



INDEX OF DRAWINGS

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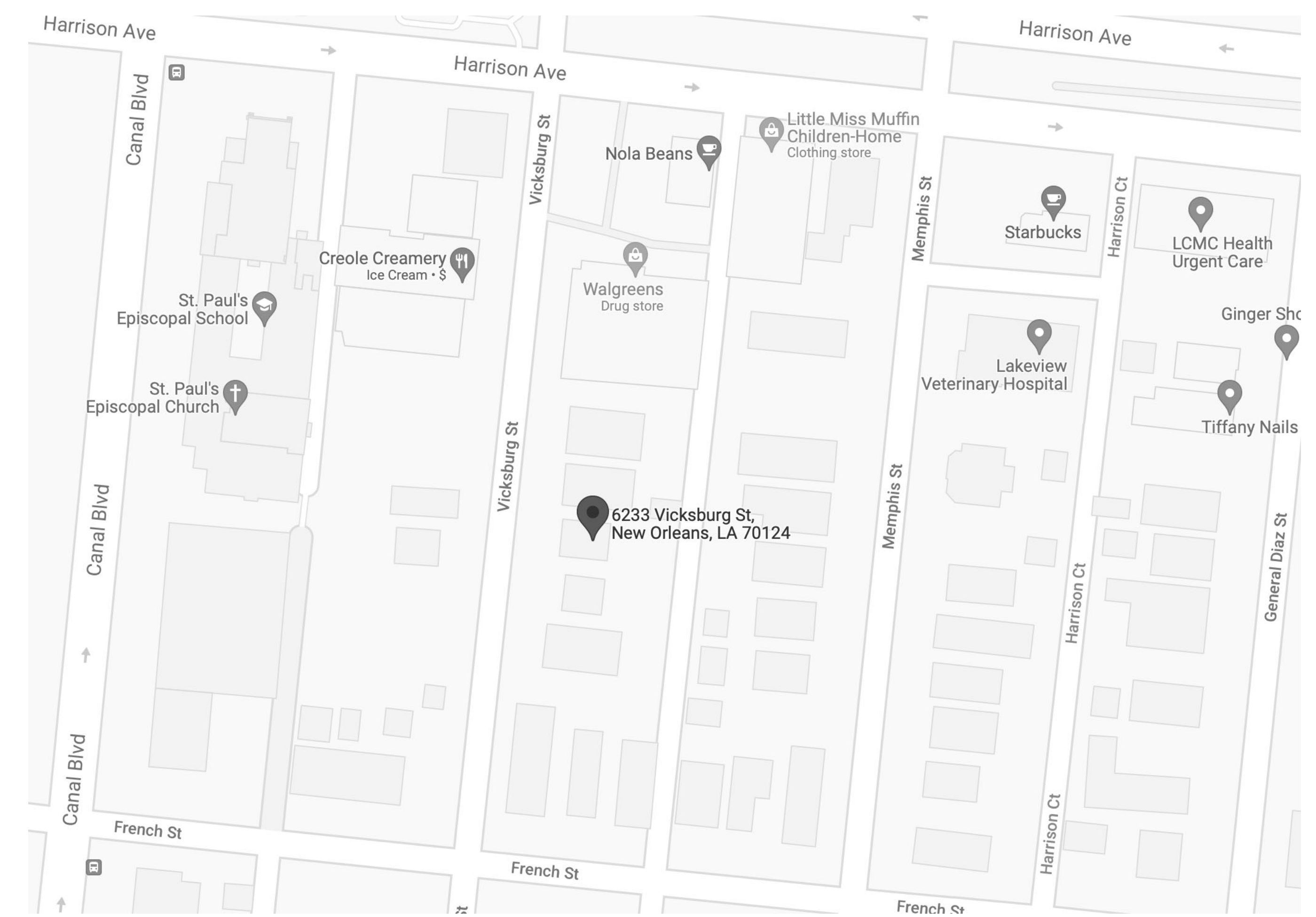
Project Description: Selective renovation of an existing single family home to allow for a few updates and a more open floor plan. The home will receive new siding and some new window locations. The primary bathroom will be renovated, and a bathroom will be added at the front of the house. The partition wall between the kitchen and dining room will be removed to allow for open kitchen/dining. Structural work will be limited to replacing existing beams in the bearing wall with a new beam. There are to be no changes to the foundation, roof work, etc.

GENERAL NOTES:

1. THE DESIGNER HAS MADE EVERY EFFORT TO ENSURE THE ACCURACY AND CORRECTNESS OF THESE PLANS. HOWEVER, THE CONTRACTOR SHALL REVIEW THE CONSTRUCTION DOCUMENTS PRIOR TO BEGINNING. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER FOR CLARIFICATION PRIOR TO THE COMMENCEMENT OF WORK.
2. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS PRIOR TO BEGINNING WORK. ANY CONFLICTS WITH THE PROPOSED SITE SHALL BE IMMEDIATELY REPORTED TO THE DESIGNER FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK.
3. CONTRACTOR IS NOT TO "SCALE" DRAWINGS.
4. CONTRACTOR SHALL COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE & LOCAL) GOVERNING THE WORK, SAFETY OF PERSONS, AND ENVIRONMENTAL PROTECTION.
5. FINISH FLOOR ELEVATION SHALL BE ESTABLISHED BY OWNER SO AS TO PROVIDE SUFFICIENT ELEVATION TO ALLOW FOR POSITIVE SITE DRAINAGE WITH ALLOWANCE FOR TOP SOIL AND LANDSCAPING.
6. DESIGN/BUILD TEAM TO RETAIN AT LEAST 50% OF EXISTING ACCESSORY STRUCTURE THROUGHOUT RENOVATION OF SAID STRUCTURE. UPGRADES TO INCLUDE NEW GABLE ROOF AND NEW SIDING. THERE SHALL BE NO CHANGES TO THE EXISTING FOOTPRINT OR STRUCTURAL FRAME UNLESS NECESSARY FOR SAFETY PURPOSES.
7. PLAN DIMENSIONS AT ALL PARTITIONS ARE TO FACE OF WALL UNLESS NOTED OTHERWISE. DIMENSIONS DO NOT TAKE APPLIED FINISHES INTO ACCOUNT.
8. PLAN DIMENSIONS TO DOORS AND WINDOWS LOCATED IN PARTITIONS ARE TO OPENING.
9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL NOTIFY ARCHITECT OF ANY DEVIATION FROM THAT INDICATED ON THE DRAWINGS OR SPECIFICATIONS.
10. DO NOT SCALE DRAWINGS FOR DIMENSIONS.
11. NOTES AND DETAILS ON DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL NOTES.
12. WHERE NOTES AND DETAILS ARE IN CONFLICT WITH SPECIFICATIONS, THE MOST STRINGENT SHALL GOVERN.
13. ALL CHANGES IN FLOOR FINISHES SHALL OCCUR UNDER DOORS UNLESS NOTED OR DETAILED OTHERWISE.
14. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DOCUMENTS FOR EQUIPMENT AND HOUSEKEEPING CONCRETE PADS, SIZE AND LOCATIONS TO BE COORDINATED WITH ACTUAL EQUIPMENT.
15. PROVIDE FIRESTOPPING AT ALL PERIMETER SPACES, OPENINGS, PENETRATIONS, ETC. IN FIRE-RATED PARTITIONS, FIRE-RATED WALLS AND FIRE RATED FLOORS WHERE FIRE AND/OR SMOKE SEPARATIONS ARE REQUIRED. ANY PENETRATIONS THROUGH RATED WALL CONSTRUCTION ARE TO BE PROPERLY SEALED WITH AN APPROVED FIRE STOPPING MATERIAL.
16. CONTRACTOR TO COORDINATE ALL EXPOSED CONDUIT, PIPING, ETC. RUNS MUST BE ORGANIZED AS INDICATED ON DRAWINGS OR COORDINATE WITH ARCHITECT.
17. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACING TO ENSURE THE SAFE PERFORMANCE AND EXECUTION OF THE WORK REQUIRED IN THESE DOCUMENTS.
18. THE CONTRACTOR SHALL ASK FOR DETAILS AND/OR INSTRUCTIONS WHEN UNCERTAIN HOW TO

DATA:

