



1451 Second Street  
New Orleans, LA 70130

Permit Set  
Issued 07/26/2022





1451 SECOND STREET PROJECT SITE

## DRAFTING SYMBOLS

<b>ROOM REFERENCE</b>  ROOM NAME ROOM NUMBER ROOM SQUARE FOOTAGE	<b>MATCHLINE REFERENCE</b>  INDICATES SECTION OR DETAIL NO. 2 APPEARING ON THE SHEET NO. 6.2 MATCH LINE
 NEW COLUMN REFERENCE GRID  EXISTING COLUMN REFERENCE GRID	<b>OPENING REFERENCE</b>  WINDOW TYPE / LOUVER TYPE  DOOR MARK <b>ACCESSORY REFERENCE</b>  <b>KEYNOTE REFERENCE</b> 
<b>SECTION REFERENCE</b>  SECTION OR DETAIL NUMBER DIRECTION OF CUTTING PLANE  SHEET NUMBER ON WHICH SECTION OR DETAIL IS DRAWN	<b>THRESHOLD DETAIL</b>  TRANSITION DETAIL MARK <b>PARTITION REFERENCE</b>  WALL TYPE WALL FIRE RATING (HOURS) 
<b>BUILDING SECTION REFERENCE</b>  DIRECTION OF CUTTING PLANE LONGITUDINAL OR TRANSVERSE BUILDING SECTION NUMBER SHEET NUMBER ON WHICH LONGITUDINAL OR TRANSVERSE BUILDING SECTION IS DRAWN	<b>NEW OR REQUIRED POINT ELEVATION</b> 36.5' <b>EXISTING POINT ELEVATION</b> 36.5'
<b>BUILDING ELEVATION REFERENCE</b>  BUILDING ELEVATION NUMBER SHEET NUMBER ON WHICH BUILDING ELEVATION IS DRAWN	<b>NEW OR REQUIRED CONTOURS</b> 36.5' <b>EXISTING CONTOURS</b> 36.5'
<b>ELEVATION REFERENCE</b>  SHEET NUMBER ON WHICH ELEVATION IS DRAWN INTERIOR ELEVATION NUMBER	<b>TEST BORING</b> TB-2  <b>REVISION NUMBER</b> 
<b>DETAIL REFERENCE</b>  DETAIL NUMBER AREA OF DETAIL SHEET NUMBER ON WHICH ENLARGED DETAIL IS DRAWN	<b>DRAWING TITLE</b>  SECTION OR DETAIL NUMBER  SHEET NUMBER ON WHICH SECTION OR DETAIL IS DRAWN SHEET NUMBER ON WHICH THIS SECTION OR DETAIL IS CUT OR REFERENCED (ONE SHEET ONLY)  INDICATES SCALE 0 4 8'

PROJECT INFORMATION:  
SINGLE FAMILY RESIDENCE (EXISTING)  
GARDEN DISTRICT HISTORIC DISTRICT  
HU-RD1 HISTORIC URBAN TWO-FAMILY RESIDENTIAL DISTRICT  
PROPOSAL FOR MINOR / STRUCTURAL RENOVATION (<50% PROPERTY VALUE)

4722 SF BUILDING AREA  
6804 SF LAND AREA

## ABBREVIATIONS

ADJ ADJUSTABLE	JAN JANITOR
AFF ABOVE FINISHED FLOOR	KDAT KILN DRIED AFTER TREATMENT
ALUM ALUMINUM	LOC LOCATION
ARCH ARCHITECT	MB MARKER BOARD
AV AUDIO/VISUAL	MECH MECHANICAL
B.O. BOTTOM OF	MO MASONRY OPENING
BD BOARD	MTD MOUNTED
BETW BETWEEN	MTL METAL
BLDG BUILDING	MW MICROWAVE
CG CORNER GUARD	NIC NOT IN CONTRACT
CJ CONTROL JOINT	O.C. ON CENTER
CENTER LINE	OPP OPPOSITE HAND
CLNG CEILING	OPFI OWNER-FURNISHED, OWNER-INSTALLED
CMU CONCRETE MASONRY UNIT	PLYWD PLYWOOD
CTRL CONTROL	PTD PAINTED
CO CASED OPENING	QTY QUANTITY
CONC CONCRETE	RAG RETURN AIR GRILL
CPT CARPET	RCP REFLECTED CEILING PLAN
CT CERAMIC TILE	RD ROOF DRAIN
DF DRINKING FOUNTAIN	REF REFRIGERATOR
DIAM DIAMETER	SCHED SCHEDULED
DN DOWN	SIM SIMILAR
DS DOWNSPOUT	STL STEEL
DW DISHWASHER	S.S. STAINLESS STEEL
ELEC ELECTRICAL	STOR STORAGE
ELEV ELEVATION	STRUCT STRUCTURAL
EQ EQUAL	TB TACK BOARD
EXIST EXISTING	TELE TELEPHONE OR TELECOM
EWC ELECTRIC WATER COOLER	T.O. TOP OF
FD FLOOR DRAIN	TP TOILET PAPER
FDC FIRE DEPARTMENT CONNECTION	TS TUBE STEEL
FE FIRE EXTINGUISHER	TYP TYPICAL
FEC FIRE EXTINGUISHER CABINET	UC UNDER COUNTER
FIN FINISH	UNO UNLESS NOTED OTHERWISE
FLR FLOOR	VERT VERTICAL
FS FRAME SIZE	VFY VERIFY
FT FOOT/FEET	VIF VERIFY IN FIELD
GYP GYPSUM	W/ WITH
GWB OR GYP BD GYPSUM WALL BOARD	WD WOOD
HB HOSE BIBB	WH WATER HEATER

DRAWING INDEX	
Sheet Number	Sheet Name
General	
G001	COVER SHEET
G002	INDEX / PROJECT INFO.

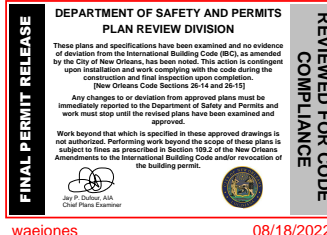
DEMOLITION	
D201	FIRST FLOOR DEMOLITION PLAN
D202	SECOND FLOOR DEMOLITION PLAN
D203	ATTIC DEMOLITION PLAN

ARCHITECTURE	
A101	SITE PLAN
A201	FIRST FLOOR PLAN
A202	SECOND FLOOR PLAN
A203	ATTIC FLOOR PLAN
A601	FIRST FLOOR RCP
A602	SECOND FLOOR RCP
A603	ATTIC RCP

STRUCTURAL	
S005	STRUCTURAL GENERAL NOTES
S100	FOUNDATION PLAN
S101	2ND FLOOR FRAMING PLAN
S102	ATTIC FRAMING PLAN
S103	ROOF FRAMING PLAN
S200	SECTIONS & DETAILS

## MATERIAL DESIGNATIONS

	WOOD		CONCRETE MASONRY UNITS		METAL		RESILIENT MATERIAL		STEEL
	ALUMINUM		GLASS		PLASTER		RIGID INSULATION		STONE
	CONCRETE		GYPSUM		PLASTIC		EARTH		TILE



