GENERAL NOTES:

- 1. CONTRACTOR AND SUB-CONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE BUILDING AND EXISTING CONDITIONS PRIOR TO SUBMISSION OF PROPOSAL / BID, AND VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION WORK.
- 2. ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING CITY STATE AND NATIONAL CODES, ORDINANCES, REGULATIONS AND AGENCIES.
- 3. CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ANY DAMAGE TO PREVIOUSLY EXISTING OR NEWLY PLACED FACILITIES WHICH IS CAUSED BY THE WORK OPERATIONS UNDER THIS CONTRACT. PROTECT ALL EXISTING CONSTRUCTION, UTILITIES, AND FACILITIES TO REMAIN. ANY AND ALL DAMAGE DURING CONSTRUCTION OR DEMOLITION WHICH IS CAUSED BY OPERATIONS UNDER THIS CONTRACT, WHETHER ACCIDENTAL OR MADE NECESSARY BY RESTORATION OR REPLACEMENT BY SHALL BE REPAIRED TO MATCH EXISTING WITH NO COST TO THE OWNER.
- 4. CONTRACTOR SHALL AT ALL TIMES KEEP PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS/ HER OPERATION AND SHALL REMOVE NO LESS THAN DAILY DEBRIS FROM AND ABOUT THE PROJECT.
- 5. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE PROJECT PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT / ENGINEER PRIOR TO SUBMISSION OF THE PROPOSAL/BID. IN ADDITION, REVIEW CAREFULLY ALL CONDITIONS AND SYSTEMS AND FAMILIARIZE HIMSELF/HERSELF WITH ALL ASPECTS OF THE REQUIRED WORK FOR A COMPLETE INSTALLATION. ANY DEVIATION OR CHANGES NECESSARY TO ACHIEVE THE INSTALLATIONS SHOWN SHALL BE CALLED TO THE ATTENTION OF THE OWNER AND THE ARCHITECT PRIOR TO SUBMITTING OF FINAL PROPOSAL/BID TO MAKE NECESSARY ADJUSTMENTS AND SO AVOID ANY EXTRA COSTS DURING CONSTRUCTION. THE CONTRACTOR SHALL BASE HIS/HER PROPOSAL/BID ON INFORMATION GATHERED FROM HIS SITE VISIT AND THE EXISTING CONDITIONS, COMPLIANCE WITH LOCAL, STATE, AND NATIONAL REGULATIONS, AND ADDITIONAL DOCUMENTS DEVELOPED BY THE CONTRACTORS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR FAILURE TO DO SO.
- 6. CONTRACTOR SHALL COMPLY WITH THE OWNER'S REQUIREMENTS AS TO SCHEDULE OF WORK, DELIVERY OF MATERIAL, AND USE OF SITE.
- 7. ALL ALIGNMENT MARKS CLEAR STUD FACE TO STUD FACE, OR AS INDICATED OTHERWISE. 8. CONTRACTOR SHALL PROVIDE A LIST OF ALL MATERIALS REQUIRED TO COMPLETE
- PROJECT AT THE BID DATE. ALL ITEMS THAT ARE OWNER FURNISHED SHOULD APPEAR ON THE LIST. 9. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE TO MANUFACTURERS
- AND NATIONAL REGULATIONS AND CODES. 10. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR ONE YEAR AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED.
- 11. ALL ELECTRICAL WORK AND PERMITTING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE, WITH WRITTEN MANUFACTURER'S INSTRUCTIONS, STATE AND CITY REGULATIONS AND ORDINANCES, AND UNDERWRITERS' LABORATORIES (U.L.).

RECOMMENDATIONS AND INSTRUCTIONS, AND SHALL COMPLY WITH ALL LOCAL, STATE,

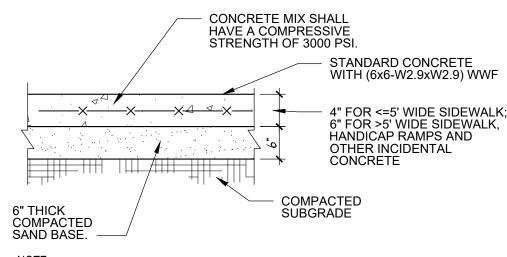
PROJECT SCOPE:

ARCHITECTURAL / STRUCTURAL: THIS PROJECT IS AN OWNER RENOVATION OF AN EXISTING TWO-FAMILY RESIDENCE INTO A SINGLE-FAMILY RESIDENCE. THE SCOPE INCLUDES REMOVAL OF EXISTING INTERIOR PARTITIONS FOR THE CONVERSION INTO A SINGLE-FAMILY FLOOR PLAN, AN THE ADDITION TO THE REAR PORTION OF THE EXISTING BUILDING.

MECHANICAL: NEW AC UNIT, NEW BATHROOM EXHAUST VENT AND NEW KITCHEN HOOD (MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITTING & INSPECTIONS)

PLUMBING: MINOR WORK. RELOCATE EXISTING PLUMBING LINES AND FIXTURES TO NEW BATHROOMS AND KITCHEN.

ELECTRICAL: MINOR WORK - ALL EXISTING MAIN ELECTRICAL PANELS AND METER TO REMAIN (ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITTING & INSPECTIONS).



. STANDARD CONTROL JOINT SPACING SHALL BE 4 FT 2. MAX EXPANSION JOINT SHALL BE 20 FT AND WHEN PAVEMENT

ABUTTING SLABS OR OTHER ADJOINING STRUCTURES.

standard conc. paving - sidewalk

PLAN REVIEW DATA

PROJECT ADDRESS:

5727 ROYAL STREET NEW ORLEANS, LA 70117

LOT INFORMATION LOT: G - SQUARE: 200 SUBDIVISION: HOLY CROSS ORLEANS PARISH, LA

FLOOD ZONE: X BASE FLOOD ELEVATION = EXISTING (NO CHANGE)

APPLICABLE CODES:

2010 LA STATE UNIFORM CONSTRUCTION CODE: ICC INTERNATIONAL RESIDENTIAL CODE - 2015 EDITION NATIONAL ELECTRIC CODE - 2014 EDITION INTERNATIONAL MECHANICAL CODE - 2015 ED. LOUISIANA STATE PLUMBING CODE - 2013 EDITION WOOD FRAME CONSTRUCTION MANUAL - 2005 EDITION

CONSTRUCTION CLASSIFICATION:

ICC INTERNATIONAL RESIDENTIAL CODE - 2015 EDITION TYPE IV (UNPROTECTED)

ZONING REVIEW:

ZONING CLASSIFICATION: HU-RD2 (HISTORIC URBAN TWO-FAMILY RESIDENTIAL DISTRICT)

BUILDING AREAS: EXISTING: PORCHES: FRONT PORCH / STAIRS 28 SF REAR PORCH / STAIRS 20 SF TOTAL: LIVING AREAS: 1.548 SF FIRST FLOOR LIVING **GROSS BUILDING AREA:** 1,596 SF

PROPOSED: PORCHES: FRONT PORCH / STAIRS REAR PORCH / STAIRS TOTAL:

LIVING AREAS: FIRST FLOOR LIVING (206 SF ADDITION) 1,754 SF **GROSS BUILDING AREA:** 1,810 SF

DAUPHINE ST. (SIDE)

28 SF

28 SF

STRUCTURAL DESIGN DATA:

2015 INTERNATIONAL RESIDENTIAL CODE, CHAPTER 3, WITH REFERENCES ASCE 7-2010, WFCM, & AISI S230

LIVE LOADS: FLOORS = 50 PSF

RISK CATEGORY II

ROOF = 20 PSF

WIND LOAD DESIGN DATA: ASCE 7-2010 3-SEC PEAK GUST MPH

WIND SPEED: V ULT = 142 MPH V ASD = 111 MPH

WIND EXPOSURE B INTERNAL PRESSURE COEFF. +/-0.18

DEAD LOADS:

FLOOR = 100 PSF ROOF = 20 PSF

SEISMIC LOAD DATA: ASCE 7-2010 SITE CLASS E SMS = .0226 G SM1 = 0.145 G SD1 = 0.0967 G OCCUPANCY CATEGORY B

OWNER:

PROJECT DIRECTORY

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design + build

consulting, Ilc

DESTREHAN, LOUISIANA. 504.339.3842

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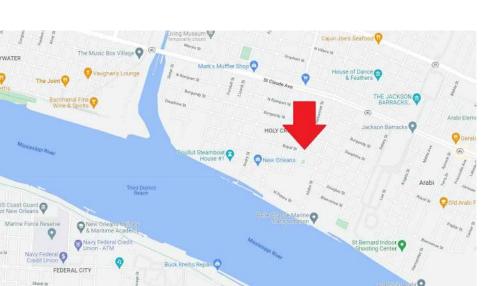
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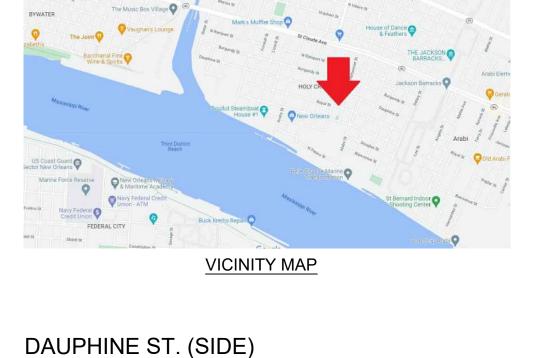
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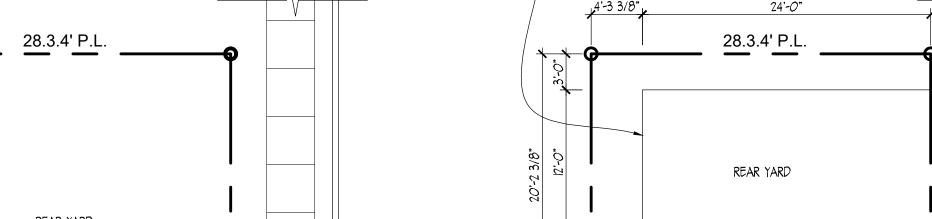
OMNI REALTY LLC 905 MONROE ST. GRETNA, LA. 70053

