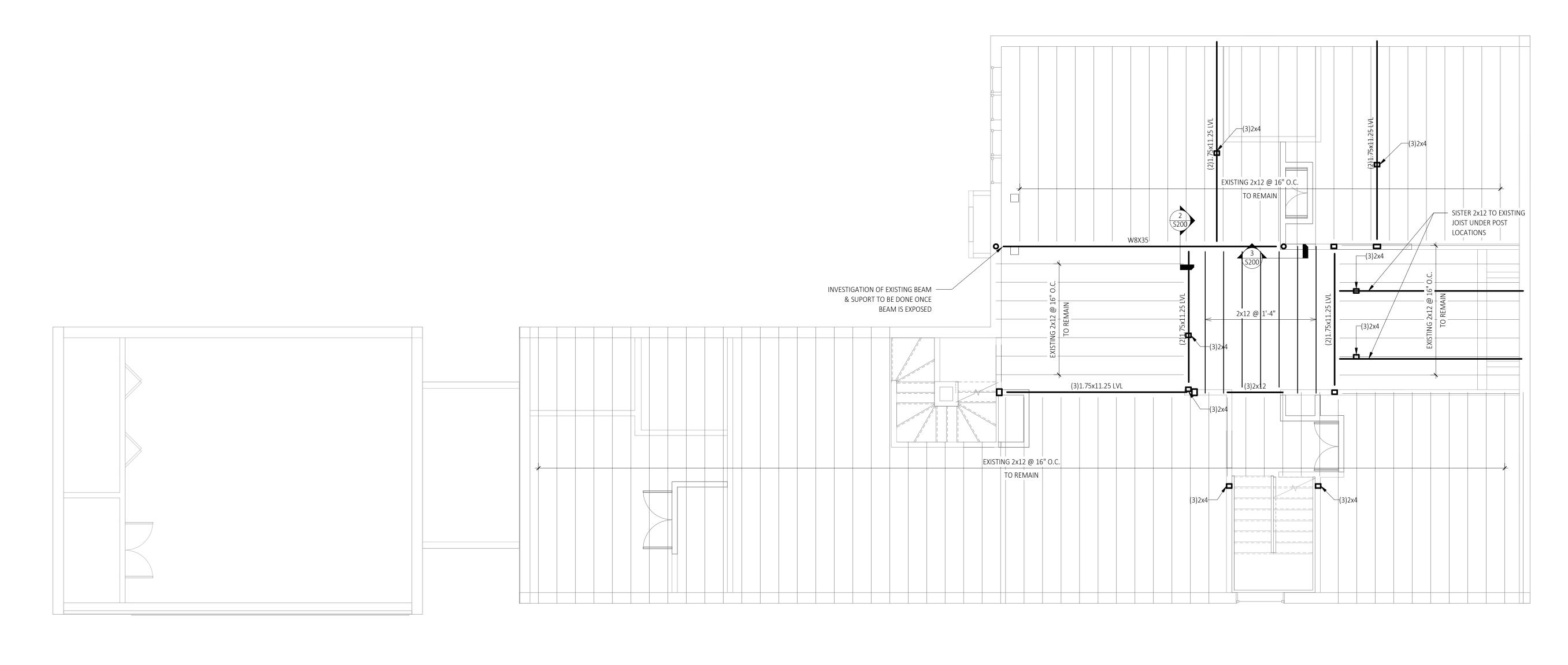








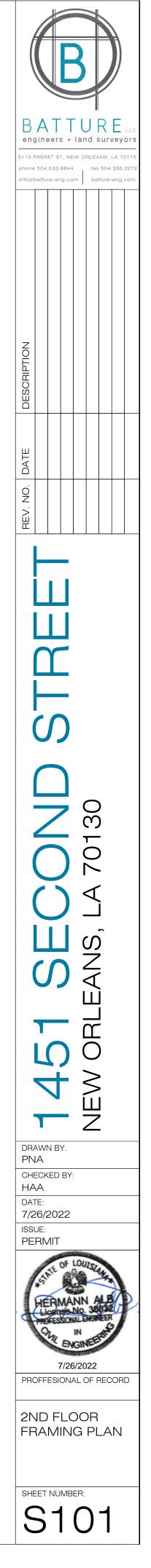






1 SECOND FLOOR FRAMING PLAN

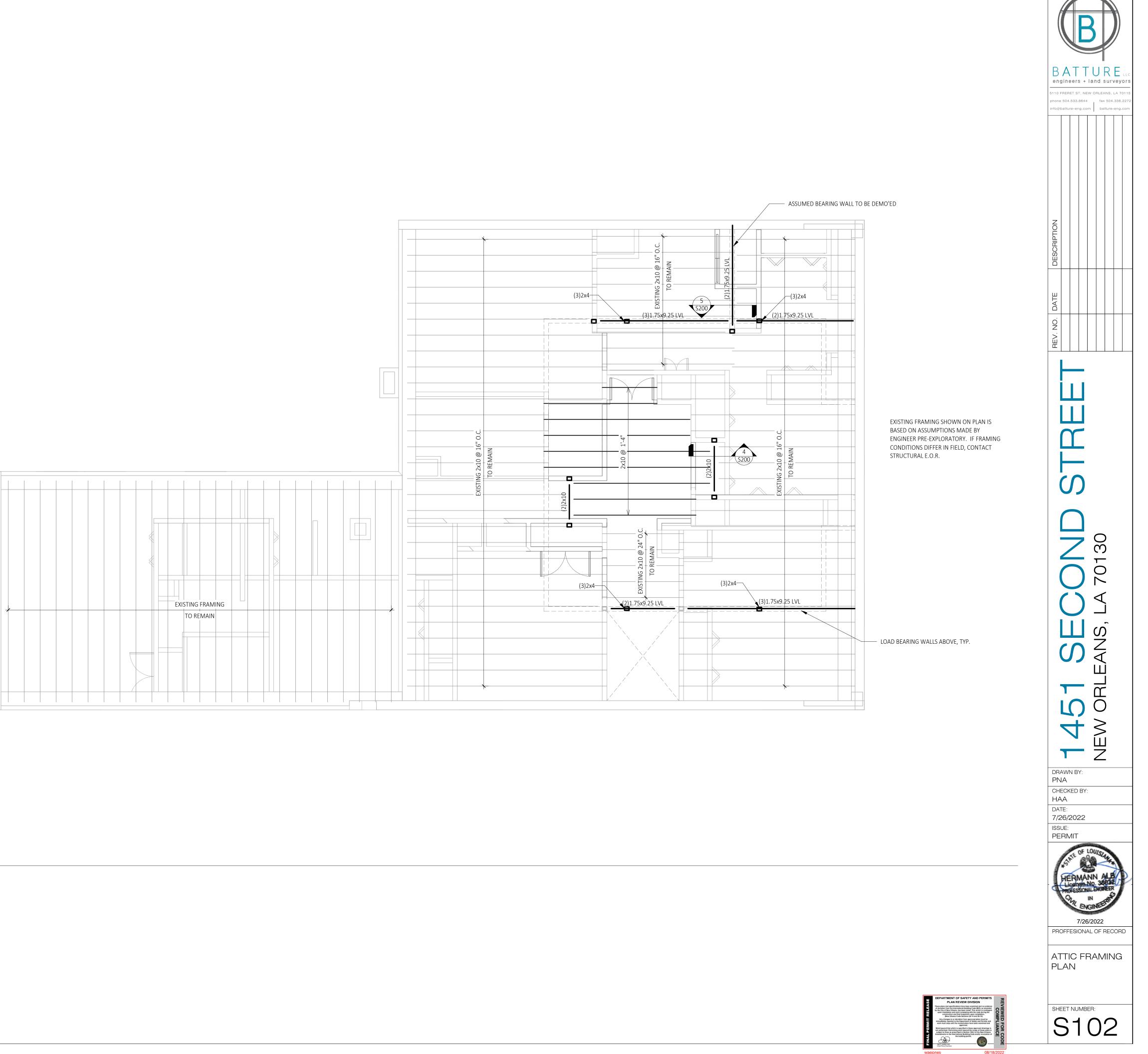
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DEPARTMENT OF SAFETY AND PERMIT Any changes to or deviation from approved plans r nediately reported to the Department of Safety and i ork must stop until the revised plans have been exa Address of the second s _ waejones 08/18/2022

