

TREME HOUSE 2

1900 DUMAINE ST. NEW ORLEANS, LA 70116

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PLUMBING RISER

A4.1

TREME HOUSE 2

1900 Dumaine St. New Orleans, LA, 70116

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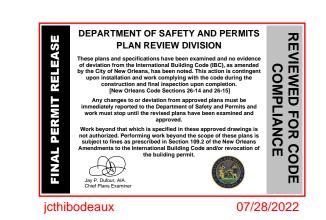
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Revision Number	Revision Description	Revision Date		
2	ISSUE FOR PERMIT	22.06.28		

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NOTES

AC RETURN AIR CHASE SHALL BE 1-HR RATED CONSTRUCTION

NEW WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE. THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.

WALLS WITH WATER SERVICES TO BE 6" WALL, MINIMUM.

SITE TO HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES.

DETAILS IN THE DRAWINGS ARE DESIGNED TO MEET CURRENT BUILDING CODES. ANY PROPOSED CHANGES TO DETAILS TO BE SUBMITTED TO ARCHITECT AND OWNER FOR REVIEW. ANY CHANGES TO DETAILS ARE NOT TO COMPROMISE BUILDING INTEGRITY AND ARE NOT TO VIOLETE BUILDING CODES.

WATER HEATERS TO BE LOCATED IN THE ATTIC AND TO BE SIZED BY PLUMBING SUB-CONTRACTOR. NUMBER OF WATER HEATERS TO BE DETERMINED BY PLUMBING SUB-CONTRACTOR. OVERFLOR PAN SHALL BE PROVIDED FOR EVERY WATER HEATER.

ALTERNATE PRICE FOR TANKLESS ON-DEMAND WATER HEATER.

PLUMBING SHALL BE DESIGNED AS PER UNIFORM PLUMBING CODE STANDARDS. PLUMBER SHALL DETERMINE PIPE SIZE, AND ALL OTHER RELATED ITEMS AS NEEDED.

EGRESS OR RESCUE WINDOWS FROM BEDROOMS TO HAVE NET CLEAR OPENING OF 5.7 SF MIN. THE MIN. NET CLEAR OPENING HEIGHT SHALL BE 22". THE MIN. NET CLEAR OPENING WIDTH SHALL BE 20".

PLUMBER TO PROVIDE ACCESS ALL SHUTOFFS, INSTALL ACCESS PANEL IF REQUIRED.

HVAC SHALL BID A MINIMUM 16 SEER UNIT. SUBMITTALS OF PRODUCTS SHALL BE SUBMITTED BEFORE PURCHASE AND INSTALLATION.

ALL EXTERIOR WALLS SHALL BE 2X6 UNLESS OTHERWISE INDICATED. ALL OCCUPIED SPACES SHALL RECEIVE AN INSULATION BARRIER THAT IS CONTINUOUS AT ALL EXTERIOR WALLS, CEILINGS AND FLOOR SURFACES.

THESE DRAWINGS REPRESENT THE DESIGNERS INTENT ONLY. COMPLIANCE WITH ALL STATE AND LOCAL CODES IS THE CONTRACTORS RESPONSIBILITY. DIMENSIONS ARE APPROXIMATE, AND FIELD VERIFICATION IS REQUIRED.

SEE STRUCTURAL DRAWING FOR STEEL INFORMATION AND FOR PILE AND FOUNDATION INFORMATION.

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NOTES

THE DRAWINGS AND SPECS, INCLUDING CONSULTANT DRAWINGS, ARE COMPLIMENTARY. ITEMS SHOWN IN ANY ONE LOCATION SHALL BE REQUIREMENTS OF THE CONTRACT FOR CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.

ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED AS DIRECTED BY THE MANUFACTURERS, UNLESS NOTED OTHERWISE.

ALL STANDARDS FOR CONSTRUCTION, MATERIALS AND EXECUTION OF THE WORK SHALL CONFORM TO ALL CODES AND STANDARDS AND TO REGULATIONS OF THE **AUTHORITIES HAVING JURISDICTION.**

WHEN ALL OR PART OF THE STRUCTURE IS OPEN TO THE EXTERIOR, PROTECT INTERIOR FROM WIND, STORM, RAIN AND VANDALISM.

PROVIDE BLOCKING FOR ALL SURFACE MOUNTED, SEMI-RECESSED OR RECESSED ITEMS SUCH AS ACCESSORIES, GRAB BARS, CLOSET RODS, SHELVES, MIRRORS, WALL-MOUNTED VANITIES, COUNTERTOPS, ETC. PROVIDE WALKTHROUGH WITH OWNER BEFORE CLOSING WALLS TO CONFIRM BLOCKING LOCATIONS.

DO NOT SCALE DRAWINGS. IF ANY DIMENSIONS ARE CONFLICTING OR IN QUESTION THEN THE CONTRACTOR IS TO CONSULT THE ARCHITECT FOR CLARITY.

CONTRACTOR SHALL KEEP PROJECT FREE FROM ACCUMULATION OF DEMOLITIONS DEBRIS, WASTE MATERIALS CAUSED BY OPERATION AND SHALL REMOVE NO LESS THAN ONCE PER WEEK ALL DEBRIS FROM THE PROJECT.

ALL EXTERIOR EXPOSED WOOD SHALL BE INSTALLED TO ASSURE WEATHER TIGHT CONDITIONS. CONTRACTOR SHALL PROVIDE ALL CAULKING AND WEATHER BARRIER MATERIALS REQUIRED FOR WEATHER TIGHT CONDITIONS.

THE GENERAL CONTRACTOR SHALL SUBMIT IN WRITING ANY PROPOSAL FOR ADDITIONAL WORK OR ADDITIONAL SERVICES. SUBMIT TO THE OWNER FOR REVIEW AND APPROVAL. NO WORK IS TO PROCEED UNTIL A SIGNED PROPOSAL IS RETURNED TO THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO THE OWNER FOR WRITTEN APPROVAL PRIOR TO WORK BEING PERFORMED.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEAN. FINAL CLEAN STO DELIVER PROJECT IN 'MOVE-IN' CONDITION.

GC AND SUBS ARE TO FAMILIARIZE THEMSELVES WITH THE CONSTRUCTION SITE AND VERIFY EXISTING CONDITIONS, SITE GRADES AND LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION. ANY DEVIATION OR CHANGES NECESSARY TO ACHIEVE THE INSTALLATIONS SHOWN SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT.

PROVIDE TERMITE PROTECTION AS REQUIRED PER 2015 IRC.

CODE COMPLIANCE

BUILDING CODE 2015 INTERNATIONAL RESIDENTIAL CODE WIND DESIGN ICC STANDARD CONSTRUCTION IN HIGH WIND REGIONS **ACCESSIBILITY** ADAAG LIFE SAFETY 2015 NFPA 101 **MECHANICAL** 2015 INTERNATIONAL MECHANICAL CODE

ENERGY ASHRAE 90.1-2007

ELECTRIC 2015 NATIONAL ELECTRIC CODE 2000 LOUISIANA PLUMBING CODE PLUMBING

DESIGN LOADS 40 PSF FLOORS

20 PSF ROOF

PROJECT DIRECTORY

<u>OWNER</u> Joe Robert

joe.robert@reverealtors.com

ARCHITECT

Marais Architects LLC Jared Watson 248-224-4534 jared@maraisdesignbuild.com

STRUCTURAL

Axis Engineering Steve Treptow 504-380-3146 steve@axisengr.com

BUILDING INFORMATION

ADDRESS 1900 DUMAINE ST.

NEW ORLEANS, LA 70116

INFO NEW CONSTRUCTION OF A SINGLE-FAMILY RESIDENCE.

SQ FOOTAGE FLOOR 1 730 SF

FLOOR 2 910 SF TOTAL LIVING SF 1,640 SF FRONT PORCH 30 SF REAR PORCH 30 SF

NUMBER OF FLOORS

TOP OF RIDGE AT 31'-5" ABOVE GRADE BUILDING HEIGHT

HU-RD2 ZONING

HDLC TREME - PARTIAL CONTROL HISTORIC DISTRICT

ZERO

PARKING PROVIDED R-3 OCCUPANCY

PARKING REQUIRED

CONSTRUCTION TYPE TYPE V

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NO CONSTRUCTION ADMINISTRATION

ARCHITECT WILL NOT BE PERFORMING CONSTRUCTION ADMINISTRATION SERVICES DURING CONSTRUCTION.