PROJECT DESIGNER: DESIGN BUILD CONSULTING, LLC DESTREHAN, LA. 70047 tel: (504) 339.3842

PROFESSIONAL OF RECORD: KENNETH SCHEXNAYDER, P.E. 4444 LIGUSTRUM ST. METAIRIE, LA. 70001







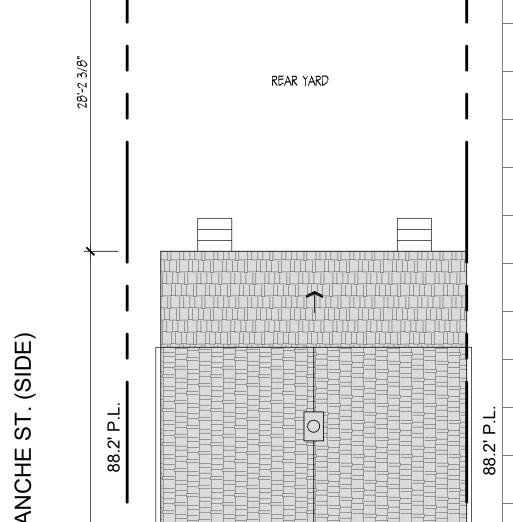
NEW 6" THICK 4,000 PSI -

6x12 0/1 WWF REINF., AS PER ORLEANS PARISH

STANDARD DETAILS AND

REQUIREMENTS

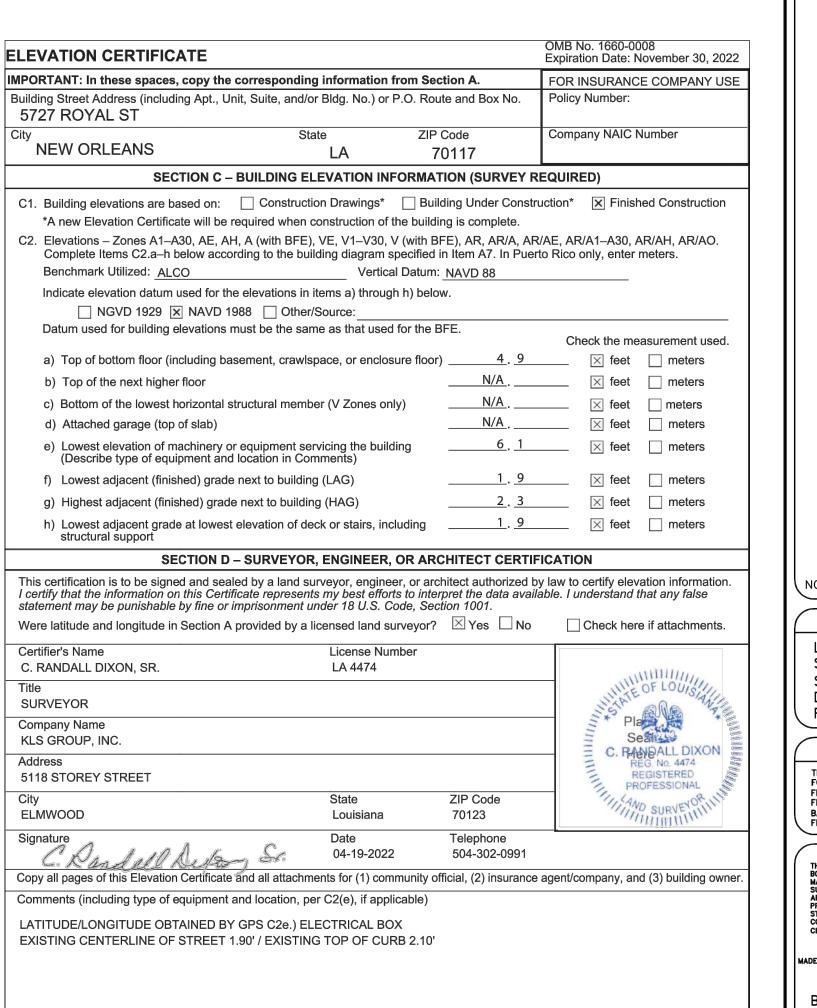
CONC. DRIVEWAY, W/



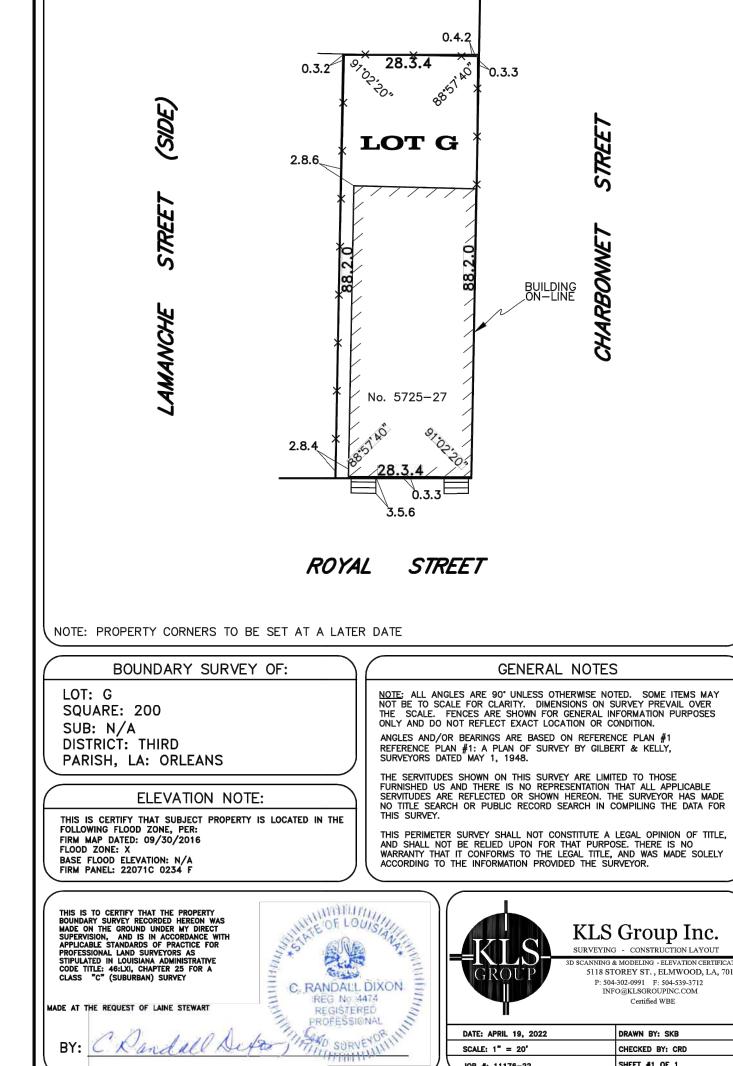
PUBLIC SIDEWALK

project no.: 6/21/22 drawn by: checked by: revisions:

project information, existing & proposed site plan / roof plan, existing property survey

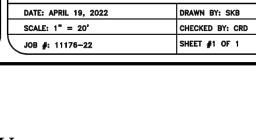


Replaces all previous editions.



DAUPHINE STREET

(SIDE)



existing site plan / roof plan

PUBLIC SIDEWALK

28.3.4' P.L.

ROYAL ST.

existing property survey

scale: as shown

PLAN NORTH 1/8" = 1'-0"

proposed site plan / roof plan

28.3.4' P.L.

ROYAL ST.

PLAN NORTH

existing elevation certificate

FEMA Form 086-0-33 (2/19)

Form Page 2 of 6

specific notes / demo notes (this sheet only):

- REMOVE EXISTING REAR ROOF STRUCTURE (LEAN-TO ROOF ADDITION), INCLUDING ALL RAFTERS, JOISTS, SHEATHING, AND ROOF COVERING. REPAIR / REPLACE EXISTING REMAINING ROOF WITH MATERIALS IN KIND.
- 2. REMOVE EXISTING EXTERIOR WALL AS SHOWN ON PLANS. PROVIDE TEMPORARY SUPPORTS AND BRACING AS REQUIRED UNTIL
- INSTALLATION OF NEW EXTERIOR WALLS.
- 3. REMOVE EXISTING LOAD-BEARING INTERIOR PARTITION WALL: 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" GYPSUM BOARD BOTH SIDES. PROVIDE TEMPORARY SUPPORTS AND BRACING AS REQUIRED UNTIL INSTALLATION OF NEW INTERIOR WALLS.
- REMOVE EXISTING NON LOAD-BEARING INTERIOR PARTITION WALL: 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" GYPSUM BOARD BOTH SIDES.
- REMOVE EXISTING EXTERIOR REAR PORCH STAIRS. INSPECT AND REPAIR / REPLACE EXISTING FOUNDATION FOOTING AND PIERS W/ MATERIALS IN KIND AS NEEDED.
- EXISTING ABANDONED BRICK FIREPLACE TO REMAIN. INSPECT TO ENSURE IN GOOD CONDITION AND REPAIR AS NEEDED.
- 8. REMOVE EXISTING PLUMBING FIXTURE AND CAP & ABANDON EXISTING WASTE & WATER LINES IN PLACE AS REQUIRED. EXISTING WASTE LINES TO REMAIN. VERIFY IN GOOD WORKING CONDITION AND CLEAN / REPAIR AS REQUIRED. TIE IN NEW PLUMBING FIXTURES TO EXISTING WASTE LINE.
- 9. SEAL EXISTING WINDOW / WALL OPENING WITH MATERIALS IN KIND. REFER TO NEW FLOOR PLAN FOR LOCATIONS OF NEW WALL
- 10. EXISTING ELECTRICAL PANELS TO REMAIN, PROVIDE NEW FUSES AS REQUIRED FOR ALL NEW ELECTRICAL EQUIPMENT. CONVERT ELECTRICAL SERVICE TO SINGLE-FAMILY RESIDENTIAL. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ELECTRICAL PERMITTING.

fi	finish schedule					
mark	floor	walls	base	ceiling		
Α	HARDWOOD FLOOR OR TILE	PAINTED GYPSUM BOARD	6" WOOD BASE	1/2" PAINTED GYP. BD.		
В	12" X 12" CERAMIC TILE	PNT'D GYPBD. & TILE WAINSCOT	CERAMIC TILE	1/2" PAINTED GYP. BD.		
С	CARPET	PAINTED GYPSUM BOARD	6" WOOD BASE			

* ALL FINISHES SHALL BE AS SELECTED BY OWNER

appliance schedule					
mark	mfr. / model no.	description	quan.		
DW	AS SELECTED BY OWNER	24" BUILT-IN DISHWASHER - STAINLESS STEEL	1		
СТ	AS SELECTED BY OWNER	30" GAS COOKTOP - STAINLESS STEEL	1		
VH	AS SELECTED BY OWNER	30" VENT HOOD	1		
OV	AS SELECTED BY OWNER	30" BUILT-IN STAINLESS STEEL OVEN	1		
MIC	AS SELECTED BY OWNER	30" MAX. STAINLESS STEEL BUILT-IN MICROWAVE	1		
REF	AS SELECTED BY OWNER	36" STAINLESS STEEL REFRIGERATOR W/ BOT. FREEZER	1		
WASH	AS SELECTED BY OWNER	WASHER UNIT AS SELECTED BY OWNER	1		
DRY	AS SELECTED BY OWNER	DRYER UNIT AS SELECTED BY OWNER	1		
NOTE:	ALL APPLIANCES SHALL BE AS SE	LECTED BY OWNER			

	plumbing fixture schedule					
mark	fixture	description	quan.			
S-1	KITCHEN SINK	SINK AND FAUCET AS SELECTED BY OWNER	1			
WC	TOILET MASTER BATH	FLOOR MOUNTED TOILET AS SELECTED BY OWNER	1			
LAV	LAVATORY BATHROOM	LAVATORY AND FAUCET AS SELECTED BY OWNER	2			
T-1	SHOWER TUB BATHROOM	5' TUB W/ FAUCET AS SELECTED BY OWNER	1			
T-2	CORNER SHOWER TUB	5' x 5' TUB W/ FAUCET AS SELECTED BY OWNER	1			

1-HR FIRE RATED EXTERIOR WALL (U356):

