

A FIRST LEVEL FLOOR PLAN  
SCALE: 1/8" = 1'-0"

Project

HOMWOOD  
SUITES by Hilton

901 Poydras Street  
New Orleans, LA

Group One  
PARTNERS  
21 W 3rd St. Boston, MA 02127

Issuance

No.	Description	Date
A	DESIGN	02/04
	DEVELOPMENT	2022
B	75% CD	02/18
	BID ESTIMATE	2022
1	CONSTRUCTION	03/07
	DOCUMENTS	2022

Drawn By: CL

Checked By: CL / MF

Project No.  
1335

Drawing Title

FIRST LEVEL  
FLOOR PLAN

Drawing Scale:  
1/8" = 1'-0"

Stamp



A1.00

Drawing Number



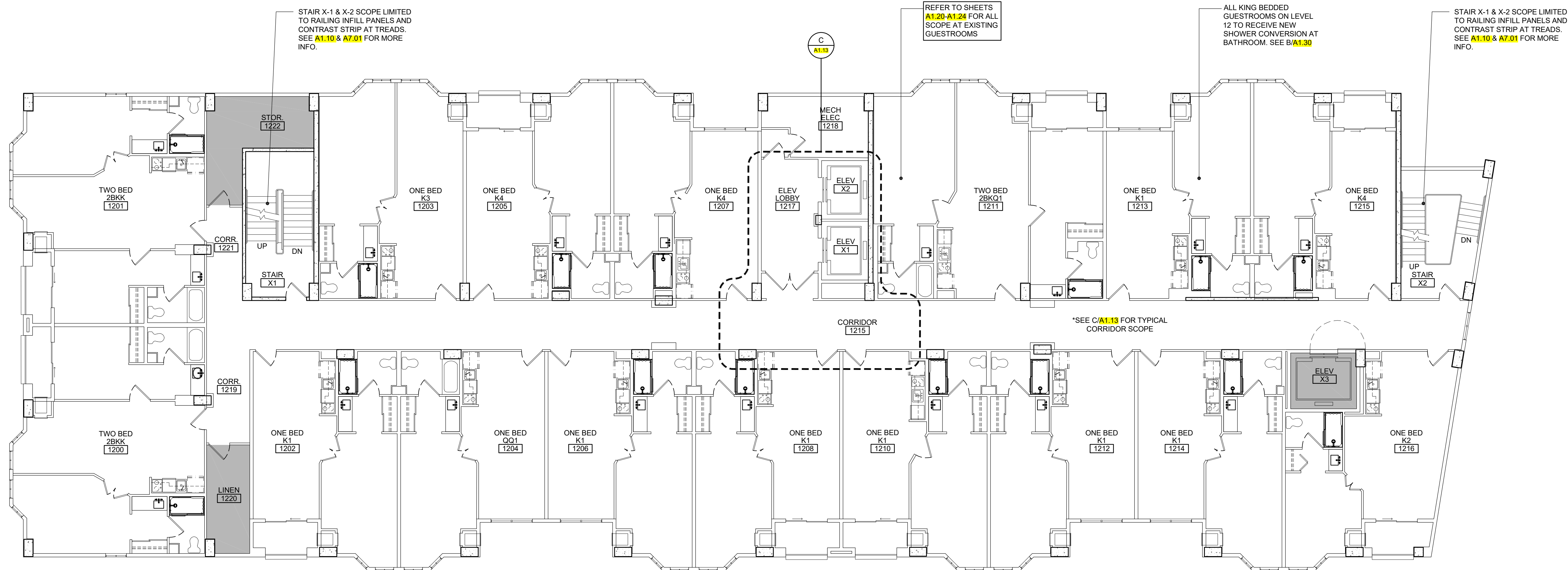


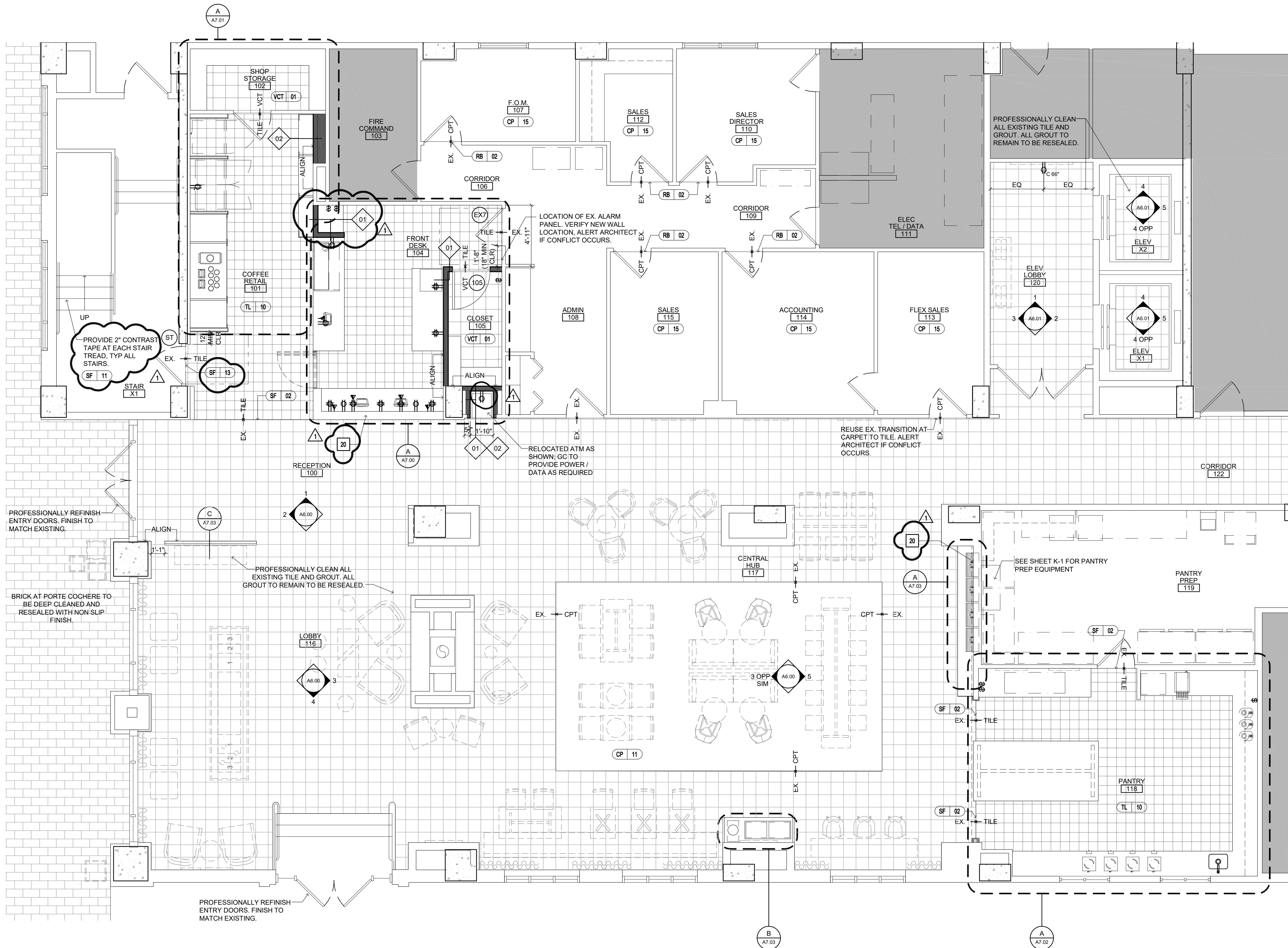












A ENLARGED LOBBY PLAN  
SCALE: 1/4" = 1'-0"

#### GENERAL NOTES

- FF&E AND ALL ASSOCIATED HARDWARE TO BE REMOVED PRIOR TO WORK. LIQUIDATE AND/OR DISCARD PER PROPERTY MANAGEMENT DIRECTION.
- FLOORING TO EXTEND UNDER ALL FF&E AND MILLWORK.
- ALL NEW DOORS LOCATED 1'-10" TO CENTER U.O.N.
- PROTECT SPRINKLER HEADS, DEVICES, AND HARDWARE THROUGHOUT CONSTRUCTION. REPLACE ANY DAMAGED DEVICES AS REQUIRED. CLEAN AND PROPERLY PREPARE ALL SURFACES TO RECEIVE NEW FINISHES.
- ALL WALLS TO RECEIVE SKIM COAT AS REQUIRED TO PROVIDE AS SMOOTH SURFACE AS POSSIBLE FOR NEW PAINT OR INSTALLATION OF NEW VINYL WALL COVERING.
- PROVIDE ACCESSIBLE COMPLIANT SCHLUTER OR EQUAL TRANSITIONS AT ALL FLOOR FINISH CHANGES U.O.N. FOR STONE THRESHOLDS.
- EXISTING WALL SURFACES TO RECEIVE NEW PAINT AS SCHEDULED.
- PAINT MATERIAL COMPATIBILITY: PROVIDE BLOCK FILLERS, PRIMERS, AND FINISH-COAT MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH SUBSTRATES AND APPLICATIONS, AS DEMONSTRATED BY MANUFAC. BASED ON TESTING AND FIELD EXPERIENCE.
- ALL EXISTING DOORS AND FRAMES IN VIEW OF PUBLIC SPACE TO BE REFINISHED TO LIKE NEW CONDITION OR REPAINTED IF PAINT FINISH CURRENTLY.
- ALL EXISTING MILLWORK TO REMAIN TO BE REFINISHED TO LIKE NEW CONDITION.
- DEEP CLEAN ALL EXISTING TILE AND GROUT TO REMAIN TO LIKE NEW CONDITION.
- REFINISH ALL WINDOW FRAMES WITHIN SCOPE OF WORK TO LIKE NEW CONDITION.
- PROVIDE CAULK AT ALL DISSIMILAR MATERIALS. TYP. VWC TO STONE, TILE TO STONE, PORCELAIN TO TILE, ETC. COLOR TO MATCH ADJACENT FINISH (CLEAR @ STONE).
- PROVIDE NEW COVER PLATES AT ALL SWITCHES AND OUTLETS. TYP. COLOR TO MATCH EXISTING DEVICE.
- SEE DETAILS STARTING ON A7.00 FOR ALL INTERIOR MILLWORK DETAILS.
- SEE TAGGED FURNITURE PLANS IN FF&E SPECIFICATIONS.
- ALL SAFETY GLAZING IS REQUIRED TO MEET CATEGORY II; REFER TO IBC 2406.
- ALL CORNER GUARDS LOCATED ON WALLS TO RECEIVE NEW WALL VINYL TO BE REPLACED, COLOR TO MATCH. ALERT DESIGNER TO LOCATION IF NOT CURRENTLY SHOWN ON PLAN.
- REFER TO SHEETS A7.00-A7.03 FOR ALL POWER / DATA LOCATIONS WITHIN MILLWORK ELEMENTS.
- REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION.

#### LEGEND OF SYMBOLS

- DETAIL NO.
- DRWG. NO. WHERE DETAIL APPEARS
- INTERIOR ELEVATION DESIGNATION
- DRWG. NO. WHERE INTERIOR ELEV APPEARS
- DOOR NUMBER; SEE SHEET A8.00
- WALL TYPE; SEE SHEET A0.02
- ROOM NAME
- ROOM NUMBER
- AREA NOT IN CONTRACT
- NEW WALL

#### ELECTRICAL SYMBOL LEGEND

- | TYPE | DESCRIPTION                           |
|------|---------------------------------------|
| ⊕    | DUPLEX RECEPTACLE, 18" AFF U.O.N.     |
| ⊕    | QUAD OUTLET, 18" AFF U.O.N.           |
| ⊕    | CABLE TV OUTLET, XX" AFF              |
| ⊕    | COMBO TEL/DATA, XX" AFF               |
| ⊕    | SWITCH, 48" AFF U.O.N.                |
| ⊕    | COMBO FLOOR OUTLET POWER AND TEL/DATA |

NOTE:  
OUTLETS AND COVER PLATES THROUGHOUT LOBBY TO BE WHITE UNLESS LOCATED WITHIN MILLWORK. ALL OUTLETS AND COVER PLATES LOCATED WITHIN MILLWORK BLACK. NEW FLOOR BOXES TO BE TBD FINISH.

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Drawing Title

ENLARGED LOBBY  
FLOOR PLAN

Drawing Scale:

1/4" = 1'-0"

Stamp



A1.10

Drawing Number

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	DOCUMENTS	2022

Drawn By: AL/CL

Checked By: CL

Project No. 1335

Drawing Title

ENLARGED  
FLOOR PLANS

Drawing Scale:  
1/4" = 1'-0"

Stamp



A1.11

Drawing Number

GENERAL NOTES

- FF&E AND ALL ASSOCIATED HARDWARE TO BE REMOVED PRIOR TO WORK. LIQUIDATE AND/OR DISCARD PER PROPERTY MANAGEMENT DIRECTION.
- FLOORING TO EXTEND UNDER ALL FF&E AND MILLWORK.
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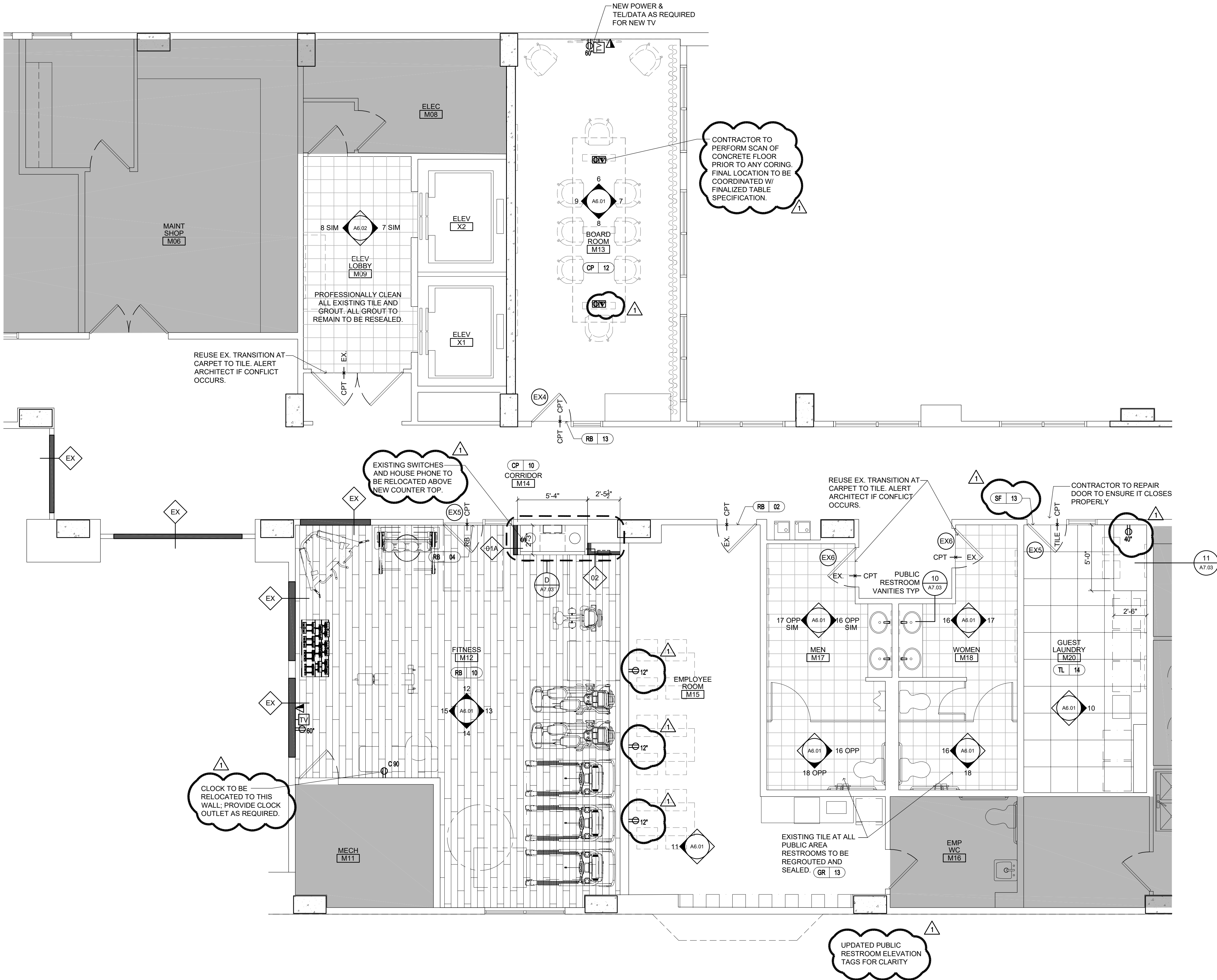
LEGEND OF SYMBOLS

- DETAIL NO. AX-XX
- INTERIOR ELEVATION DESIGNATION AX-X
- DWG. NO. WHERE INTERIOR ELEV APPEARS XXX
- DOOR NUMBER; SEE SHEET A8.00 XX
- WALL TYPE; SEE SHEET A0.02 XXX
- ROOM NAME XXX
- ROOM NUMBER XXX
- AREA NOT IN CONTRACT
- NEW WALL