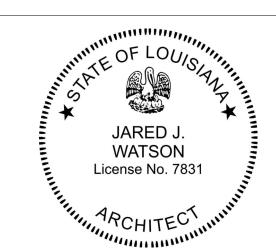
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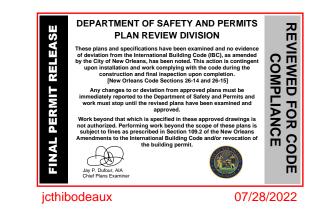
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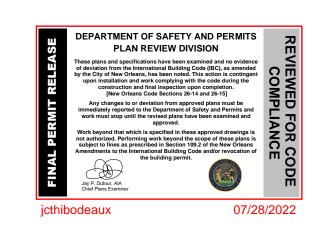
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Renderings

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827 831 30' - 0" FENCE AT PROP. LINE 30'-0" PROPERTY LINE FENCE ALONG PROPERTY LINE. 6' DOG EAR FENCE WITH HDLC-APPROVED CAP REAR YARD AREA CONDENSER AND PLATFORM ABOVE B.F.E. 2'-6" FENCE GATE 1900 DUMAINE SPACE EXISTING SIDEWALK CONCRETE DRIVE STRIPS - NEW CURB CUT 1906 1910 1900

DUMAINE ST.

ZONING INFORMATION

ADDRESS 1900 DUMAINE ST.
NEW ORLEANS, LA 70116

ZONING HU-RD2

LOT DIMENSIONS 30'-0" X 84'-0"

LOT AREA 2,520 SF

LOT COVERAGE

SETBACKS

HEIGHT

OPEN SPACE 1,776 SF (70%)

4'-0" FRONT SIDE 3'-0" LEFT SIDE 3'-0" RIGHT SIDE

5'-0" BACK SIDE

31'-5" 35'-0" MAX ALLOWABLE

744 SF

DRIVEWAY 1 CURB CUT

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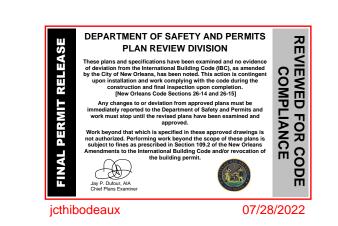


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Site Plan and
Context

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A1.1

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Survey and
Benchmark

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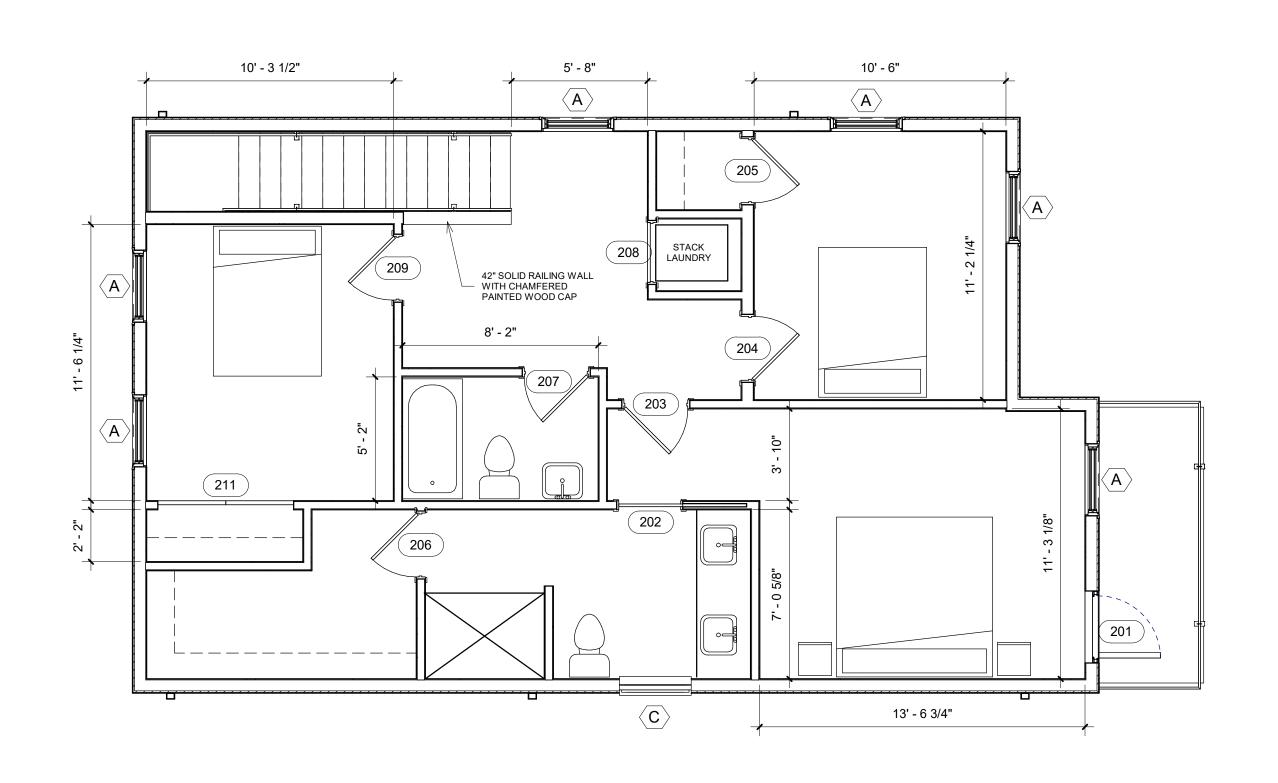
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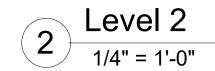
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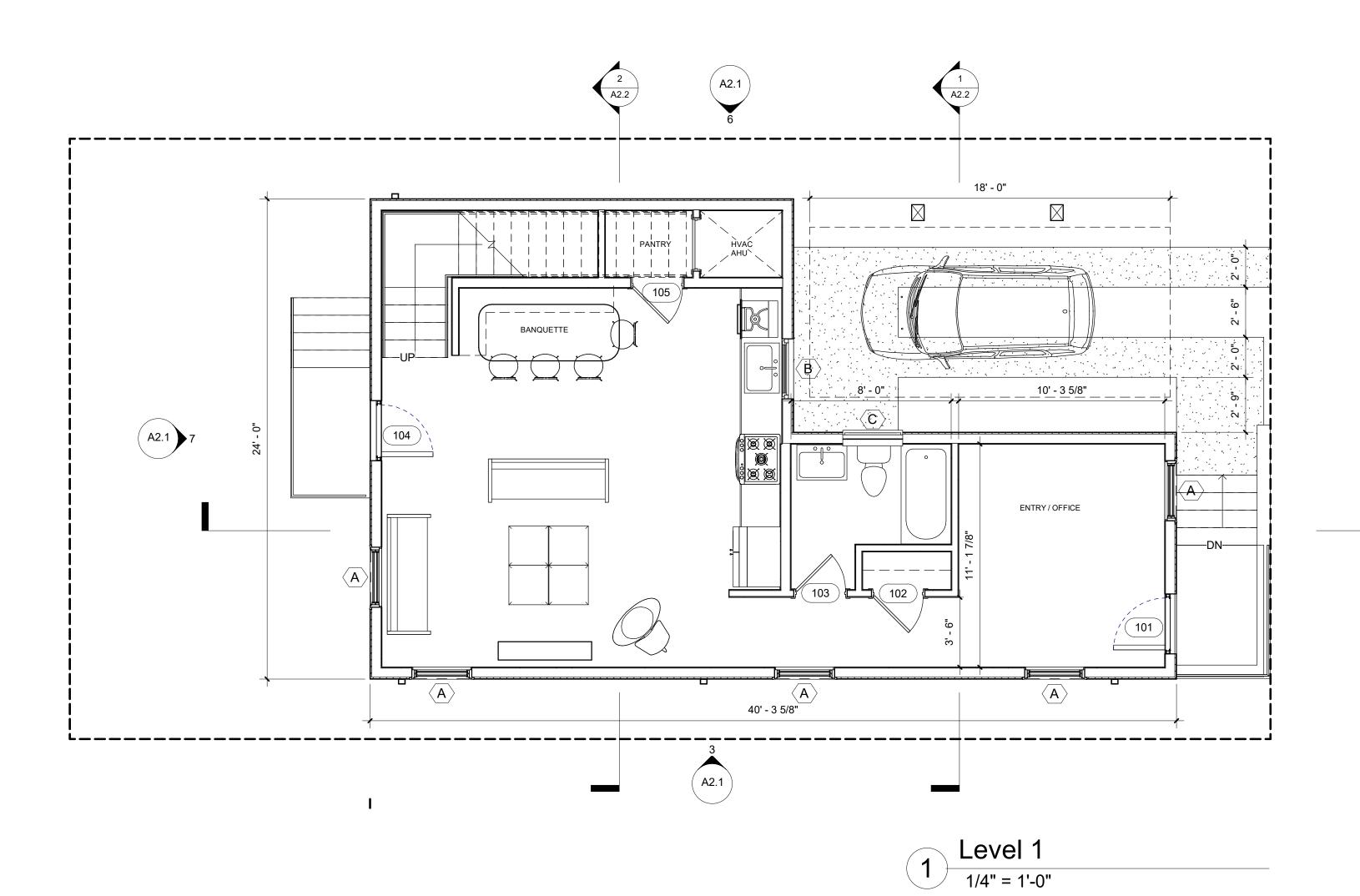
CONSTRUCTION BENCHMARK SURVEY

PROPERTY SURVEY









PLAN NOTES

PAINTED 1X6 WALL BASE THROUGHOUT, U.N.O.