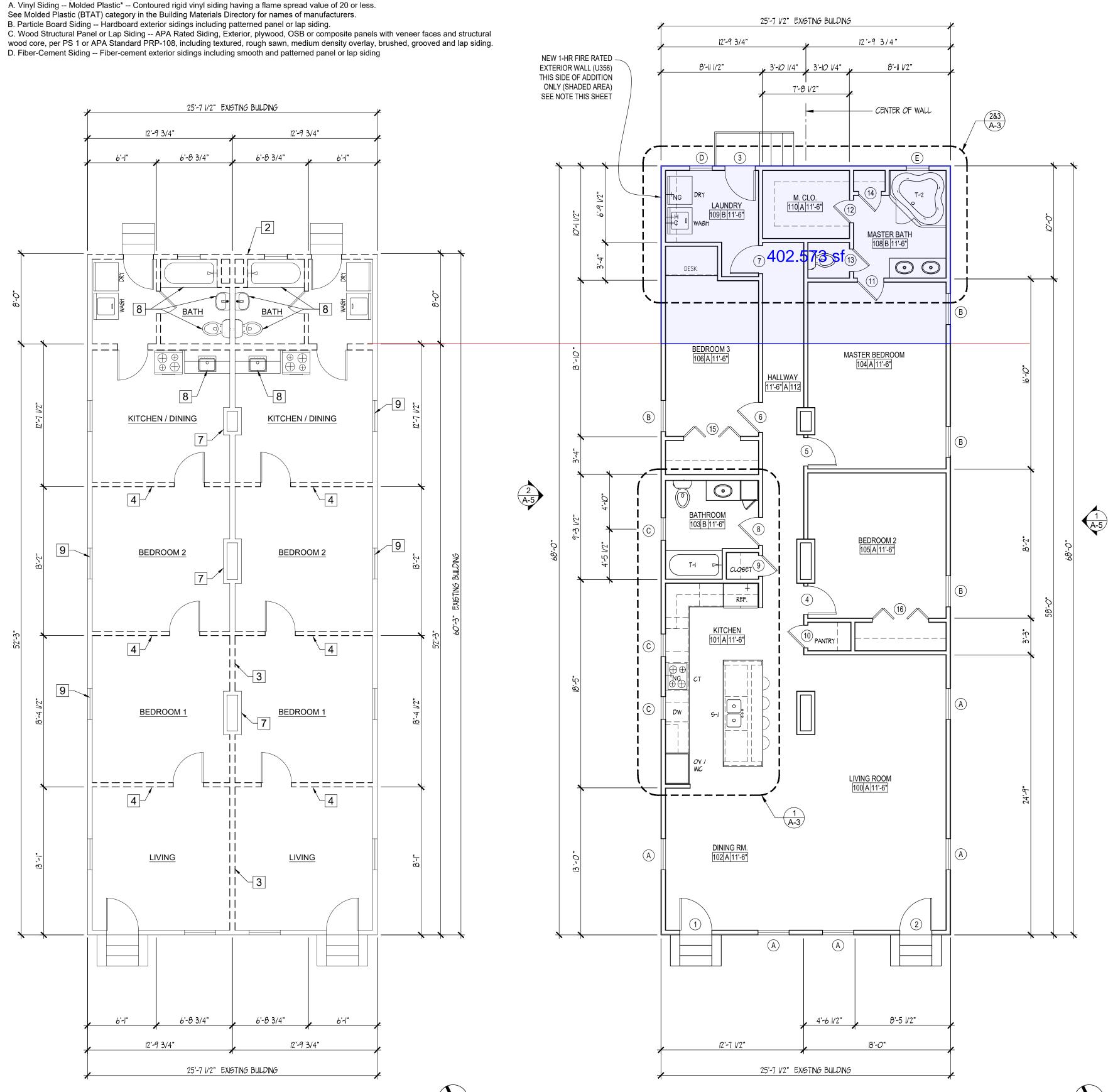
- Wood Studs -- Nom 2 by 4 in. spaced 16 in. OC with two 2 by 4 in. top and one 2 by 4 in. bottom plates. Studs laterally-braced by wood structural panel sheathing (Item 5).
- Gypsum Board -- Nom 5/8 in. thick, 4 ft. wide, applied vertically and nailed to studs and bearing plates 7 in. OC with 6d cement-coated nails, 1-7/8 in. long with 1/4 in. diam head. Finish Rating is 23 minutes. (Any UL Classified Gypsum Board that is eligible for use in Design Nos. L501, G512 or U305. See Gypsum Board (CKNX) Category for names of Classified companies.)
- Batts and Blankets* -- Mineral fiber or glass fiber insulation, 3-1/2 in. thick, pressure fit to fill wall cavities between studs and plates. Mineral fiber insulation to be unfaced and to have a min density of 3 pcf. Glass fiber insulation to be faced with aluminum foil or kraft paper and to have a min density of 0.9 pcf (min R-13 thermal insulation rating).
- Wood Structural Panel Sheathing -- Min 7/16 in. thick, 4 ft wide wood structural panels, min grade "C-D" or "Sheathing". Installed with long dimension of sheet (strength axis) or face grain of plywood parallel with or perpendicular to studs. Vertical joints centered on studs. Horizontal joints backed with nom 2 by 4 in. wood blocking. Attached to studs on exterior side of wall with 6d cement coated box nails spaced 6 in. OC at perimeter of panels and 12 in. OC along interior studs

Exterior Facings -- Installed in accordance with the manufacturer's installation instructions. One of the following exterior facings is to be applied

A. Vinyl Siding -- Molded Plastic* -- Contoured rigid vinyl siding having a flame spread value of 20 or less.

existing floor plan / demo plan

C. Wood Structural Panel or Lap Siding -- APA Rated Siding, Exterior, plywood, OSB or composite panels with veneer faces and structural wood core, per PS 1 or APA Standard PRP-108, including textured, rough sawn, medium density overlay, brushed, grooved and lap siding.



proposed floor plan

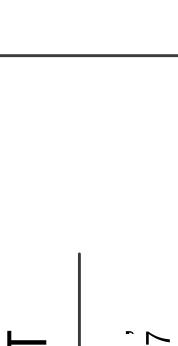
PLAN NORTH

3/16" = 1'-0"

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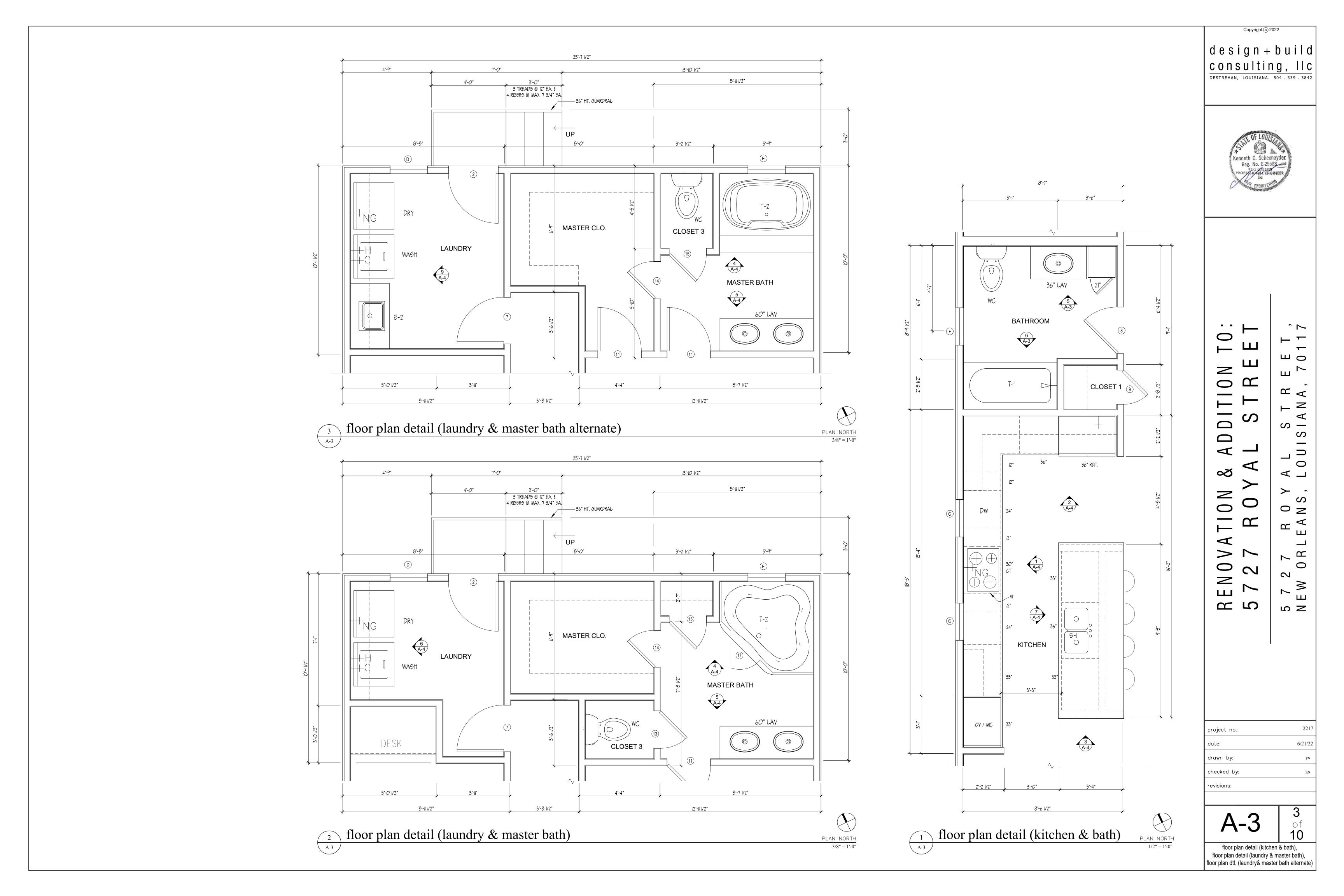
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project no.: 6/21/22 drawn by: checked by: revisions:

PLAN NORTH

3/16" = 1'-0"

existing floor plan / demo plan, proposed floor plan



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frame type hardware

WOOD B

WOOD D

WOOD D WOOD C

WOOD C

WOOD C

WOOD E

WOOD F WOOD E

WOOD D

WOOD

WOOD

WOOD

WOOD

ALUM.

frame | head ht. | type | quan.

WOOD 8'-0"

WOOD 8'-0"

WOOD 8'-0"

ALUM 6'-8"

8'-0"

WOOD



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B 5

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2 Z

interior elevation notes: 1. FINISHED FLOOR (SEE FINISH SCHEDULE)

2. 4" TILE BASE 3. 6' WOOD BASE

SOLID WD. ENTRY DOOR & 16" TRANSOM (REPAIR OR REPLACE EXIST. IN KIND) WOOD A

SOLID WD. ENTRY DOOR & 16" TRANSOM (REPAIR OR REPLACE EXIST. IN KIND)

INSULATED FIBERGLASS REAR DOOR W/ HALF LITE

PAIR 2'-6" x 8'-0" BIFOLD CLOSET - 4 PANEL DOOR

PAIR 2'-6" x 8'-0" BIFOLD CLOSET - 4 PANEL DOOR

* ALL EXISTING DOOR AND WINDOWS SHALL BE INSPECTED AND REPAIRED OR REPLACED AS REQUIRED ALL NEW DOORS AND WINDOWS SHALL BE AS SELECTED BY OWNER AND AS APPROVED BY HDLC

* ALL EXISTING DOOR AND WINDOWS SHALL BE INSPECTED AND REPAIRED OR REPLACED AS REQUIRED ALL NEW DOORS AND WINDOWS SHALL BE AS SELECTED BY OWNER AND AS APPROVED BY HDLC

2. ALL WINDOW & GLASS DOOR WIND LOAD CAPACITIES SHALL COMPLY WITH AAMA / NWWDA 101/I.S.2 OR ASTM E 330 AS PER

THAT COMPLY WITH ASTM E 330 AS PER SECTION 301.2.1.2 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.

3. ALL WINDOWS & GLASS DOORS SHALL BE ANCHORED IN ACCORDANCE WITH MIN. REQ. ILLUSTRATED IN FIG. R613.5(8) OF THE IRC. 4. ALL WINDOWS & GLASS DOORS SHALL BE PROTECTED BY SHUTTERS WITH WIND LOAD CAPACITIES THAT COMPLY WITH ASTM E 330

5. ALL WINDOWS & GLASS DOORS NOT PROTECTED BY SHUTTERS SHALL BE IMPACT-RESISTING GLASS WITH WIND LOAD CAPACITIES

4. GRANITE COUNTER TOP AND SPLASH

5. SUBWAY TILE BACKSPLASH (AS SELECTED BY OWNER) 6. 1/2" GYPSUM BOARD - TAPED, FLOATED, & PAINTED

7. WATER SUPPLY LINE AS REQUIRED (COORD. W/ EQUIP. SPECS & OWNER)

8 CERAMIC WALL TILE (AS SELECTED BY OWNER) 9. UNDER CABINET LIGHTING (AS SELECTED BY OWNER) 10. 1/4" MIRROR AS SELECTED BY OWNER (BOTTOM OF

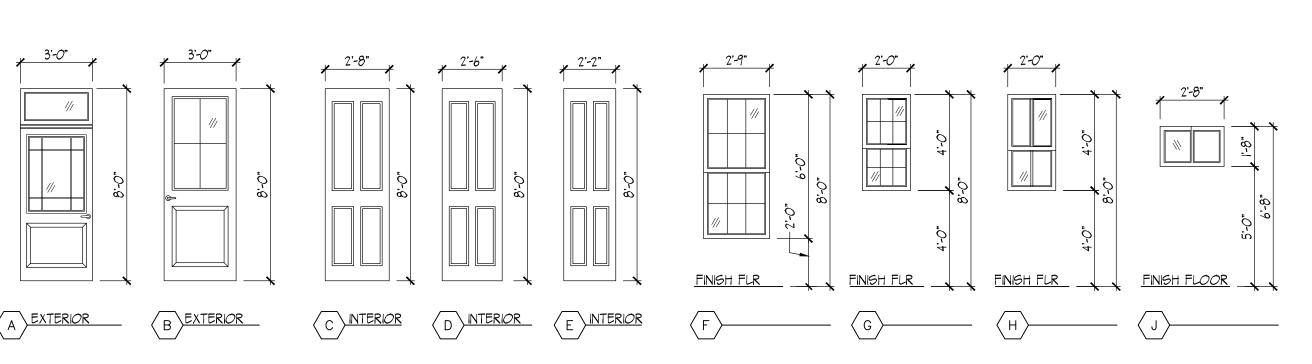
MIRROR @ 40" A.F.F.)