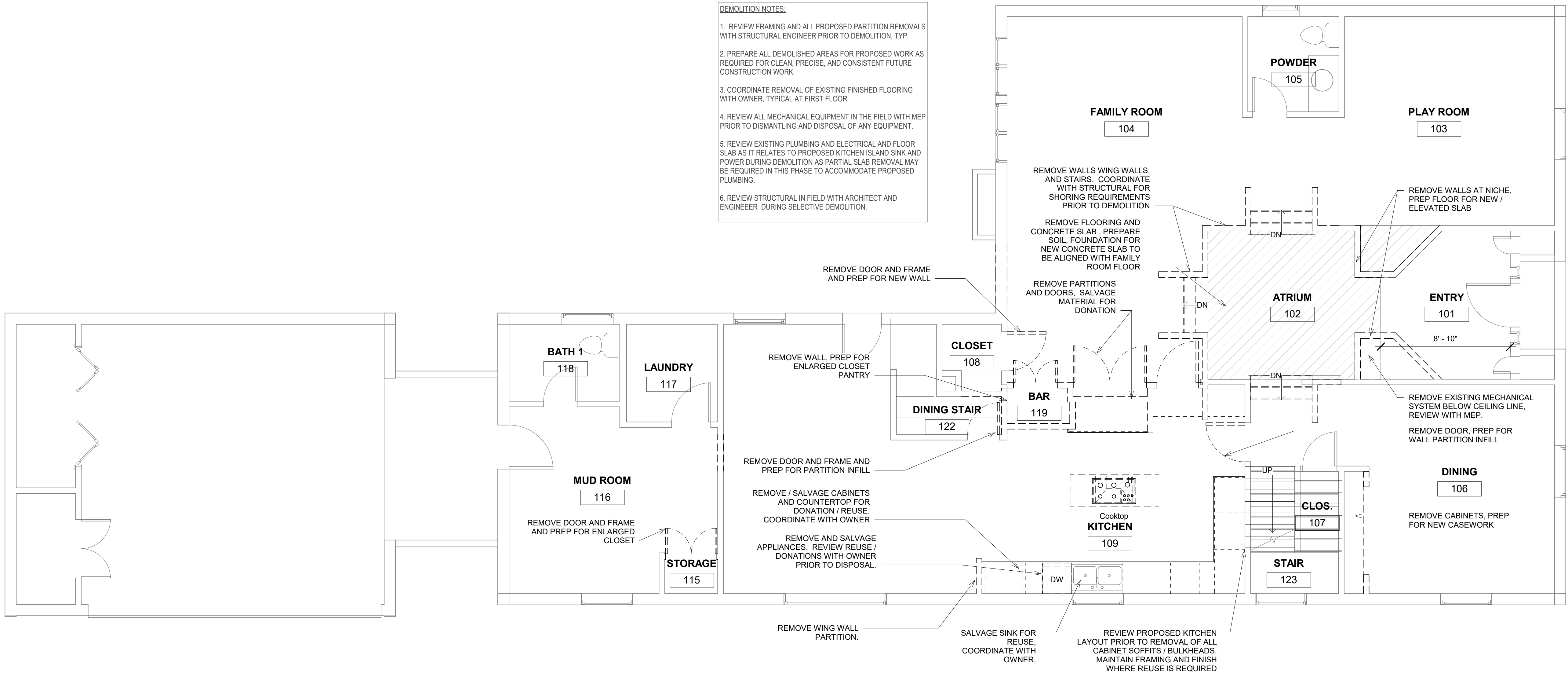
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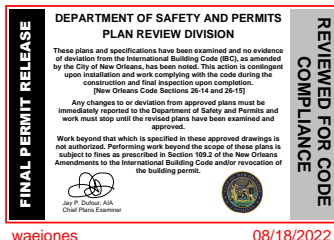
INDEX / PROJECT  
INFO.

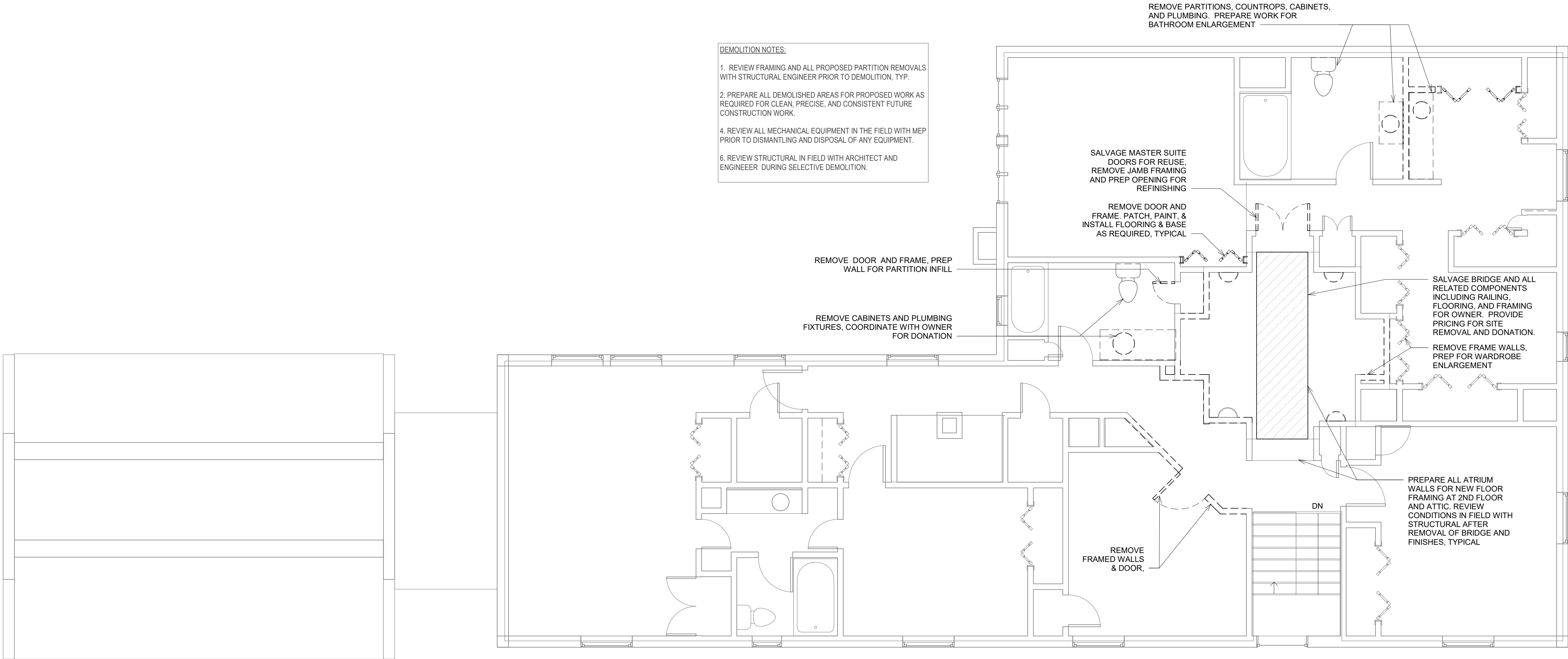
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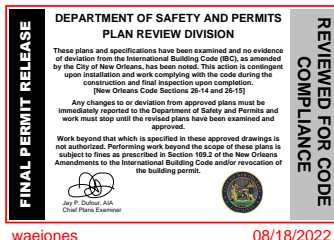


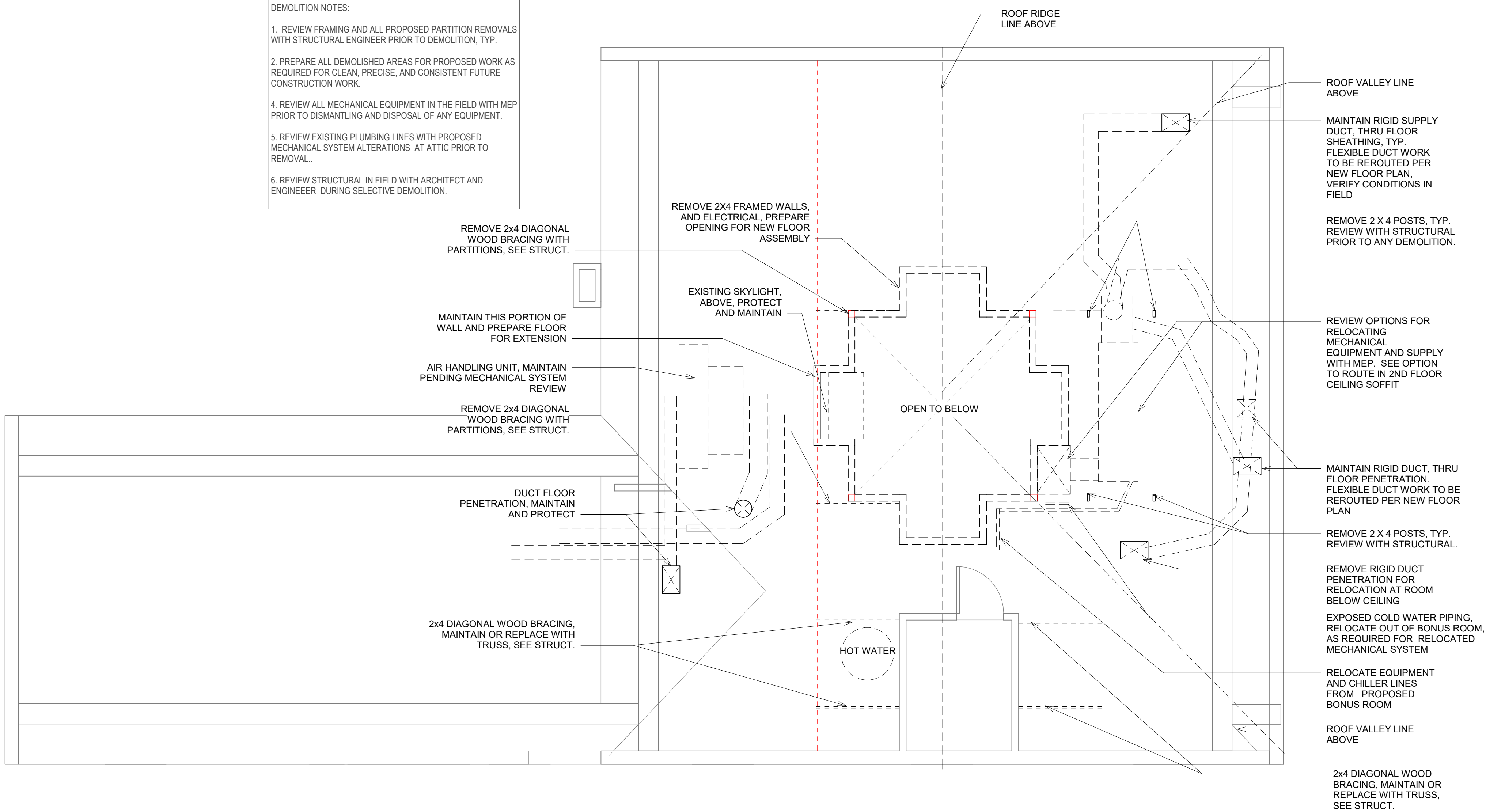
1 FIRST FLOOR DEMOLITION PLAN  
1/4" = 1'-0"