ALL RAILINGS TO MEET CODE-REQUIRED MINIMUM OF 200 POUNDS OF LIVE LOAD PER IRC 2015, TABLE R301.5

GREEN BOARD TO BE USED FOR ALL WALLS IN DAMP AREAS. CEMENT TILE BACKER BOARD TO BE USED IN TUB AND SHOWER SURROUNDS. CEMENT BOARD TO BE USED AT TILE FLOORS.

CEILINGS TO BE 1/2" GYP. BATHROOM CEILINGS TO BE 1/2" GREEN BOARD.

NO FURRED CEILINGS UNLESS NOTED OTHERWISE.

WOOD FLOOR AT ALL LOCATIONS EXCEPT BATHROOMS AND SHOWERS

DIMS TO FACE OF FRAMING, U.N.O..
PLUMBING WALLS TO BE 2X6 CONSTRUCTION
INTERIOR NON-STRUCTURAL WALLS TO BE 2X4 CONSTRUCTION
EXTERIOR WALLS TO BE 2X6 CONSTRUCTION

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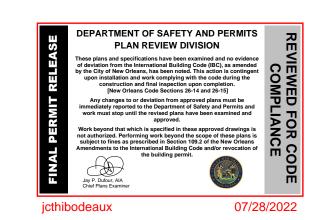


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Floor Plans

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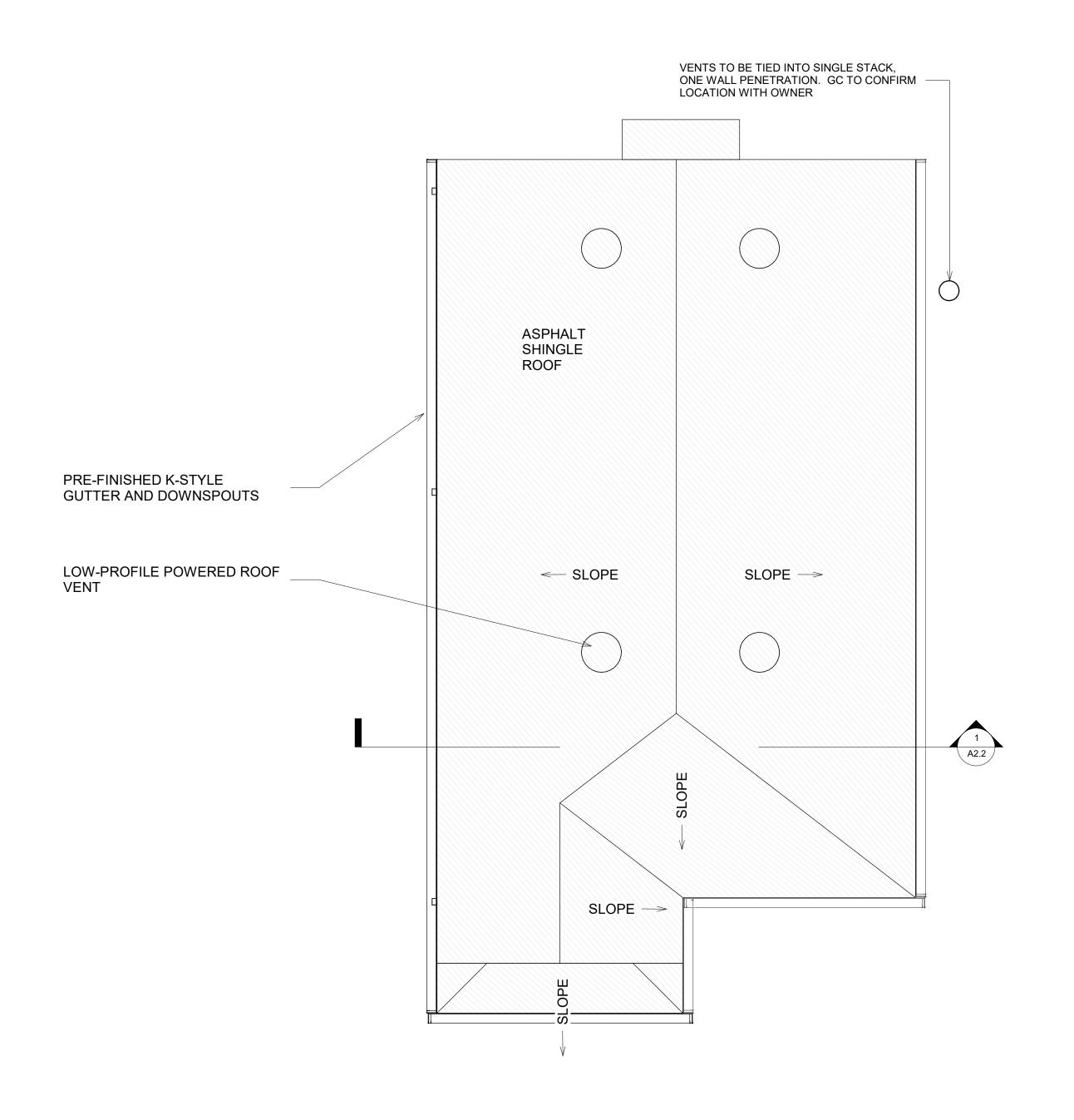
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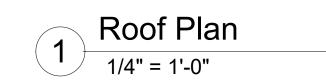
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SCALE: 1/4" = 1'-0"









GUTTER AND DOWNSPOUT DESIGN TO BE CALCULATED BY GUTTER SUBCONTRACTOR TO MEET SMACNA REQUIREMENTS AND 100 YEAR RAIN REQUIREMENTS. GUTTER AND DOWNSPOUT SIZES ON SHEET ARE FOR REFERENCE AND TO BE VERIFIED.

PROVIDE 300 SF OF 3/4" PLYWOOD DECKING IN ATTIC, GLUED AND SCREWED. OWNER TO LOCATE. CONSULT WITH OWNER AND HVAC SUB-CONTRACTOR PRIOR TO START OF WORK. PLYWOOD ACCESS PATH TO BE INSTALLED AS REQUIRED TO ACCESS ATTIC AND SERVICE EQUIPMENT.

ROOF AND ATTIC VENTILATION TO CONFORM TO IRC 2015 SECTION R806.

LOW-PROFILE POWERED ROOF VENTS TO BE SELECTED BY GC AND SUBMITTED TO HDLC FOR APPROVAL.

LEVEL 2 ROOF: 960 SF REQUIRES 6.4 SF OF VENTILATION

VENTILATION DESIGN INCLUDING TYPE, QUANTITY AND LOCATIONS TO BE DESIGNED BY ROOFING SUBCONTRACTOR. VENTS TO MATCH ROOF FINISH MATERIAL.

ROOFING SYSTEM TO BE INSTALLED PER THE MANUFACTURER'S NEW CONSTRUCTION INSTALLATION DETAILS

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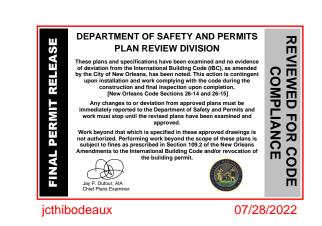
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SHEET TITLE:

Roof Plan

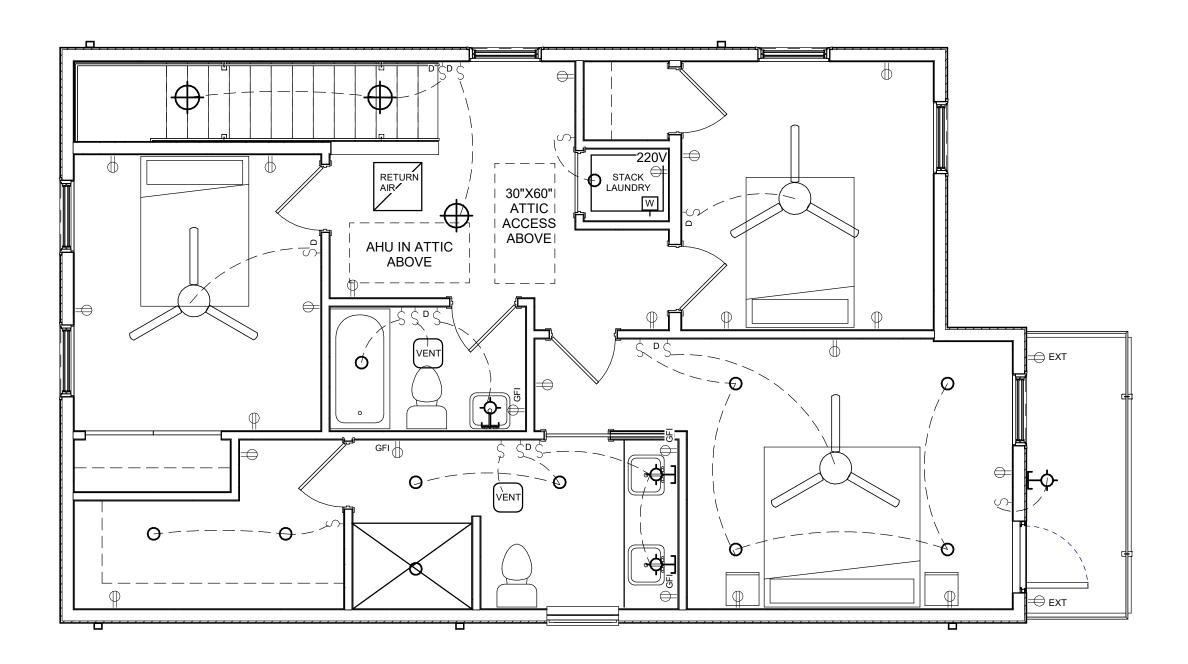
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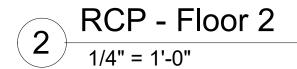
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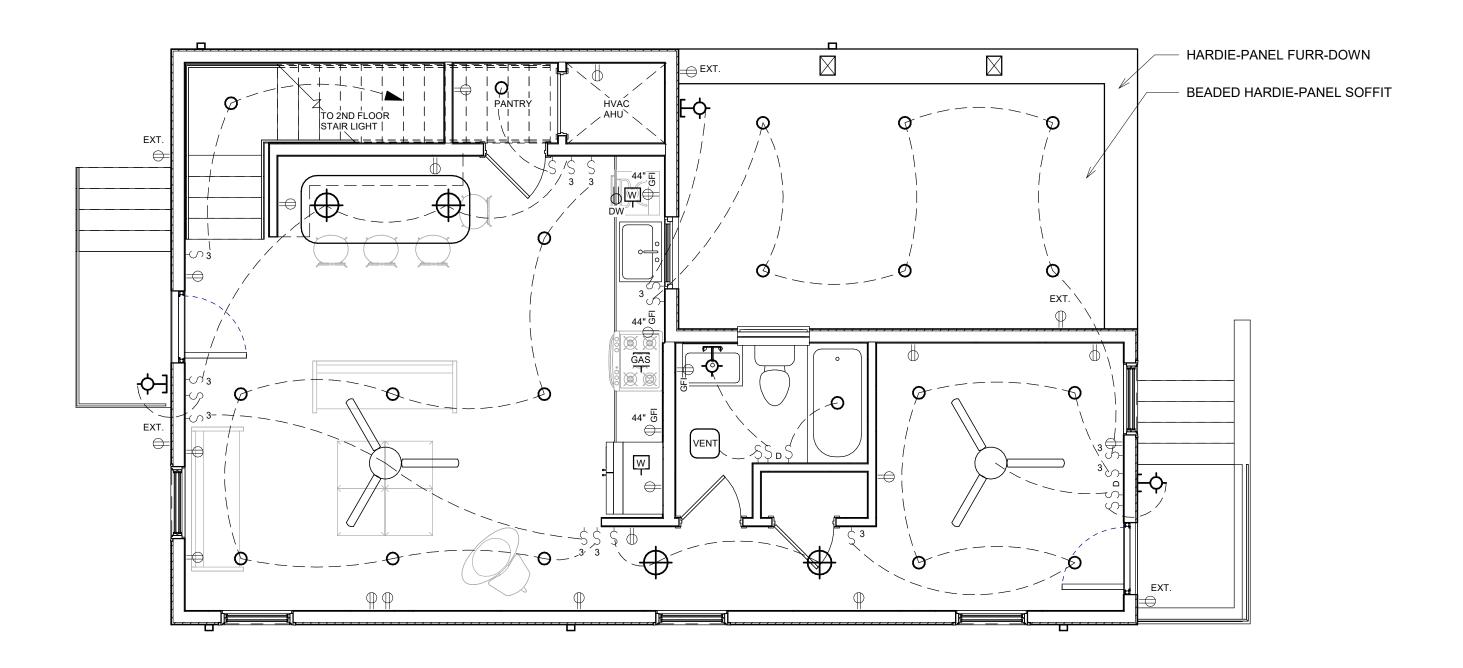
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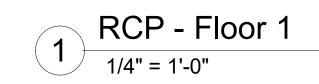
SCALE: 1/4'' = 1'-0''













MECHANICAL NOTES

GENERAL CONTRACTOR RESPONSIBLE FOR PROVIDING DESIGN/BUILD MECHANICAL SERVICES FOR PROJECT. ORGANIZATION AND LAYOUT IN ARCHITECTURAL PLANS IS SUGGESTIVE ONLY, AND FOR REFERENCE ONLY. DETAILS AND MECHANICAL SYSTEM DESIGN TO BE COORDINATED WITH DESIGN BY HVAC SUB.

WORK TO BE SUBMITTED TO OWNER TO REVIEW FOR CONFORMANCE WITH DESIGN REQUIREMENTS.

IT IS INTENDED THAT ALL OCCUPIED SPACES ARE TO BE CONDITIONED.

GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL FIRE BARRIERS. INCLUDING REQUIRED BLOCKING, GYP BD. AND FIRE CAULKING AS NEEDED TO PROVIDE REQUIRED FIRE AND SMOKE RESISTANCE RATING AT ALL FLOOR, WALL AND ROOF ASSEMBLIES AND SEPARATIONS PER CODE REQUIREMENTS.

WHERE TOILET ROOMS AND BATHROOMS ARE MECHANICALLY VENTILATED, THE VENTILATION EQUIPMENT SHALL BE INSTALLED IN **ACCORDANCE WITH IRC 2015 SECTION 1507.**

ELECTRICAL NOTES

COORDINATE ALL SCONCE HEIGHTS AND OUTLET HEIGHTS WITH OWNER PRIOR TO ROUGH-IN.

GENERAL CONTRACTOR RESPONSIBLE FOR PROVIDING DESIGN/BUILD ELECTRICAL SERVICES FOR PROJECTS. WORK TO COMPLY WITH ALL APPLICABLE CODES AND BE PERFORMED BY APPROPRIATELY LICENSED COMPANIES.

ELECTRICAL POWER INFORMATION SHOWN ON PLAN IS TO INDICATE BASIC INTENT AND SPECIFIC CONDITIONS ONLY. ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL CODE-REQUIRED LIGHTING, OUTLETS AND POWER TO EQUIPMENT, FIXTURES, LIGHTING, ETC FOR A COMPLETE SYSTEM.

SMOKE DETECTORS SHALL BE PROVIDED OUTSIDE SLEEPING AREAS AND INSIDE EACH BEDROOM AS REQUIRED BY CODE. SMOKE DETECTORS SHALL BE 120V, HARDWIRED, INTERCONNECTED WITH A BATTERY BACKUP AND SHALL NOT BE INSTALLED WITHIN 36" OF A RETURN AIR GRILLE OR ANY PADDLE FAN BLADE.

LIGHTING LAYOUT SHOWN ON PLANS IS TO DESCRIBE DESIGN INTENT ONLY. ELECTRICAL CONTRACTOR TO PROVIDE ALL RECEPTACLES AT STANDARD LOCATIONS AND INTERVALS WHICH ARE NOT SHOWN ON THE PLANS, CODE-REQUIRED LIGHTING.

FINAL LIGHT FIXTURE SELECTIONS AND LAYOUT TO BE COORDINATED WITH OWNER.

GENERAL CONTRACTOR TO PROVIDE ALLOWANCES FOR FANS AND LIGHT FIXTURES TO BE REVIEWED WITH OWNER.

KITCHEN: OUTLETS TO BE INSTALLED ON KITCHEN ISLAND PER CODE REQUIREMENTS. ALL RECEPTACLES OVER COUNTERTOP TO BE GFI PROTECTED.

BATHROOMS: ALL OUTLETS SHALL BE GFI PROTECTED. LIGHTS OVER BATHTUBS TO HAVE COVERS LISTED FOR DAMP LOCATION. LIGHTS OVER SHOWERS SHALL HAVE COVERS LISTED FOR WET LOCATIONS. WHERE TOILET ROOMS AND BATHROOMS ARE MECHANICALLY VENTILATED, THE VENTILATION EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH 2015 IRC SECTION 1507.