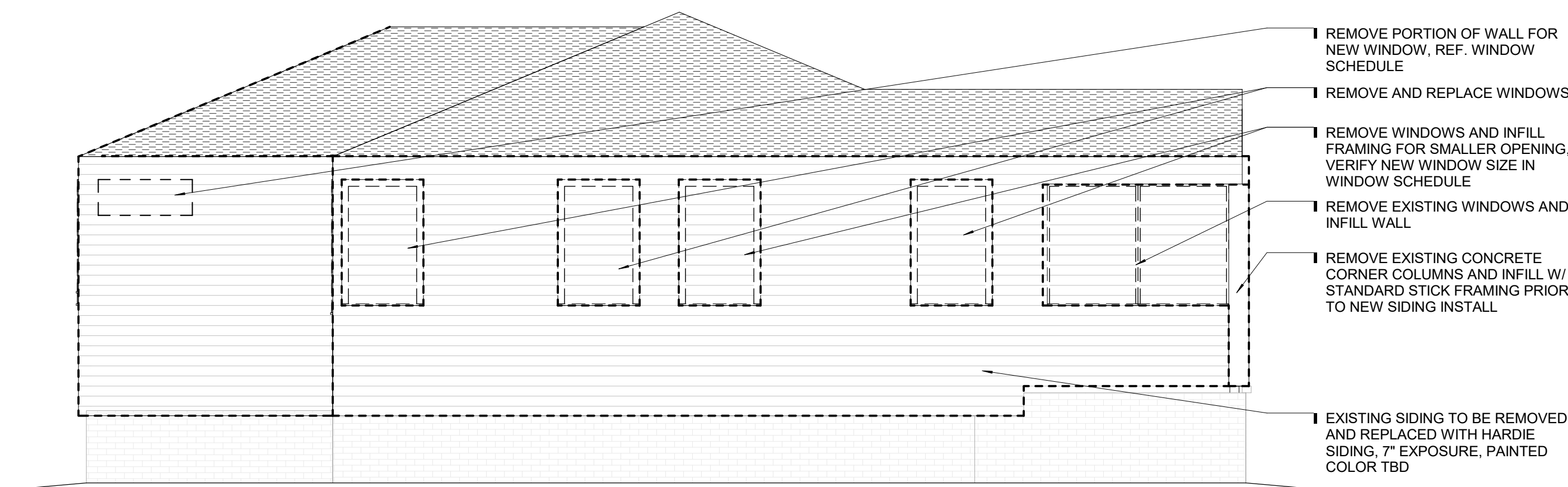
LIVING AREA:	1106 SF
REFERENCE CODE:	IRC 2015
DESIGN WIND SPEED:	143 MPH



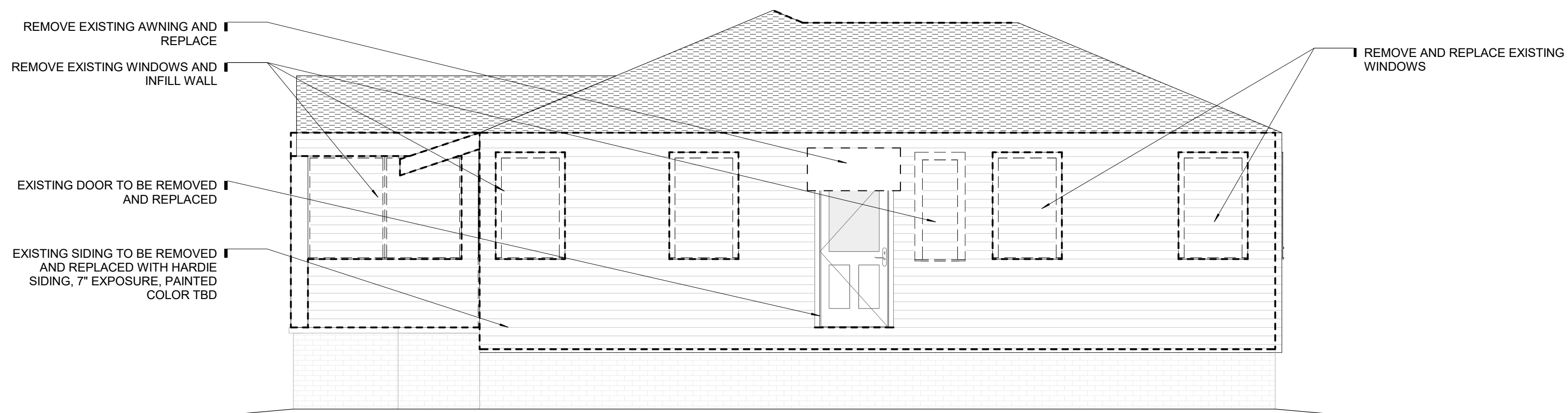
1. ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE INTERNATIONAL RESIDENTIAL BUILDING CODE
2. LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED.
3. FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE, S4S NO. 2 MAXIMUM MOISTURE CONTENT OF 15%, UNLESS SPECIFIED OTHERWISE
4. STUD WALLS AND PARTITIONS SHALL BE SIZED AS FOLLOWS:
EXTERIOR WALLS - 2X4 @ 16" O.C.
FLOOR PARTITIONS - 2X4 @ 16" O.C.
WET WALLS - 2X6 16" O.C.
UNLESS SPECIFIED OTHERWISE
5. BLOCK ALL STUDS AT THE MID-HEIGHT
6. PROVIDE WOOD COLLAR BRACES AT EACH RAFTER 24" BELOW CROWN OR ROOF.
7. PLYWOOD ROOFING - APA RATED 240, 5/8" THICK. NAIL WITH 8D NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE PLY CLIPS AT UNSUPPORTED EDGES BETWEEN JOISTS
8. WIND BRACING - PROVIDED APA RATED 4'X8'X1/2" PLYWOOD ON ALL EXTERIOR WALL CORNERS. NAIL PLYWOOD EDGES WITH 8D NAILS AT 4" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE SOLID BLOCKING AT ALL PANEL EDGES.
9. COORDINATE FRAMING WITH HVAC DUCTS, ELECTRICAL AND PLUMBING REQUIREMENTS.