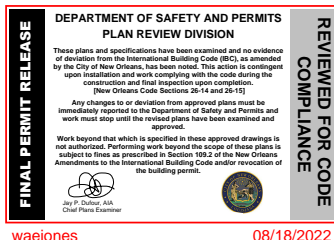


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1/4" = 1'-0"

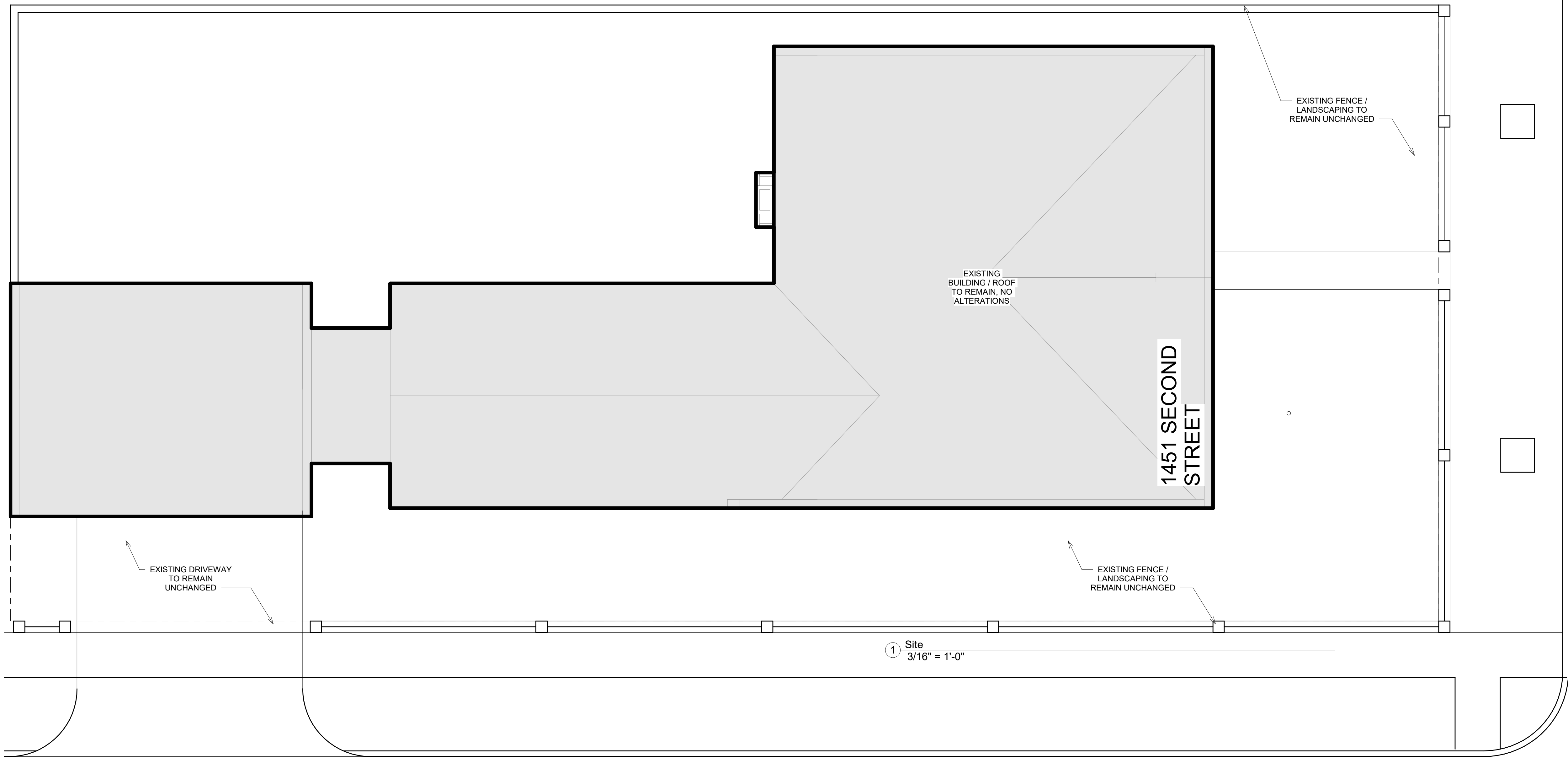




1 ATTIC DEMOLITION PLAN  
1/4" = 1'-0"



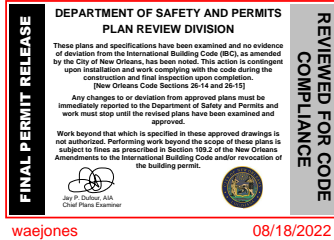




PRYTANIA STREET

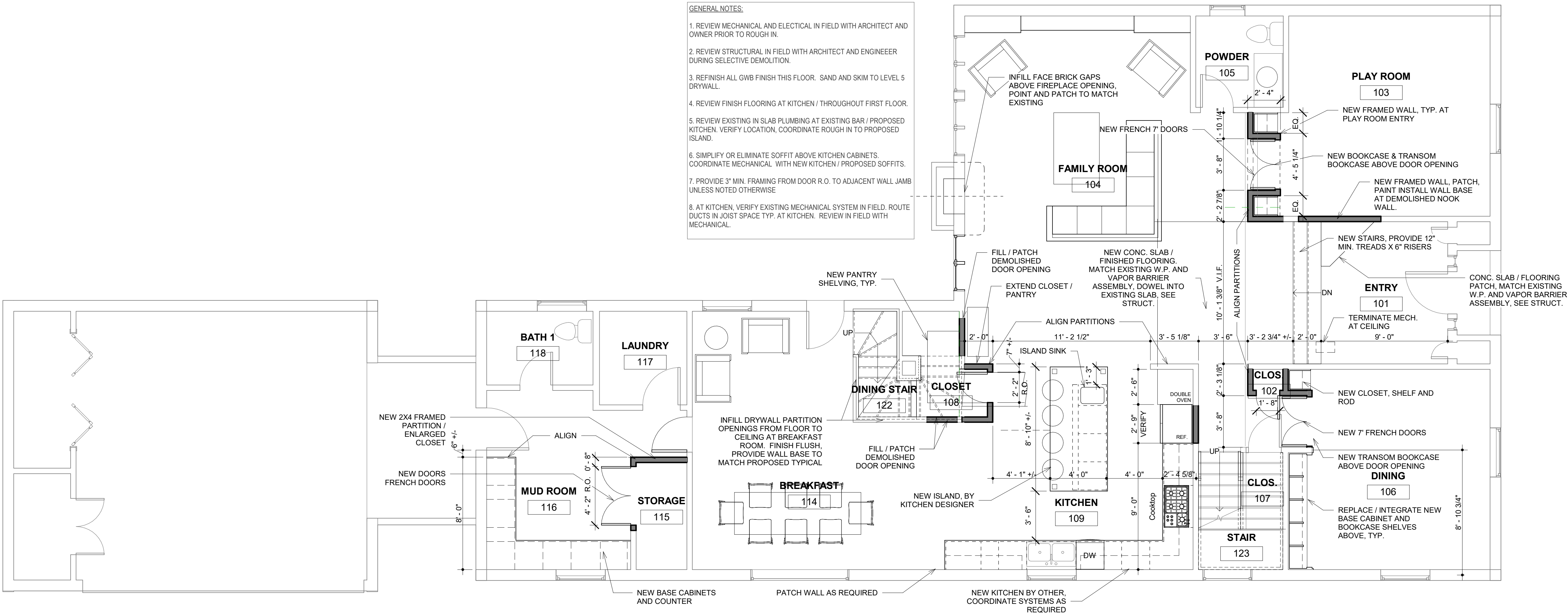
GENERAL NOTES:

- 1. NO PROPOSED SITE ALTERATIONS
- 2. NO PROPOSED EXTERIOR ALTERATIONS

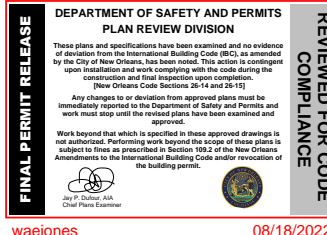


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SITE PLAN

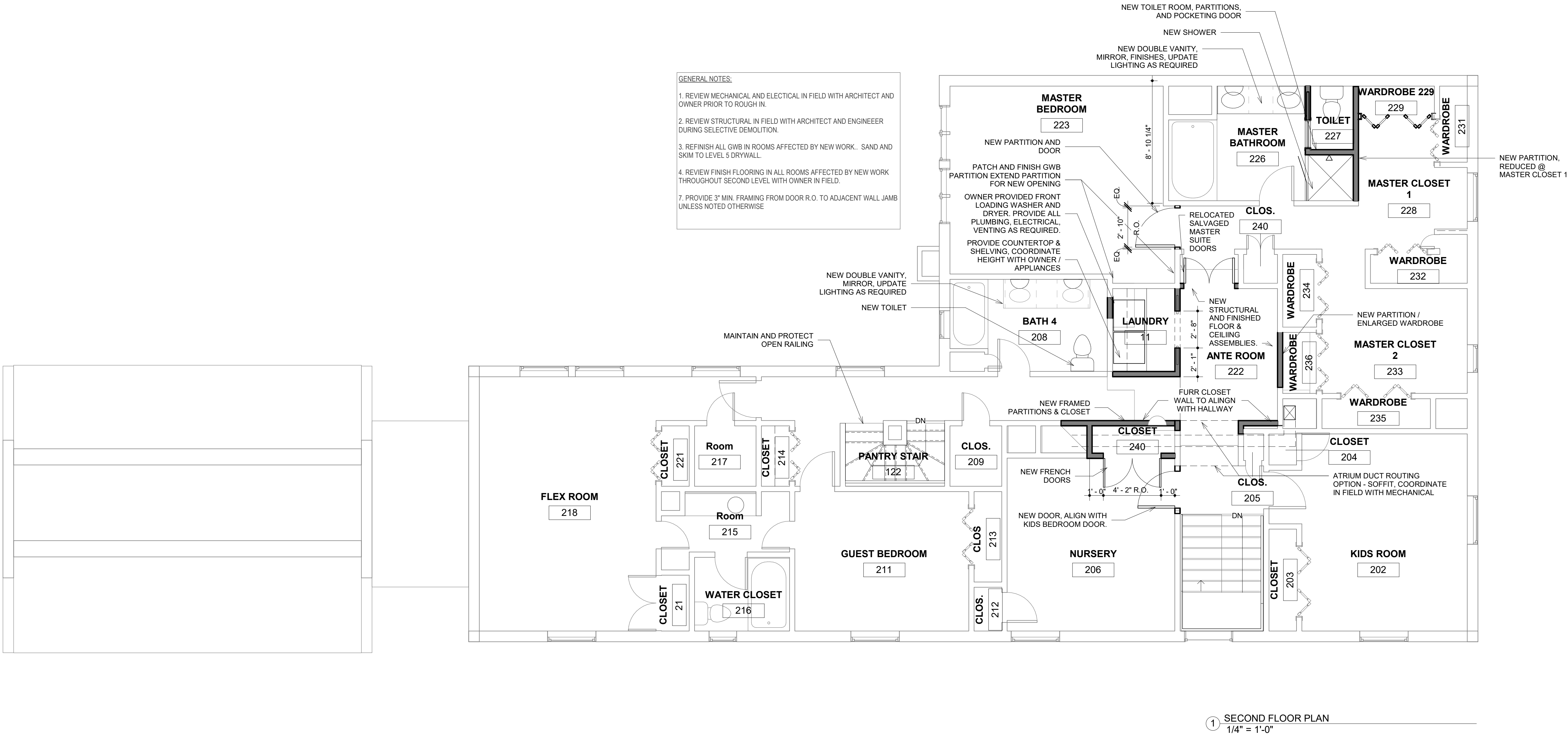


① FIRST FLOOR PLAN  
1/4" = 1'-0"