AFCI PROTECTION SHALL BE PROVIDED FOR DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, HALLWAYS, CLOSETS, ETC.

EXTERIOR RECEPTACLES SHALL BE GFI PROTECTED WITH WEATHERPROOF COVERS.

CONFIRM ANY LOW-VOLTAGE REQUIREMENTS WITH OWNER.

PROVIDE DEDICATED CIRCUITS FOR ALL A/V EQUIPMENT. CONFIRM WITH OWNER.

GC TO PROVIDE CAT5 AND DATA CONNECTION AT LOCATIONS INDICATED ON PLANS. CONFIRM LOCATIONS WITH OWNER.

RECEPTACLES, SWITCHES AND ALL OUTLET BOX COVERS TO BE WHITE, UNLESS NOTED OTHERWISE.

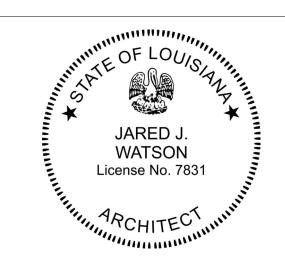
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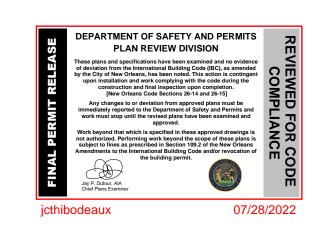
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Reflected Ceiling Plans

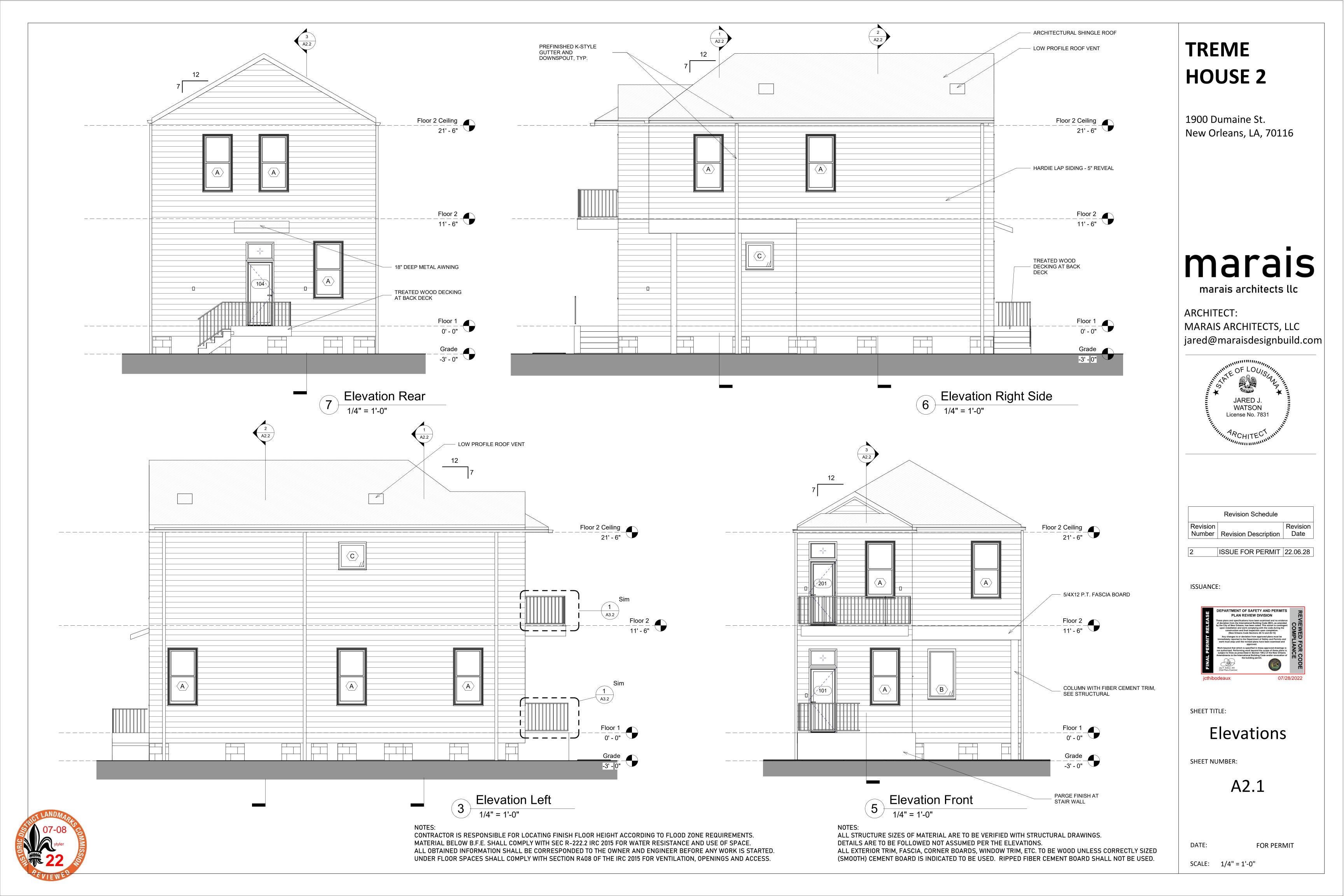
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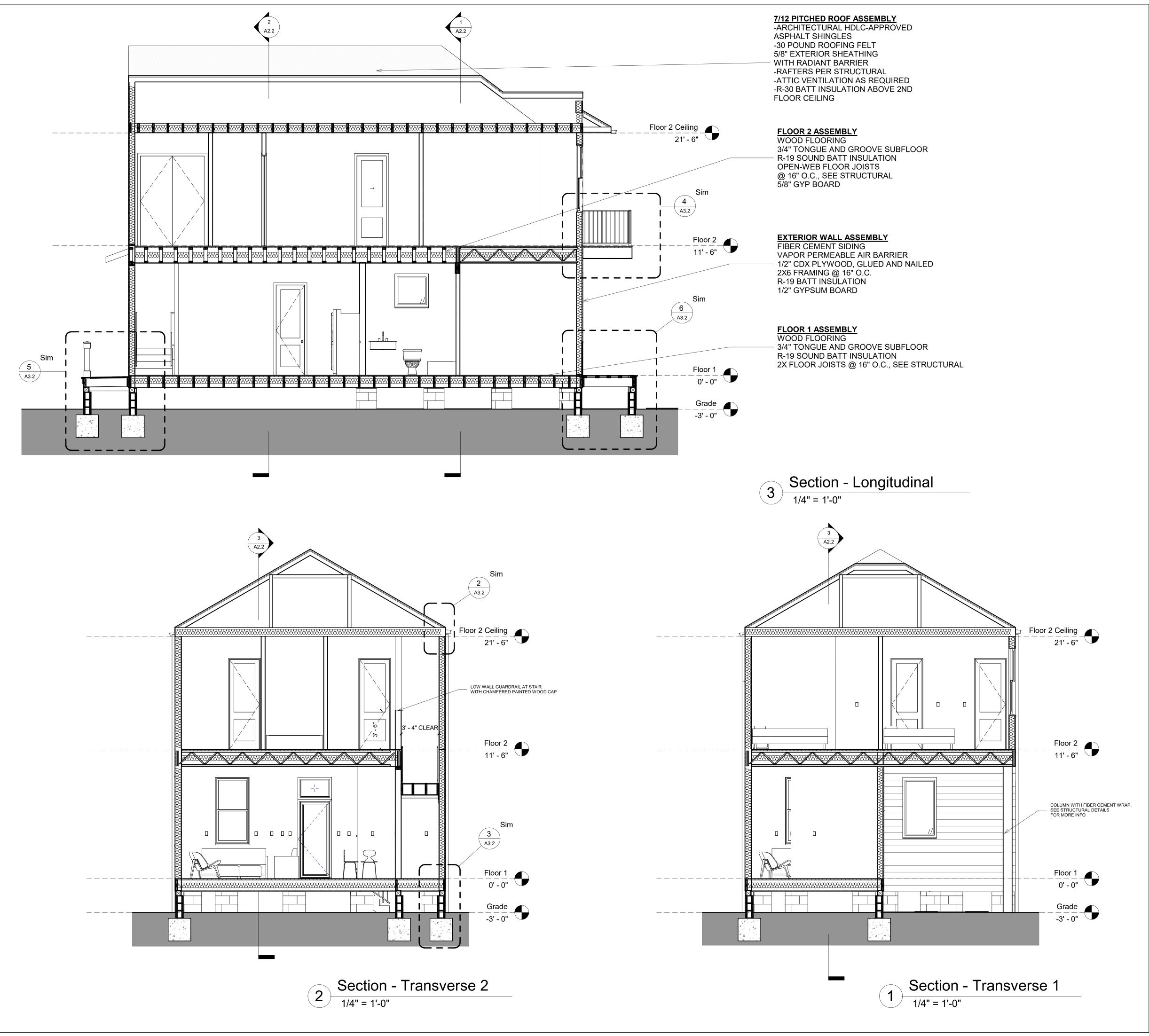
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SCALE: 1/4'' = 1'-0''