ELECTRICAL SYMBOL LEGEND

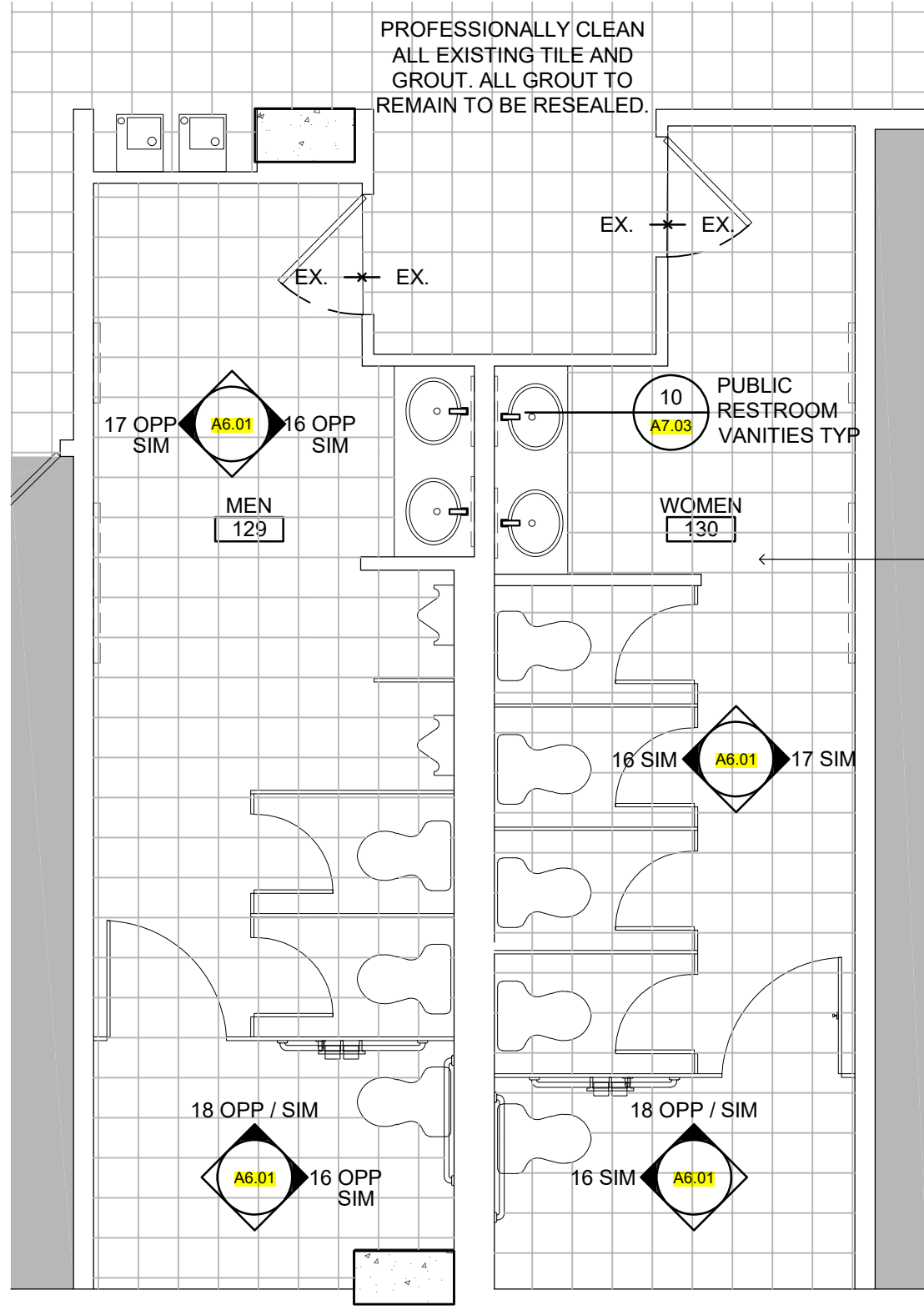
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	QUAD OUTLET, 18" AFF U.O.N.
	CABLE TV OUTLET, XX" AFF
	COMBO TEL/DATA, XX" AFF
	SWITCH, 48" AFF U.O.N.
	COMBO FLOOR OUTLET POWER AND TEL/DATA

NOTE:  
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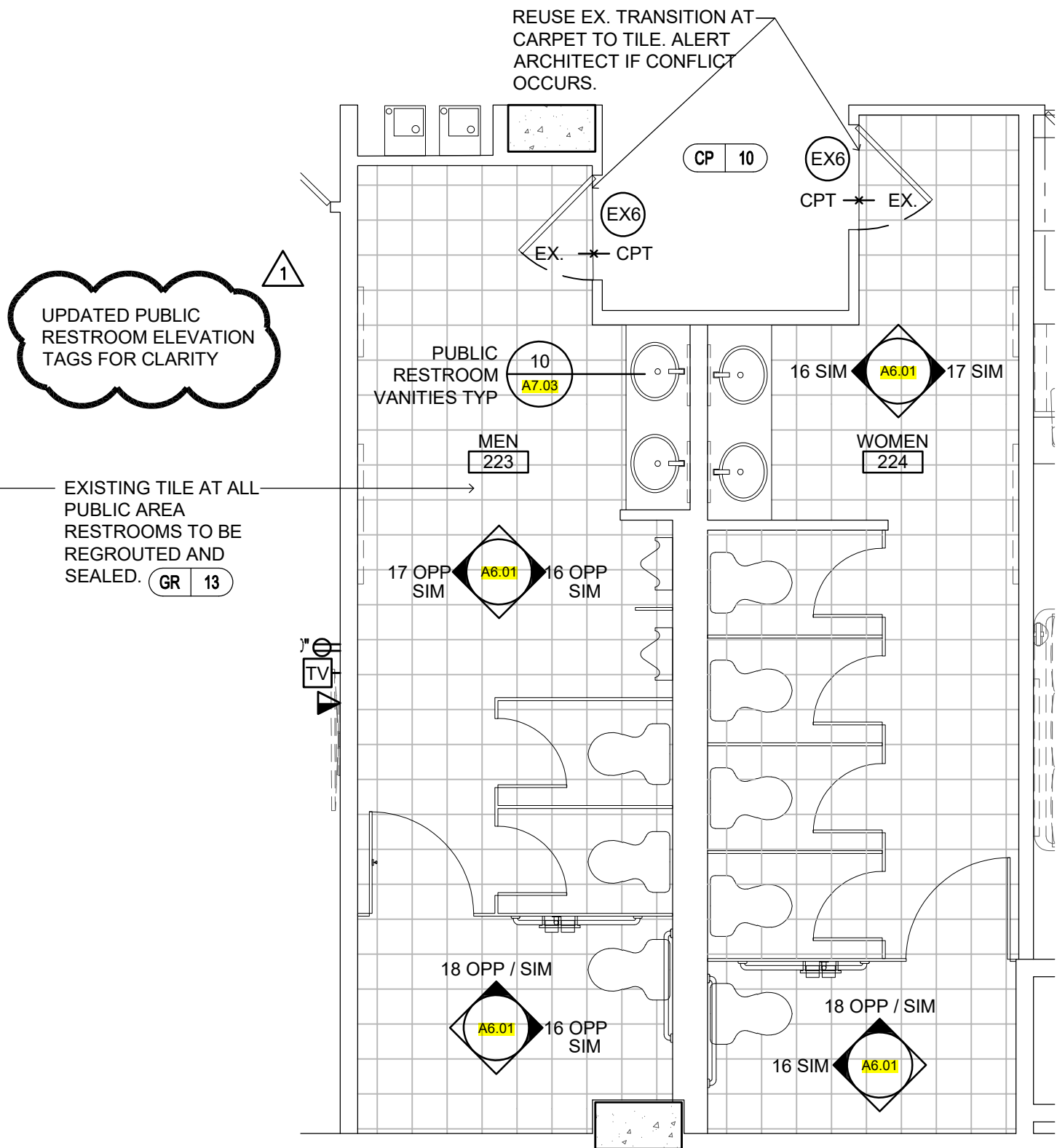


B ENLARGED MEZZANINE PLAN  
SCALE: 1/4" = 1'-0"

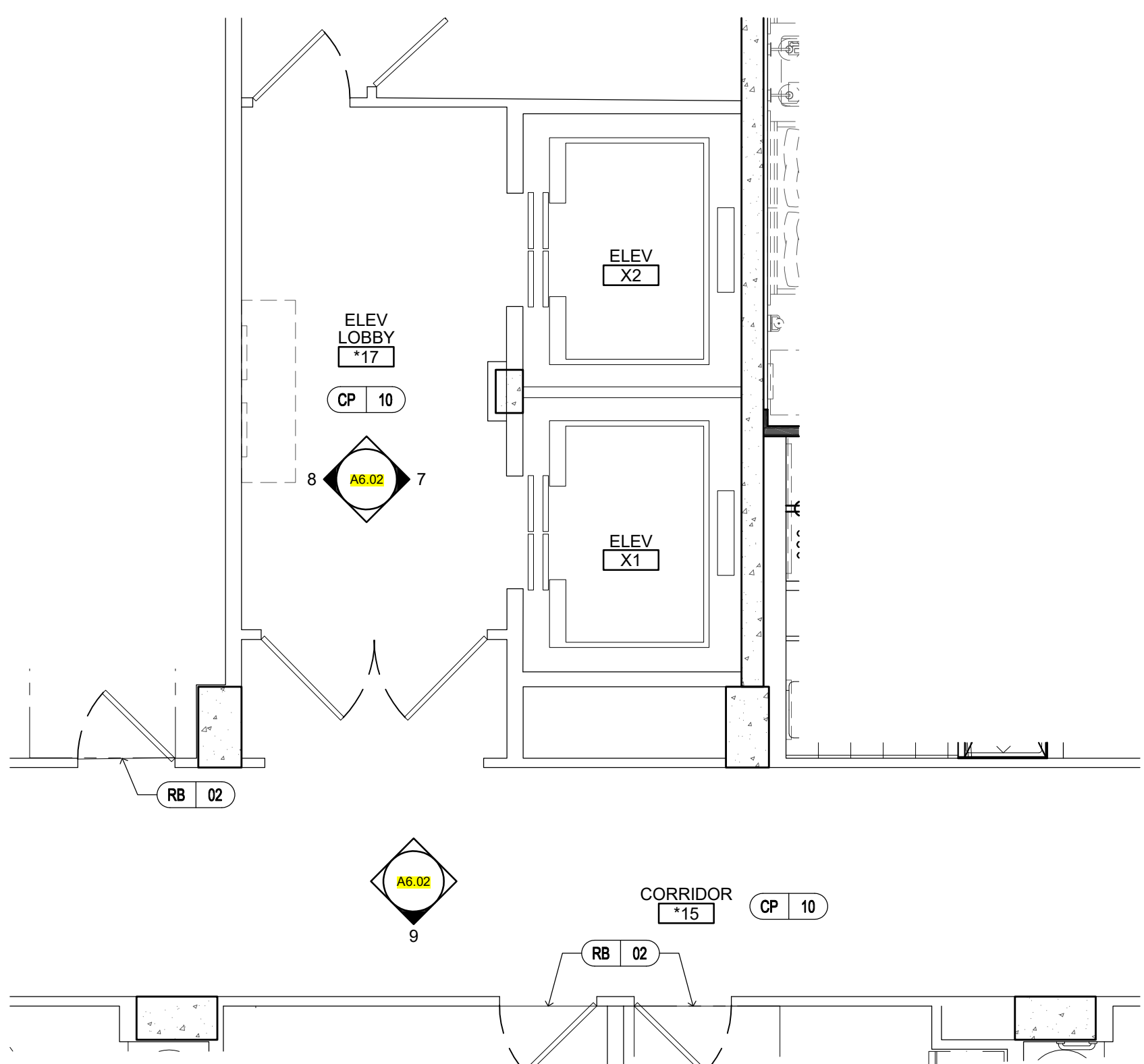




A ENLARGED L1 RESTROOM PLAN  
SCALE: 1/4" = 1'-0"



B ENLARGED L2 RESTROOM PLAN  
SCALE: 1/4" = 1'-0"



C ENLARGED TYPICAL ELEVATOR LOBBY PLAN  
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#### LEGEND OF SYMBOLS

- X  
AX-XX ———— DETAIL NO.  
                  DRWG. NO. WHERE DETAIL APPEARS
- X  
AX-X ———— INTERIOR ELEVATION  
                  DESIGNATION  
X ———— DWG. NO. WHERE INTERIOR  
                  ELEV APPEARS
- (XXX) ———— DOOR NUMBER; SEE SHEET A6.00
- XX ———— WALL TYPE; SEE SHEET A0.02
- XXX  
XXX ———— ROOM NAME  
[XXX] ———— ROOM NUMBER
- AREA NOT IN CONTRACT
- NEW WALL

#### ELECTRICAL SYMBOL LEGEND

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Checked By: CL

Project No.

1335

Drawing Title

ENLARGED  
FLOOR PLANS

Drawing Scale:

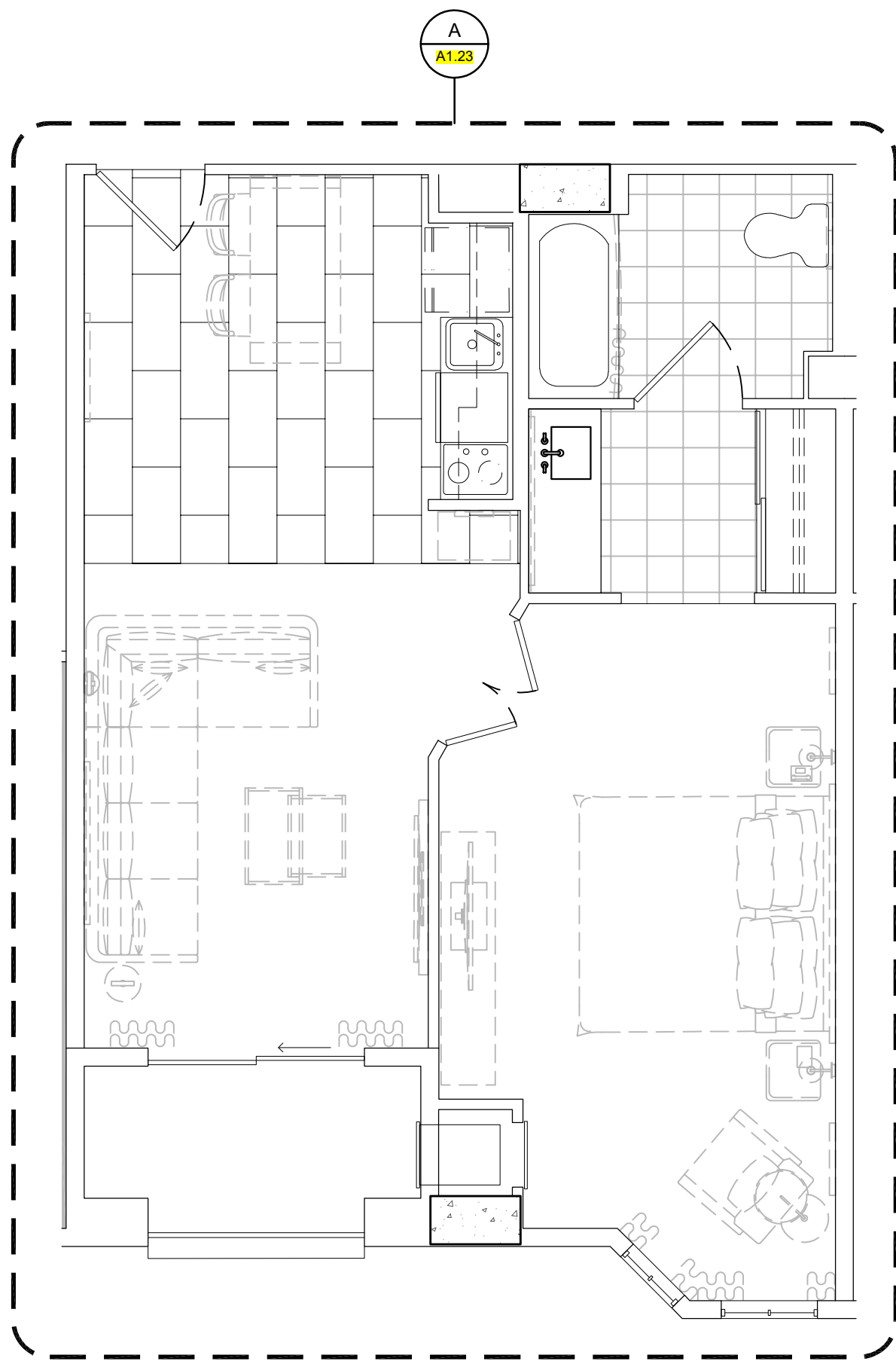
1/4" = 1'-0"