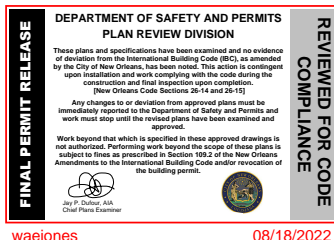


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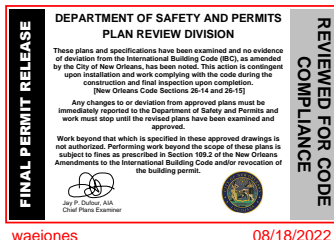
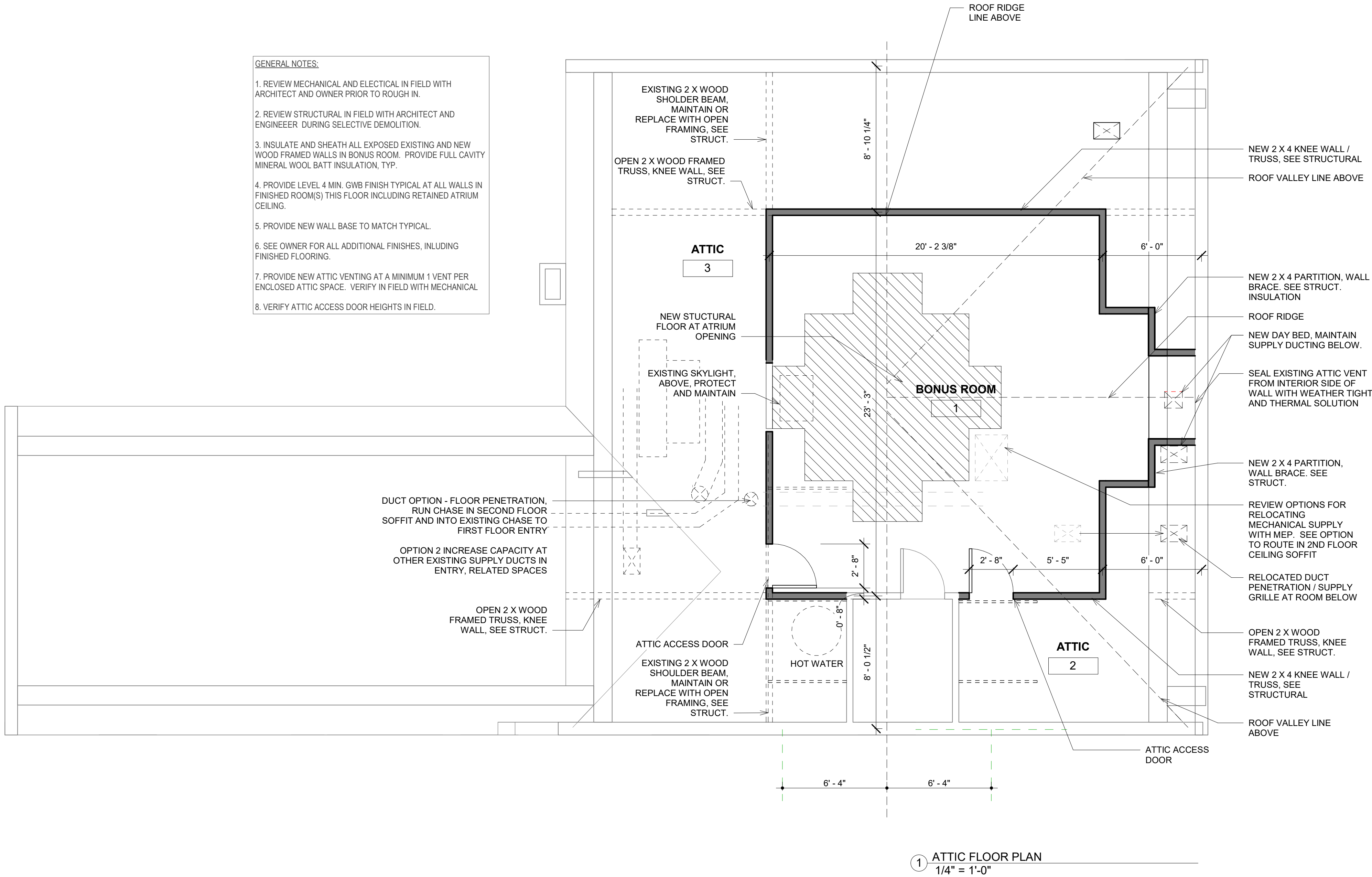
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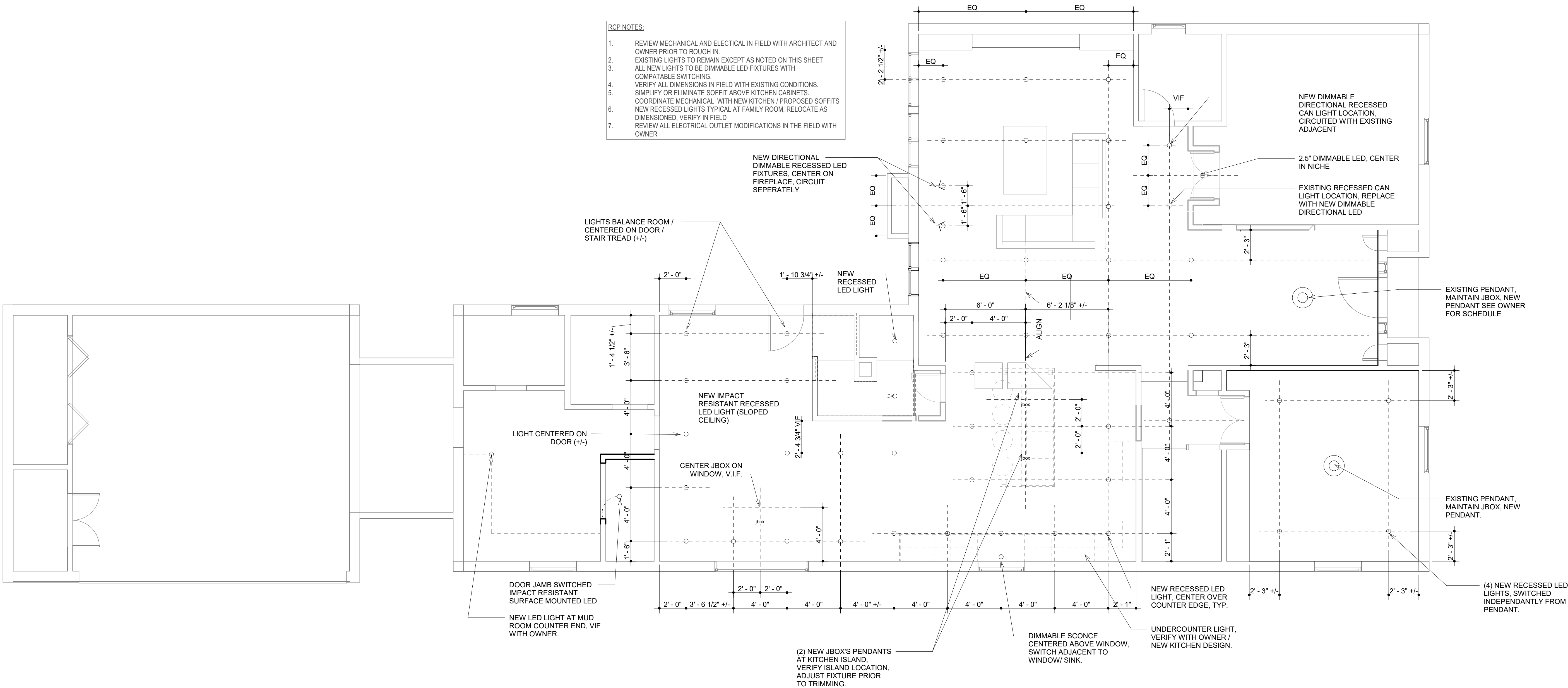


1 SECOND FLOOR PLAN  
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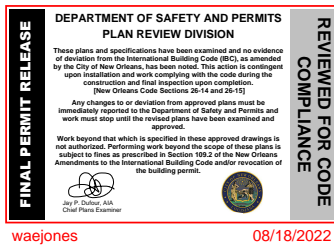




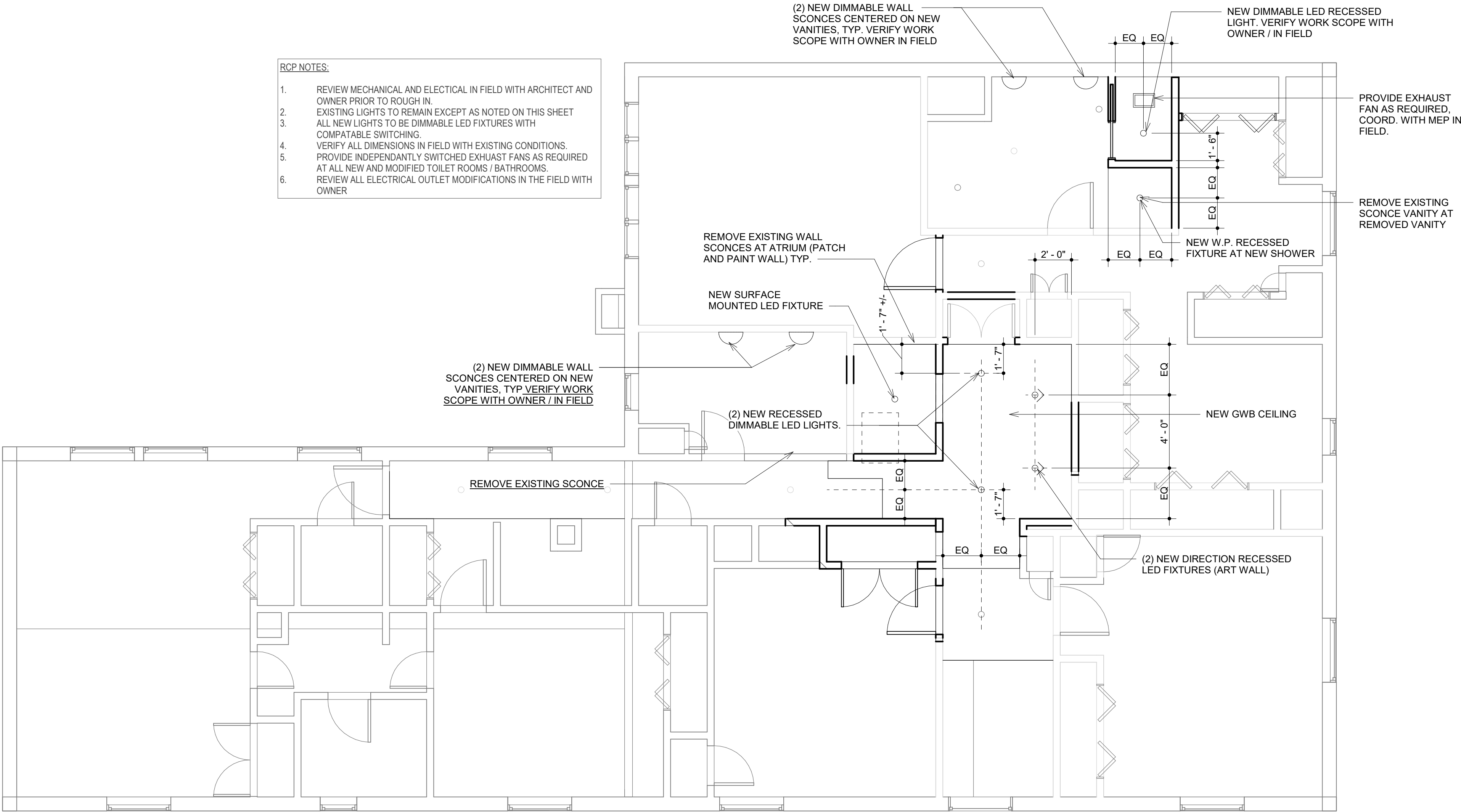




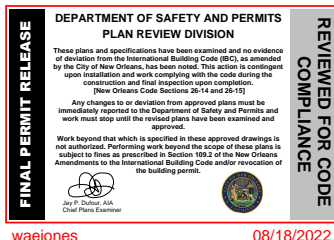
1 FIRST FLOOR R.C.P.  
1/4" = 1'-0"