COVER SHEET & GENERAL
NOTES

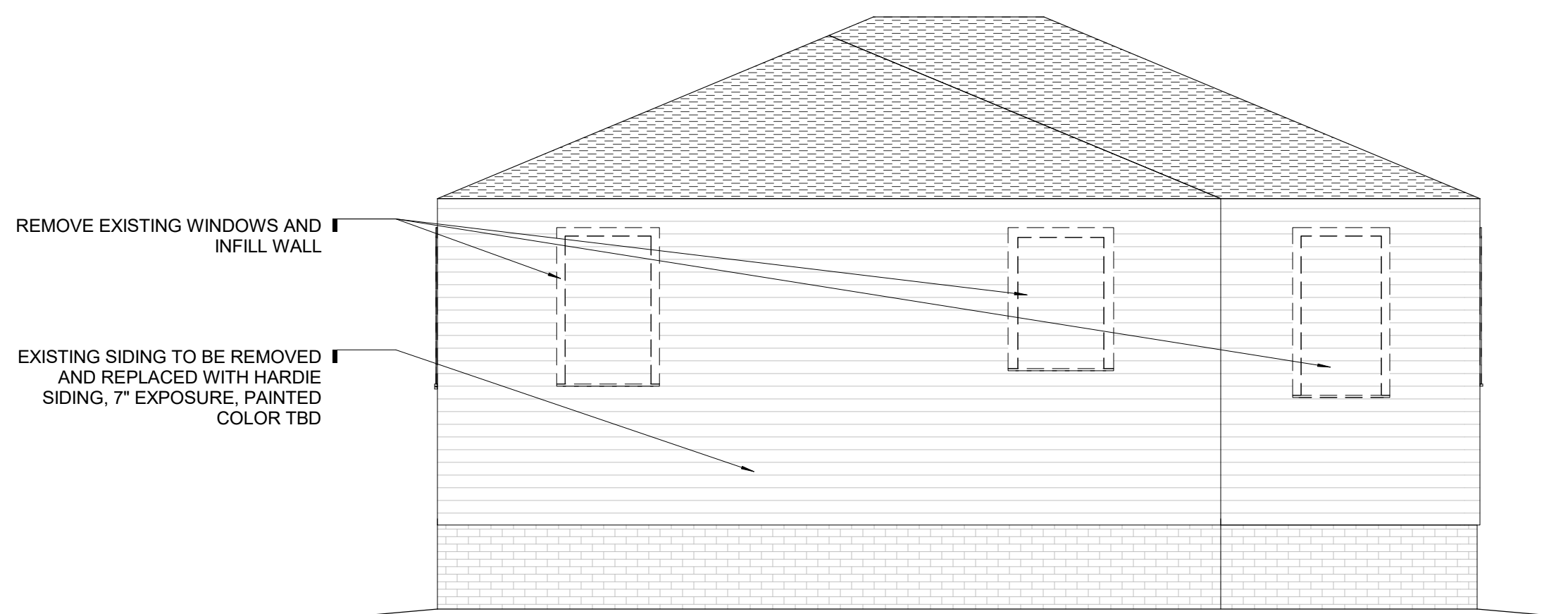
A001



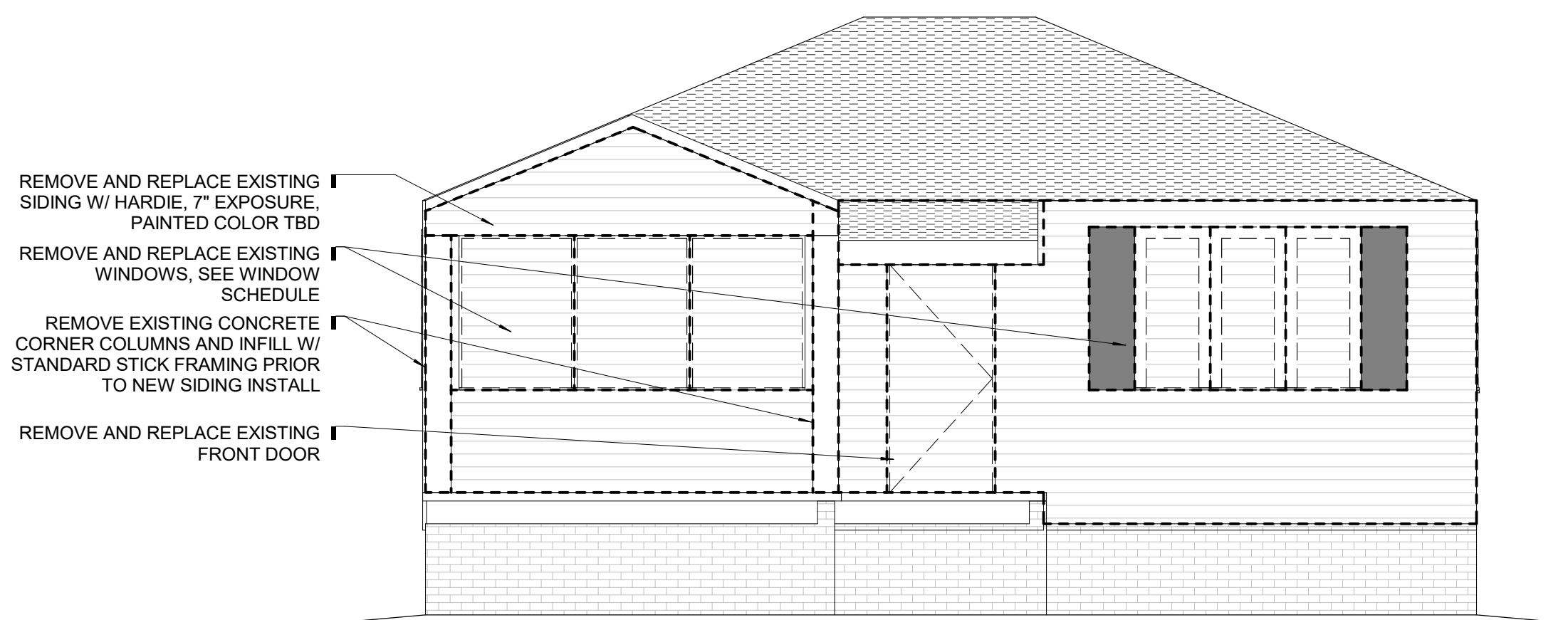
5 EXISTING ELEVATION 2
1/4" = 1'-0"



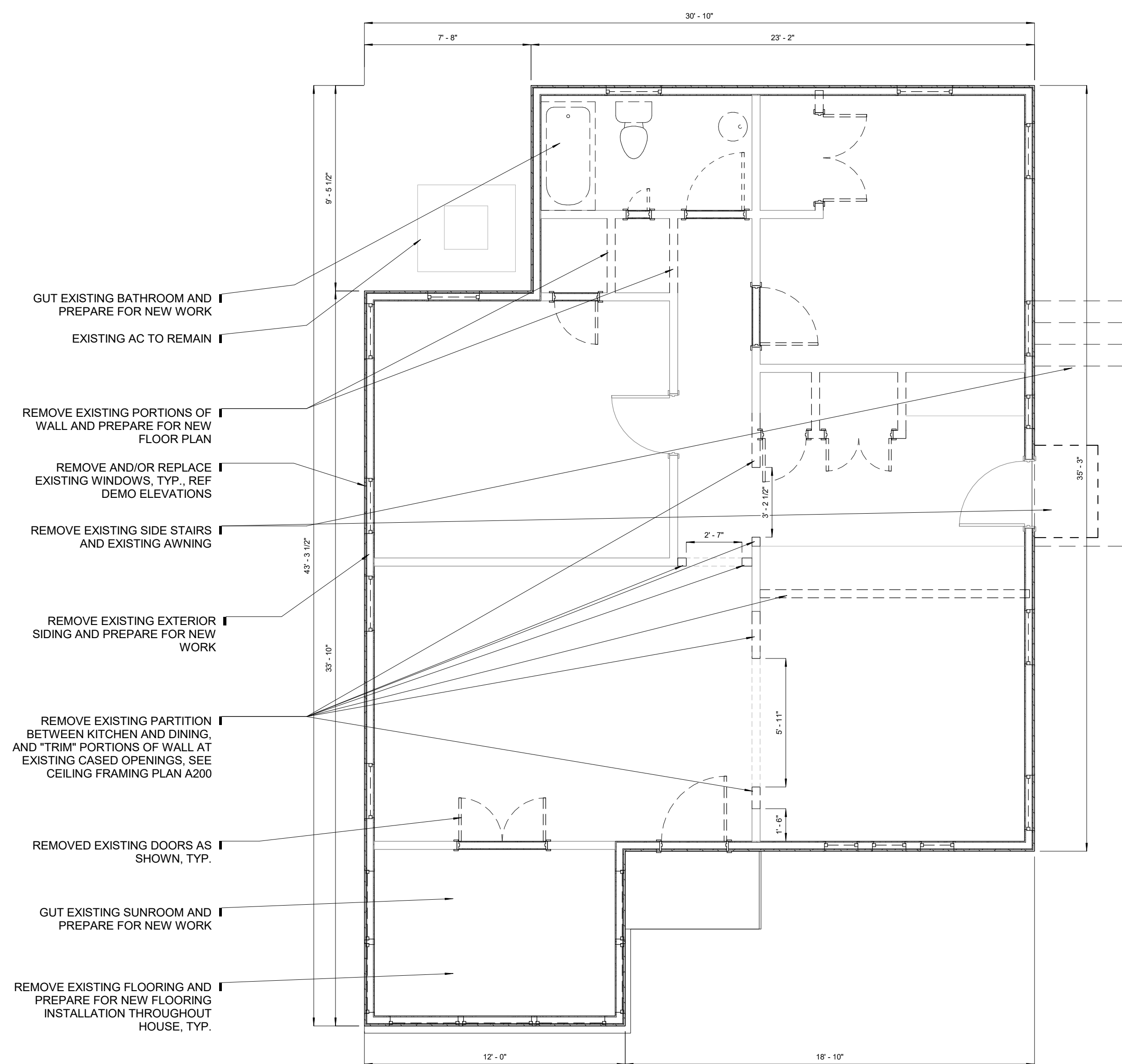
4 EXISTING ELEVATION
1/4" = 1'-0"



3 EXISTING REAR ELEVATION
1/4" = 1'-0"



2 EXISTING FRONT ELEVATION
1/4" = 1'-0"



1 EXISTING FIRST FLOOR
1/4" = 1'-0"

GENERAL	
1. Plan dimensions at all partitions are to face of wall unless noted otherwise. Dimensions do not take applied finishes into account.	6. Where notes and details are in conflict with specifications, the most stringent shall govern.
2. Plan dimensions to doors and windows located in partitions are to opening.	7. All changes in floor finishes shall occur under doors unless noted or detailed otherwise.
3. Contractor shall verify all dimensions and field conditions and shall notify architect of any deviation from that indicated on the drawings or specifications.	8. See Mechanical, Plumbing and Electrical Documents for equipment and housekeeping concrete pads. Size and locations to be coordinated with actual equipment.
4. Do not scale drawings for dimensions.	9. Provide fire stopping at all perimeter spaces, openings, penetrations, etc. in fire rated partitions, fire rated walls and fire rated floors where fire and/or smoke separations are required. Any penetrations through rated wall construction are to be properly sealed with an approved fire stopping material (Re-Specifications). Provide fire dampers as required.
5. Notes and details on drawings take precedence over general notes and typical notes.	10. Contractor to coordinate all exposed conduit, piping, etc. Runs must be organized as indicated on the drawings or coordinate with architect.
11. The contractor shall provide all necessary shoring and bracing to ensure the safe performance and execution of the work required in these documents.	12. The contractor shall ask for details and/or instructions when uncertain how to proceed. The lack of not requesting details does not excuse sloppy or improper work. Correction shall be the responsibility of the contractor at no costs to the owner.