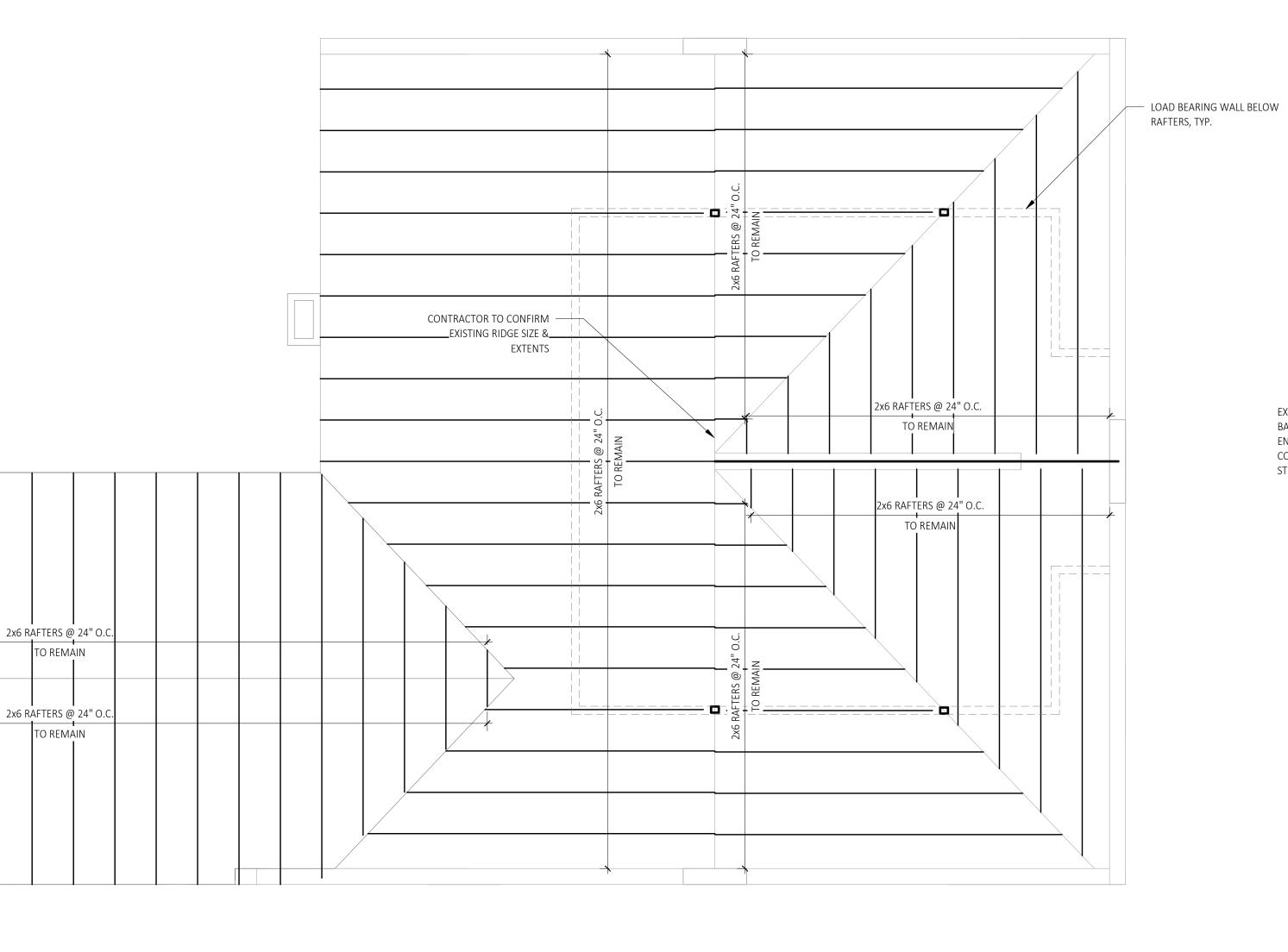
1 ATTIC FRAMING PLAN





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1 ROOF FRAMING PLAN

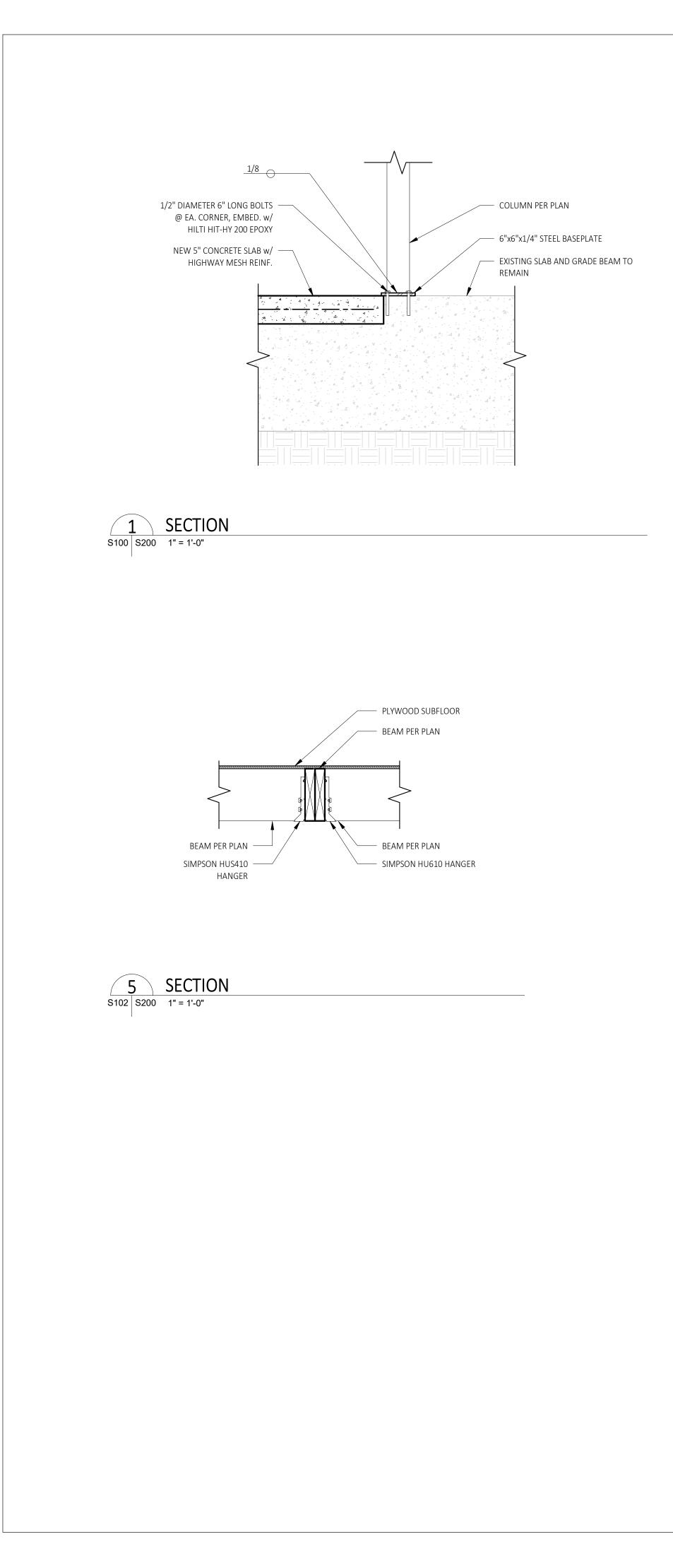