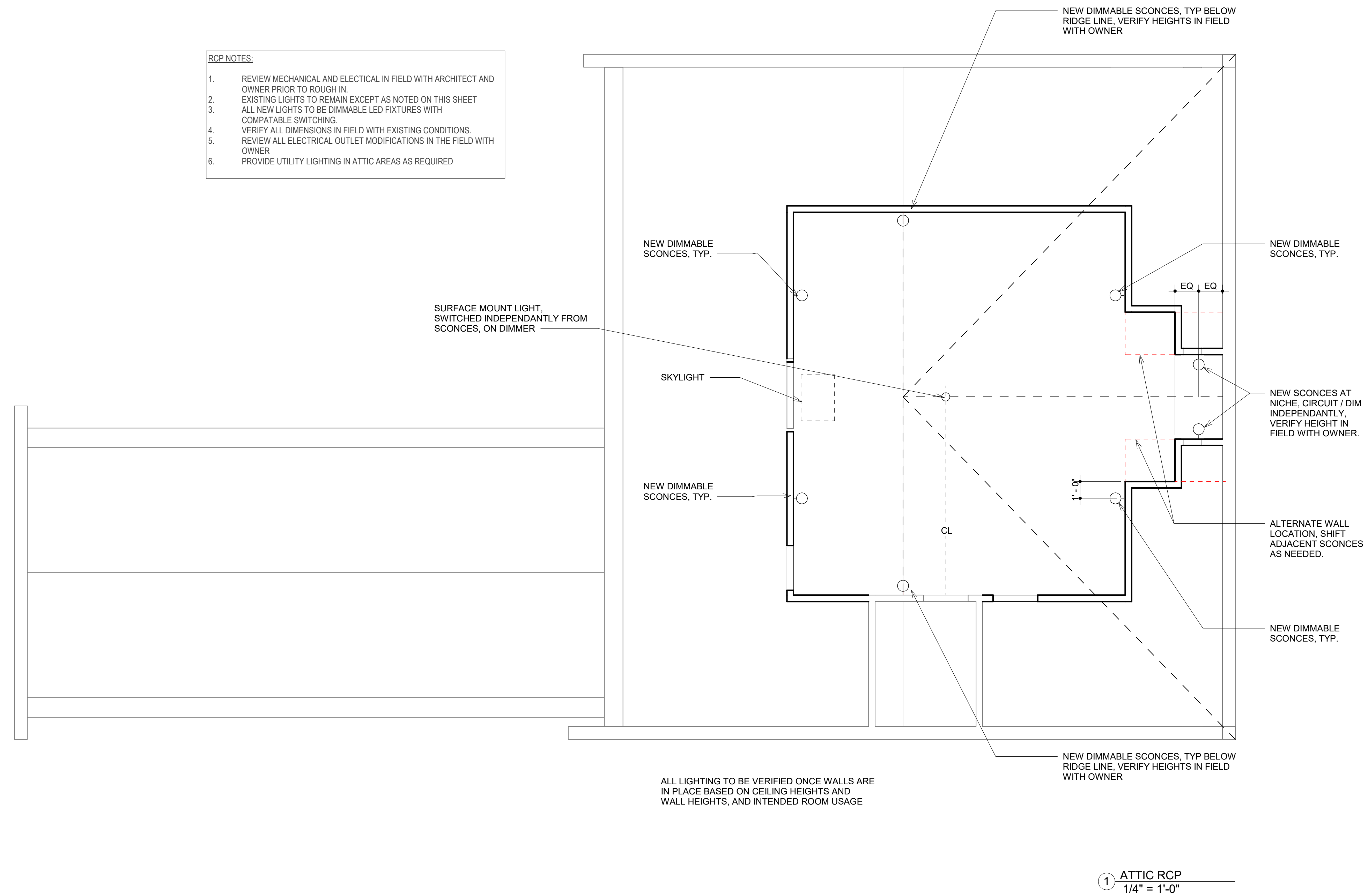




1 SECOND FLOOR RCP NEW  
1/4" = 1'-0"



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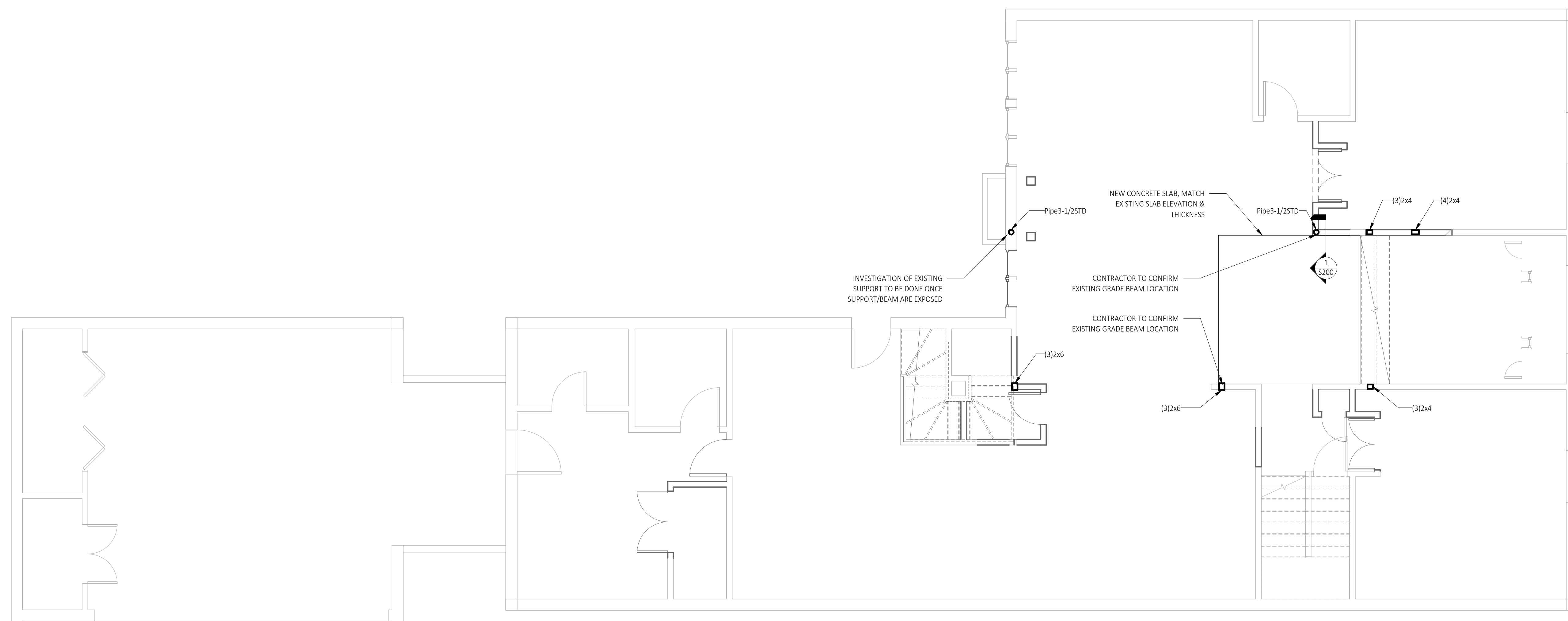
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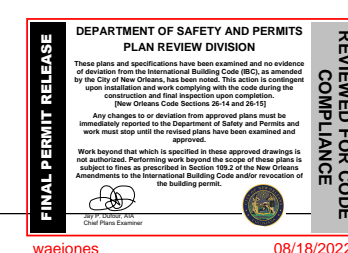
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FOUNDATION  
PLAN