Stamp

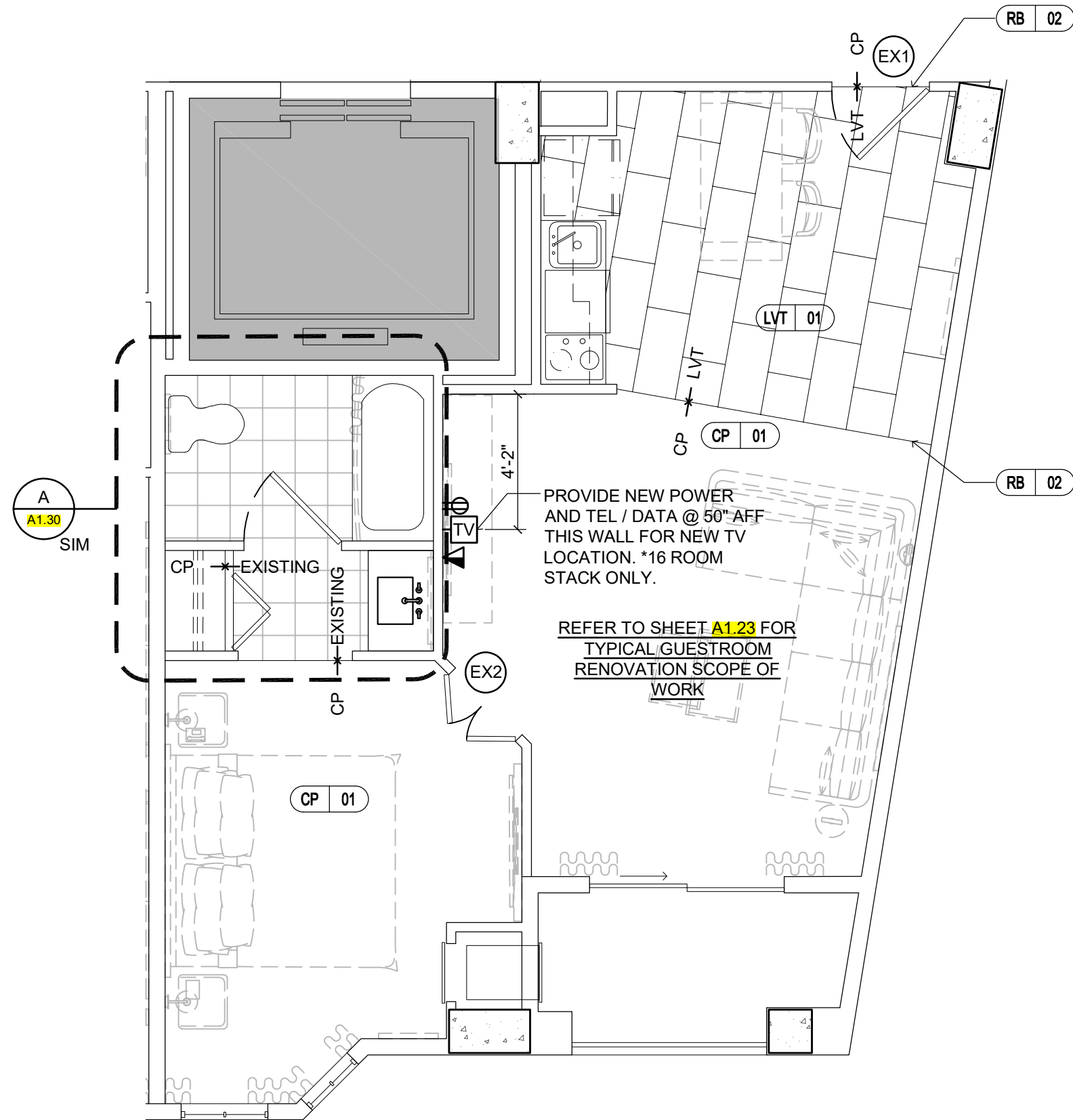


A1.13

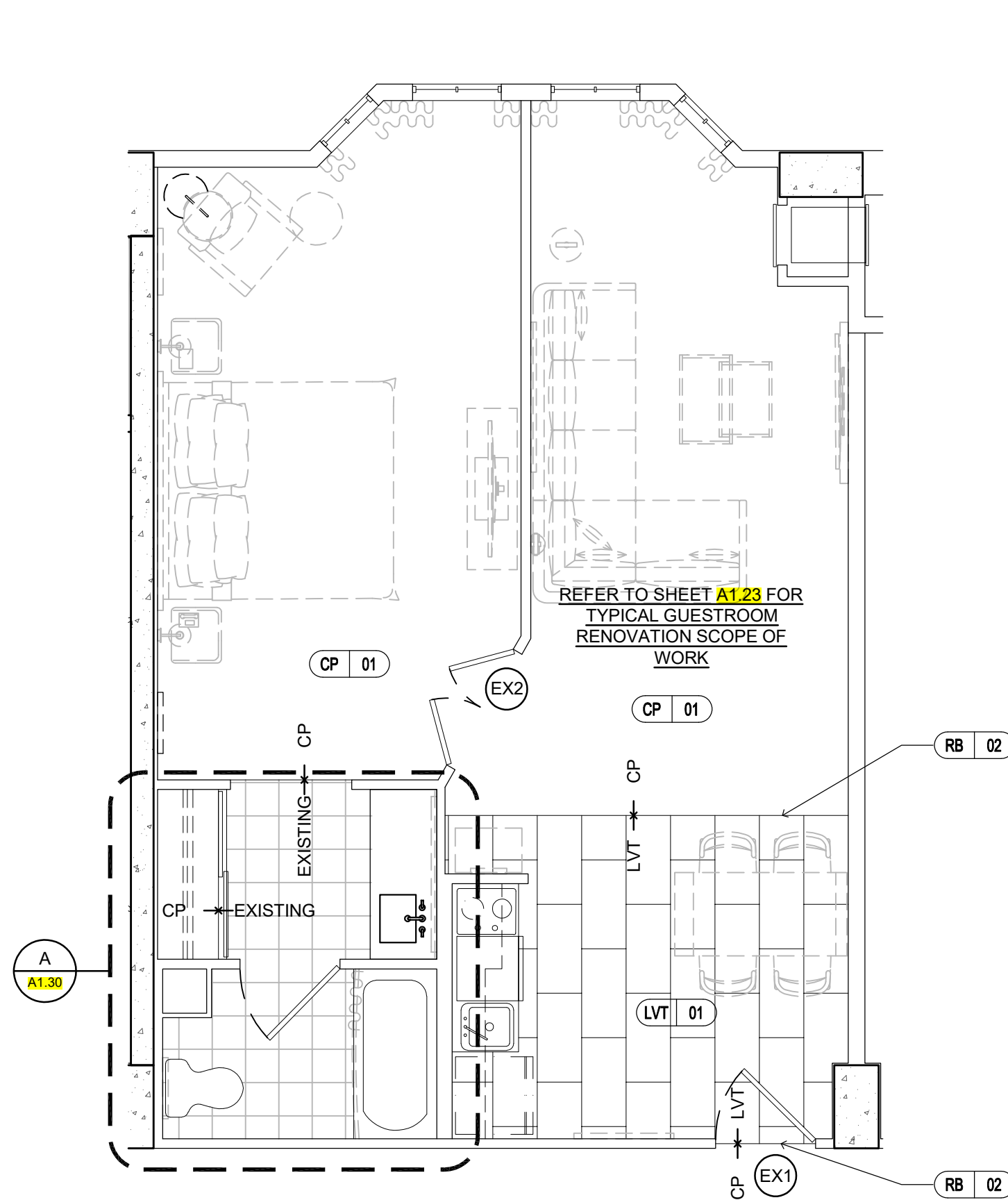
Drawing Number



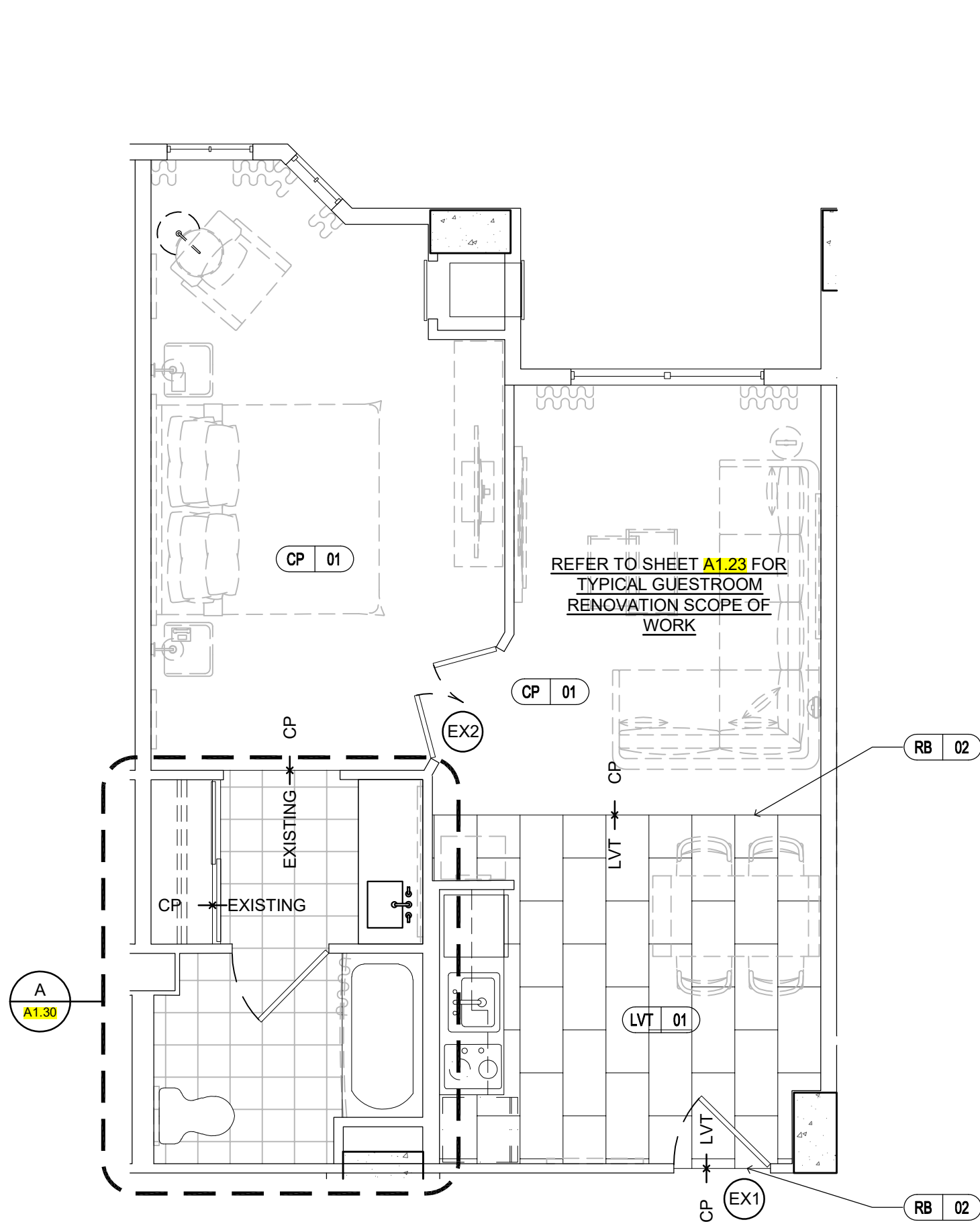
1 K1 - TYPICAL KING (RIGHT SHOWN) QTY: 24  
SCALE: 1/4" = 1' RM 702 SHOWN LEFT QTY: 23



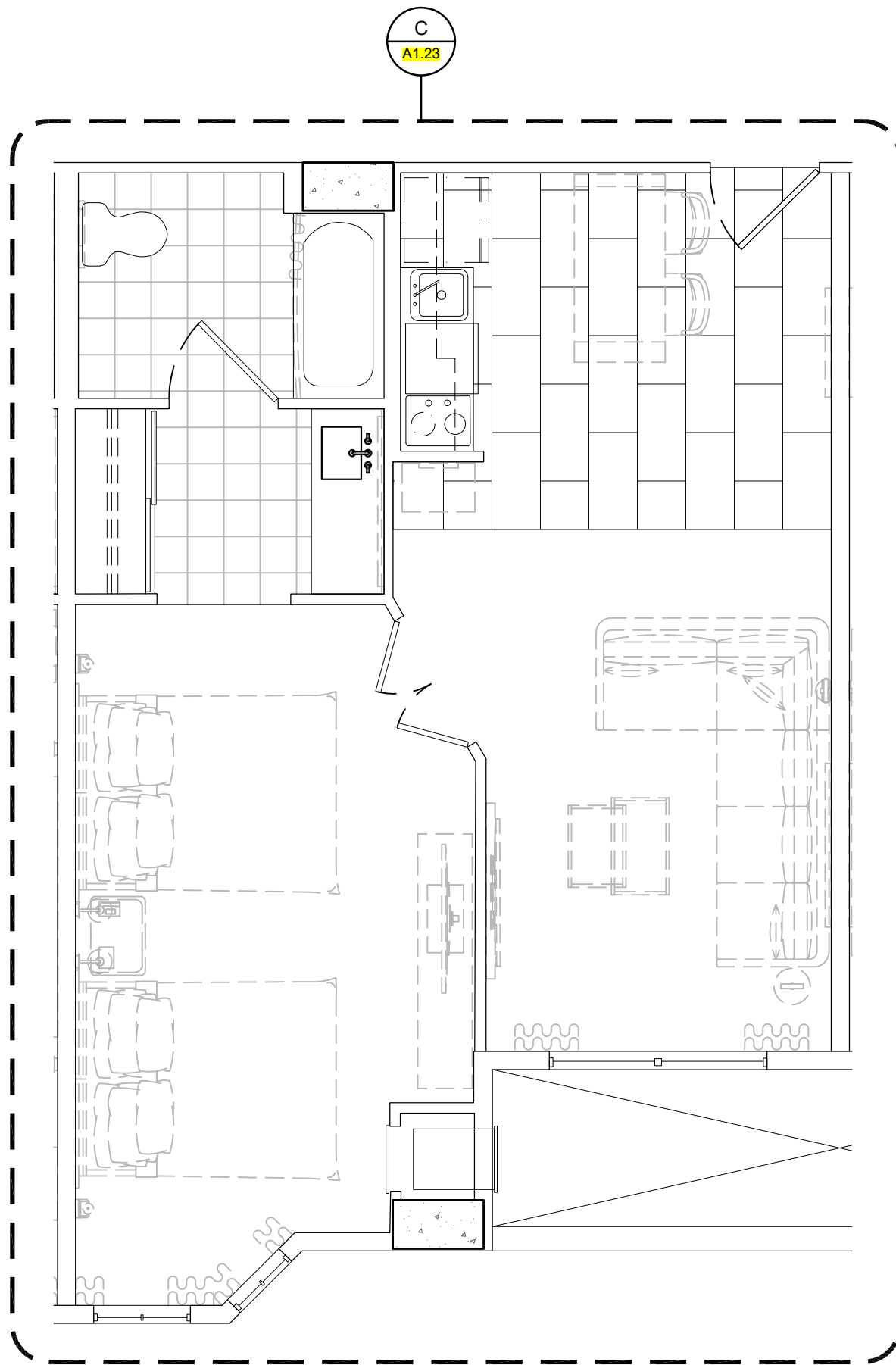
2 K2 - KING W/ SLANTED WALL QTY: 11  
SCALE: 1/4" = 1' RM 216 SHOWN



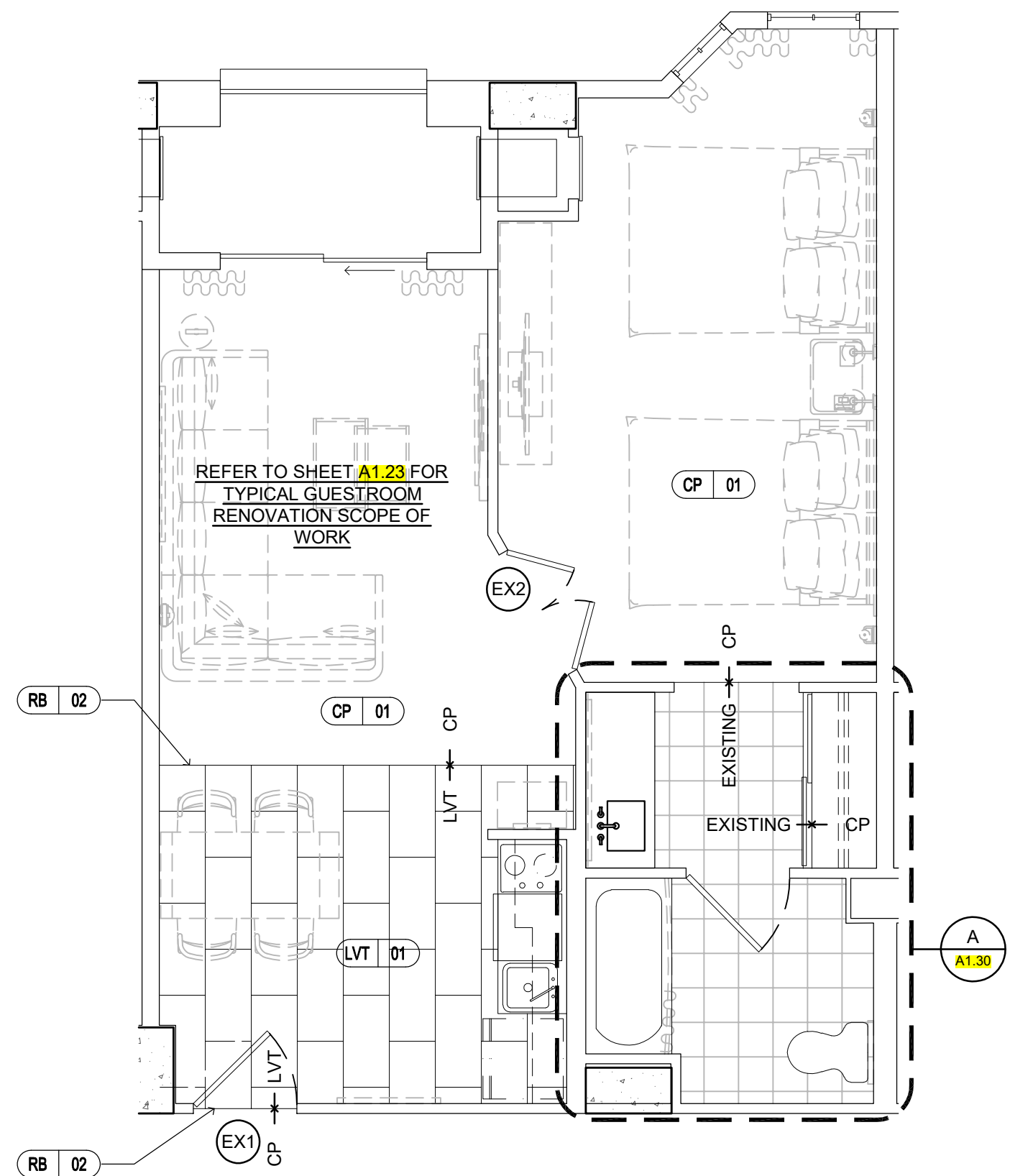
3 K3 - KING LONG LIVING ROOM BAY QTY: 10  
SCALE: 1/4" = 1' RM 403 SHOWN



4 K4 - KING SCONCE AT SIDE WALL (RIGHT SHOWN) QTY: 12  
SCALE: 1/4" = 1' RM 707 SHOWN LEFT QTY: 6



5 QQ1 - TYPICAL QUEEN/QUEEN (LEFT SHOWN) QTY: 19  
SCALE: 1/4" = 1' RM 212 SHOWN RIGHT QTY: 15



6 QQ2 - QN/QN SCONCE ON SIDE WALL (LEFT SHOWN) QTY: 4  
SCALE: 1/4" = 1' RM 305 SHOWN RIGHT QTY: 6

#### GENERAL SCOPE NOTES

1. ALL EXISTING PAINTED SURFACES TO BE REPAINTED INCLUDING: CEILINGS, WALLS, DOORS, DOOR FRAMES, AND HVAC GRILLS.
2. PAINT MATERIAL COMPATIBILITY: PROVIDE BLOCK FILLERS, PRIMERS AND FINISH-COAT MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH SUBSTRATES AND APPLICATIONS, AS DEMONSTRATED BY MANUFACTURER, BASED ON TESTING AND FIELD EXPERIENCE.
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5. REPLACE, PATCH, AND REPAIR ALL WATER DAMAGED WALL BOARD AND INSULATION IN KIND TO MATCH EXISTING WALL CONSTRUCTION TYPES AT GUEST BATH/CORRIDOR WALL AND ALL AREAS FOUND IN DEMOLITION. CORRIDOR AND DEMISING WALLS ARE TO BE 1 HOUR FIRE RATED PARTITION TYPES.
6. PROVIDE CAULK AT ALL DISSIMILAR MATERIALS, TYP: VWC TO STONE, TILE TO STONE, PORCELAIN TO TILE, ETC. COLOR TO MATCH ADJACENT FINISH (CLEAR @ STONE).
7. BLOCKING TO BE PROVIDED IN BATHROOMS FOR FF&E ACCESSORIES AND COORDINATED WITH FF&E SPECIFICATIONS.
8. REFER TO FFE SPECIFICATIONS FOR MORE INFORMATION ON FURNITURE, ARTWORK, ACCESSORIES AND OWNER PROVIDED FINISHES.