11. 6" CROWN MOLDING (AS SELECTED BY OWNER).

project no.: 6/21/22 drawn by: checked by:

revisions:

opening schedules, opening types, interior elevations



interior elevation 1/2" = 1'-0"

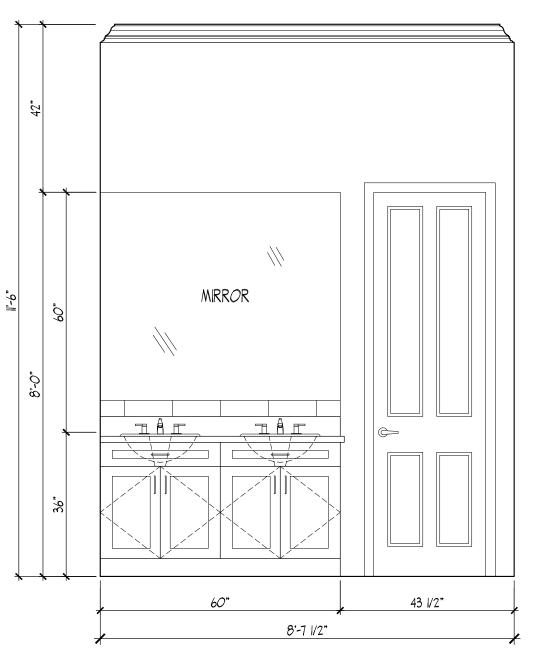
8'-7 1/2"

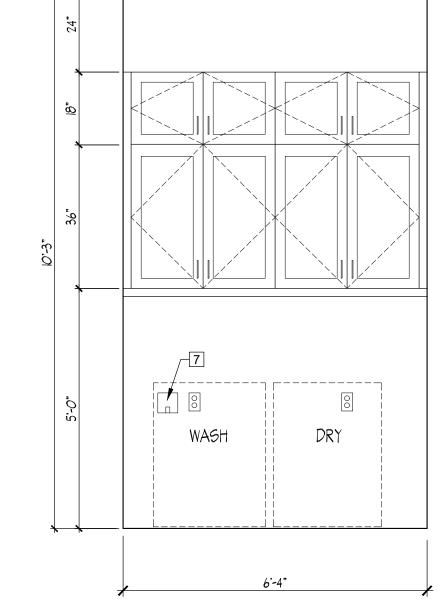
1/2" = 1'-0"

18'-3"

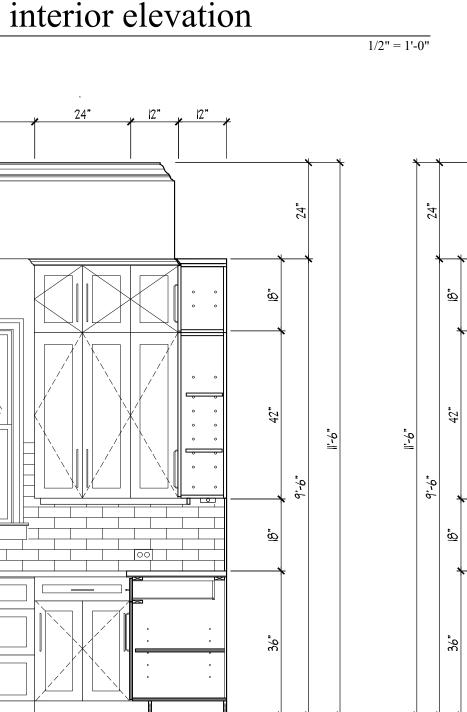
interior elevation

opening types (see opening schedule)



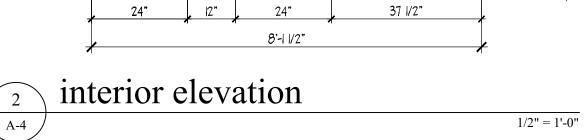


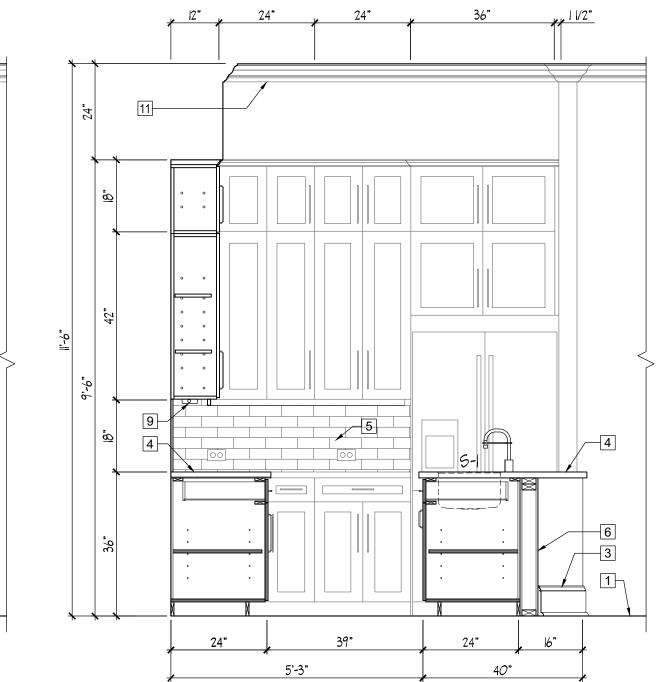
interior elevation 1/2" = 1'-0"



1/2" = 1'-0"

REF. 8'-1 1/2"





interior elevation

interior elevation

// MW //

WD

1/2" = 1'-0"

opening schedule

NEW MASONITE - 4 PANEL

NEW MASONITE - 4 PANEL

NEW MASONITE - 4 PANEL

NEW MASONITE - 4 PANEL NEW MASONITE - 4 PANEL

NEW MASONITE - 4 PANEL

NEW MASONITE - 4 PANEL

NEW MASONITE - 4 PANEL

NEW MASONITE - 4 PANEL

NEW MASONITE - 4 PANEL

A 2'-9" x 6'-0" EXISTING SINGLE HUNG 6/6 WOOD WINDOW (TO REMAIN)

B 2'-9" x 6'-0" EXISTING SINGLE HUNG 6/6 WOOD WINDOW (RELOCATED)

E 2'-8" x 1-6" SLIDING GLASS WINDOW UNIT W/ TRANSLUCENT GLASS

** ALL WINDOWS SHALL MATCH EXISTING WINDOW HEAD HEIGHTS

NEW 6/6 LITE SINGLE HUNG WOOD WINDOW

1'-10" x 8'-0" NEW MASONITE - 4 PANEL

2'-4" x 6'-0" NEW GLASS SHOWER DOOR

description

1. ALL WINDOWS TO BE LOW "E" INSULATED GLASS

D 2'-6" x 5'-0" NEW 2/2 LITE SINGLE HUNG WOOD WINDOW

SECTION 613.3 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.

AS PER SECTION 613.4 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.

doors

2'-8" x 8'-0"

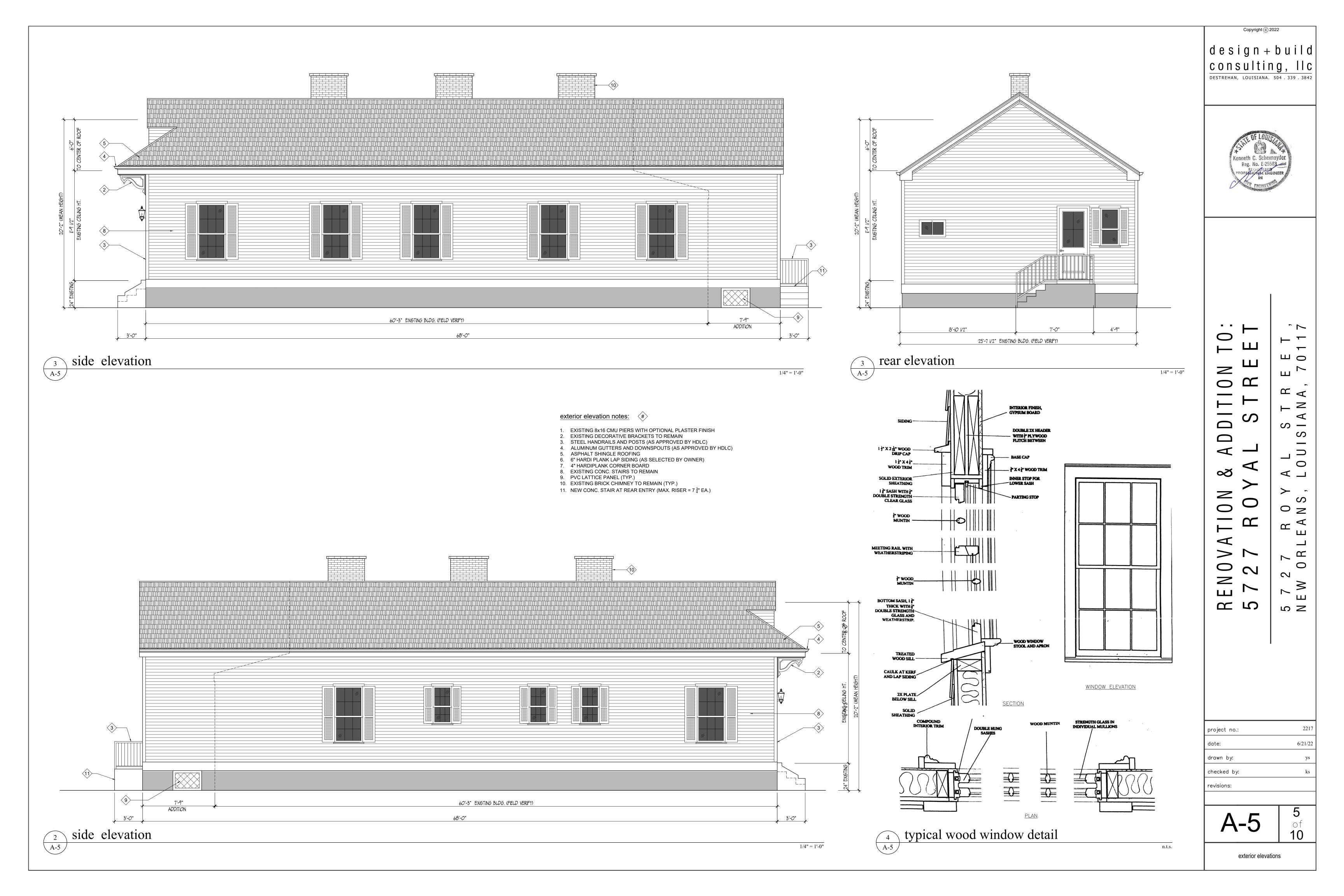
2'-8" x 8'-0"

windows

OPENING NOTES:

1/4" = 1'-0"

size



1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF:

American Concrete Institute (ACI) latest edition

American Institute of Steel Construction (AISC) latest edition American Society of Civil Engineers Standards (ASCE) latest edition

American Forest and Paper Association NDS latest edition

- 2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES AND OVERHEAD POWER LINES IN THE AREA OF THE WORK AND NOTIFY THE OWNER OF ANY INTERFERENCES BEFORE PROCEEDING WITH THE WORK.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND ELEVATIONS PRIOR TO FABRICATION AND CONSTRUCTION.
- 4. DIMENSIONS AND/OR ELEVATIONS MARKED THUS (+) ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ACTUAL DIMENSIONS IN THE FIELD.
- 5. DIMENSIONS AND/OR ELEVATIONS MARKED THUS (N.T.S) ARE NOT SHOWN TO SCALE
- 6. THE CONTRACTOR IS RESPONSIBLE FOR THE STRENGTH AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING, BRACING AND OTHER ELEMENTS REQUIRED TO MAINTAIN STABILITY UNTIL THE STRUCTURE IS COMPLETE
- 7. PROVIDE TERMITE PROTECTION (CHEMICAL TERMITICIDE TREATMENT) AS REQUIRED BY IRC 2015 ED., SEC. R318.
- 8. PROVIDE ATTIC VENTILATION AS PER IRC, 2015 EDITION, SEC. R806.