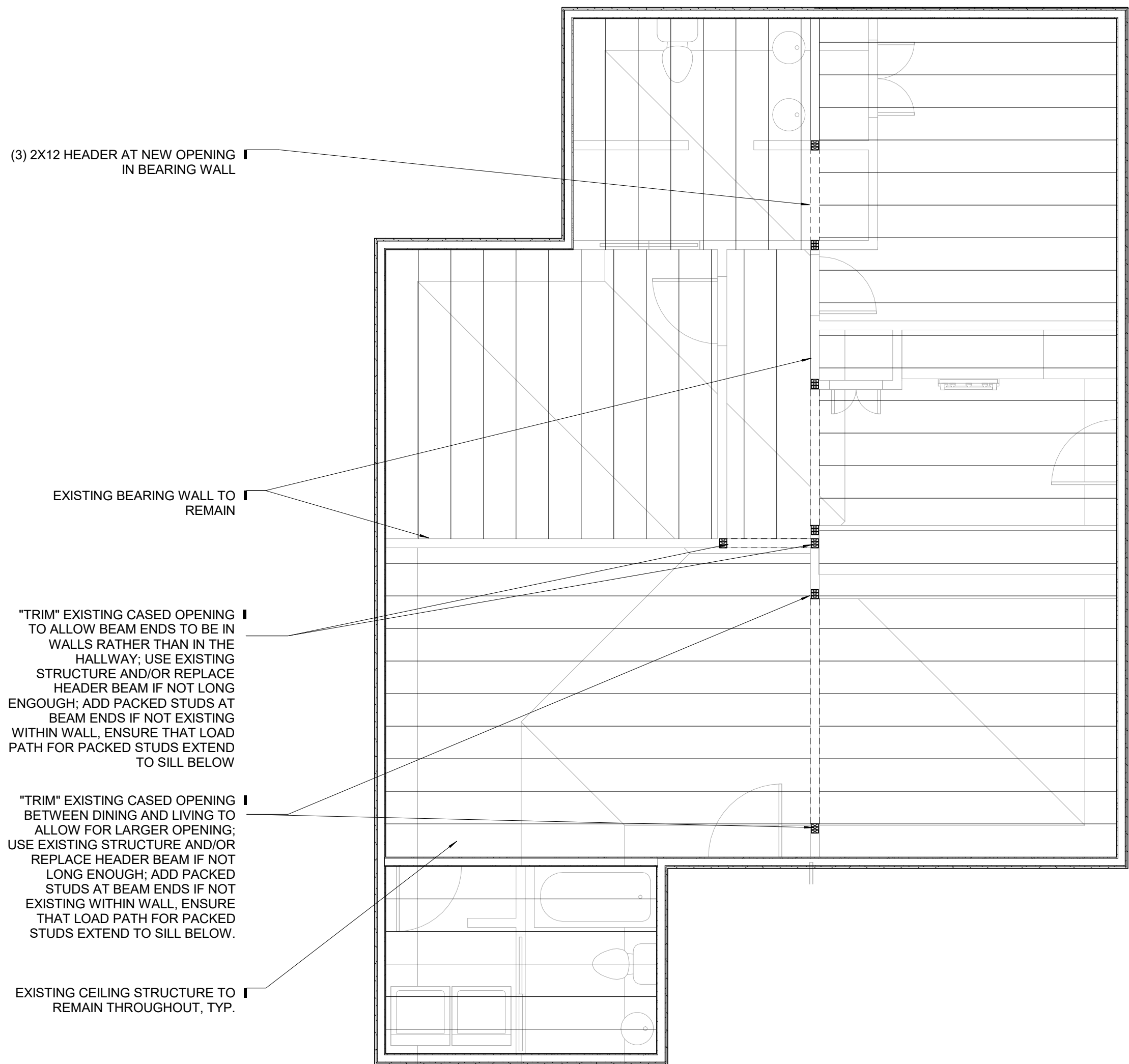
KEY
--- DEMOLITION LINE

KEY
SEA

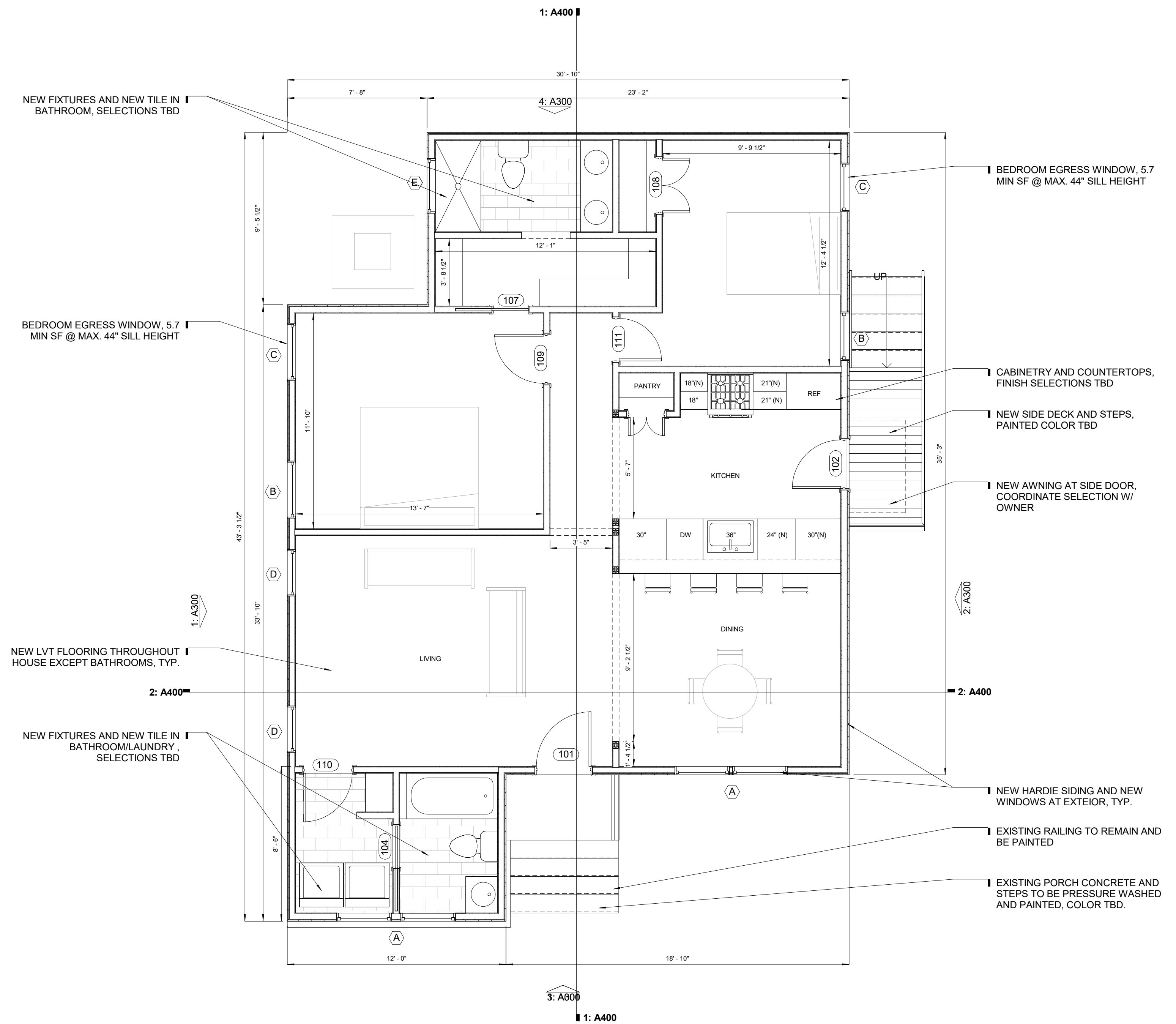
architect	CATHERINE CALHOUN	client	JENNIFER DIGNAN AND MICHAEL DAMARE
manager	Checker	title	6233 VICKSBURG STREET
production		phase	CONSTRUCTION DOCUMENTS
number	2201	date	07/11/22
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DEMOLITION PLAN AND
ELEVATIONS