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Project No. 1335

Drawing Title

#### GUESTROOM TYPES

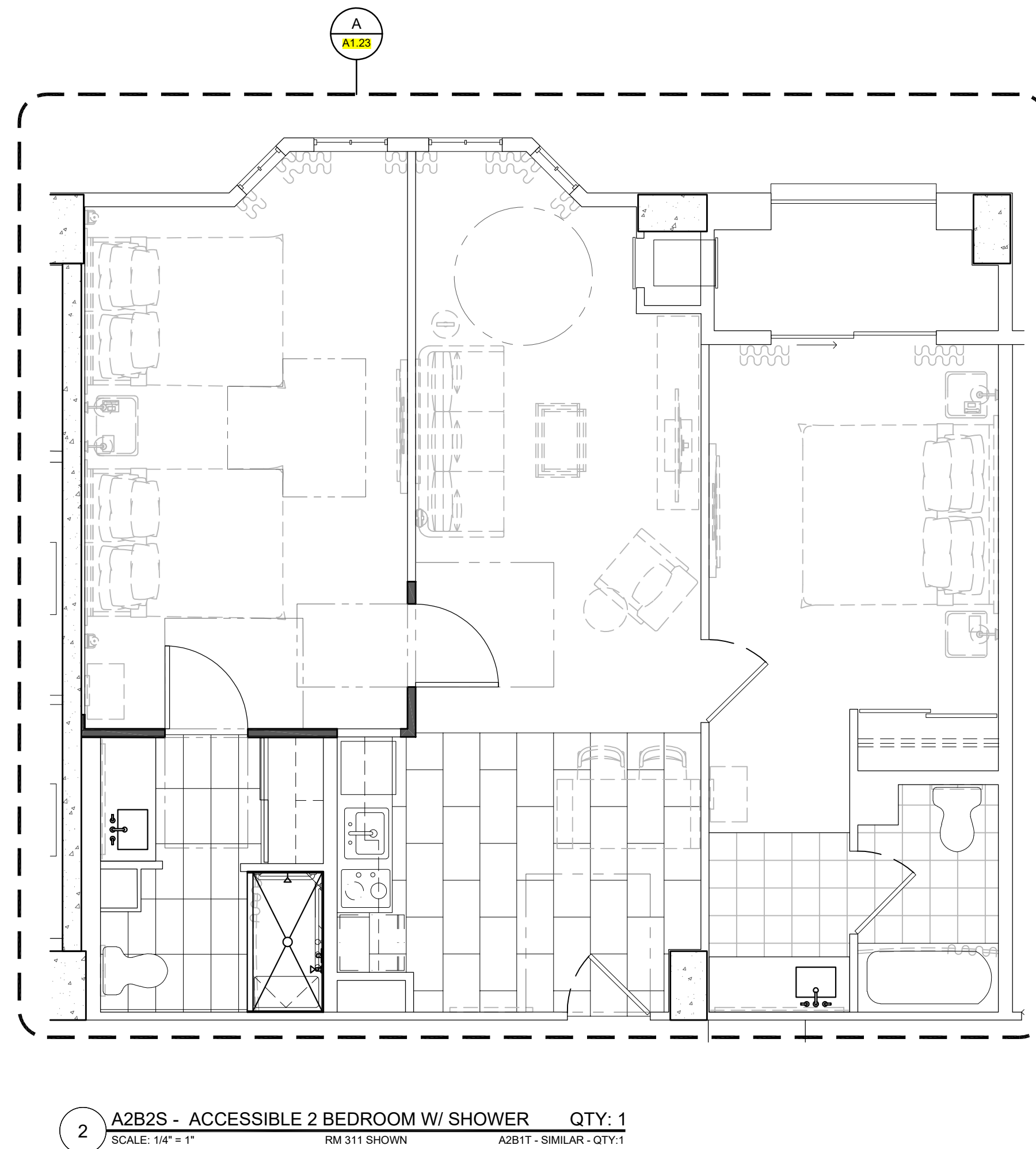
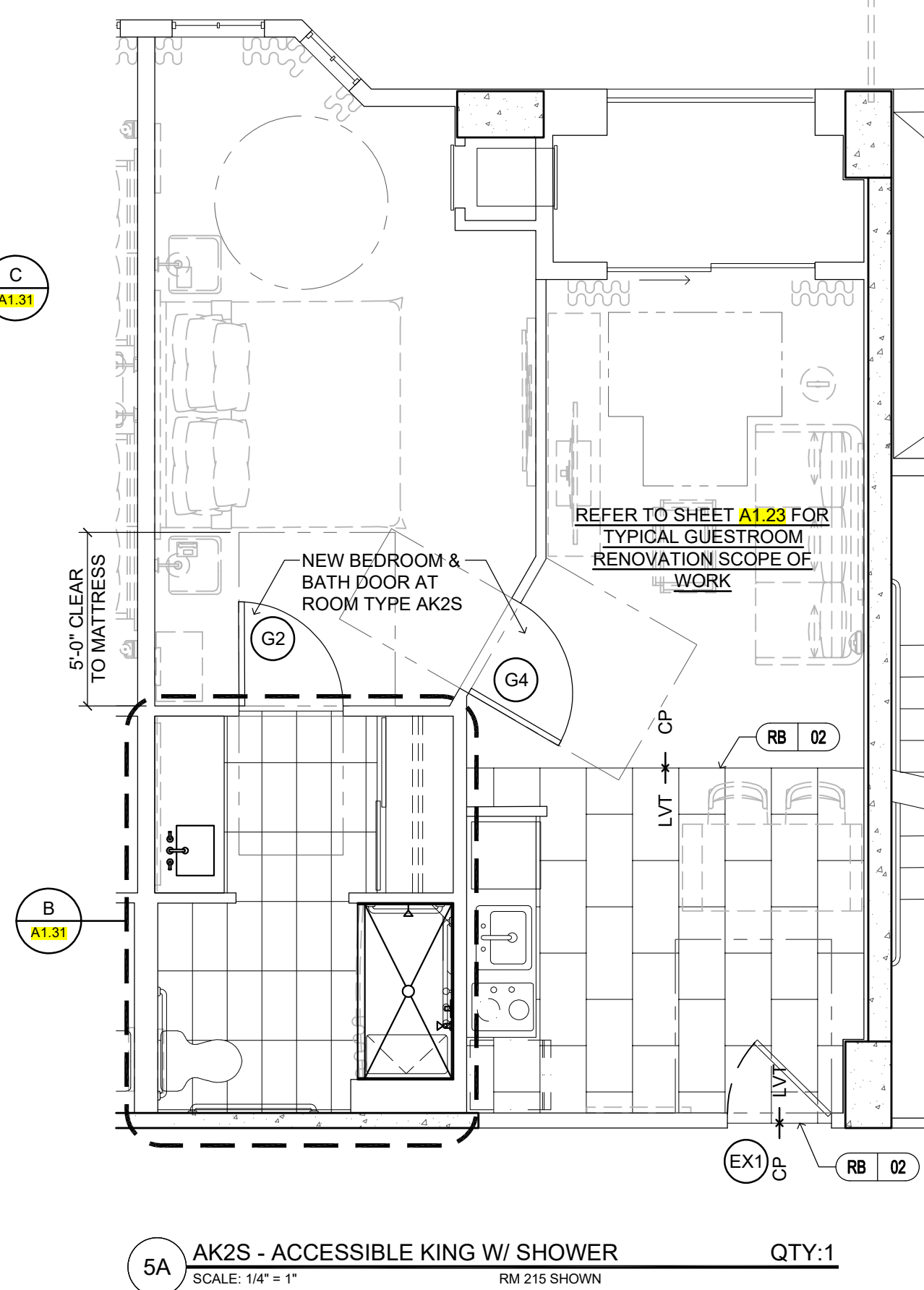
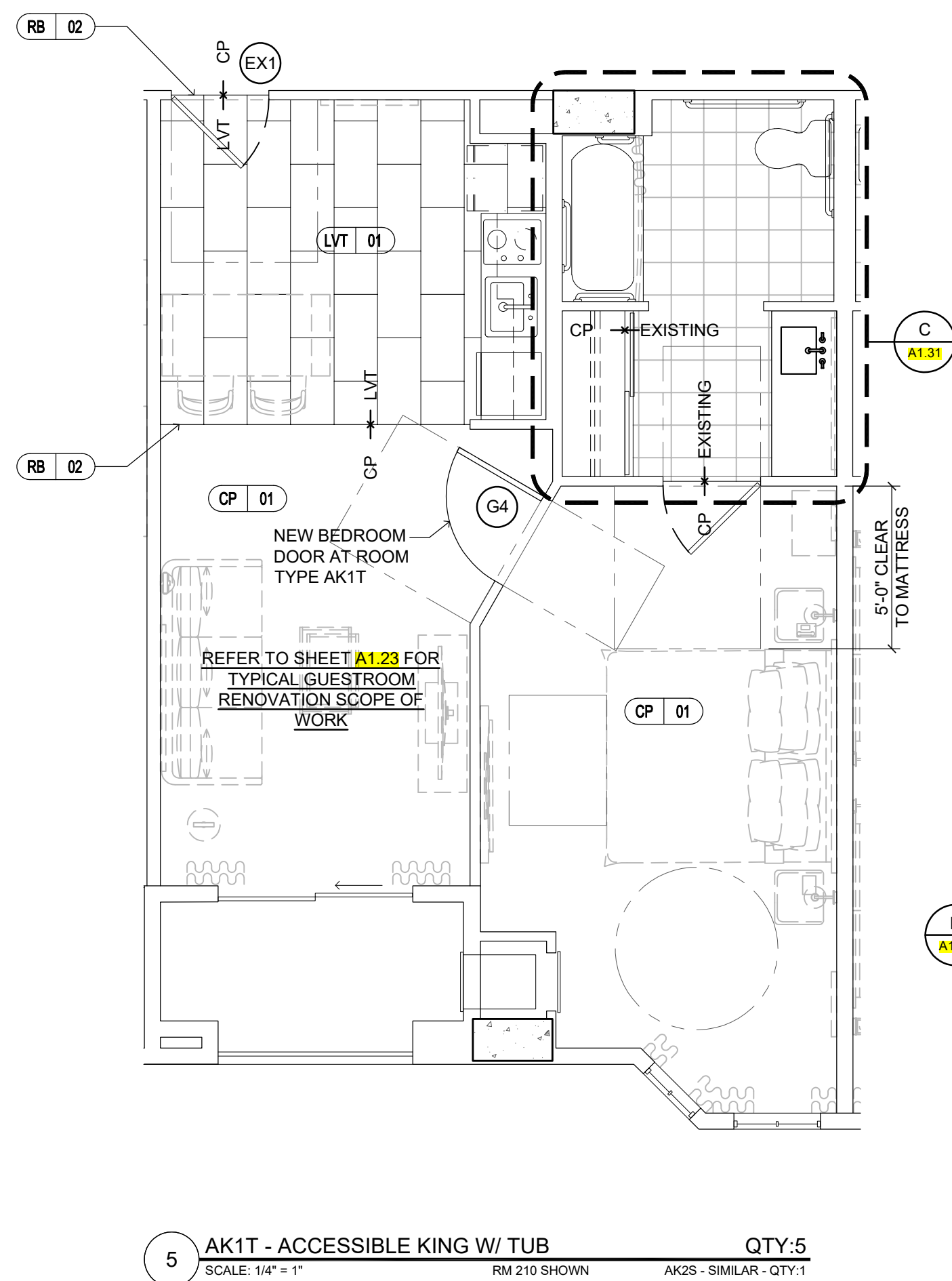
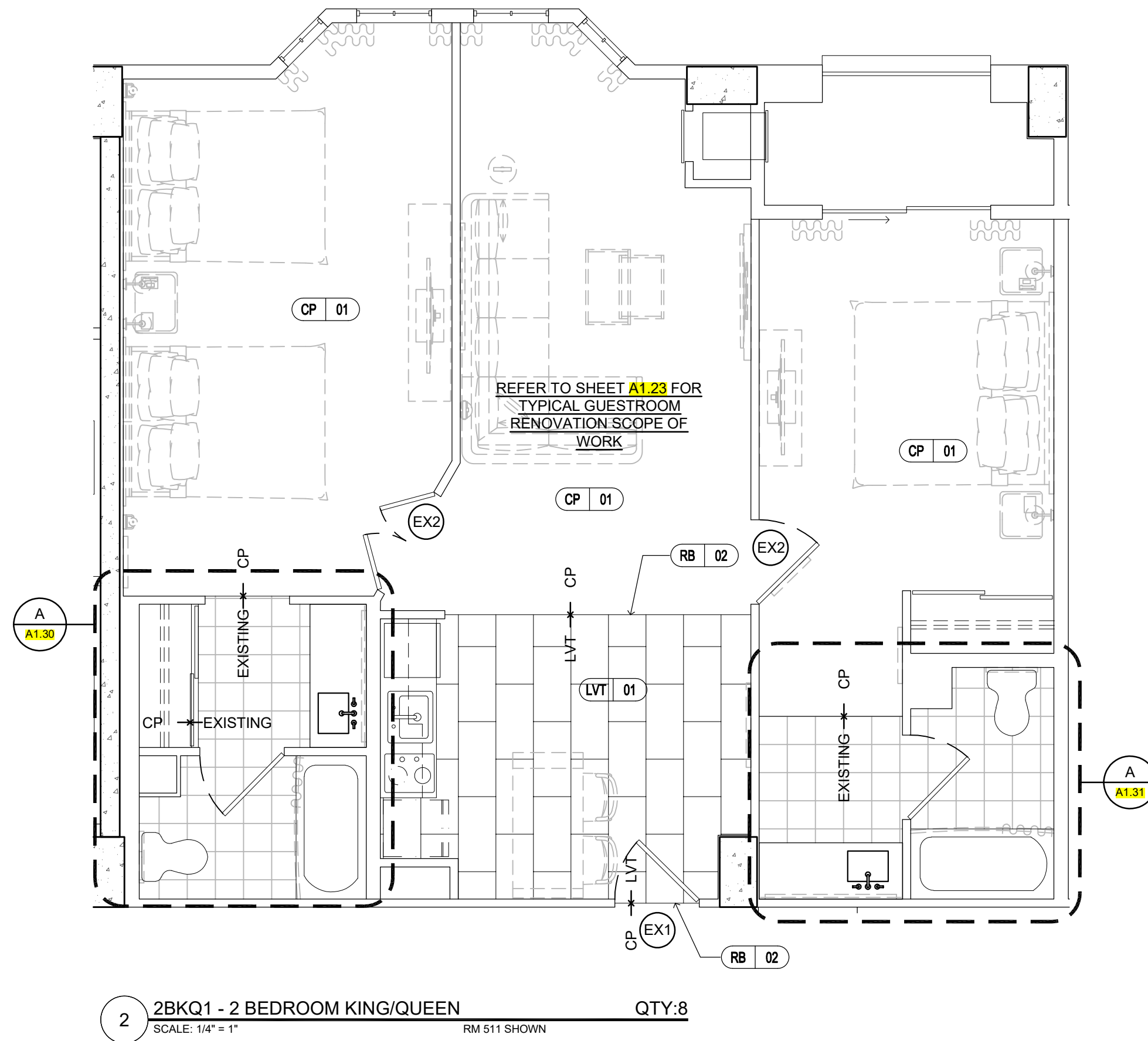
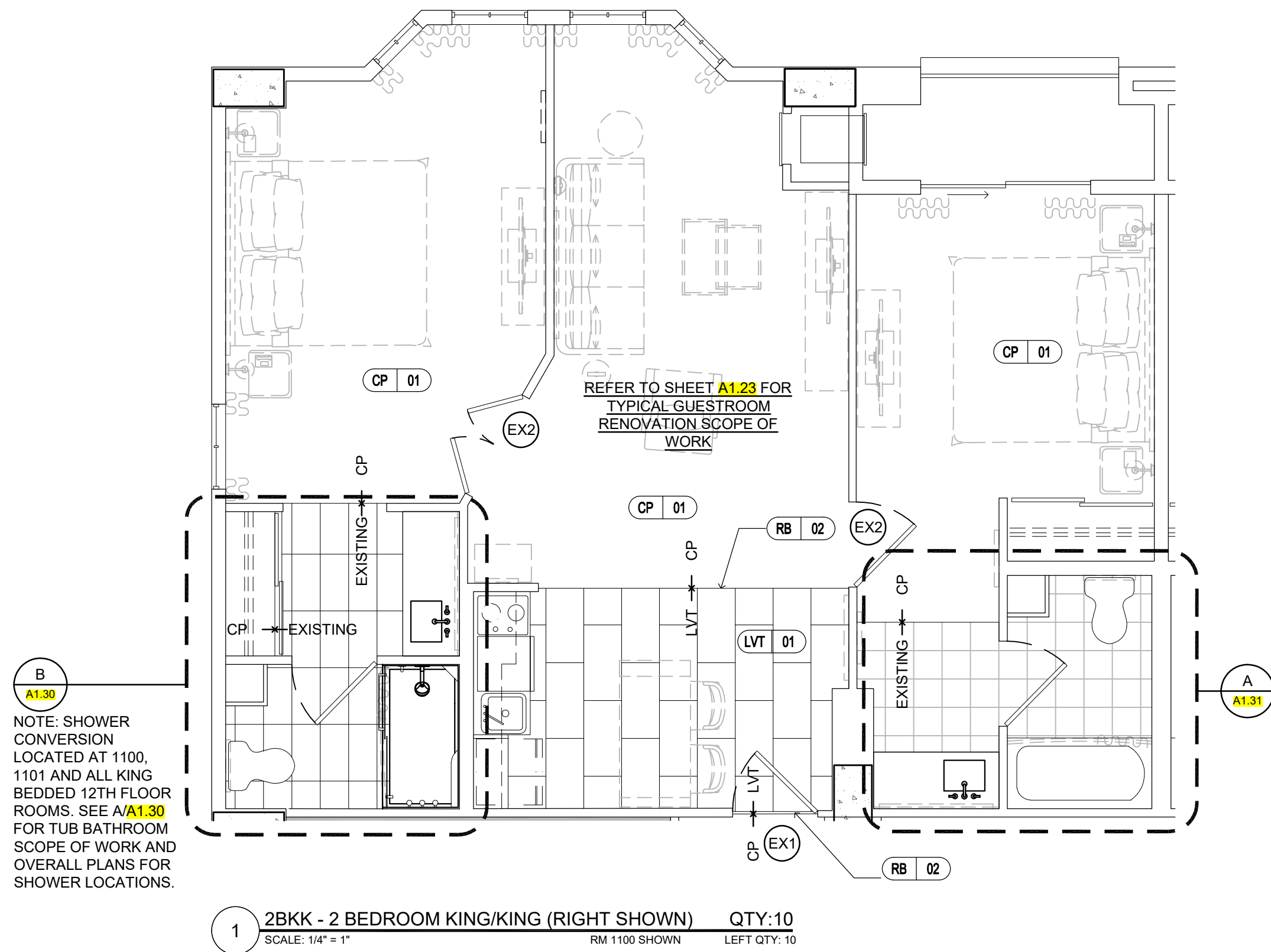
Drawing Scale:  
1/4" = 1'-0"