- 1. DESIGN, MATERIALS, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FOREST PRODUCTS ASSOCIATION "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION."
- 2. ALL SOLID WOOD FRAMING SHALL BE SOUTHERN PINE NO.2 UNLESS NOTED OTHERWISE ON DRAWINGS
- 3. ALL METAL HARDWARE AND FRAMING ACCESSORIES SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY. SUBSTITUTIONS SHALL NOT BE MADE. ALL ITEMS SHALL BE INSTALLED PER THE SIMPSON'S INSTALLATION REQUIREMENTS. ALL NAIL HOLES SHALL BE FILLED WITH THE RECOMMENDED FASTENER UNLESS NOTED OTHERWISE ON THE DRAWINGS
- 4. ALL DIMENSIONAL LUMBER SHALL BE CERTIFIED BY THE SUPPLIER TO BE KILN DRIED
- 5. ALL WALLS SHALL HAVE DOUBLE TOP PLATES AND SHALL STAGGER SPLICING. TOP PLATES AT WALL INTERSECTIONS SHALL BE LAPPED AND NAILED WITH (3) 16D
- 6. WHERE FRAMING HANGERS OR CONNECTORS ARE REQUIRED BUT HAVE NOT BEEN SPECIFIED ON THE DRAWINGS, PLEASE CONTACT STRUCTURAL ENGINEER ON RECORD TO SPECIFY CONNECTION.
- 7. ROOF AND WALL PANELS SHALL BE APA RATED, EXPOSURE 1, 1/2" OR 5/8" (AS NOTED ON DRAWINGS) =. 5 PLY PLYWOOD WITH A MIN. 32/16 SPAN RATING U.N.O.. SHEATHING SHALL BE EXTERIOR GRADE WHERE EITHER SIDE IS EXPOSED PERMANENTLY TO WEATHER.
- 8. ALL FLOOR AND ROOF SHEATHING SHALL BE INSTALLED WITH THE FACE GRAIN PERPINDICULAR TO THE SUPPORTS AND A 1/8" GAP AT ALL PANELS EDGES UNLESS RECOMMENDED OTHERWISE BY PANEL MANUFACTURER.
- 9. ALL SHEATHING PANELS SHALL BE INSTALLED WITH END JOINTS STAGGERED AND BLOCKING AT ALL JOINTS.
- 10. ALL NAILS SHALL BE COMMON NAILS, ROOF SHEATHING SHALL UTILIZE RING SHANK NAILS. STAINLESS STEEL TYPE 316 NAILS SHALL BE USED AT PERMANENTLY EXPOSED EXTERIOR AREAS. ALL NAILS THAT ARE NOT EXPOSED TO THE ELEMENTS BUT IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED MEETING ASTM A153.
- 11. ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.

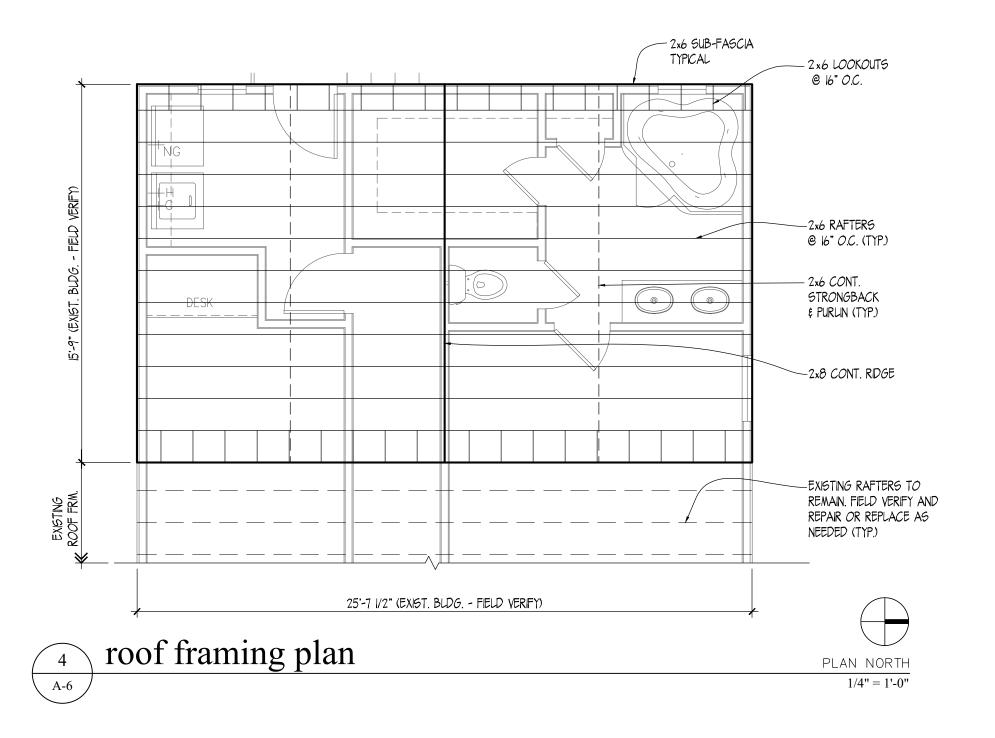
- 1. DESIGN, MATERIALS, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING STANDARDS:
- a. ACI 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
- b. ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- c. ACI 315 DETAILS AND DETAILING OF CONCRETE REINFORCEMENT. 2. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- 3. CONCRETE ADMIXTURES SHALL NOT BE USED WITHOUT OWNER PRIOR APPROVAL.
- 4. PROVIDE ANCHOR/RODS BOLTS CONFORMING TO ASTM F1554 GRADE 36, HEAVY HEXAGON NUTS CONFORMING TO ASTM A563 AND WASHERS CONFORMING TO F436. GALVANIZE BOLTS, NUTS, SLEEVES AND WASHERS IN ACCORDANCE ASTM A153.
- 5. REINFORCING BARS SHALL CONFORM TO ASTM A615 REQUIREMENTS FOR GRADE 60 DEFORMED BARS. DETAILING & FABRICATION SHALL BE IN ACCORDANCE WITH
- 6. CONCRETE SHALL BE CURED IN ACCORDANCE WITH ACI 318 AND 308R.
- 7. ALL SPLICES AND DEVELOPMENT LENGTHS SHALL BE IN ACCORDANCE WITH ACI 318, SECTION 12, "BUILDING CODE REQUIRED FOR STRUCTURAL CONCRETE" ALL SPLICES SHALL BE CLASS "B", UNLESS APPROVED OTHERWISE.

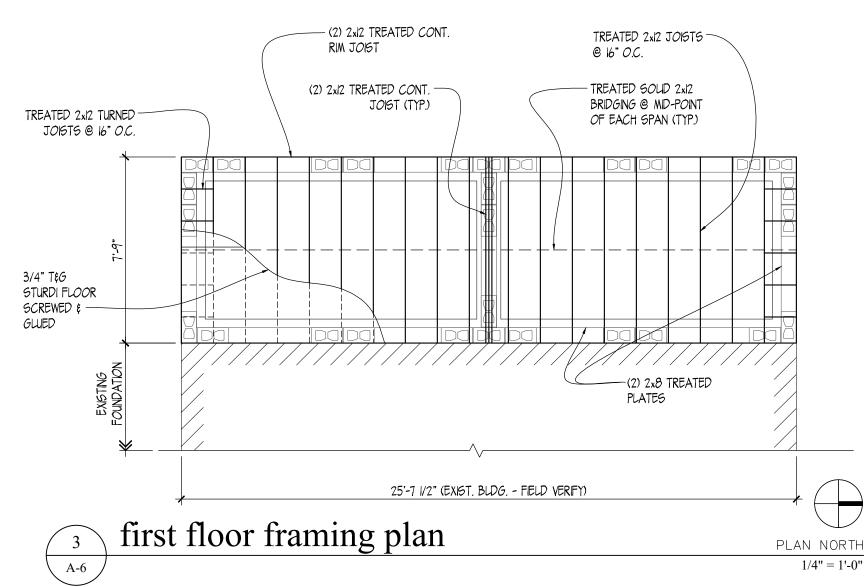
FRAMING GENERAL NOTES

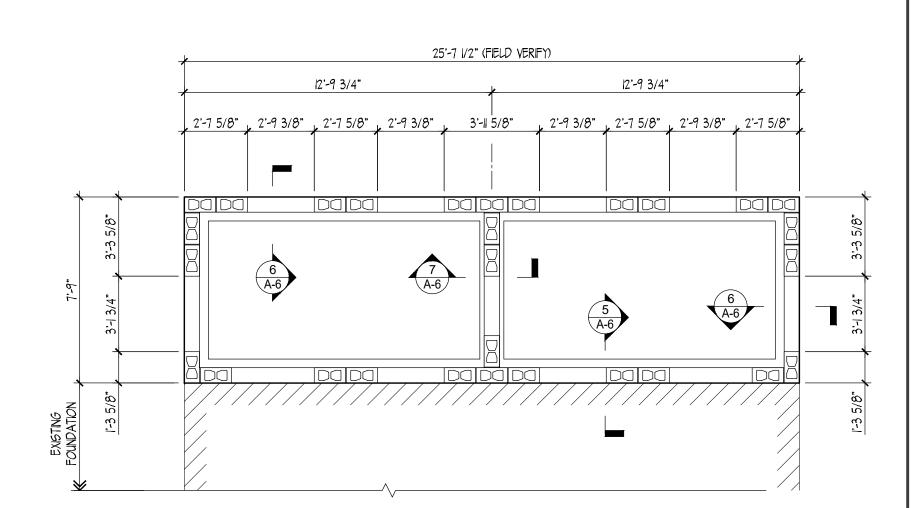
- ALL FRAMING SHALL BE IN STRICT ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE 2015 INTERNATIONAL RESIDENTIAL CODE PER LOCAL REQUIREMENTS. LOAD BEARING DIMENSION LUMBER FOR STUDS AND PLATES SHALL BE NO.3, STANDARD OR STUD ALL LOAD BEARING DIMENSION LUMBER FOR BEAMS OR HEADERS
- SHALL BE NO.2, SOUTHERN YELLOW PINE, KILN DRIED TO 15% MAX MOISTURE CONTENT. 3. ALL EXTERIOR WALLS OF HOUSE SHALL BE 2X4 STUDS @ 16"O.C. UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS SHALL BE 2X4 STUDS @ 16" O.C. UNLESS
- OTHERWISE NOTED OR NEEDED FOR PLUMBING/EQUIPMENT CLEARANCES. 4. HEADERS AT DOORS AND WINDOWS SHALL BE AS FOLLOWS:
- OPENINGS 4'-4" AND LESS, (2)2X8 MIN
- OPENINGS 4'-4" TO 6'-8", (2)2X10 MIN OPENINGS 6'-8" TO 11'-0", (2)2X12 MIN
- PROVIDE 2X4 OR 1X6 COLLAR BEAMS AT 4'-0" O.C. WITHIN THE UPPER ONE THIRD OF THE ATTIC HEIGHT, UNLESS OTHERWISE NOTED.
- PROVIDE BLOCKING TO SUPPORT ALL WALL CABINETS, FIXTURES, BATH ACCESSORIES, DRAPERIES, THAT ARE TO BE ATTACHED TO WALLS.
- PROVIDE 18 GA GALVANIZED STEEL TIE-DOWNS AT EACH AND EVERY RAFTER (SIMPSON MDL.NO. H3 OR EQUAL) COORDINATE LOCATIONS OF LIGHTING AND HVAC ELEMENTS WITH CEILING FRAMING. PROVIDE BLOCKOUTS AS NECESSARY TO CENTER CEILING ELEMENTS
- PROVIDE R19 3 1/2" BATT INSULATION AT ALL EXTERIOR WALLS AND ALL WALLS ADJACENT TO UNCONDITIONED SPACES (ATTICS ETC.). PROVIDE R30 BATT INSULATION (COMBINING TWO LAYERS) IN ALL ATTIC SPACES.