D100



2 CEILING FRAMING
1/4" = 1'-0"



1 FIRST FLOOR Copy 1
1/4" = 1'-0"

GENERAL	
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KEY	
SEA	

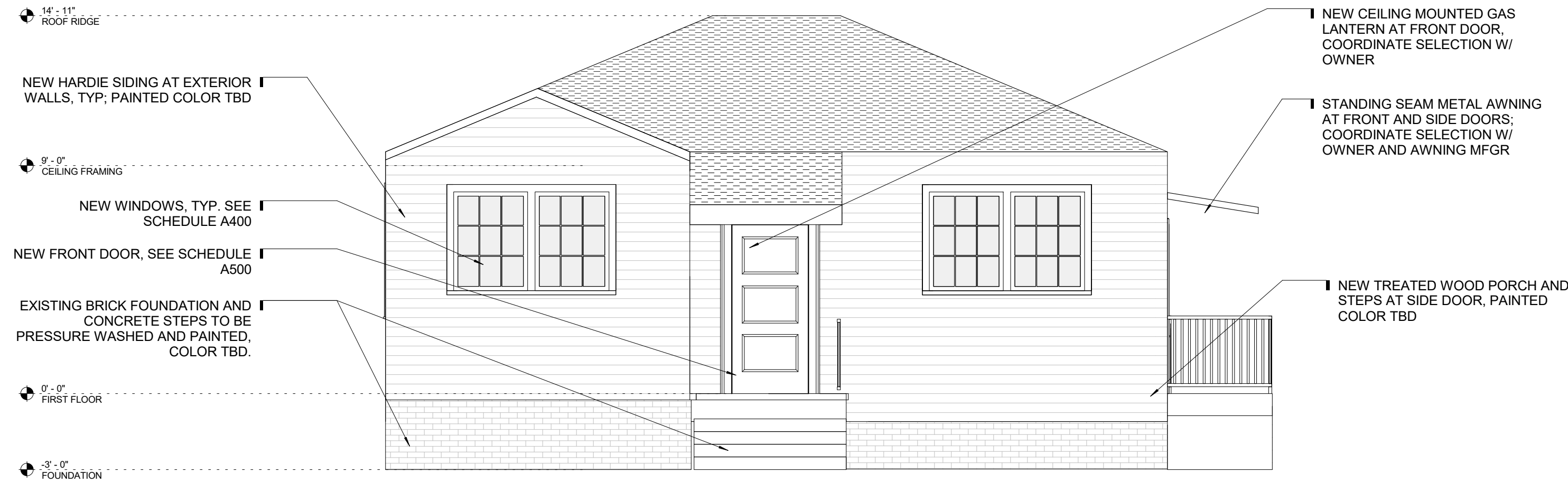
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number	2201	date	07/11/22
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FRAMING PLAN AND
FLOOR PLAN

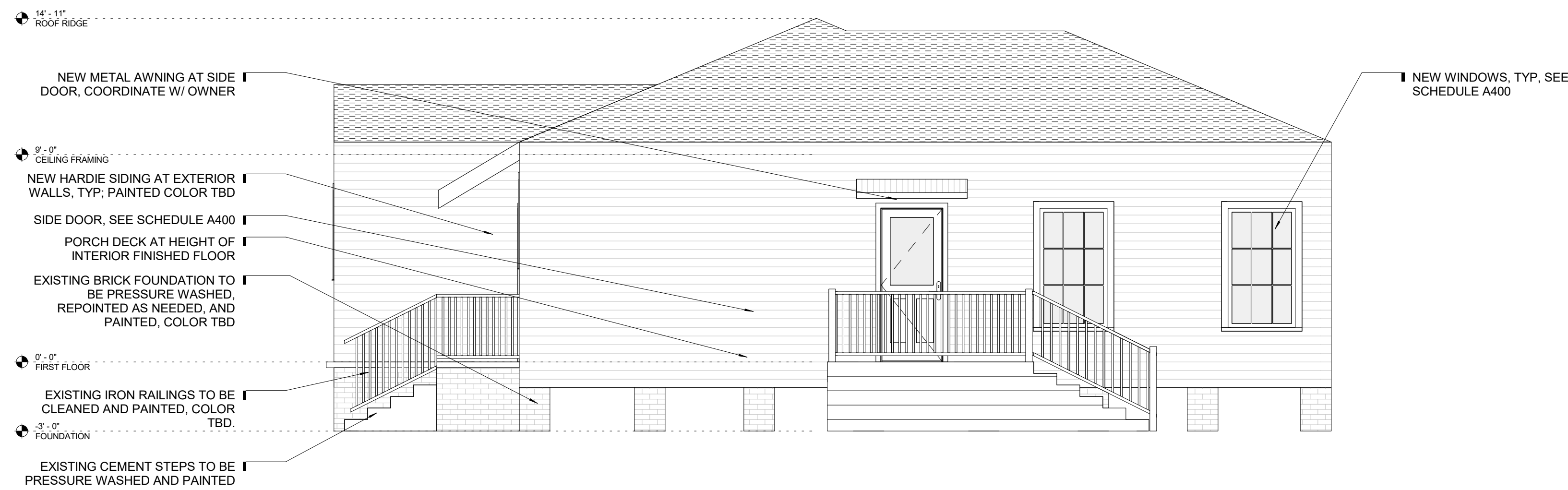
A200



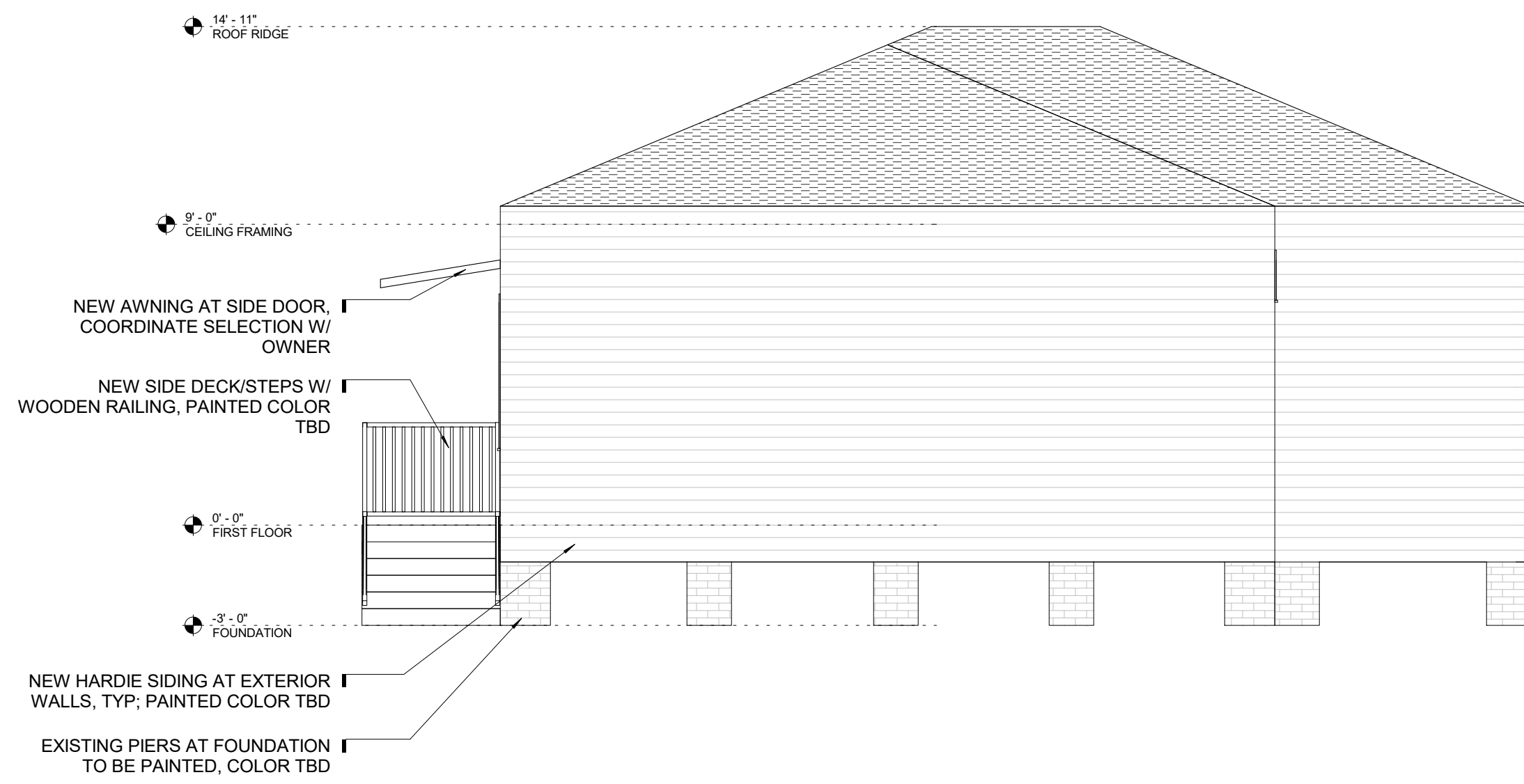
1 NORTH ELEVATION
1/4" = 1'-0"