Stamp



A1.20

Drawing Number



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GUESTROOM TYPES

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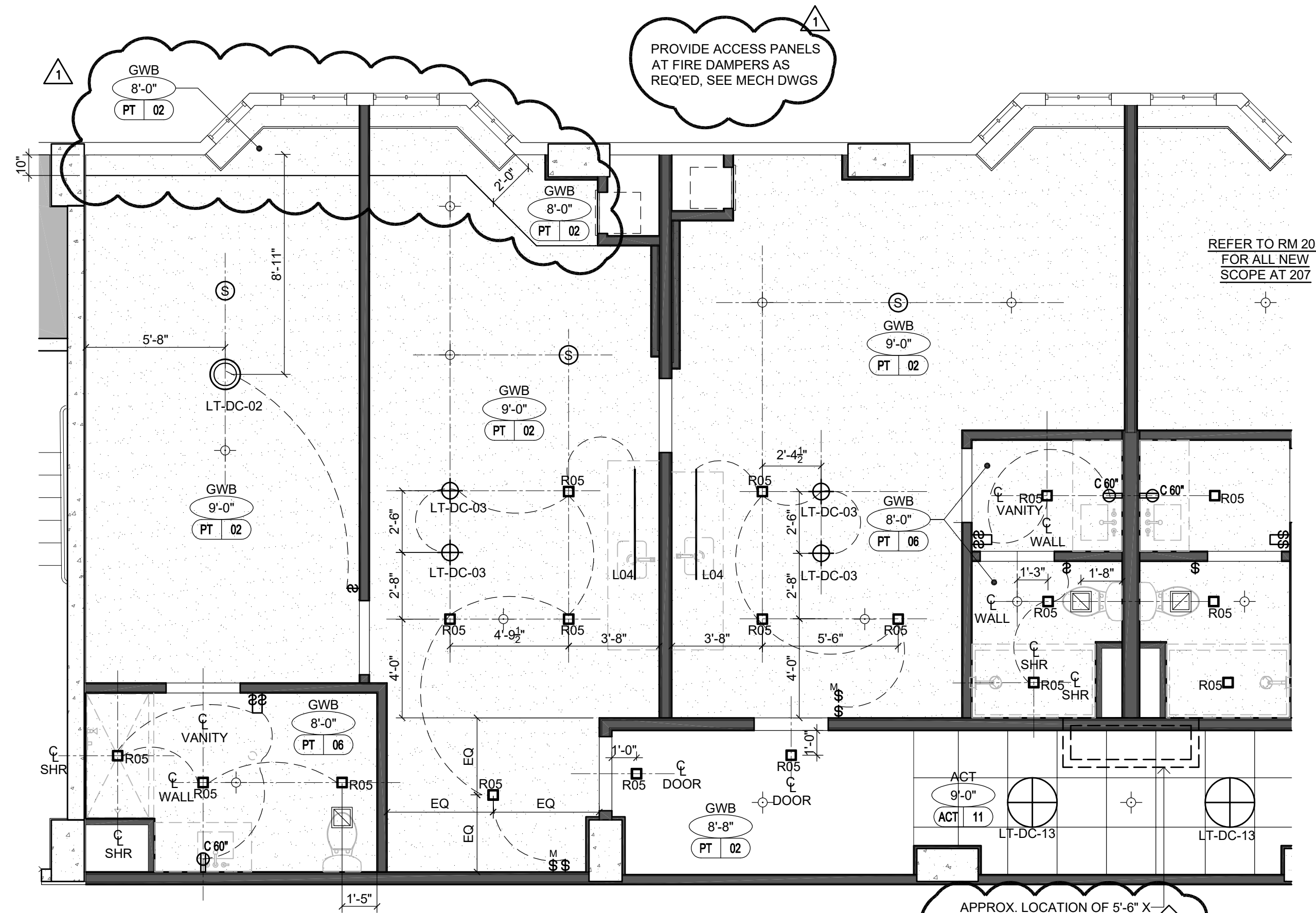
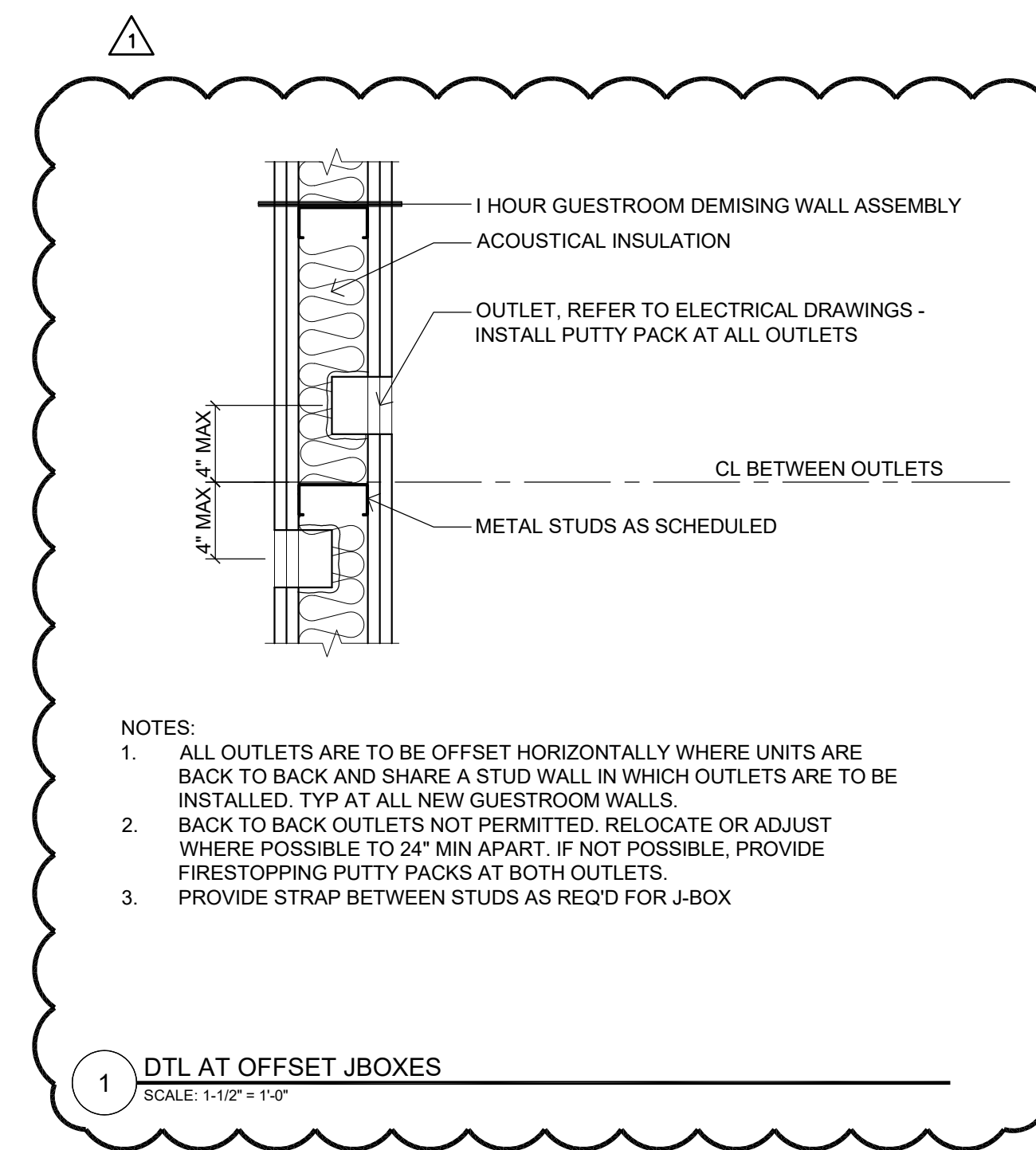
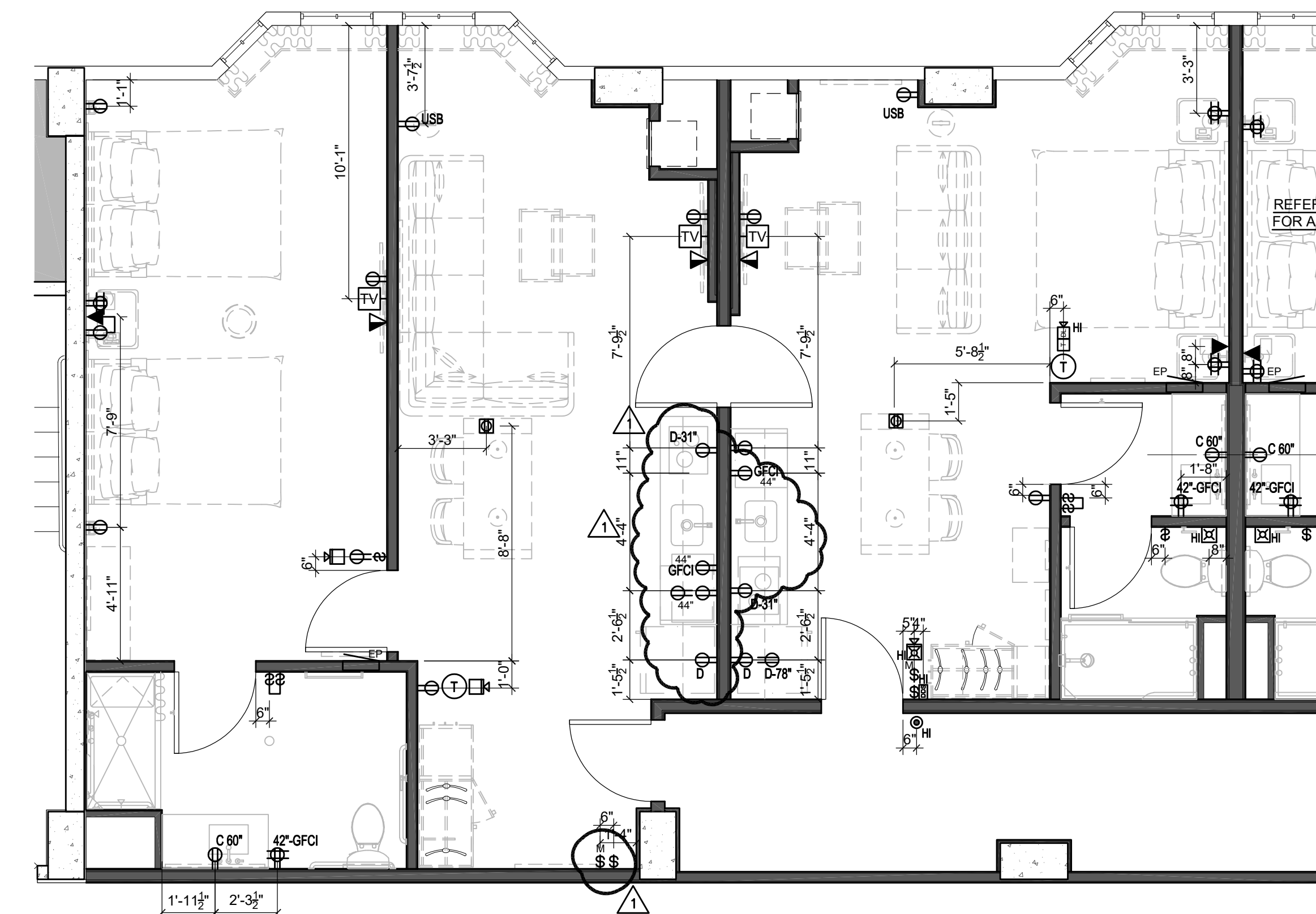
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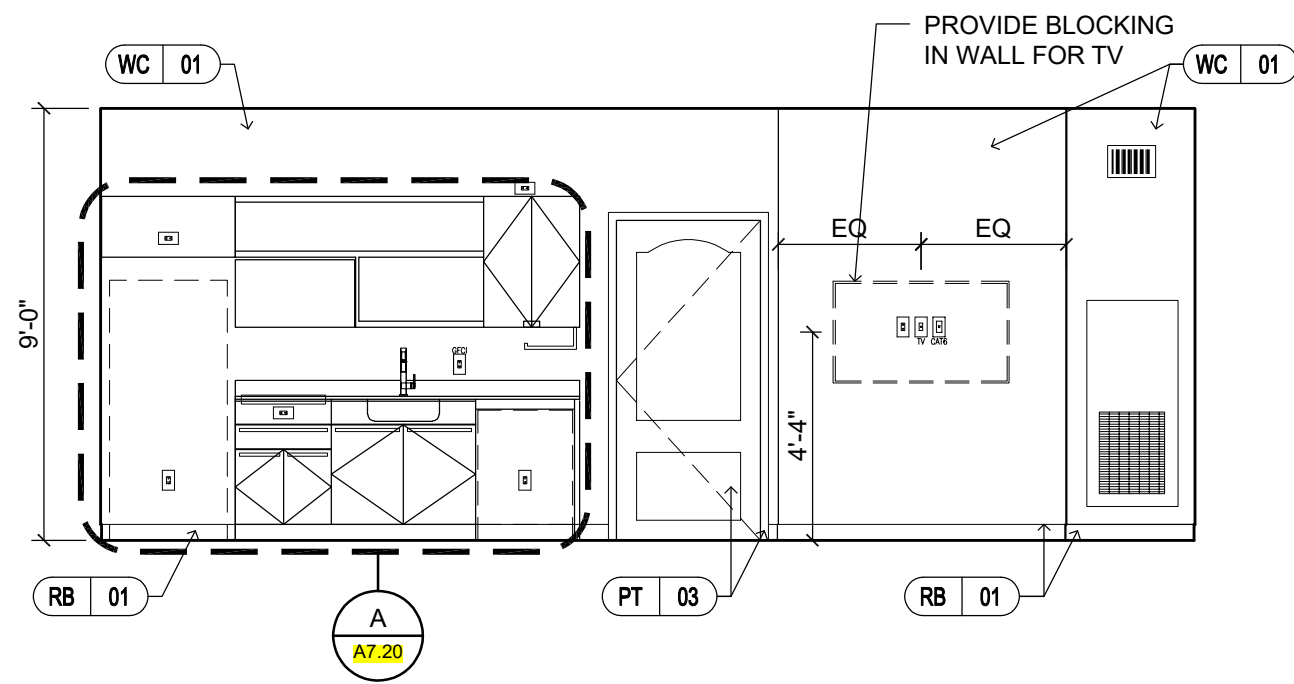
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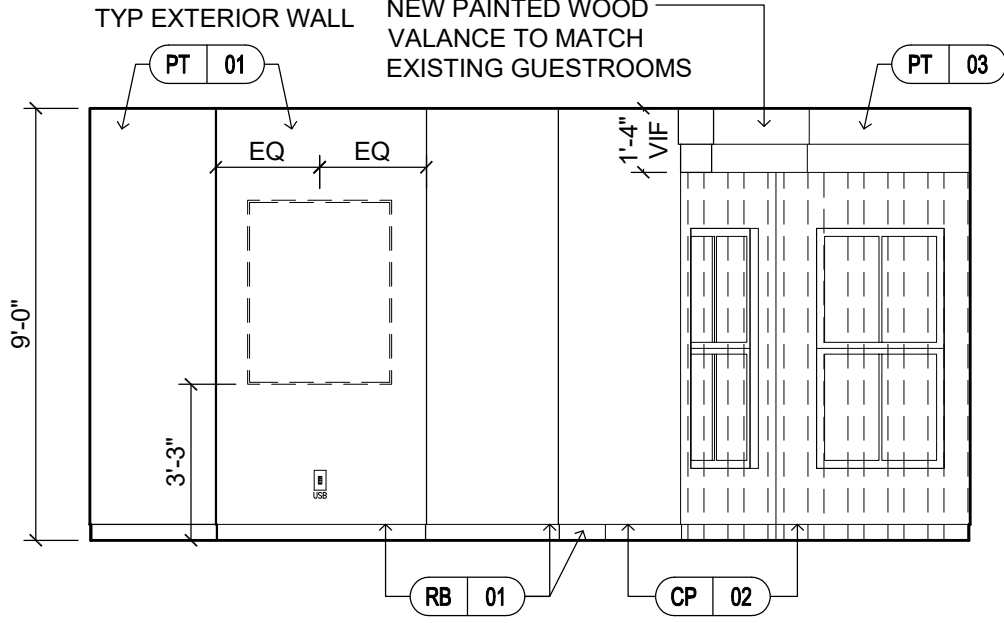