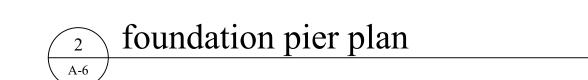
1" = 1'-0"

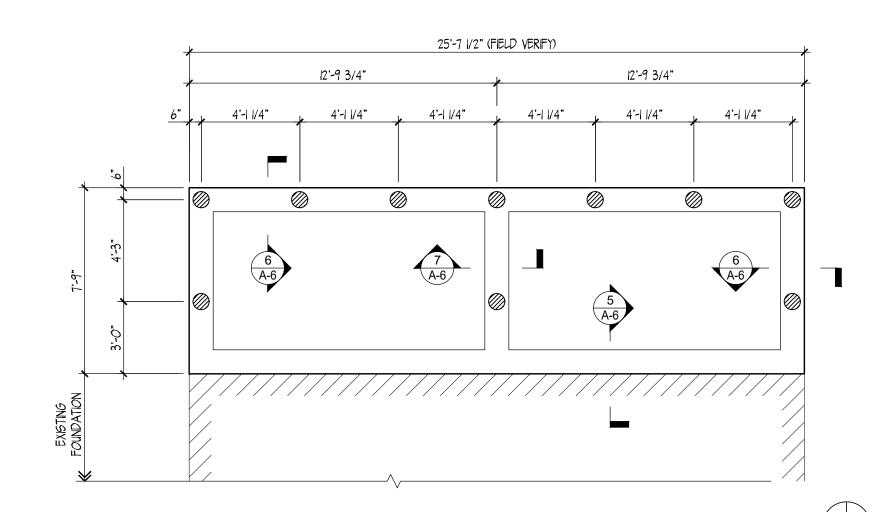
10. ALL BEAMS/GIRDERS SHALL COMPLY WITH 2015 IRC TABLES FOR HEADER AND GIRDER SPANS.



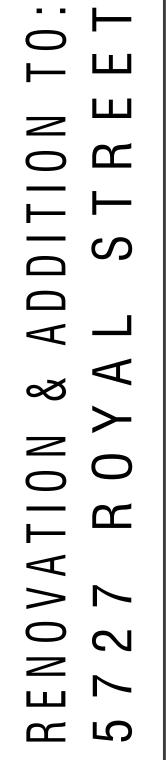








foundation footing & pile plan



PLAN NORTH

PLAN NORTH

1/4" = 1'-0"

1/4" = 1'-0"

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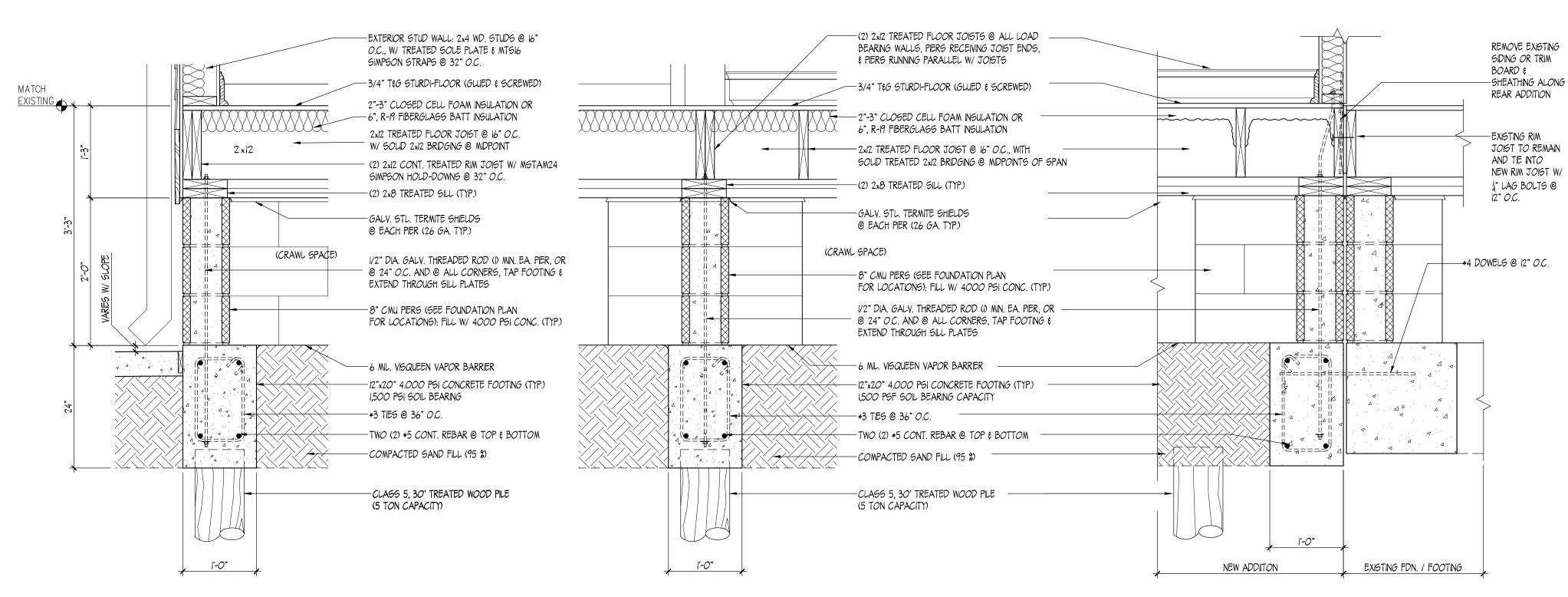
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project no.: 6/21/22 date: drawn by: checked by: revisions:

foundation footing & pile plan, foundation pier plan, foundation details, floor framing plan, roof framing plan



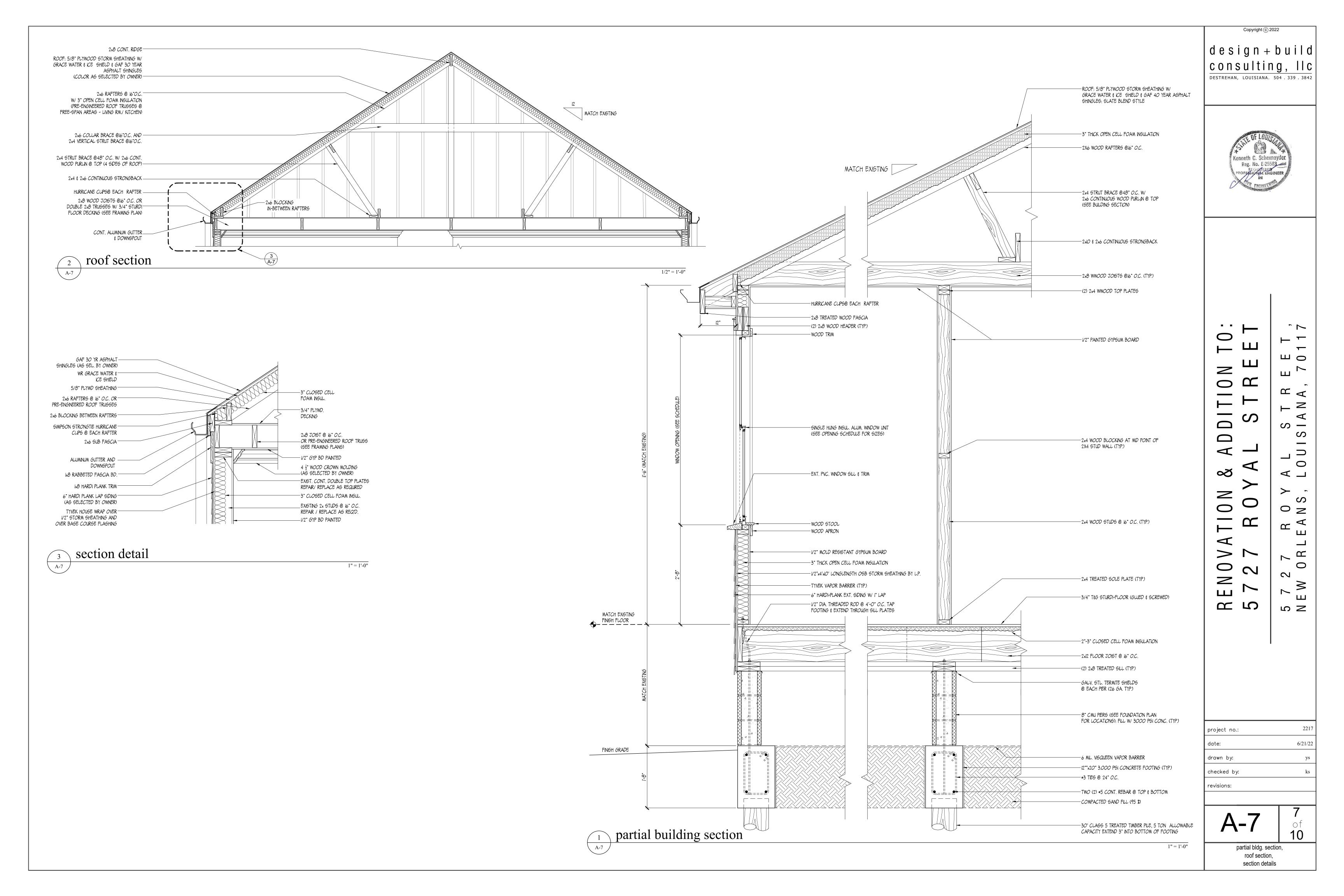
foundation pier detail

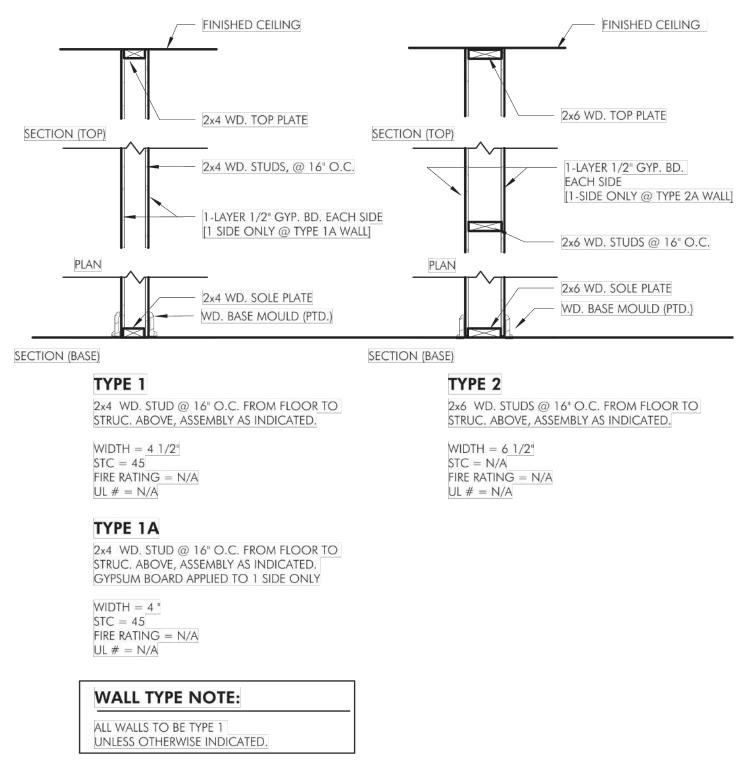
foundation pier detail

1" = 1'-0"