SHEET NUMBER:  
**S100**



**1** FIRST FLOOR PLAN  
1/4" = 1'-0"







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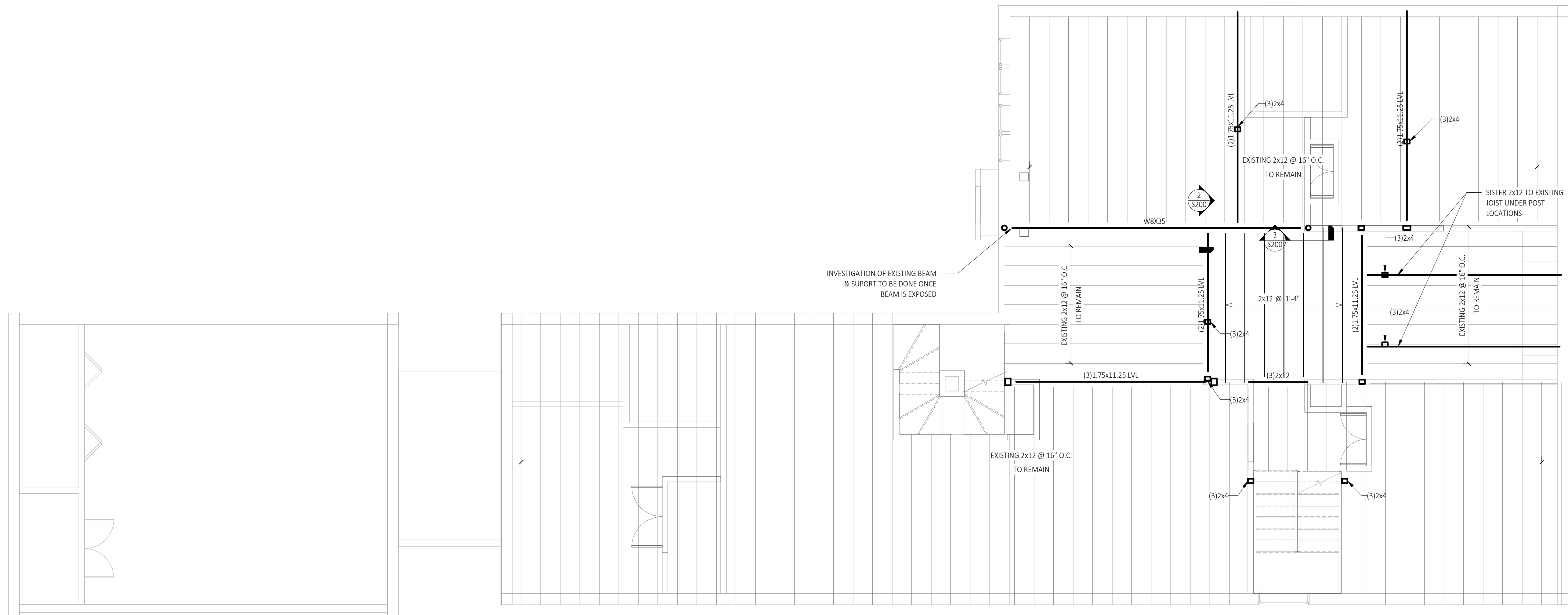
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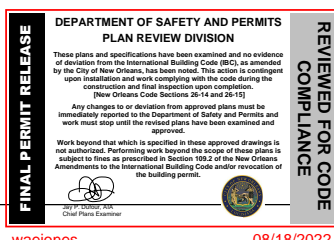
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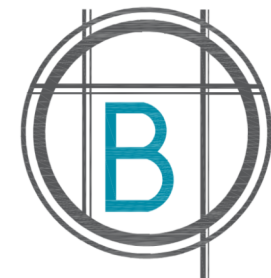
## 2ND FLOOR FRAMING PLAN

SHEET NUMBER:  
**S101**



EXISTING FRAMING SHOWN ON PLAN IS  
BASED ON ASSUMPTIONS MADE BY  
ENGINEER PRE-EXPLORATORY. IF FRAMING  
CONDITIONS DIFFER IN FIELD, CONTACT  
STRUCTURAL E.O.R.





BATTURE  
engineers • land surveyors

8110 PERMET ST. NEW ORLEANS, LA 70118  
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info@batture-eng.com batture-eng.com

DESCRIPTION

DATE

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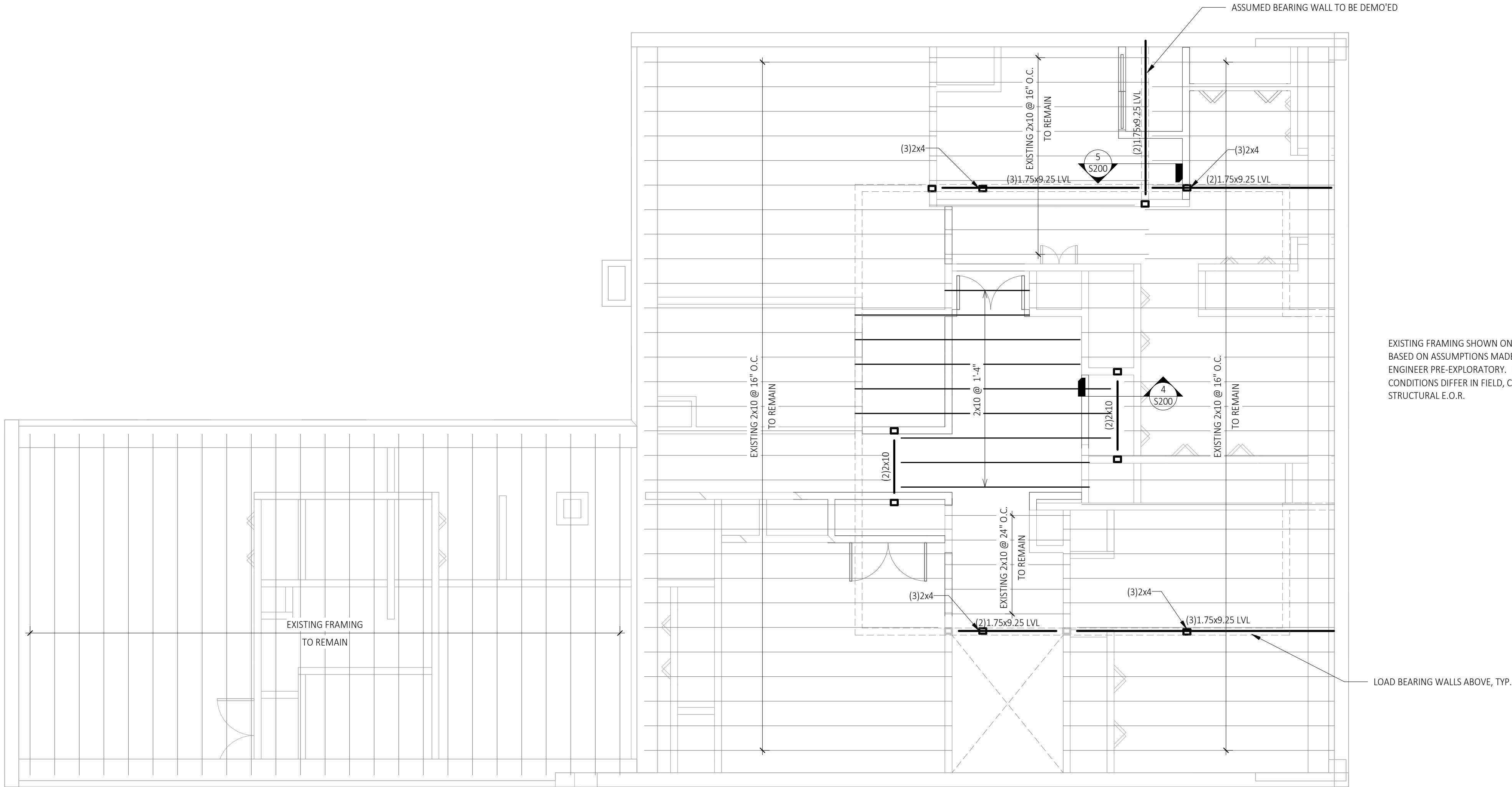
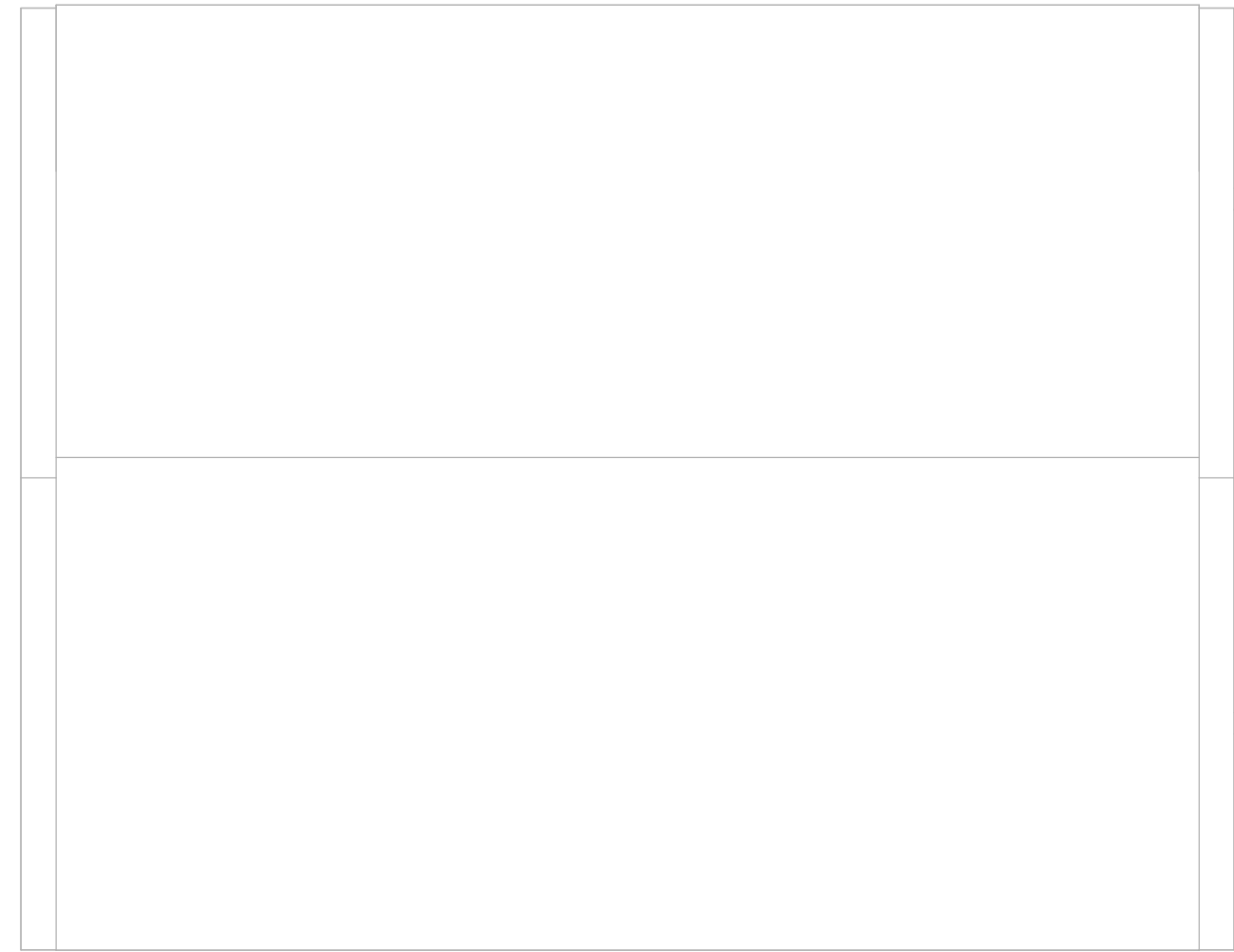