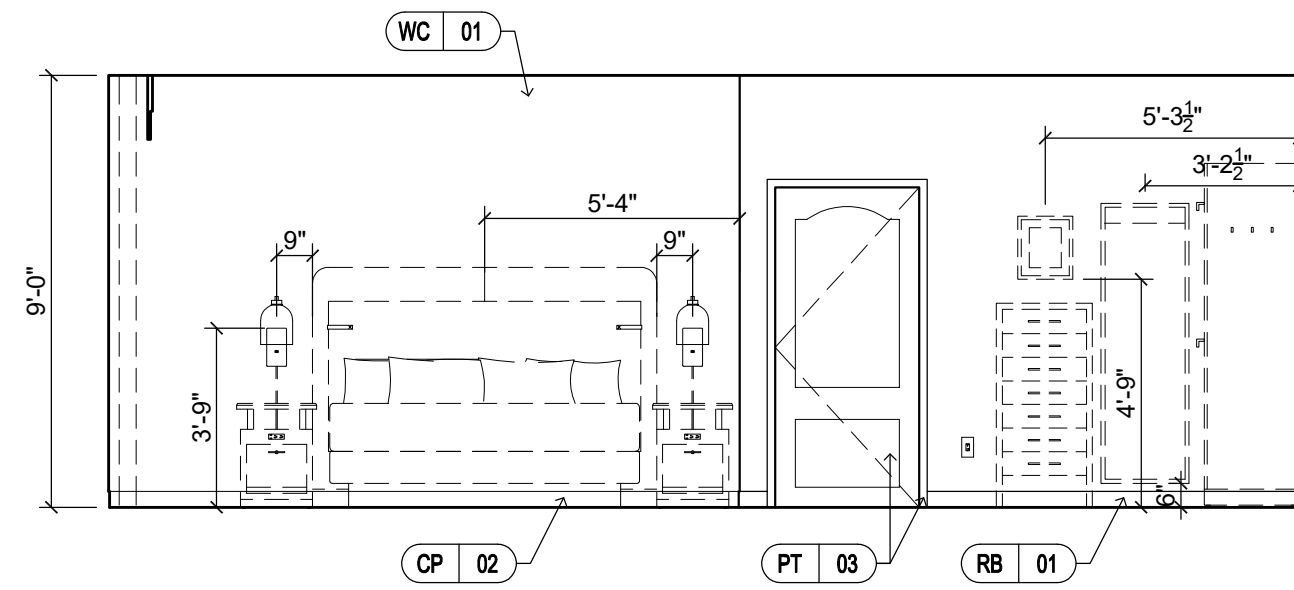




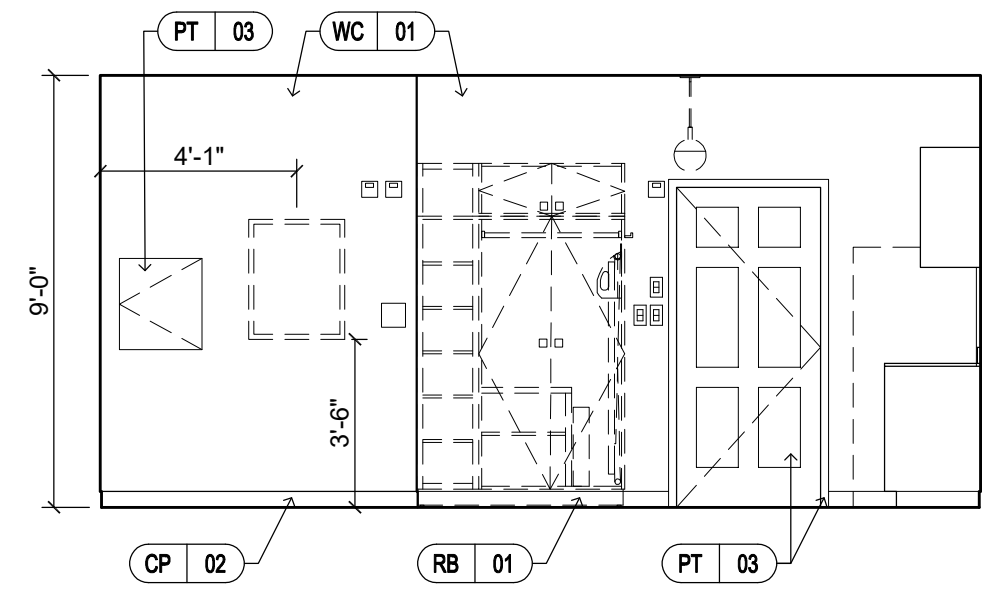
1 CONVERSION STUDIO- KITCHENETTE ELEVATION  
SCALE: 1/4" = 1'-0"



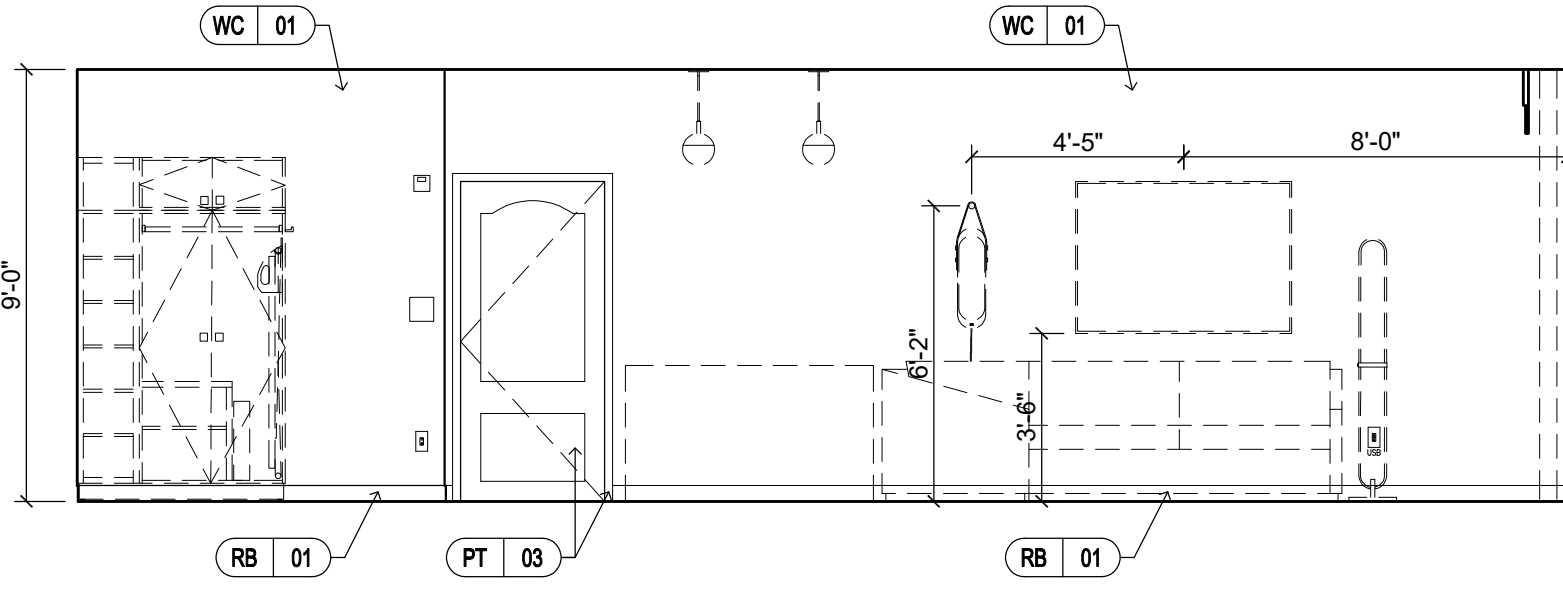
2 CONVERSION STUDIO- WINDOW ELEVATION  
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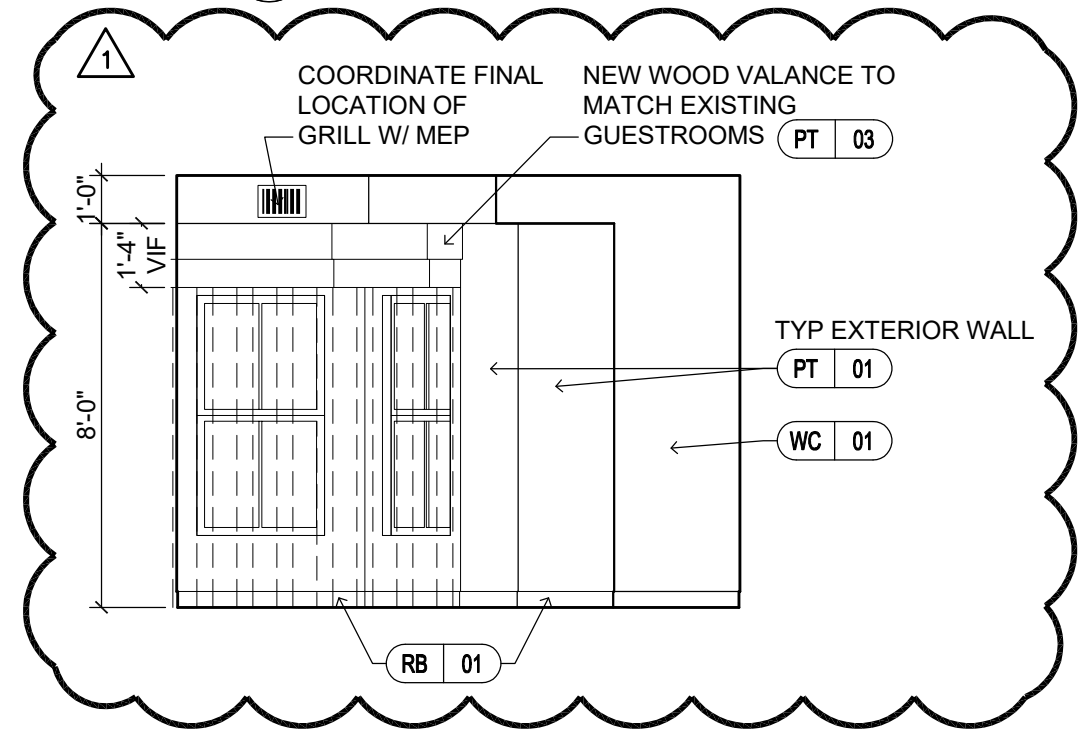
3 CONVERSION STUDIO- HEADBOARD ELEVATION  
SCALE: 1/4" = 1'-0"



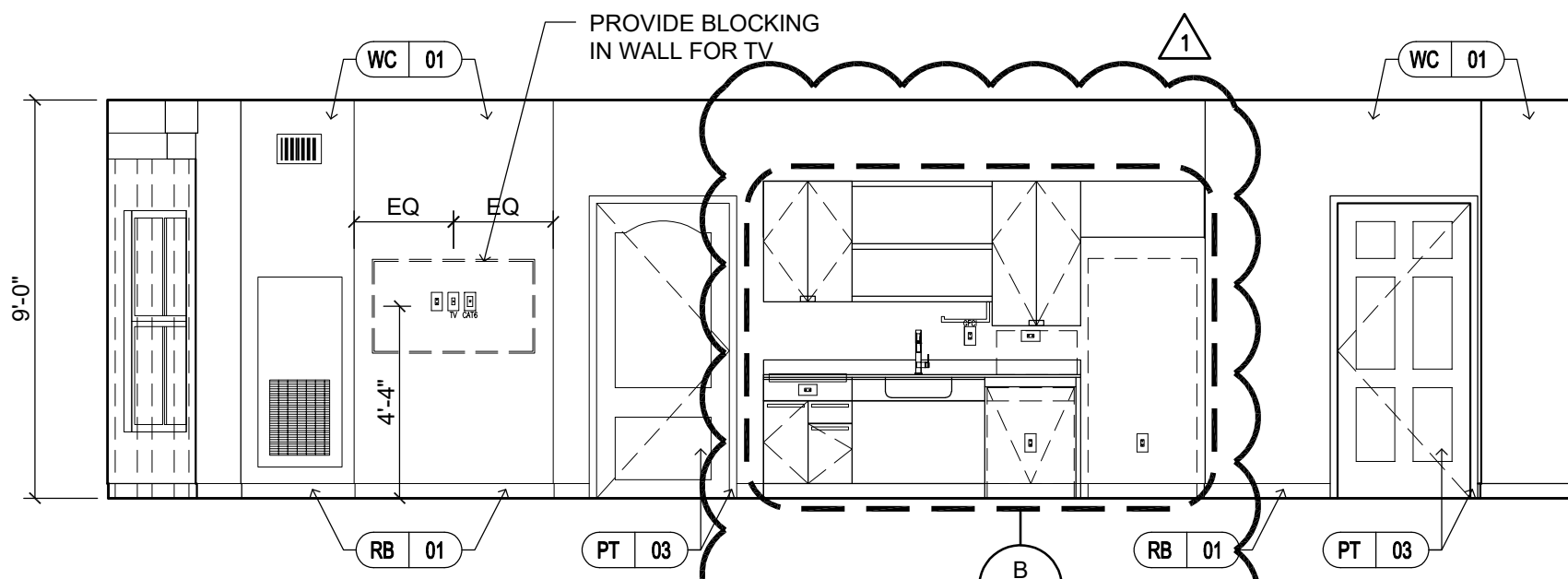
4 CONVERSION STUDIO- ENTRY ELEVATION  
SCALE: 1/4" = 1'-0"



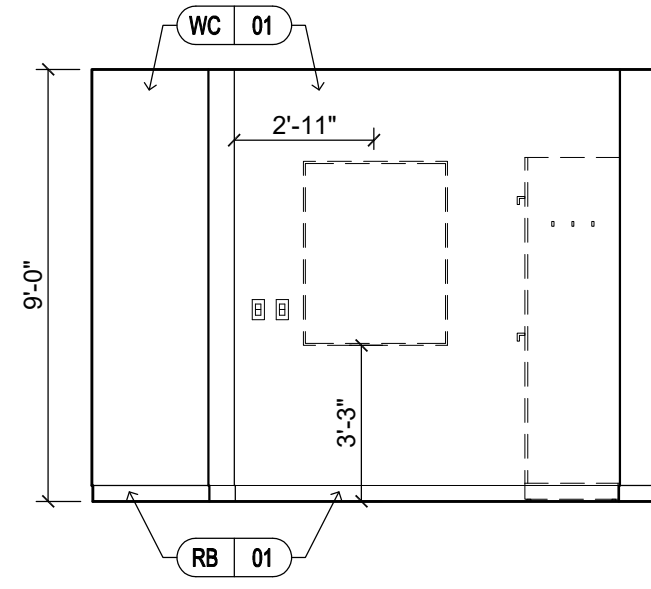
5 CONVERSION SUITE- LIVING ROOM ELEVATION  
SCALE: 1/4" = 1'-0"



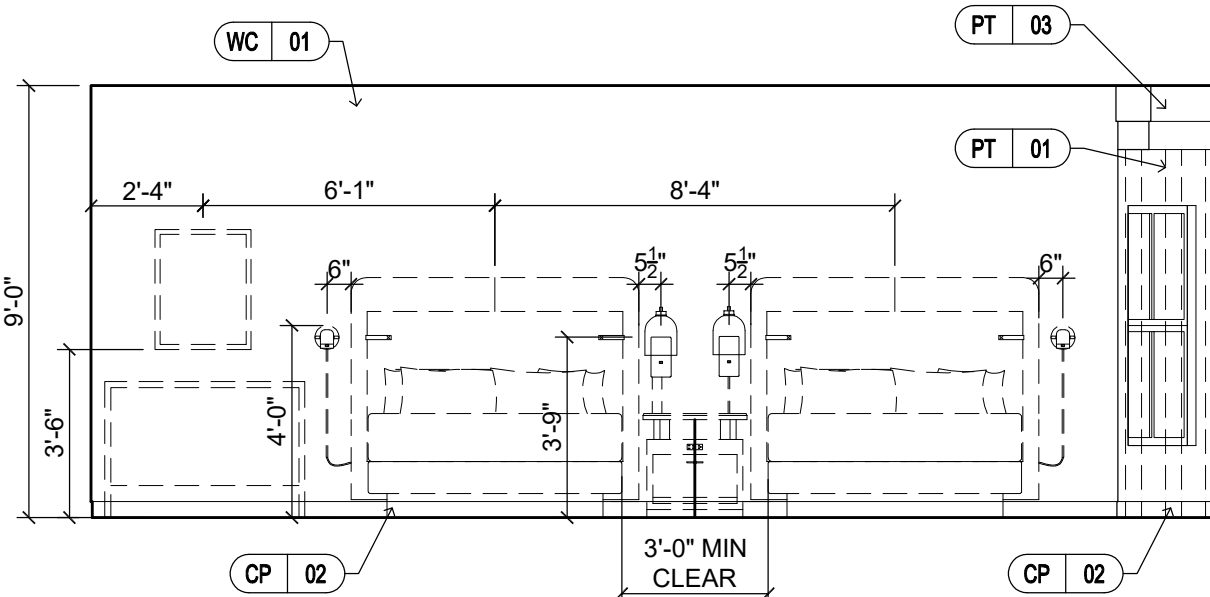
6 CONVERSION SUITE- LIVING ROOM WINDOW ELEVATION  
SCALE: 1/4" = 1'-0"



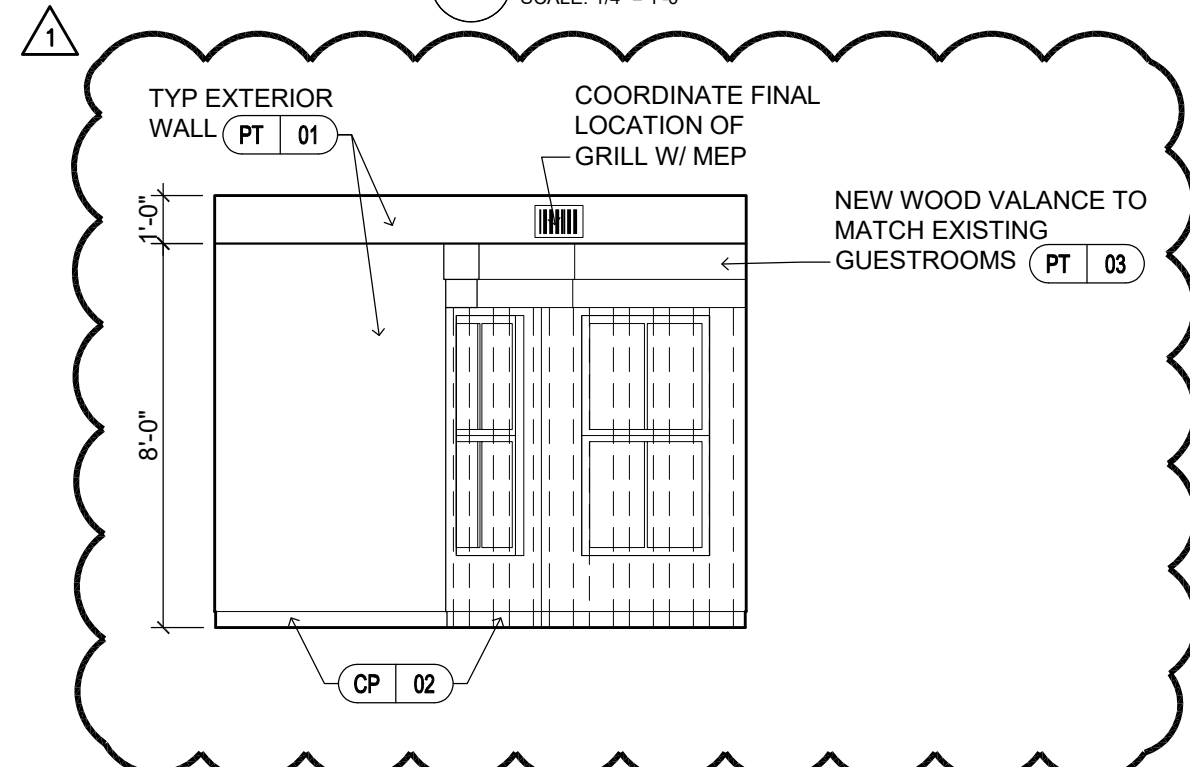
7 CONVERSION SUITE- KITCHENETTE ELEVATION  
SCALE: 1/4" = 1'-0"