3 FRONT ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

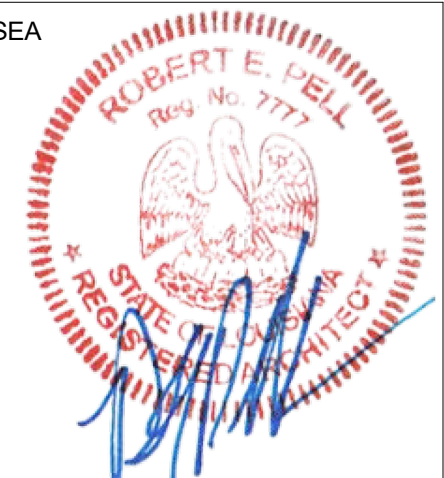


4 REAR ELEVATION
1/4" = 1'-0"

GENERAL	
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2. Plan dimensions to doors and windows located in partitions are to opening.	7. All changes in floor finishes shall occur under doors unless noted or detailed otherwise.
3. Contractor shall verify all dimensions and field conditions and shall notify architect of any deviation from that indicated on the drawings or specifications.	8. See Mechanical, Plumbing and Electrical Documents for equipment and housekeeping concrete pads. Size and locations to be coordinated with actual equipment.
4. Do not scale drawings for dimensions.	9. Provide fire stopping at all perimeter spaces, openings, penetrations, etc. in fire rated partitions, fire rated walls and fire rated floors where fire and/or smoke separations are required. Any penetrations through rated wall construction are to be properly sealed with an approved fire stopping material (Re-Specifications). Provide fire dampers as required.
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KEY	
SEA	



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EXTERIOR ELEVATIONS

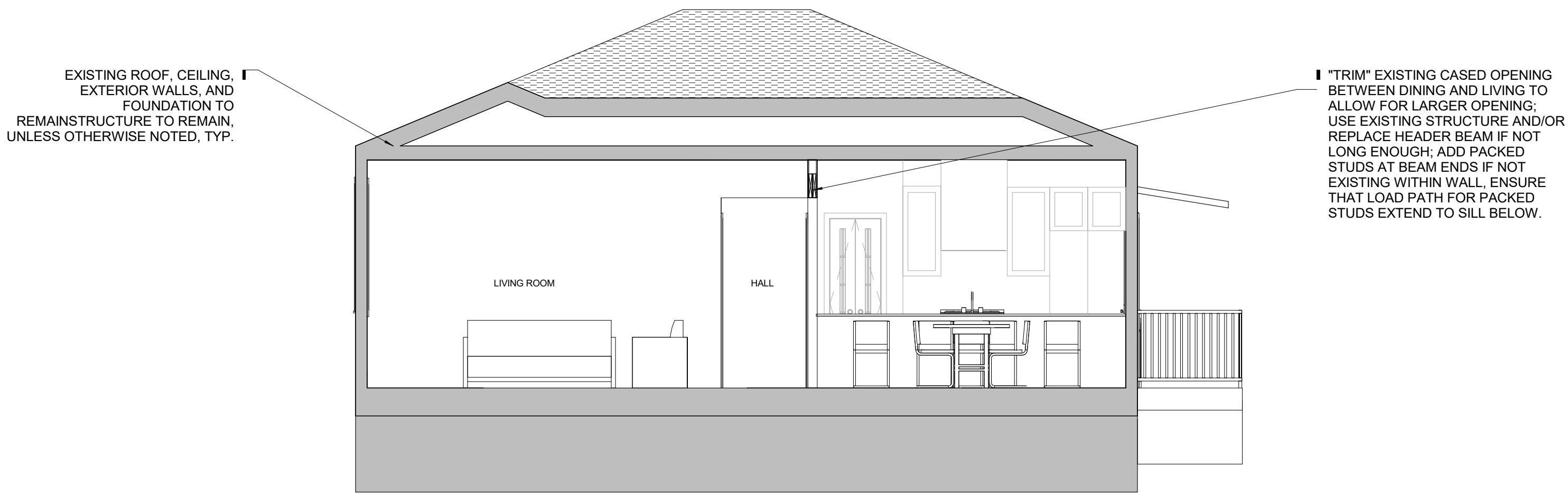
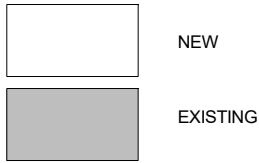
A300

EXTERIOR SWING DOOR BASIS OF DESIGN: (SIDE AND BACK DOORS) MASONITE VETRAGRANDE HALF LITE LITE W/ CLEAR GLASS, SMOOTH FIBERGLASS OR APPROVED EQUAL. (FRONT DOOR) FRONT DOOR TO BE SELECTED FROM MFG'S FULL RANGE OF OFFERINGS.							
INTERIOR DOOR BASIS OF DESIGN: MASONITE LINCOLN PARK (OR COORDINATE STYLE W/ OWNER), SMOOTH FINISH, PRE-HUNG SOLID CORE.							
INTERIOR DOOR CASING TO BE 1X4							
NUMBER	101	102	104	107	108	109	110
SIZE	30" X 80"	32" X 80"	28" X 80"	24" X 80"	24" X 80"	32" X 80"	28" X 80"
OPERATION	EXTERIOR SWING	EXTERIOR SWING	INTERIOR POCKET	INTERIOR POCKET	INTERIOR FRENCH	INTERIOR SWING	INTERIOR SWING
HEAD HEIGHT	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"
NOTES	QTY: 1	QTY: 1	QTY: 1	QTY: 1	QTY: 1	QTY: 2	QTY: 1

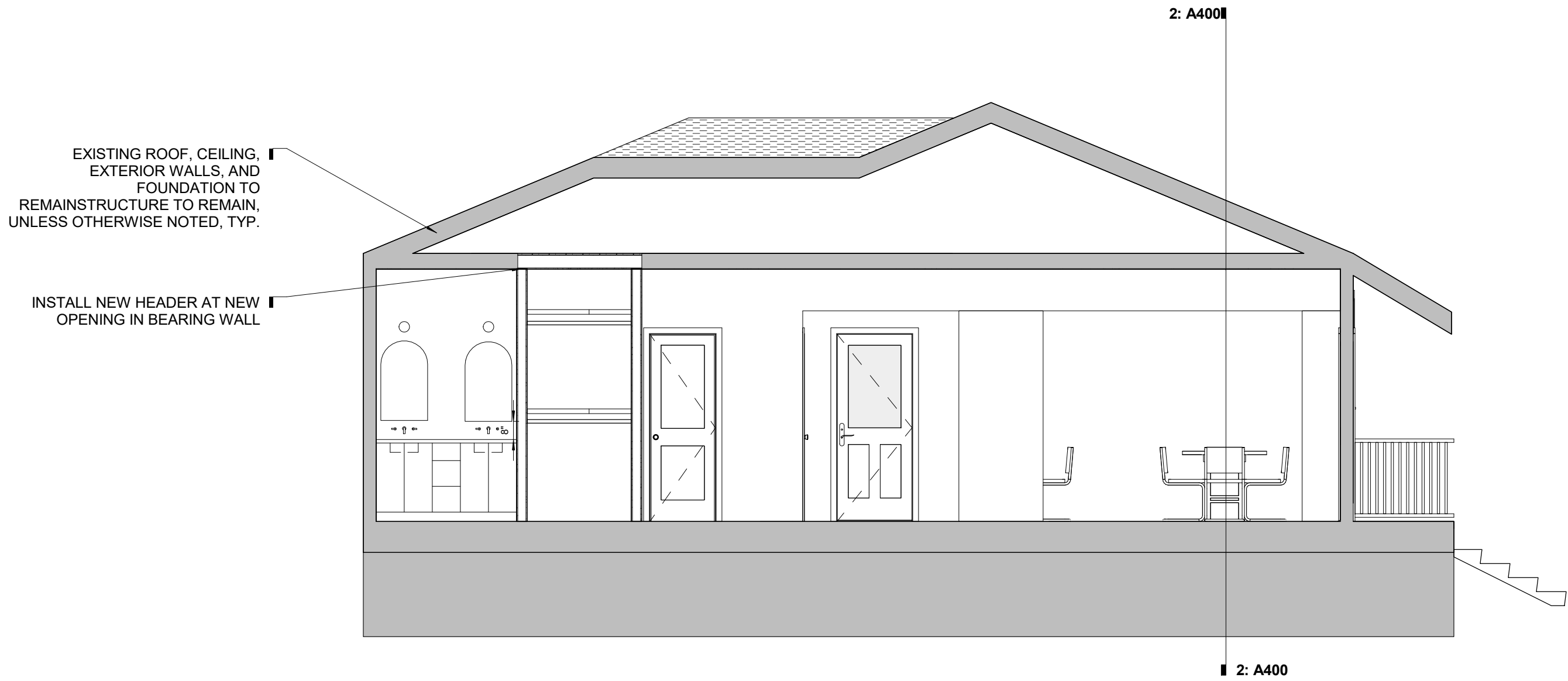
4 DOOR SCHEDULE
1/4" = 1'-0"