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Building Sections

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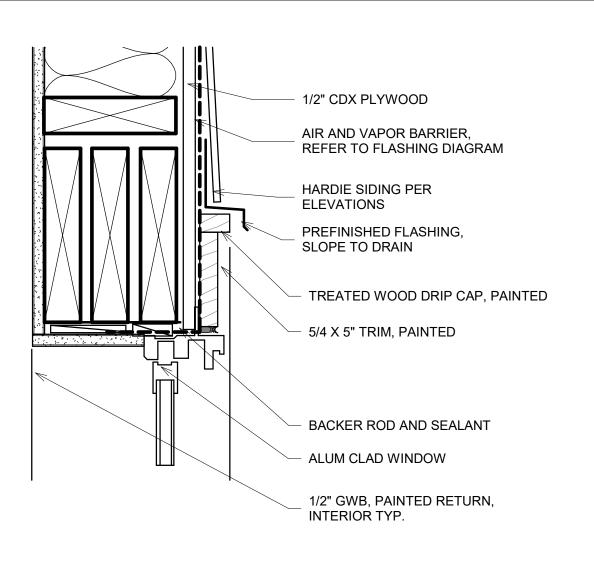
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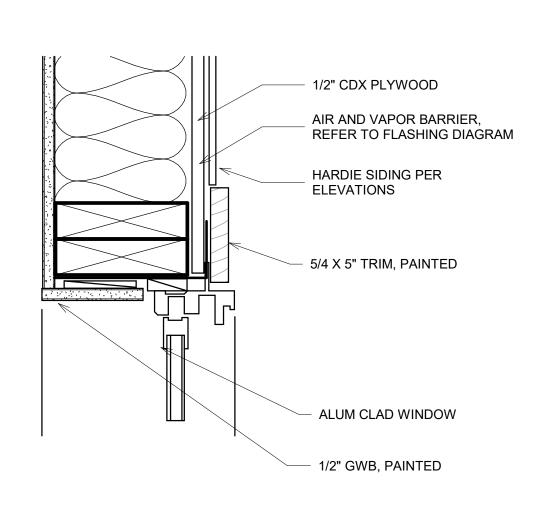
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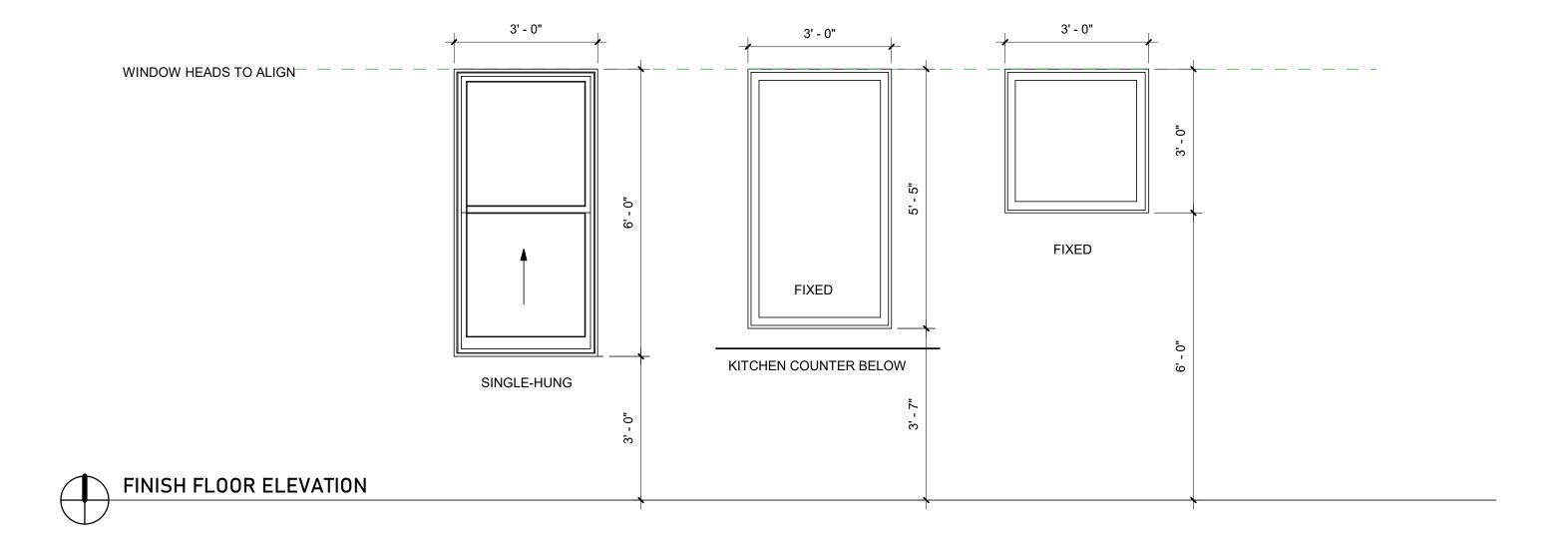
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SCALE: 1/4" = 1'-0"









TYPE A

TYPE B

TYPE C

QUANTITY: 11

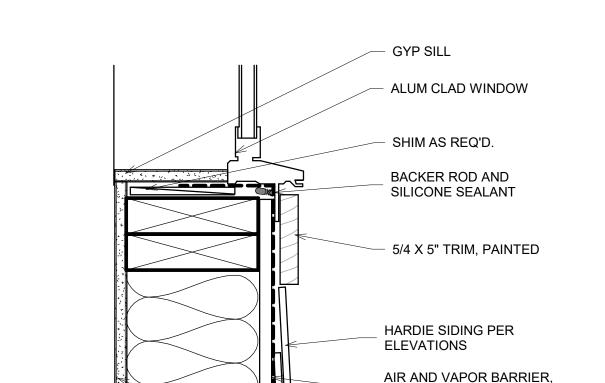
QUANTITY: 1

QUANTITY: 2

Window Elevations - Urquhart

QUANTITIES TO BE VERIFIED BY GC

WINDOW DETAIL - HEAD



REFER TO FLASHING DIAGRAM

1/2" CDX PLYWOOD

1/2" GWB, PAINTED

WINDOW DETAIL - SILL 3" = 1'-0"



BASIS OF DESIGN FOR

INTERIOR DOOR

WINDOW DETAIL - JAMB

7037 Thermal French

Exterior French & Sash Doors

> BASIS OF DESIGN FOR EXTERIOR DOOR

WINDOW NOTES

BASIS OF DESIGN: PLY-GEM ALUMINUM WINDOWS IN BRONZE FINISH WINDOWS TO BE SUBMITTED TO HDLC FOR APPROVAL PRIOR TO **PURCHASE**

INTERIOR DRYWALL WINDOW RETURNS, TYP.

ALL WINDOW HEADERS TO BE (2) 2X10'S UNLESS NOTED OTHERWISE. SEE STRUCTURAL.

DOOR NOTES

ALL EXTERIOR DOORS TO BE SUBMITTED FOR HDLC APPROVAL PRIOR TO PURCHASE.

ALL DOOR HEADERS TO BE (2) 2X10'S UNLESS NOTED OTHERWISE. SEE STRUCTURAL.

ALL INTERIOR DOOR TRIM TO BE SQUARE EDGE 1X4, U.N.O.

ALL INTERIOR DOORS TO BE FLAT SLAB DOORS, U.N.O.

INTERIOR DOOR HARDWARE : SCHLAGE LATITUDE, MATTE BLACK

INTERIOR DOOR BATHROOMS AND BEDROOMS TO HAVE PRIVACY HARDWARE. ALL CLOSET DOORS TO HAVE PASSAGE HARDWARE.

INTERIOR HINGES TO BE MATTE BLACK

ALL INTERIOR DOOR TRIM TO BE 1X4, NO MITERED EDGES.