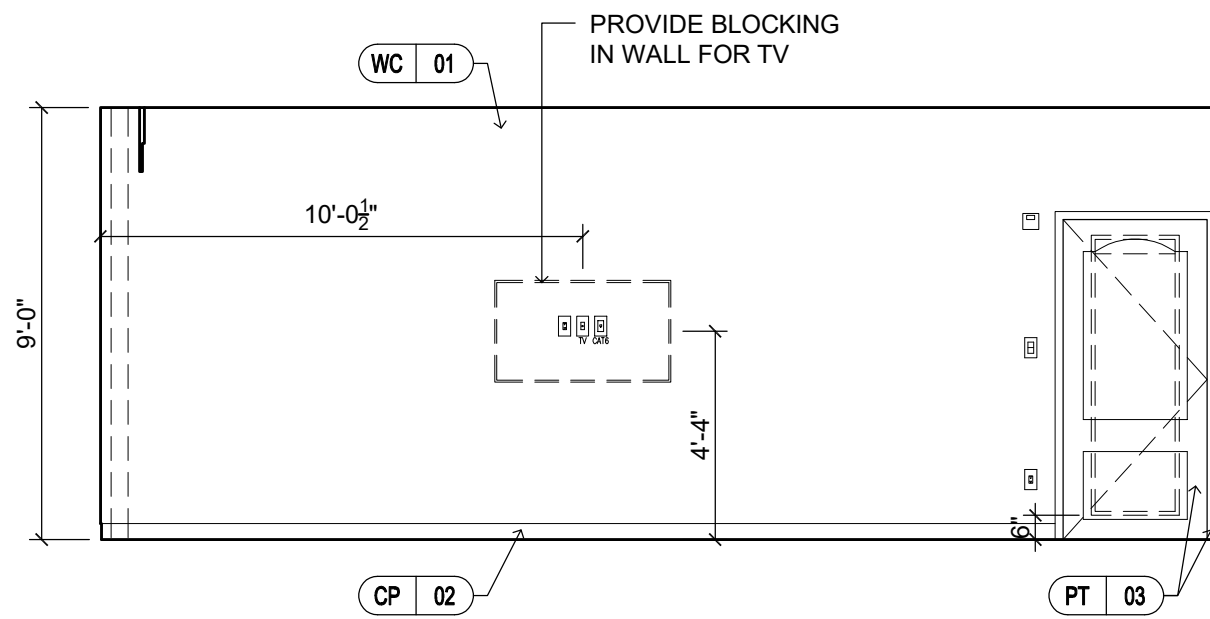
8 CONVERSION SUITE- ENTRY ELEVATION  
SCALE: 1/4" = 1'-0"



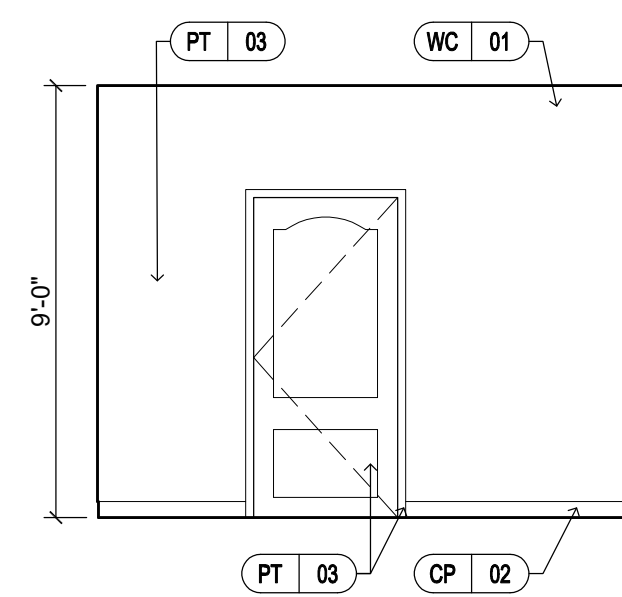
9 CONVERSION SUITE- BEDROOM HEADBOARD ELEVATION  
SCALE: 1/4" = 1'-0"



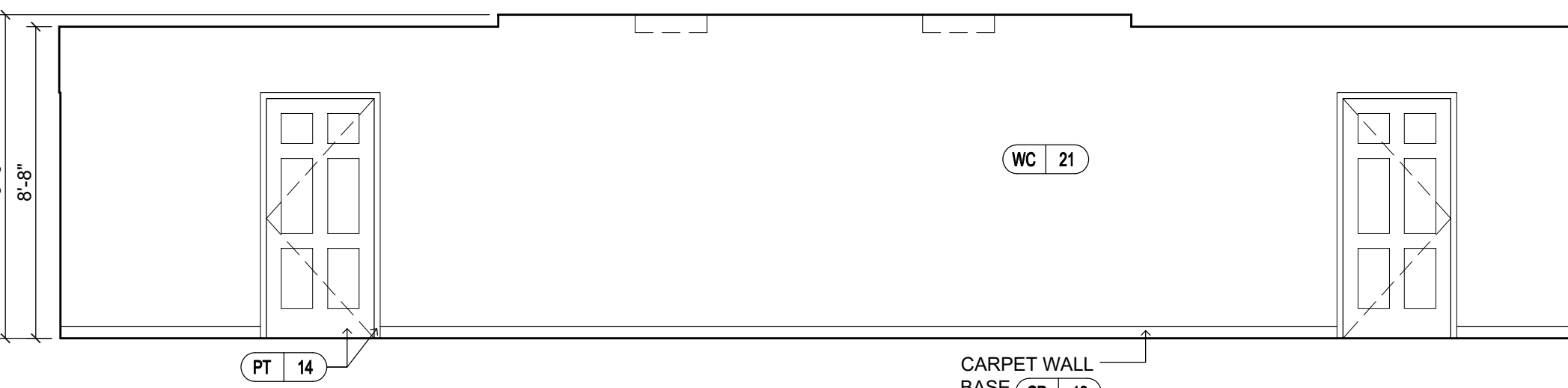
10 CONVERSION SUITE- BEDROOM WINDOW ELEVATION  
SCALE: 1/4" = 1'-0"



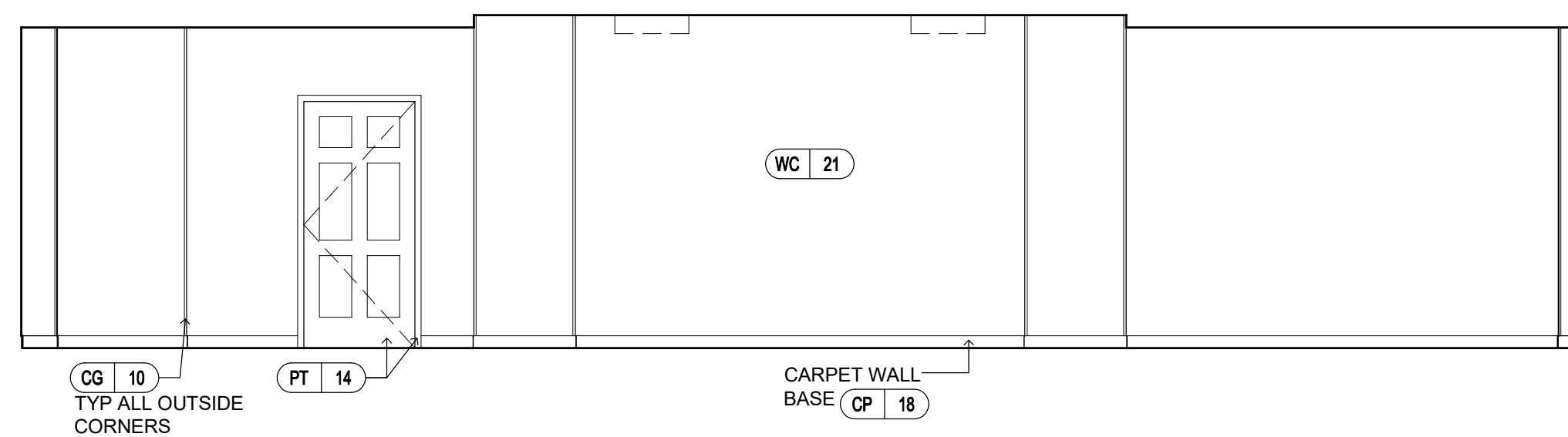
11 CONVERSION SUITE- BEDROOM TV WALL ELEVATION  
SCALE: 1/4" = 1'-0"



12 CONVERSION SUITE- BATHROOM WALL ELEVATION  
SCALE: 1/4" = 1'-0"



13 CONVERSION SUITE CORRIDOR - ELEVATION  
SCALE: 1/4" = 1'-0"



14 CONVERSION SUITE CORRIDOR - ELEVATION  
SCALE: 1/4" = 1'-0"

Project

**HOMWOOD SUITES** by Hilton  
901 Poydras Street  
New Orleans, LA

**Group One** PARTNERS  
21 W 3rd St, Boston, MA 02127

Issuance

No.	Description	Date
A	DESIGN	02/04
	DEVELOPMENT	2022
B	75% CD	02/18
	BID ESTIMATE	2022
1	CONSTRUCTION DOCUMENTS	03/07
		2022

Drawn By: JC

Checked By: CL

Project No. 1335

Drawing Title

ENL. CONVERSION GUESTROOM ELEVATIONS

Drawing Scale: 1/4" = 1'-0"