WINDOW BASIS OF DESIGN: ELEVATE VINYL WINDOW, BRONZE/BLACK EXTERIOR/WHITE INTERIOR, MULLION LAYOUT AS SHOWN. INTERIOR CASING TO BE 1X4 W/ 3/4" EDGE BANDING, TYP. W/ THE EXCEPTION OF THE BATHROOM WINDOW, WHICH WILL BE TILED IN. SEE H.J.S DTL FOR EXTERIOR TRIM.				
TYPE	A	B	C	D
SIZE	30" X 62"	30" X 62"	30" X 62"	28" X 62"
OPERATION	FIXED PICTURE	FIXED PICTURE	CASEMENT	FIXED
HEAD HEIGHT	6'-8"	6'-8"	6'-8"	6'-8"
NOTES	QTY: 4	QTY: 2	QTY: 2	QTY: 2

3 WINDOW SCHEDULE
1/4" = 1'-0"



2 TRANSVERSE SECTION
1/4" = 1'-0"



1 LONGITUDINAL SECTION
1/4" = 1'-0"

GENERAL

- Plan dimensions at all partitions are to face of wall unless noted otherwise. Dimensions do not take applied finishes into account.
- Plan dimensions to doors and windows located in partitions are to opening.
- Contractor shall verify all dimensions and field conditions and shall notify architect of any deviation from that indicated on the drawings or specifications.
- Do not scale drawings for dimensions.
- Notes and details on drawings take precedence over general notes and typical notes.
- Where notes and details are in conflict with specifications, the most stringent shall govern.
- All changes in floor finishes shall occur under doors unless noted or detailed otherwise.
- See Mechanical, Plumbing and Electrical Documents for equipment and housekeeping concrete pads. Size and locations to be coordinated with actual equipment.
- Provide fire stopping at all perimeter spaces, openings, penetrations, etc. in fire rated partitions, fire rated walls and fire rated floors where fire and/or smoke separations are required. Any penetrations through rated wall separations are to be properly sealed with an approved fire stopping material (See Specifications). Provide fire dampers as required.
- Contractor to coordinate all exposed conduit, piping, etc. Runs must be organized as indicated on the drawings or coordinate with architect.
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KEY

KEY

SEA



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production		phase	CONSTRUCTION DOCUMENTS
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SECTIONS AND
SCHEDULES

A400

ELECTRICAL NOTES

NEC210.8 GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL

- (A) DWELLING UNITS. ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN THE LOCATIONS SPECIFIED IN (1) THROUGH (8) SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL.
- (1) BATHROOMS
- (2) GARAGES, AND ALSO ACCESSORY BUILDINGS THAT HAVE A FLOOR LOCATED AT OR BELOW GRADE LEVEL NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE AREAS, WORK AREAS, AND AREAS OF SIMILAR USE.
- (3) OUTDOORS
- (4) CRAWL SPACES %150 AT OR BELOW GRADE LEVEL
- (5) UNFINISHED BASEMENTS %150 FOR PURPOSES OF THIS SECTION. UNFINISHED BASEMENTS ARE DEFINED AS PORTIONS OR AREAS OF THE BASEMENT NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE AREAS, WORK AREAS AND THE LIKE
- (6) KITCHENS %150 WHERE THE RECEPTACLES ARE INSTALLED TO SERVE THE COUNTERTOP SURFACES
- (7) LAUNDRY, UTILITY, AND WET BAR SINKS WHERE THE RECEPTACLES ARE INSTALLED WITHIN 6 FEET OF THE OUTSIDE EDGE OF THE SINK
- (8) BOATHOUSES

NEC210.12 ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION

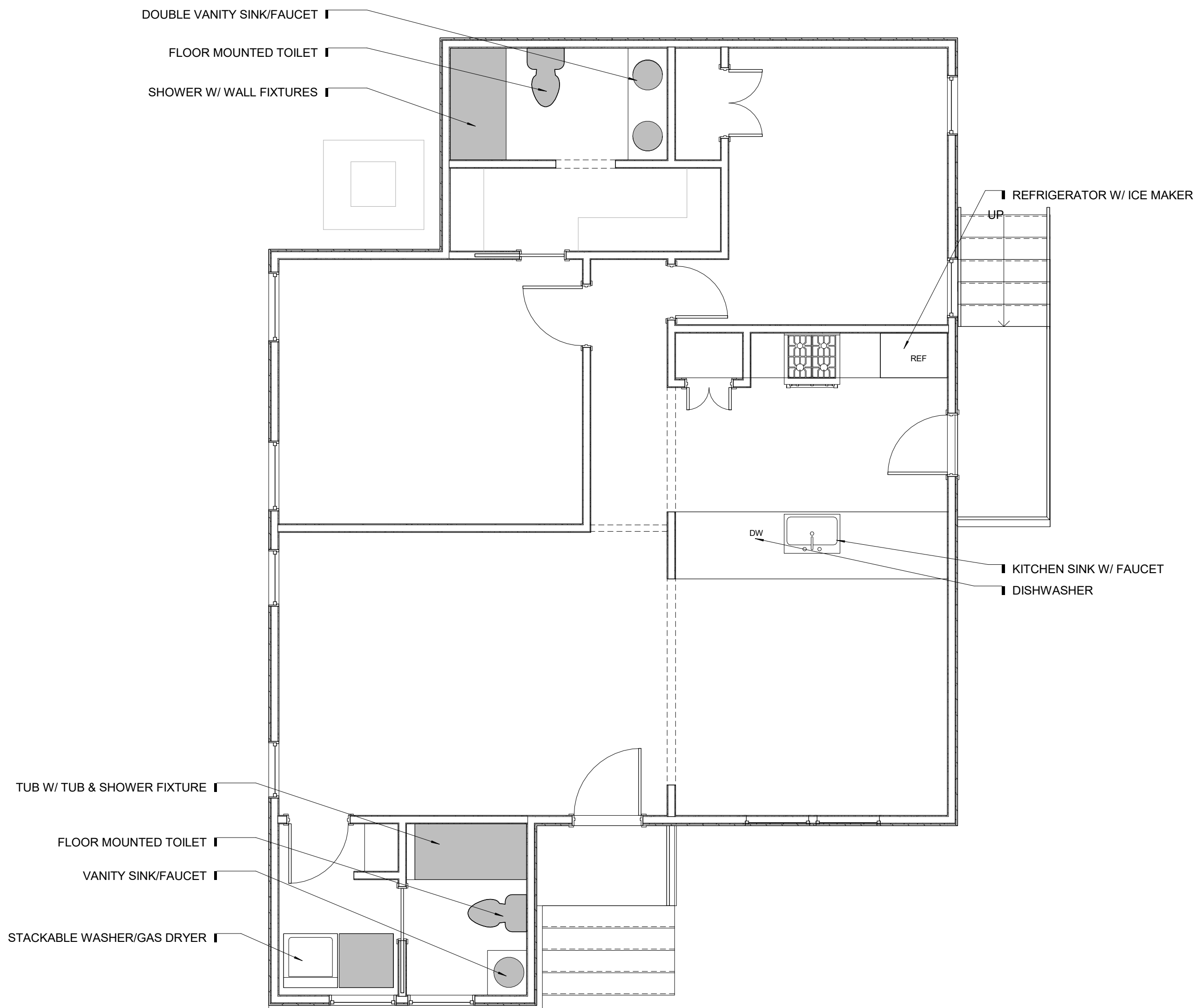
- (A) DEFINITION: ARC-FAULT CIRCUIT-INTERRUPTER. AN ARC-FAULT CIRCUIT INTERRUPTER IS A DEVICE INTENDED TO PROVIDE PROTECTION FROM THE EFFECTS OF ARC FAULTS BY RECOGNIZING CHARACTERISTICS UNIQUE TO ARCING AND BY FUNCTIONING TO DE-ENERGIZE THE CIRCUIT WHEN AN ARC FAULT IS DETECTED.
- (B) DWELLING UNITS. ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, BEDS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