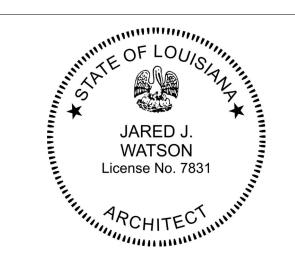
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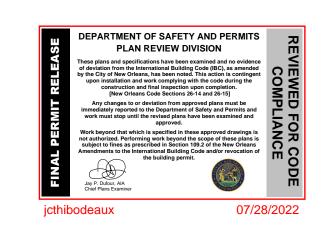
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Openings

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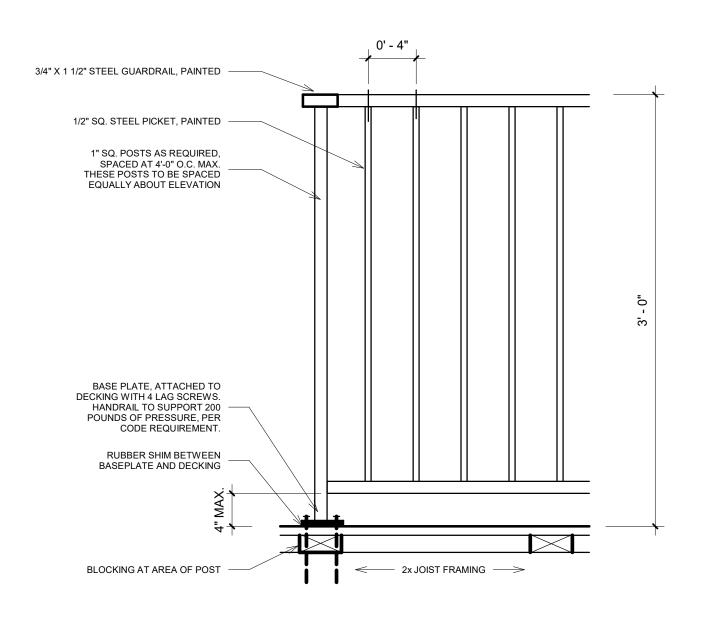
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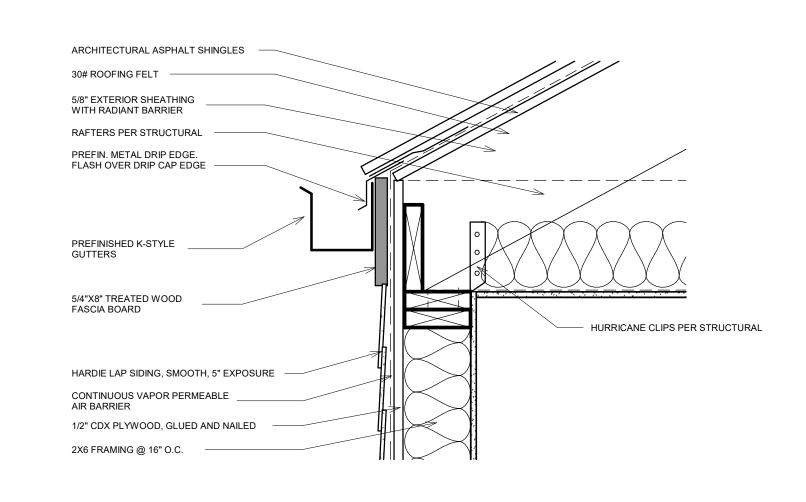
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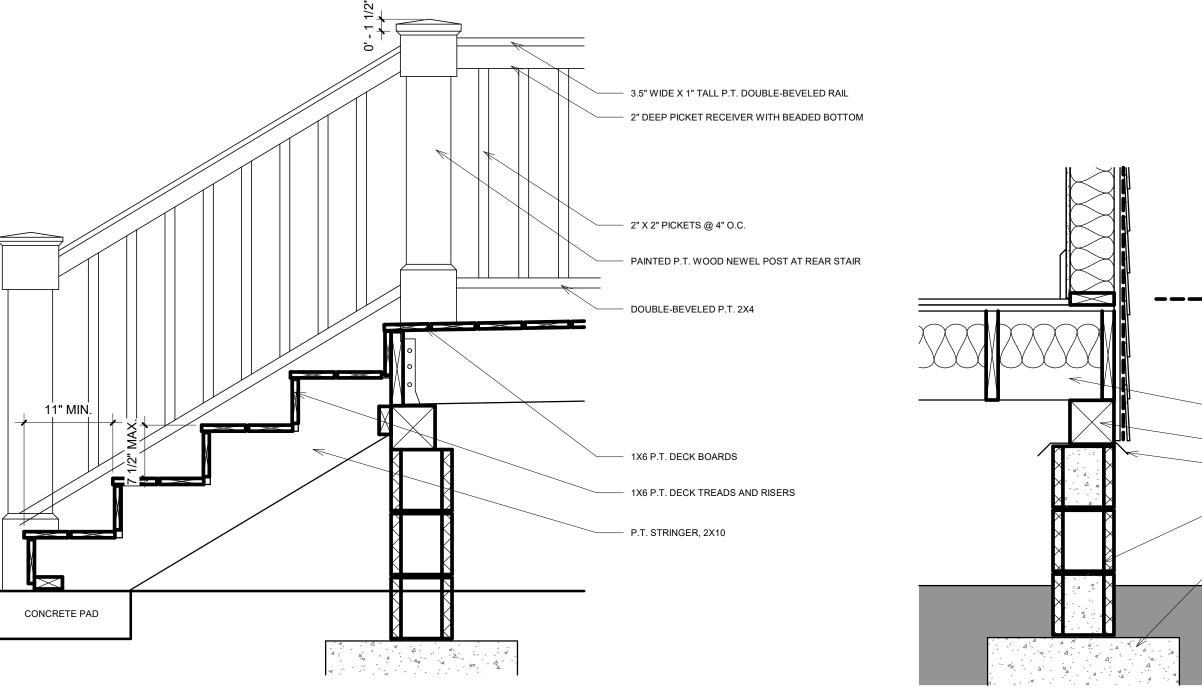
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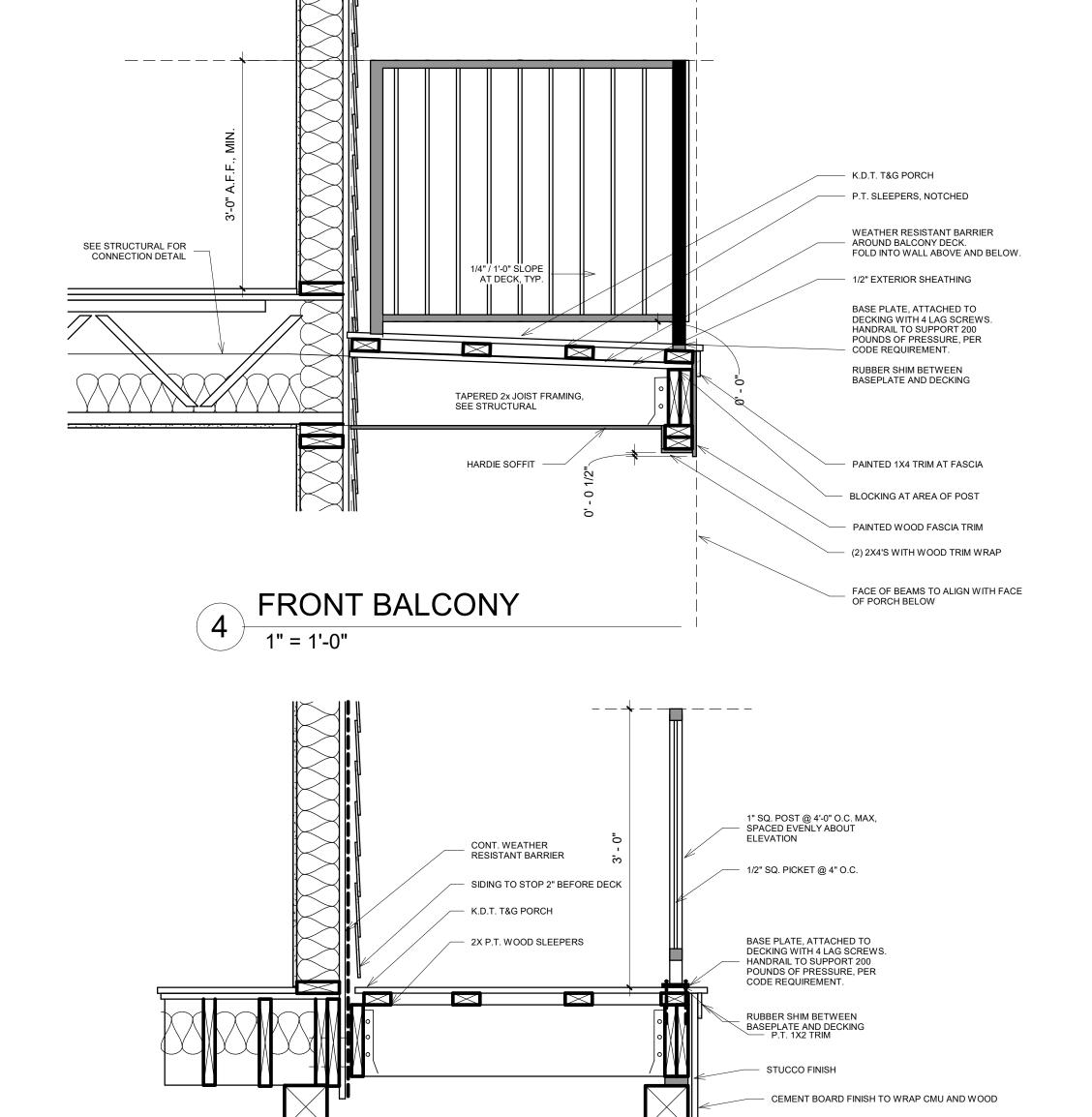
1 TYP. METAL RAILING
1 1/2" = 1'-0"