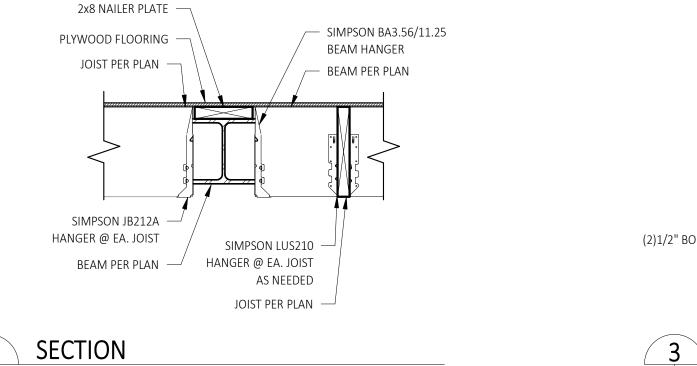
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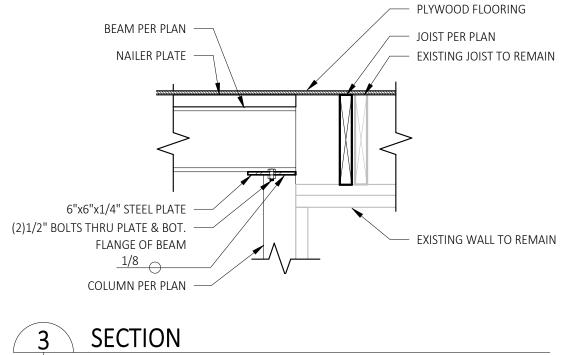


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