1" = 1'-0"

foundation pier detail





3 typical wall sheathing detail

FASTENING SCHEDULE FOR STRUCTURAL MEMBERS (UON)					
Description of Building	Number - Type	Spacing of			
JOIST TO SILL OR GIRDER, TOE NAIL 1"X6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL 2" SUBFLOOR TO JOIST OR GIRDER, BLIND & FACE NAIL SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL TOP OR SOLE PLATE TO STUD, END NAIL STUD TO SOLE PLATE, TOE NAIL DOUBLE STUDS, FACE NAIL DOUBLE TOP PLATES, FACE NAIL SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS DOUBLE TOP PLATES, MIN. 24" OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL RIM JOIST TO TOP PLATE, TOE NAIL TOP PLATES, LAP AT CORNERS AND INTERSECTIONS, FACE NAIL BUILD-UP HEADER, TWO PIECE WITH 1/2" SPACER CONTINUED HEADER, TWO PIECE CEILING JOISTS TO PLATE, TOE NAIL CONTINUOUS HEADER TO STUDS, TOE NAIL CONTINUOUS HEADER TO STUDS, TOE NAIL CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL RAFTER TO PLATE, TOE NAIL 1" BRACE TO EACH STUD AND PLATE, FACE NAIL 1"*S8" SHEATHING TO EACH BEARING, FACE NAIL WIDER THAN 1"*x8" SHEATHING TO EACH BEARING, FACE NAIL	3-8d 2-8d 2-16d 16d 2-16d 3-8d or 2-16d 10d 10d 3-16d 8-16d 3-8d 8d 2-10d 16d 16d 3-8d 4-8d 3-10d 3-10d 2-16d 2-8d 2-8d 2-8d 3-8d	16" O.C 24" O.C. 24" O.C. 16" O.C. 6" O.C. 16" O.C. ALONG EACH EDGE 16" O.C. ALONG EACH EDGE			
BUILT-UP CORNER STUDS BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS	10d 10d	24" O.C. NAIL EACH LAYER AS FOLLOWS: 32" O.C. @ TOP & BOTTOM & STAGGERED. TWO NAILS @ ENDS & @ EACH SPLICE			
2" PLANKS ROOF RAFTERS TO RIDGE, VALLEY OR HOP RAFTERS: TOE NAIL FACE NAIL RAFTER TIES TO RAFTERS, FACE	2-16d 4-16d 3-16d 3-8d	AT EACH BEARING			

FRAMING & FA	ASTENING SCHEDULE FOR STI	COCTORAL MEMB	EKS (UUN)
Description of Building	Description of	Edges	Intermediate Supports
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHE	ATHING TO FRAMING		
EXTERIOR WALLS: 1/2: APA RATED SHEATHING	8d COMMON NAIL	6	12 (NOTE #5)
SUBFLOOR: 3/4" APA-RATED STURD-I-FLOOR SHEATHING	8d COMMON NAIL	6	12
ROOF: 5/8" APA-RATED SHEATHING	8d COMMON NAIL	6	12 (NOTE #5)
FRAMING MEMBER:			
STUD WALLS: 2X6s @ 16" O.C. W/ SOLID BLOCKING MID-HT. ALL BEARING WALLS	SEE SCHEDULE		

1. ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING & SHEATHING CONNECTIONS SHALL HAVE A MINIMUM AVERAGE BENDING YIELD STRENGTH AS SHOWN: 80 KSI FOR SHANK DIAMETER OF 0.192", 90 KSI FOR SHANK DIAMETERS LARGER THAN 0.142" BUT NOT LARGER THAN 0.177", AND 100 KSI FOR SHANK DIAMETERS OF 0.142" OR LESS.

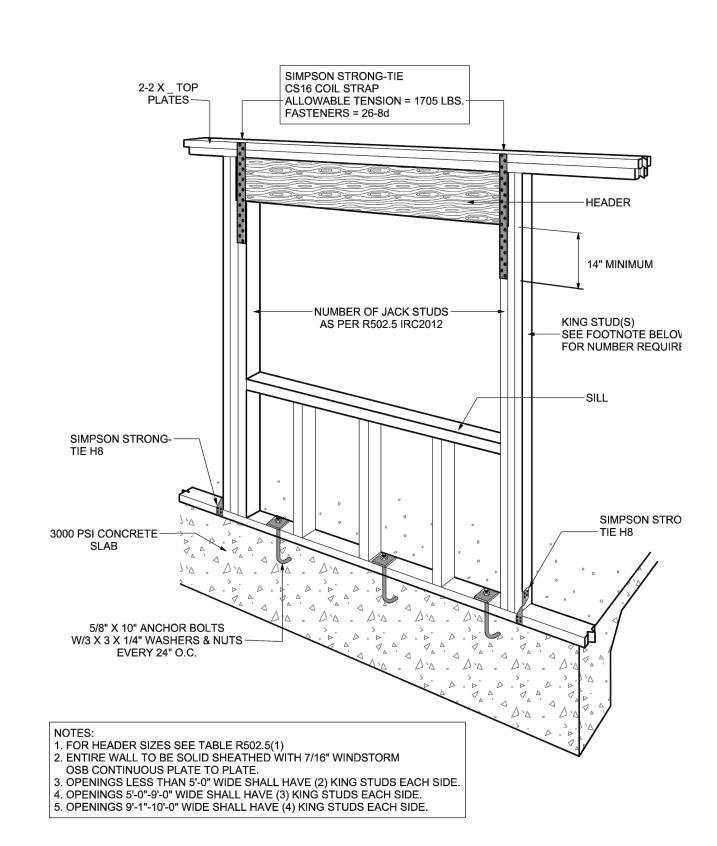
2. NAILS SHALL BE SPACED AT NOT MORE THAN 6" ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48" OR GREATER.

3. 4' X 8' PANELS SHALL BE APPLIED VERTICALLY.

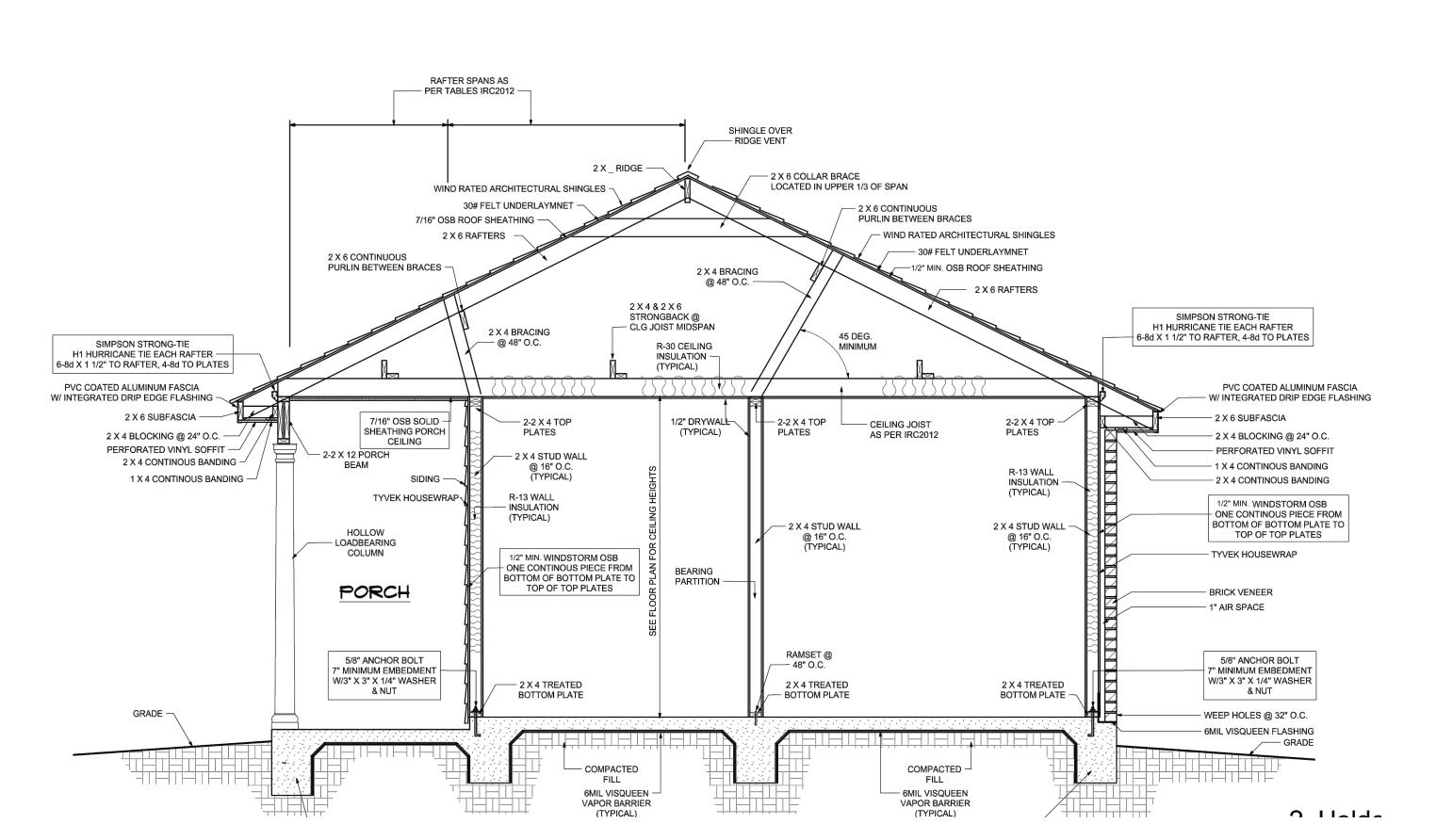
4. 8d DEFORMED NAILS SHALL BE USED FOR ATTACHING PLYWOOD AND WOOD STRUCTURAL PANEL ROOF SHEATHING TO FRAMING WITHIN MINIMUM 48" DISTANCE FROM GABLE END WALLS, IF MEAN ROOF HEIGHT IS MORE THAN 25' UP TO 25' MAXIMUM.

5. NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6" O.C. FOR MINIMUM 48" DISTANCE FROM RIDGES, EAVES, AND GABLE END WALLS; AND 4" O.C. TO GABLE END WALL FRAMING.

6.SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL ROOF PLANE PERIMETERS. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS SHALL NOT BE REQUIRED EXCEPT AT INTERSECTIONS OF ADJACENT ROOF PLANES. FLOOR AND ROOF PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.



typ. exterior header strapping detail



typical building cross section detail

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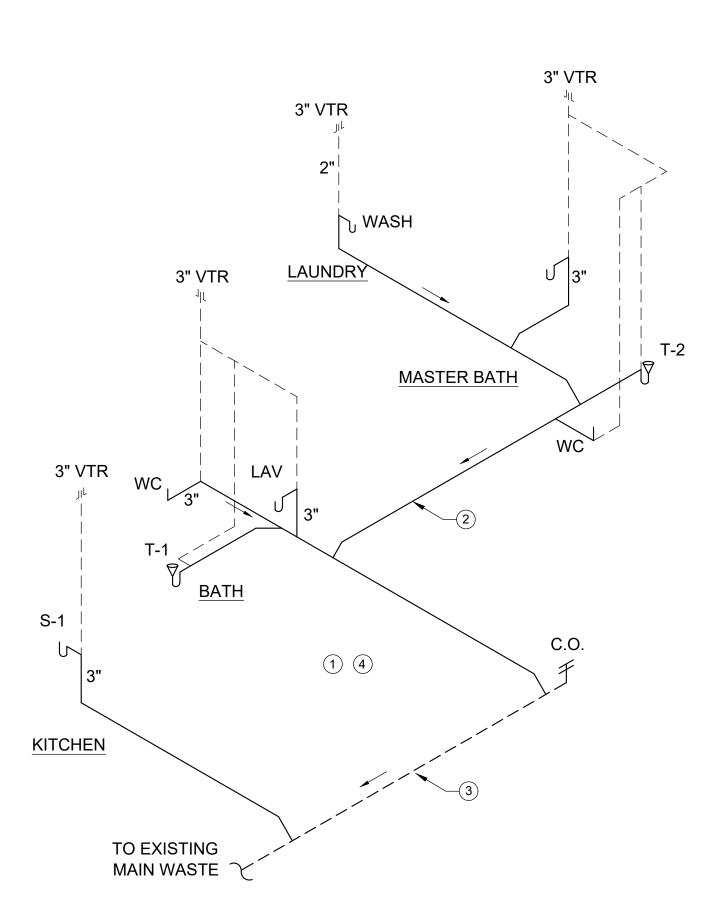
typical details, fastening schedule