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ATTIC FRAMING  
PLAN

SHEET NUMBER:

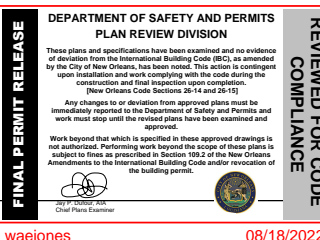
S102



EXISTING FRAMING SHOWN ON PLAN IS  
BASED ON ASSUMPTIONS MADE BY  
ENGINEER PRE-EXPLORATORY. IF FRAMING  
CONDITIONS DIFFER IN FIELD, CONTACT  
STRUCTURAL E.O.R.

LOAD BEARING WALLS ABOVE, TYP.

1 ATTIC FRAMING PLAN  
S102 1/4" = 1'-0"







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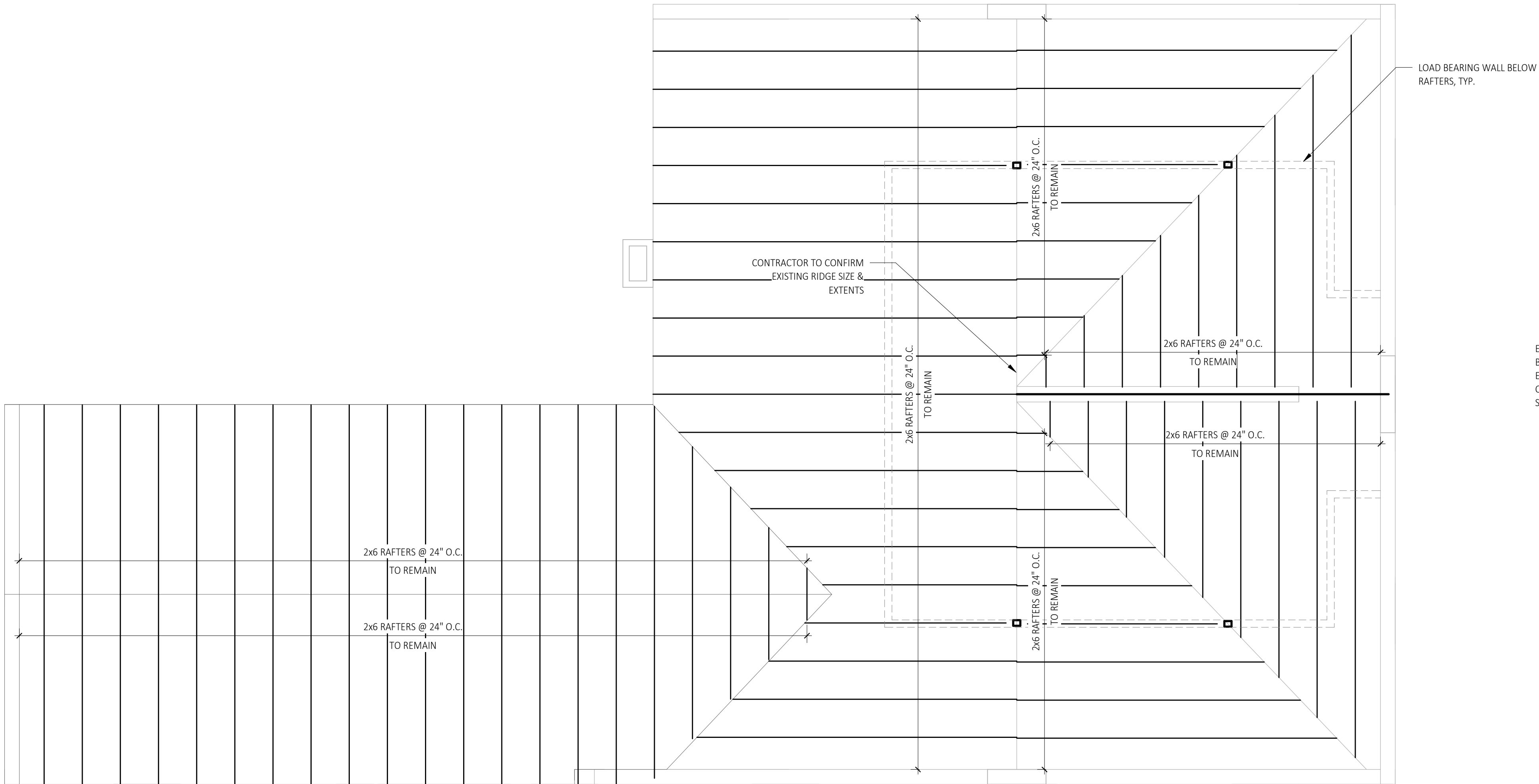
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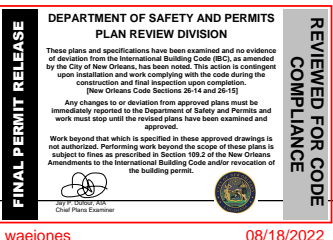
## ROOF FRAMING PLAN

SHEET NUMBER:  
**S103**



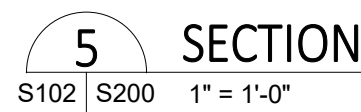
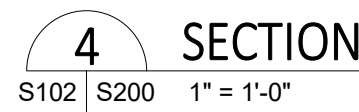
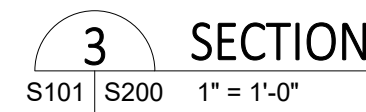
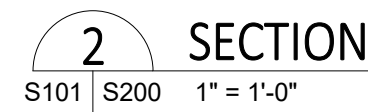
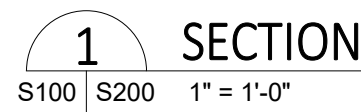
EXISTING FRAMING SHOWN ON PLAN IS  
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CONDITIONS DIFFER IN FIELD, CONTACT  
STRUCTURAL E.O.R.

**1** ROOF FRAMING PLAN





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## SECTIONS & DETAILS

SHEET NUMBER:

# S200