FINISH FLOOR AT OR ABOVE MIN. B.F.E. P.T. 2X JOIST, SEE STRUCTURAL P.T. 6X6 SILL TERMITE SHIELD - FULLY-GROUTED CMU PIER - GRADE BEAM, REFER TO STRUCTURAL

REAR DECK WITH RAIL





DETAIL AT FRONT PORCH

TREME HOUSE 2

1900 Dumaine St. New Orleans, LA, 70116

marais

marais architects llc

ARCHITECT: MARAIS ARCHITECTS, LLC jared@maraisdesignbuild.com



Revision Schedule Revision Number | Revision Description | Date

ISSUE FOR PERMIT 22.06.28

ISSUANCE:



SHEET TITLE:

Details

SHEET NUMBER:

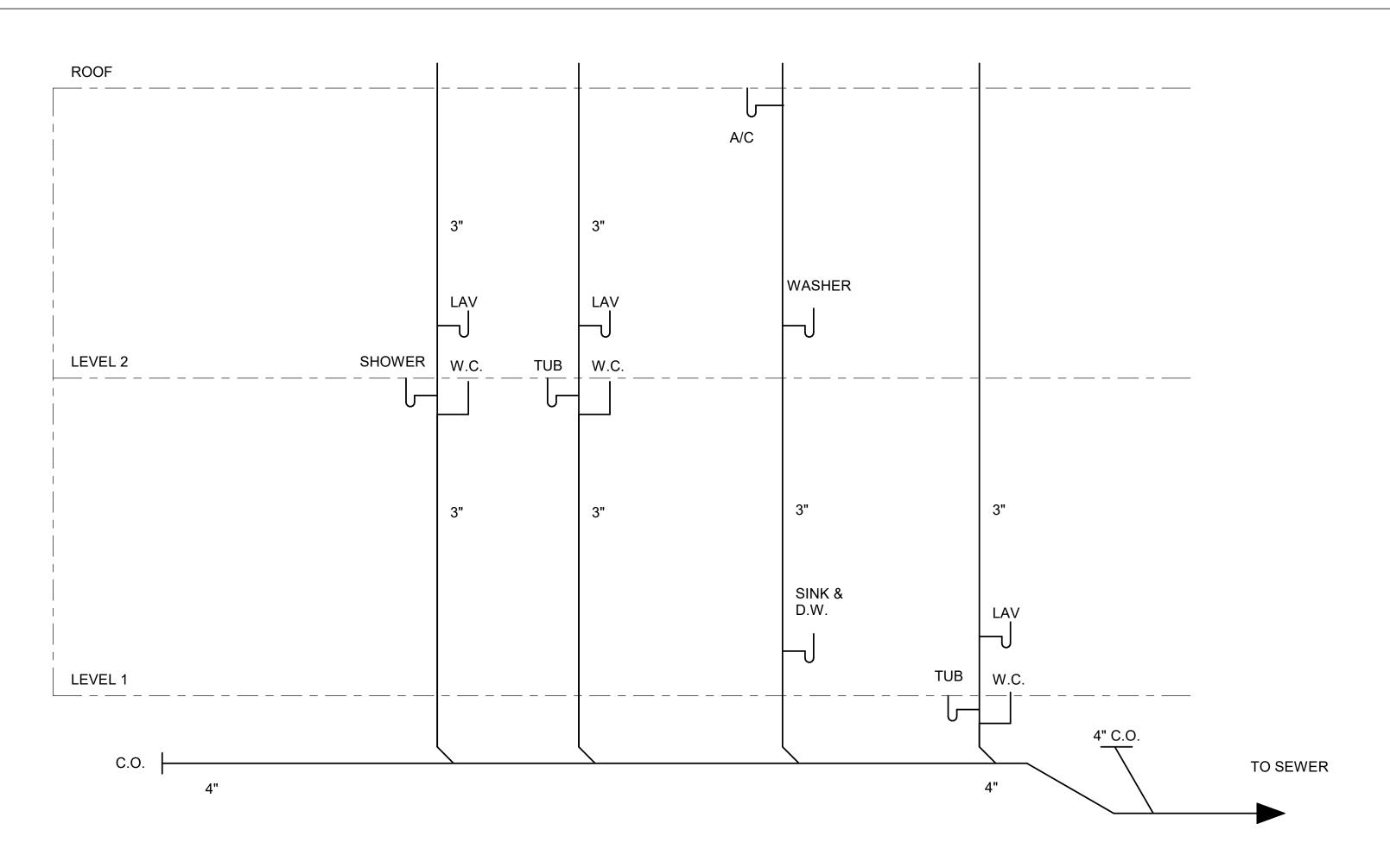
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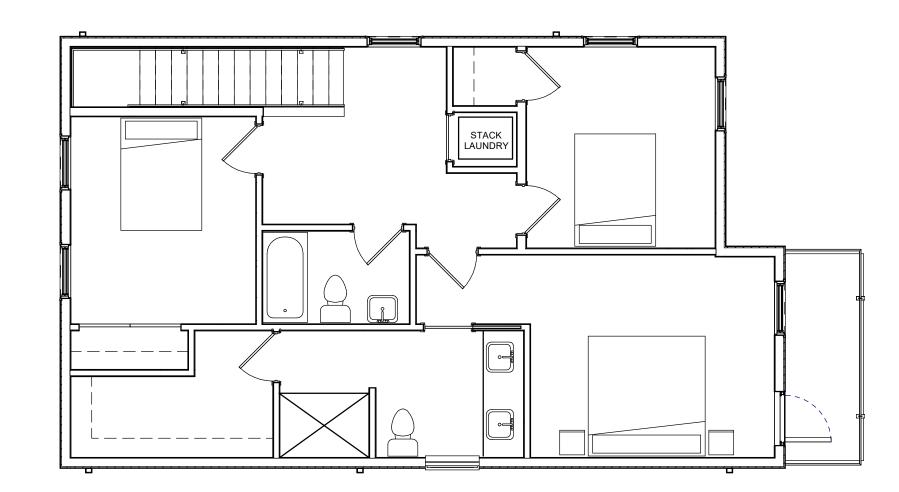
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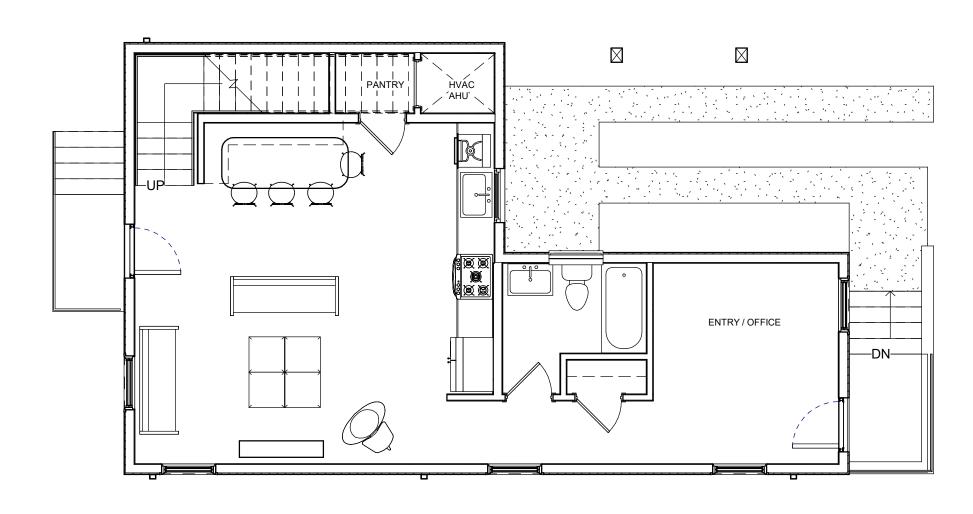


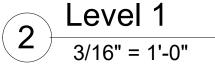






3 Level 2 3/16" = 1'-0"





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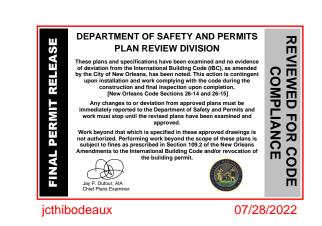


Revision Schedule

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2 ISSUE FOR PERMIT 22.06.28

ISSUANCE:



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SHEET NUMBER BRIAN

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DATE:

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