NEC240.24 LOCATION IN OR ON PREMISES

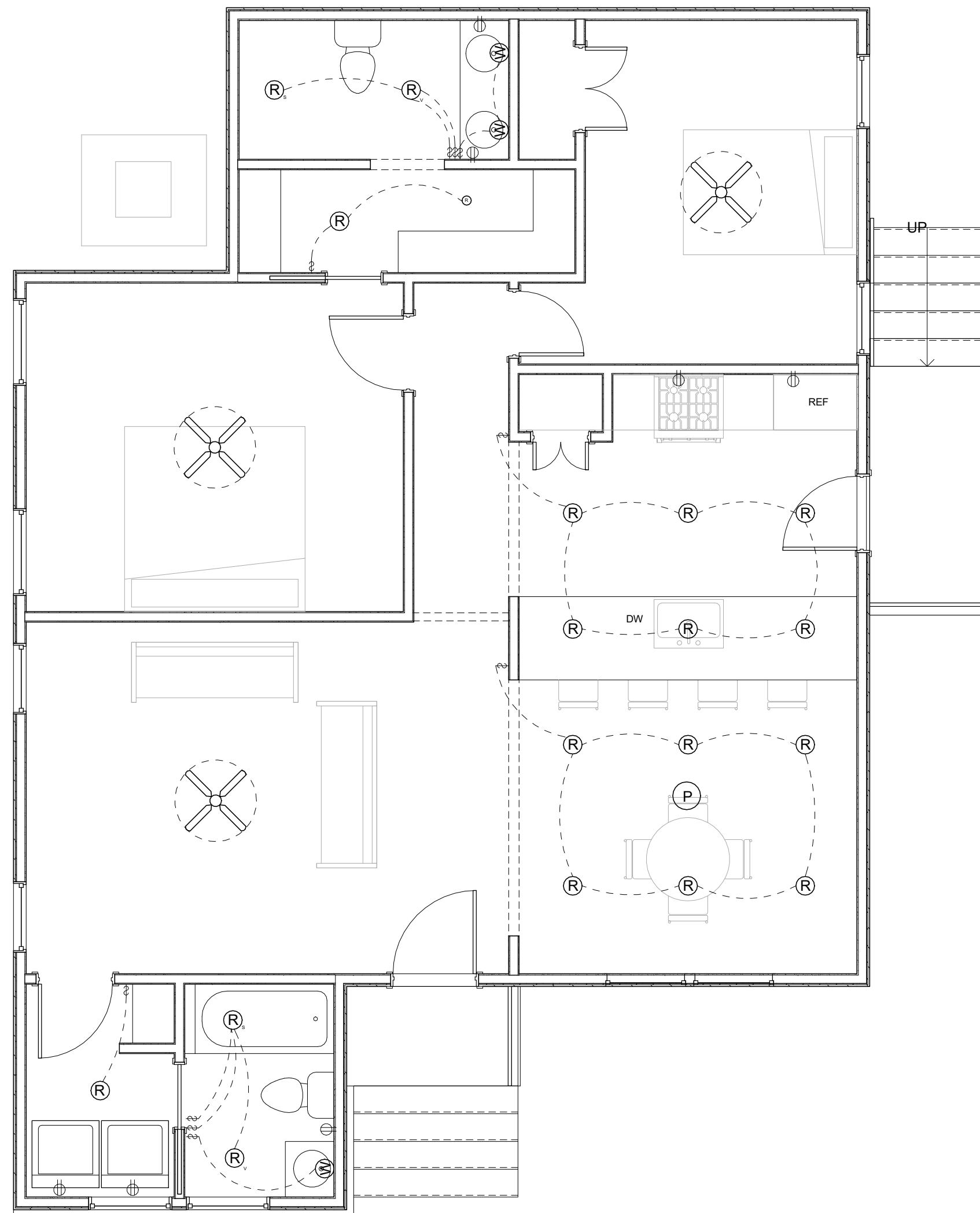
- (A) ACCESSIBILITY. OVERCURRENT DEVICES SHALL BE READILY ACCESSIBLE AND SHALL BE INSTALLED SO THAT THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF THE SWITCH OR CIRCUIT BREAKER, WHEN IN ITS HIGHEST POSITION, IS NOT MORE THAN 6 FEET 7 INCHES ABOVE THE FLOOR OR WORKING PLATFORM.
- (B) OCCUPANCY. EACH OCCUPANT SHALL HAVE READY ACCESS TO ALL OVERCURRENT DEVICES PROTECTING THE CONDUCTORS SUPPLYING THAT OCCUPANCY.
- (C) NOT EXPOSED TO PHYSICAL DAMAGE. OVERCURRENT DEVICES SHALL BE LOCATED WHERE THEY WILL NOT BE EXPOSED TO PHYSICAL DAMAGE.
- (D) NOT IN VICINITY OF EASILY IGNITABLE MATERIAL. OVERCURRENT DEVICES SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL, SUCH AS IN CLOTHES CLOSETS.
- (E) NOT LOCATED IN BATHROOMS. IN DWELLING UNITS AND GUEST ROOMS OR GUEST SUITES OF HOTELS AND MOTELS, OVERCURRENT DEVICES, OTHER THAN SUPPLEMENTARY OVERCURRENT PROTECTION, SHALL NO BE LOCATED IN BATHROOMS.

ELECTRICAL NOTES

- SLEEPING AREAS SHALL BE PROTECTED BY UL-APPROVED SMOKE DETECTORS. THESE MUST BE WIRED TO THE 110 VOLT HOUSE CURRENT WITH BATTERY BACKUP AND MEET DESIGN CRITERIA AS REQUIRED BY UL DESIGN 688.
- SMOKE DETECTORS SHALL BE INSTALLED NO FURTHER THAN 10 FT. FROM ANY SLEEPING ROOMS. NO CLOSER THAN 6" FROM WALL OR FROM CEILING DEPENDING ON WHERE MOUNTED.
- ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION OF MAIN ALARM PANEL WITH ALARM SUBCONTRACTOR AND PROVIDE REQUIRED RECEPTACLES AND PHONES AS NEEDED FOR THE ALARM SYSTEM.
- ELECTRICAL CONTRACTOR SHALL ASSUME THAT THE OUTLETS, SAFETY DEVICES, ETC. SHOWN ON DRAWINGS ARE THE MINIMAL REQUIREMENTS AND SHALL PROVIDE ANY ADDITIONAL DEVICES AS MAY BE REQUIRED TO SATISFY SAID CODES AND REGULATIONS WITH OUT ADDITIONAL COST TO THE OWNER.
- GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING ELECTRICAL SERVICE WITH THE PROVIDER AND PROVIDE CONDUIT FROM THE UTILITY POLE OR SERVICE LOCATION TO THE METER.
- GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING TELEPHONE SERVICE AND CABLE SERVICE WITH THE PROVIDERS AND PROVIDE SEPARATE CONDUITS FROM THE UTILITY POLE OR SERVICE LOCATION TO THE ELECTRICAL METER.
- GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR SHALL INSTALL A WHOLE HOUSE SURGE PROTECTOR. VERIFY WITH OWNER.
- CONTRACTOR TO PROVIDE APPROVED CARBON MONOXIDE DETECTORS OUTSIDE EACH SEPARATE SLEEPING AREA FOR ANY DWELLING WITH AN ATTACHED GARAGE OR FUEL-FIRED APPLIANCES AS PER SECTION R315 OF THE IRC 2012 ED.
- VERIFY LOCATION OF BREAKER PANEL AND SUB PANELS WITH OWNER PRIOR TO CONSTRUCTION.
- VERIFY ATTIC LIGHTING W/ OWNER.



2 PLUMBING PLAN
1/4" = 1'-0"



1 ELECTRICAL PLAN
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GENERAL
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KEY
4" RECESSED LIGHTING FIXTURE
6" RECESSED LIGHTING FIXTURE
6" RECESSED HEAT/VENTILATION
6" RECESSED LIGHTING FIXTURE (WET RATED)
PENDANT LIGHTING FIXTURE
WALL MOUNTED FIXTURE
INTEGRATED SPEAKER
TV OUTLET
ELECTRICAL OUTLET
ELECTRICAL SWITCH
ELECTRICAL SWITCH WITH DIMMER
SMOKE DETECTOR/CARBON MONOXIDE ALARM COMBO
CEILING FAN

KEY
SEA
ROBERT E. PELL Reg. No. 1777 SEAL OF THE STATE OF NEW YORK OFFICE OF THE STATE ENGINEER

architect	CATHERINE CALHOUN	client	JENNIFER DIGMAN AND MICHAEL DAMARE
manager	Checker	title	6233 VICKSBURG STREET
production		phase	CONSTRUCTION DOCUMENTS
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ELECTRICAL AND
PLUMBING

EP100