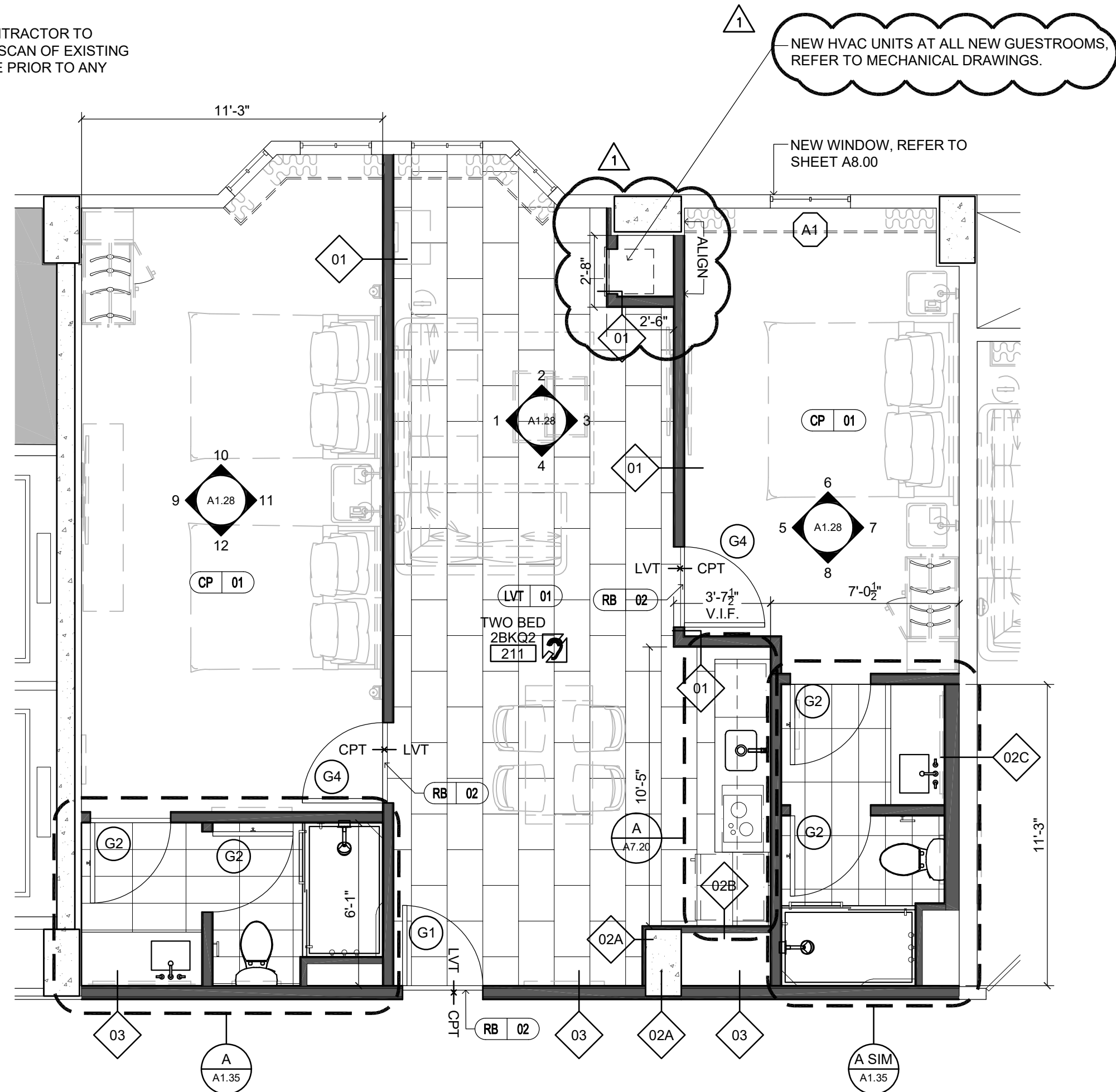
Stamp



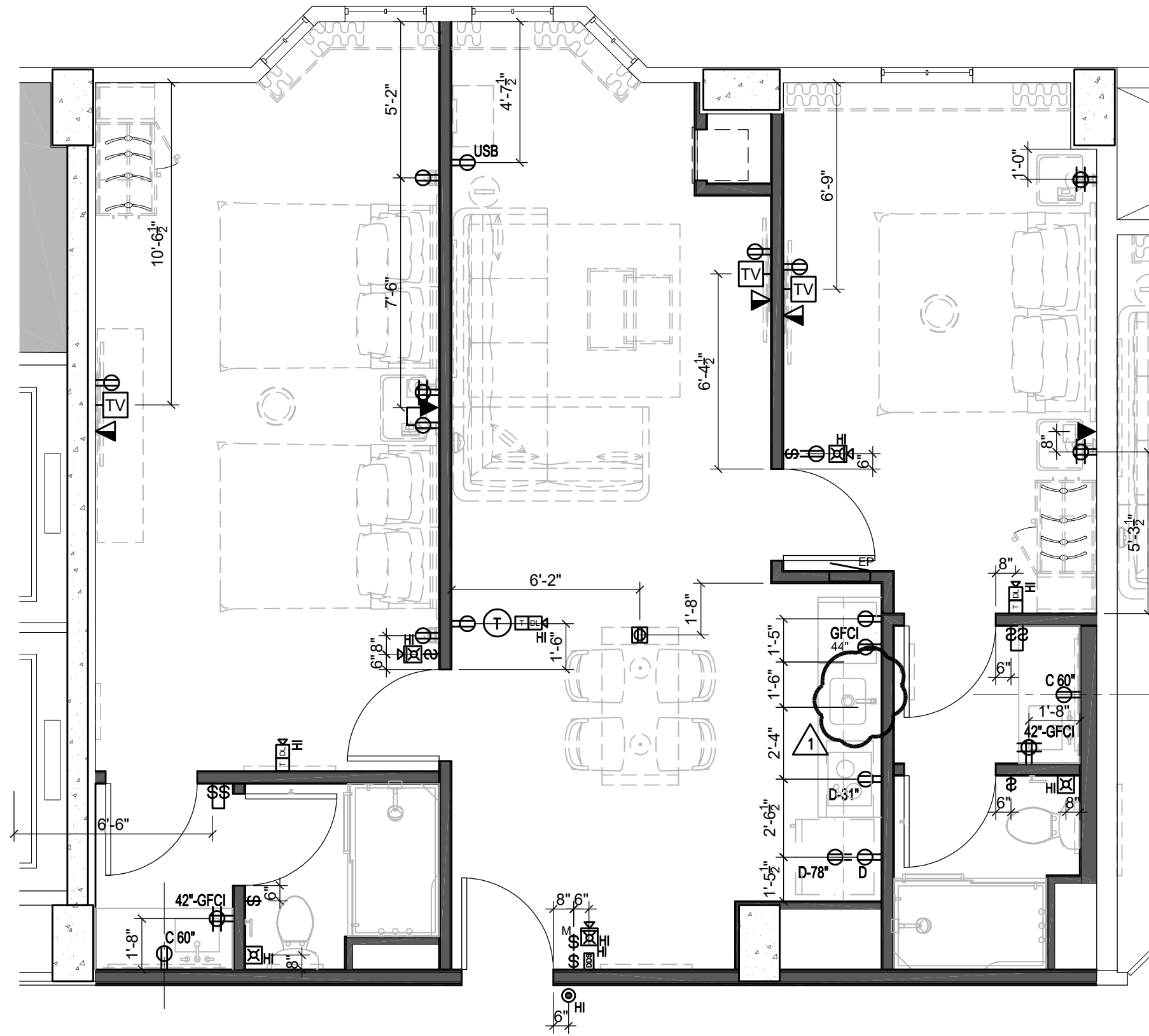
A1.26

Drawing Number

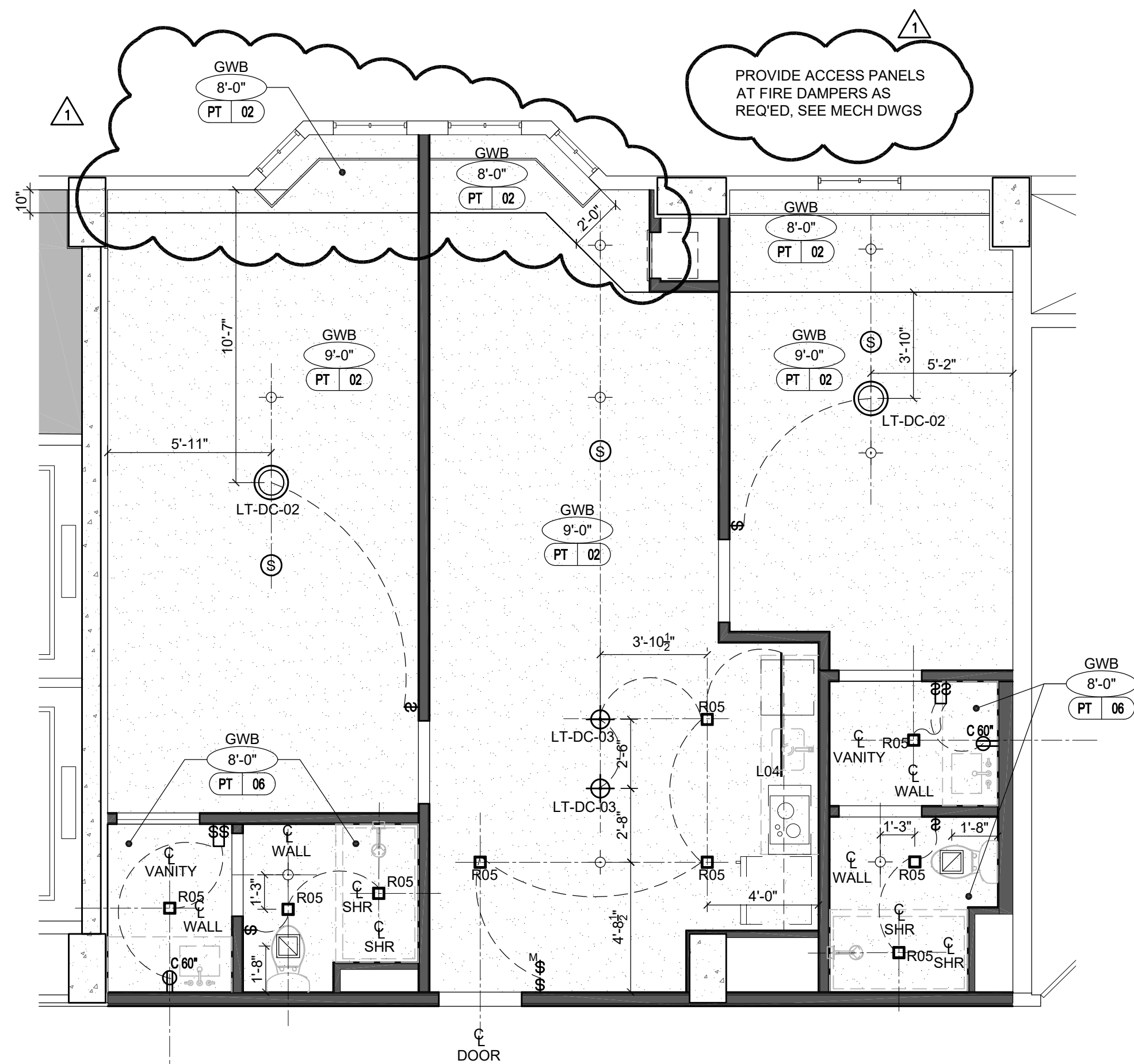
NOTE: CONTRACTOR TO  
PERFORM SCAN OF EXISTING  
CONCRETE PRIOR TO ANY  
CORING.



A CONVERSION ROOMS TWO BED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



B CONVERSION ROOMS TWO BED POWER PLAN  
SCALE: 1/4" = 1'-0"



C CONVERSION ROOMS REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

- ADDED DIMENSIONS TO ELECTRICAL AND LIGHTING
- UPDATED DECORATIVE LIGHT FIXTURE TAGS
- CHANGED JBOX TO CLOCK OUTLET AT VANITY MIRRORS

#### GENERAL NOTES

1. BLOCKING TO BE PROVIDED FOR ALL WALL MOUNTED MILLWORK AND FF&E, AND TO BE COORDINATED WITH FF&E SPECIFICATIONS AND LOCATIONS SHOWN.
2. ALL DOORS TO BE 1'-10" TO CENTERLINE OF OPENING FROM FINISHED WALL, U.O.N.
3. ALL DIMENSIONS TO BE FROM FACE OF FINISH WALL TO FACE OF FINISH WALL, U.O.N.
4. PROTECT SPRINKLER HEADS, DEVICES, AND HARDWARE THROUGHOUT CONSTRUCTION. REPLACE ANY DAMAGED DEVICES AS REQUIRED.
5. FLOORING TO EXTEND UNDER ALL FF&E AND MILLWORK.
6. REPLACE, PATCH, AND REPAIR ALL WATER DAMAGED WALL BOARD AND INSULATION IN KIND TO MATCH EXISTING WALL CONSTRUCTION TYPES AT GUEST BATH / CORRIDOR WALL AND ALL AREAS FOUND IN DEMOLITION.
7. MOISTURE RESISTANT GYPSUM BOARD TO BE USED AT ALL BATHROOM WALLS AND CEILINGS.
8. PROVIDE CAULK AT ALL DISSIMILAR MATERIALS, TYP. VWC TO STONE, TILE TO STONE, ETC. COLOR TO MATCH ADJACENT FINISH (CLEAR @ STONE).
9. ALL PENETRATIONS THROUGH RATED WALLS SHALL BE PROTECTED & SEALED TO MAINTAIN WALL RATING. SEE SHEETS A0.05-07.
10. SEE DEMO SCOPE FOR ROOM CONVERSIONS ON SHEET D1.02.
11. SEE SHEET A7.20 FOR GUESTROOM INTERIOR DETAILS.
12. SEE SHEETS ID1.20-ID1.22 FOR ALL FF&E LAYOUTS & FF&E TAGS.
13. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.

#### LEGEND OF SYMBOLS

- XX — DETAIL NUMBER  
AX.XX — DWG. NO. WHERE DETAIL APPEARS
- XXX — ROOM NAME  
XXX — ROOM NUMBER
- XX — WALL TYPE  
SEE DRWG A0.0X
- XX — DOOR NO., SEE DRWG A8.00
- XX — FINISH TYPE  
XX XX — FINISH NO.: SEE FINISH DESCRIPTION A9.00
- X — INTERIOR ELEVATION DESIGNATION  
X AX.X X — DWG. NUMBER WHERE INTERIOR ELEVATION APPEARS

#### ELECTRICAL SYMBOL LEGEND

TYPE	DESCRIPTION
	DUPLEX RECEPTACLE, 18" AFF U.O.N.
	USB/C DUPLEX RECEPTACLE, 18" AFF
	SWITCHED CLOCK OUTLET
	DEDICATED OUTLET FOR APPLIANCE, 18" AFF U.O.N.
	QUAD OUTLET, 18" AFF U.O.N.
	CABLE TV OUTLET, 18" AFF U.O.N.
	TELEPHONE OUTLET, 18" AFF U.O.N.
	DATA OUTLET, 18" AFF U.O.N.
	COMBO TEL/DATA, 18" AFF U.O.N.
	SWITCH, 48" AFF U.O.N.
	MASTER LIGHT SWITCH - PROVIDE ENGRAVED FACEPLATE MOUNTED AT 54" AFF (48" AFF AT ADA ROOM) TO CONTROL ALL HARDWIRED LIGHTS AND SWITCHED OUTLETS IN GUESTROOM WITH EXCEPTION OF BATHROOM.
	WALL MOUNTED WIRELESS THERMOSTAT, 48" AFF, TYP.
	FIRE ALARM SYSTEM SPEAKER @ 8" BELOW CEILING (6'-8" AFF MIN.)
	SMOKE DETECTOR
	PUSH BUTTON DOORBELL, 48" AFF
	DOORBELL DISCONNECT SWITCH, 48" AFF
	TELEPHONE AND DOORBELL CHIME/STROBE (HARDWIRED)
	FIRE ALARM STROBE ONLY, 6'-8" A.F.F. TO BOTTOM OF DEVICE
	FIRE ALARM STROBE AND MINI HORN, WALL MTD 6'-8" A.F.F. TO BOTTOM OF DEVICE
	ELECTRICAL PANEL, SEE ELECTRICAL PLANS

NOTE: \*SPRINKLER WORK IS DEFERRED DESIGN, DESIGN BUILD. SPRINKLERS SHOWN FOR COORDINATION IN CEILING ONLY. CONTRACTOR RESPONSIBLE FOR CODE REQUIREMENTS AND FINAL QUANTITIES.

Project

HOMWOOD  
SUITES by Hilton™

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1	CONSTRUCTION	03/07
	DOCUMENTS	2022

Drawn By: CL

Checked By: CL / MF

Project No.

1335

Drawing Title

ENL. CONVERSION  
TWO BED  
GUESTROOM PLAN

Drawing Scale:

1/4" = 1'-0"

Stamp



A1.27

Drawing Number

# ENL. CONVERSION TWO BED GUESTROOM ELEVATIONS



Drawing Number

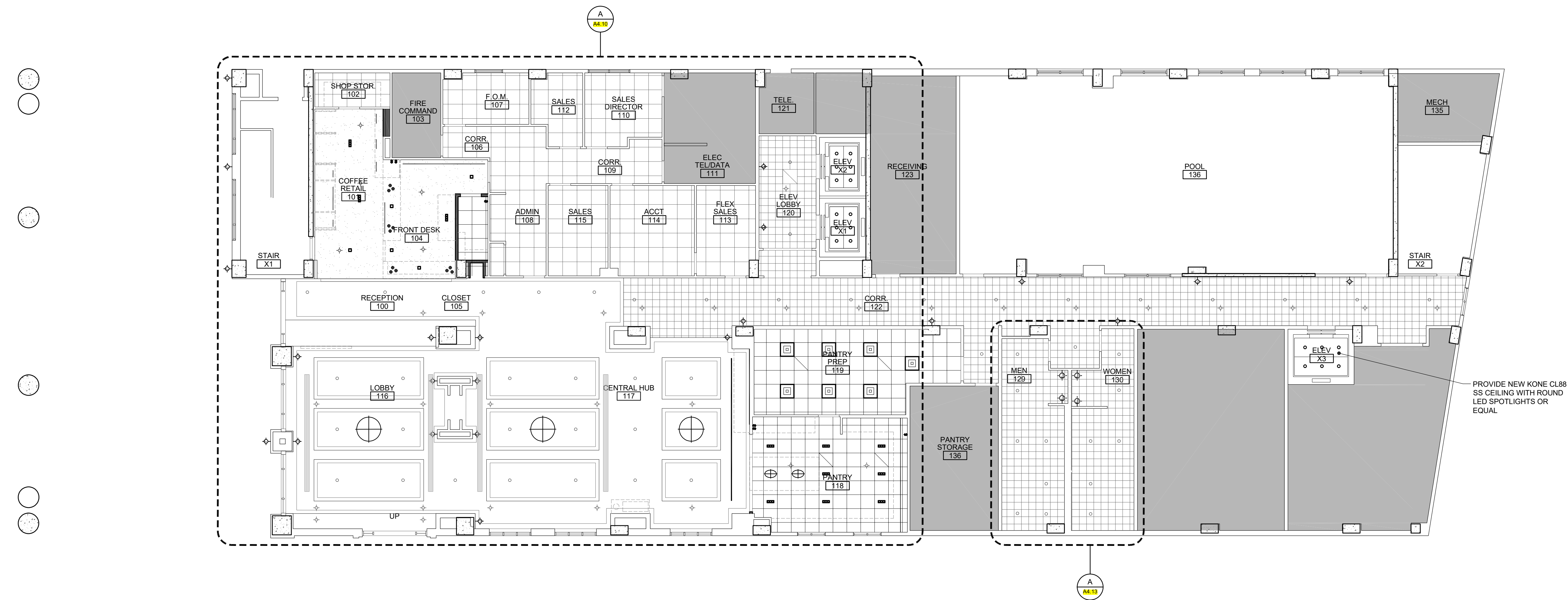












GENERAL NOTES

ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION ARE TO BE VERIFIED IN FIELD AND COORDINATED/ ADJUSTED AS REQUIRED WITH ALL NEW DESIGN WORK.

LEGEND OF SYMBOLS

XX  
XX-XX ———— DETAIL NUMBER  
DRWG. NUMBER WHERE  
DETAIL APPEARS

XXX  
X'-XX" ———— CEILING MATERIAL  
CEILING HEIGHT

XXX  
XXX ———— ROOM NAME  
XXX ———— ROOM NUMBER

————— AREA NOT IN CONTRACT

————— NEW TYPE C GWB CEILING  
(TYPE X AT EXTERIOR)

Project

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	DOCUMENTS	2022

Drawn By: CL

Checked By: CL / MF

Project No. 1335

Drawing Title

FIRST LEVEL  
RCP

Drawing Scale:  
1/8" = 1'-0"

Stamp



A4.00

Drawing Number

A FIRST LEVEL RCP  
SCALE: 1/8" = 1'-0"






MEZZANINE LEVEL  
RCP

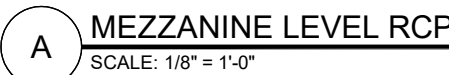
Stamp



Drawing Number

## LEGEND OF SYMBOLS

 — DETAIL NUMBER  
 — DRWG. NUMBER WHERE  
 — DETAIL APPEARS  
 — CEILING MATERIAL  
 — CEILING HEIGHT  
 — ROOM NAME  
 — ROOM NUMBER  
 — AREA NOT IN CONTRACT  
 — NEW TYPE C GWB CEILING  
 (TYPE X AT EXTERIOR)



[illegible]

Drawn By: CL

Checked By: CL / MF

Project No. 1335

Drawing Title

SECOND LEVEL  
RCP

Drawing Scale:

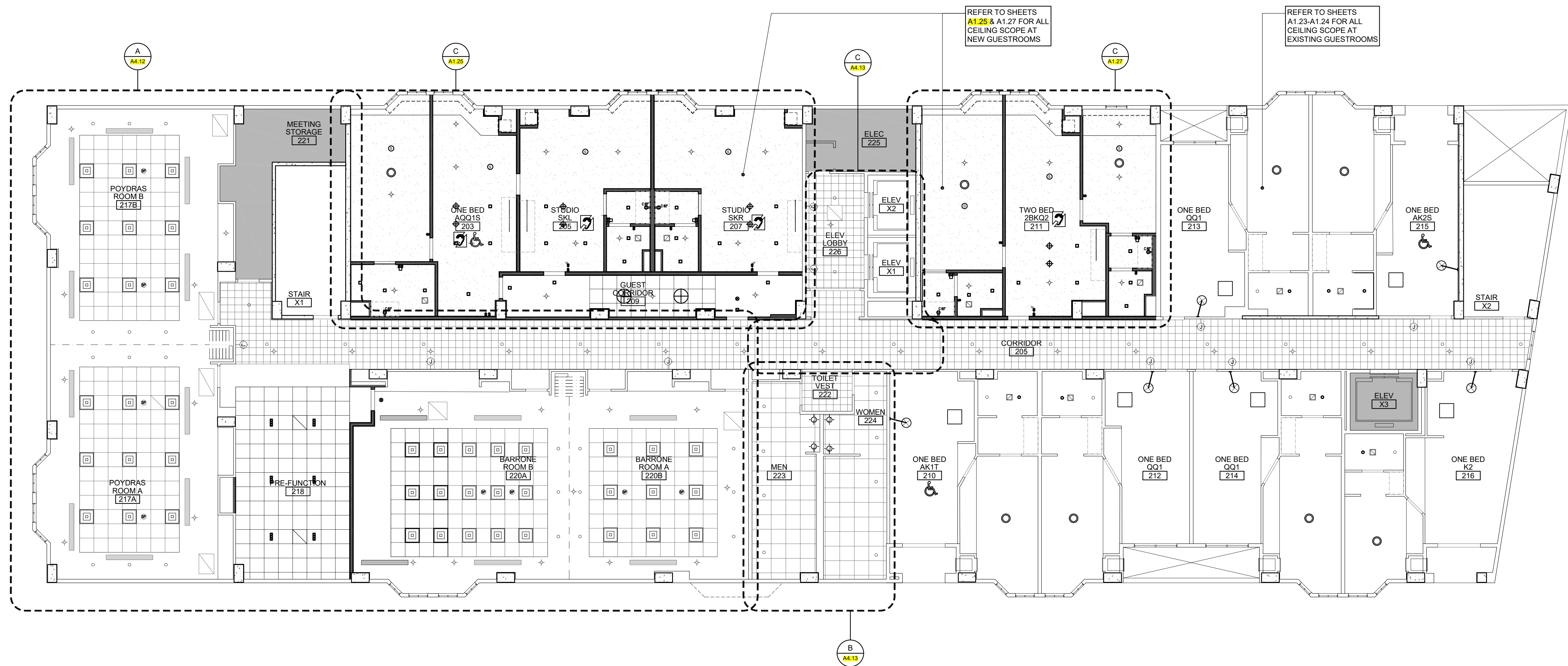
$1/8" = 1'-0"$



# A4.02

ALL MECHANICAL, ELECTRICAL, PLUMBING,  
AND FIRE PROTECTION ARE TO BE VERIFIED  
IN FIELD AND COORDINATED/ ADJUSTED AS  
REQUIRED WITH ALL NEW DESIGN WORK.

 — DETAIL NUMBER  
 — DRWG. NUMBER WHERE  
 — DETAIL APPEARS  
 — CEILING MATERIAL  
 — CEILING HEIGHT  
 — ROOM NAME  
 — ROOM NUMBER  
 — AREA NOT IN CONTRACT  
 — NEW TYPE C GWB CEILING  
 (TYPE X AT EXTERIOR)



**A SECOND LEVEL RCP**  
SCALE: 1/8" = 1'-0"