PLUMBING NOTES:

- 1. REFERENCE THE SPECIFICATIONS OF ALL FIXTURES, EQUIPMENT, AND APPLIANCES FOR MATERIAL AND EQUIPMENT INSTALLATION STANDARDS.
- 2. THE PLUMBING INSTALLATION SHALL COMPLY WITH ALL STATE AND LOCAL CODES.
- 3. FIELD VERIFY EXISTING INSTALLATIONS. MODIFY EXISTING PLUMBING SYSTEMS, WHICH ARE TO REMAIN ACTIVE, TO FACILITATE RECONNECTION AND EXTENSION OF THE NEW WORK.
- 4. PLANS ARE NOT COMPLETELY TO SCALE. PIPE ROUTING SHOWN IS SCHEMATIC AND IS NOT INTENDED TO INDICATE EXACT ROUTING. CONTRACTOR SHALL PROVIDE ANY ADDITIONAL OFFSETS AND FITTINGS REQUIRED FOR PROPER INSTALLATION AND TO MAINTAIN CLEARANCES. VERIFY STRUCTURAL, MECHANICAL AND ELECTRICAL INSTALLATIONS AND OTHER POTENTIAL OBSTRUCTIONS AND ROUTE PIPING TO AVOID
- 5. PROVIDE ALL OFFSETS AND FITTINGS AND MAKE CONNECTION TO SITE UTILITIES.
- 6. CONCEAL PIPING ABOVE CEILINGS, WITHIN WALLS OR CHASES EXCEPT IN MECHANICAL ROOMS OR AS SPECIFICALLY NOTED.
- 7. PROVIDE ACCESS PANELS FOR ALL VALVES CONCEALED IN WALLS OR ABOVE NON-ACCESSIBLE CEILINGS.
- 8. SLEEVE AND/OR FIRESTOP ALL PENETRATIONS THROUGH RATED WALLS, CEILINGS, AND FLOORS WITH U/L LISTED ASSEMBLIES. FIRESTOP ASSEMBLIES SHALL BE EQUAL TO OR EXCEED THE RATING OF THE WALL, CEILING OR FLOOR. SEE ARCHITECTURAL DRAWINGS FOR FINAL FINISHES.
- 9. FLASH AND COUNTER-FLASH ROOF PENETRATIONS.
- 10. WHEN BEAM SLEEVE PENETRATIONS ARE NECESSARY, COORDINATE PENETRATIONS WITH ALL TRADES, THE ARCHITECT AND THE STRUCTURAL ENGINEER.
- 11. SEE ARCHITECTURAL DRAWINGS FOR FIXTURE LOCATIONS AND MOUNTING HEIGHTS.
- 12. ALL EXPOSED PIPE AND FITTINGS IN FINISHED AREAS SHALL BE CHROME PLATED.
- 13. PROVIDE CLEANOUTS IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. INSTALL CLEANOUT WITH COVER FLUSH TO FINISH SURFACE.
- 14. PROVIDE SANITARY WASTE, VENT, DOMESTIC WATER, ETC. ROUGH-IN AND MAKE FINAL CONNECTIONS (TO INCLUDE PROVIDING ALL NECESSARY RELATED STOPS, VALVES, TRAPS, ETC. AND MAKE READY FOR USE) TO ALL EQUIPMENT, WHETHER FURNISHED BY THIS CONTRACTOR OR FURNISHED BY OTHERS.

plumbing specific notes:

- 1. INSPECT ALL EXISTING WASTE LINE & RE-USE WHERE POSSIBLE (FIELD VERIFY EXACT LOCATIONS).
- NEW 4" WASTE LINE.
- 3. EXISTING MAIN BLDG. WASTE LINE TO CITY MAIN SEWER LINE. COORDINATE EXACT TIE-IN LOCATIONS WITH PARISH PUBLIC WORKS. PROVIDE CLEANOUTS AS REQUIRED.
- NEW PLUMBING FIXTURES SHALL CONNECT TO EXISTING HOT AND COLD WATER SUPPLY.



plumbing riser diagram

———— SOIL OR SEWER LINE — — — EXISTING WASTE OR SEWER LINE ---- SEWER VENT

—— – COLD WATER LINE ——--- HOT WATER LINE SHUTOFF VALVE (GATE OR BALL)

FLOOR CLEAN OUT WALL CLEAN OUT VENT THRU ROOF FLOOR DRAIN

WASH

DESK

WC

plumbing floor plan

PLAN NORTH

scale: 3/16" = 1'=0"

HOSE BIBB

plumbing legend

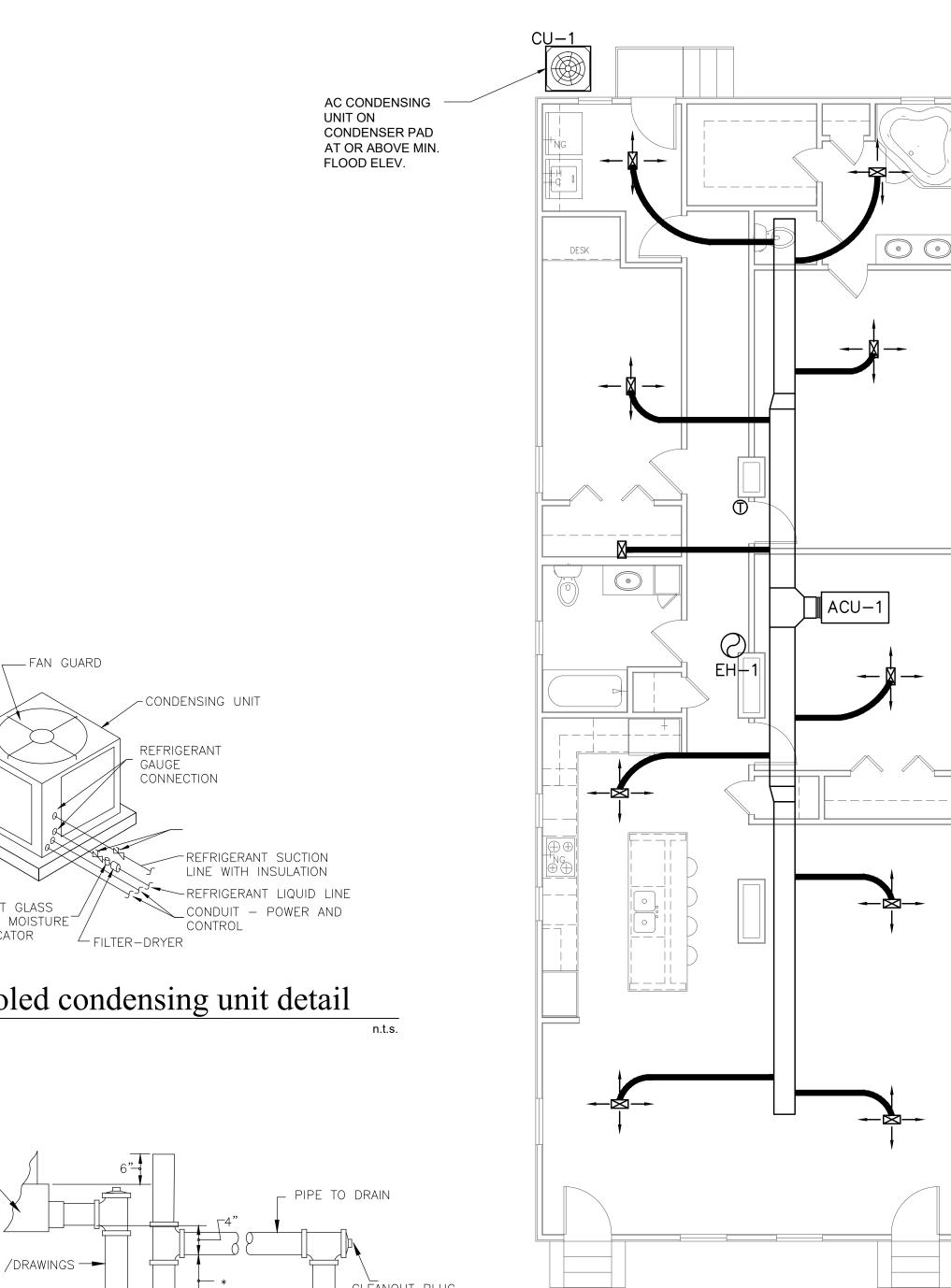
DUCT RUNOUTS MIN. DUCT SIZE C.F.M. RANGE 6"ø 0 - 1508"ø | 151-250 10"ø 251-350 12**"**ø 351-500 16"ø 501-700

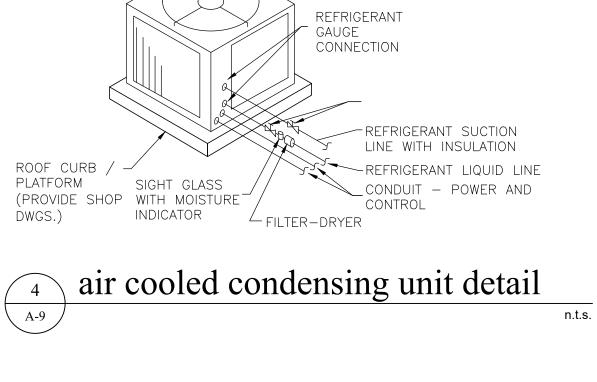
air conditioning unit schedule							
NO.	0557405	FA		COOLING	AUX.	\(\(\)\(\)\(\)	DEMARKO
NO.	SERVICE	C.F.M. SUPPLY	C.F.M. O.A.	TONS	HEAT	VOLTAGE	REMARKS
ACU#1		2,000		5.0	8KW	208/3	RHEEM RJPL SERIES
							OR APPROVED EQUAL

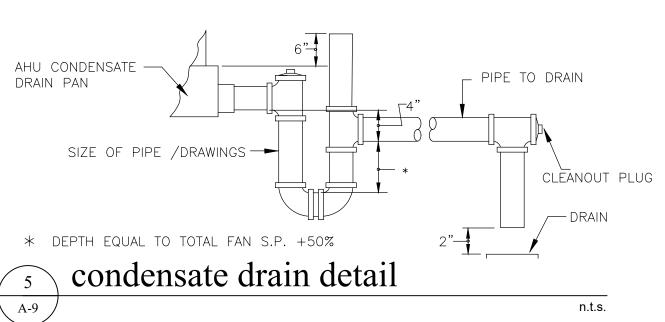
	air cooled condensing unit schedule					
NO.	SERVICE	OUTPUT CAP. TONS	EVAP TEMP	AMBIENT TEMP	MFR / MODEL	VOLTAGE
CU#1	WHOLE HOUSE	5.0	45°	95°	RHEEM MATCHING CU SERIES	208/3
					OR APPROVED EQUAL	

REFRIGERANT LINES SIZES AS PER MANUFACTURERS RECOMMENDATIONS

- 1. PROVIDE CONDENSATE DRAIN, FULL SIZE, FROM EACH UNIT COIL TO HUB DRAIN. SEE PLUMBING DRAWING FOR LOCATION OF DRAIN 2. PROVIDE EMERGENCY DRAIN PAN UNDER ENTIRE UNIT AS DETAILED. RUN EMERGENCY DRAIN TO EXT. OF BLDG. & TERMINATE W/ ELBOW DOWN
- 3. PROVIDE FLOAT SWITCH IN EMERGENCY DRAIN PAN. INTERLOCKED WITH UNIT FAN TO STOP UNIT WHEN SWITCH IS ACTIVITED
- 4. CONTRACTOR SHALL CONSULT WITH OWNER FOR ALTERNATIVE OPTIONS TO THE PROPOSED HVAC SYSTEMS & LOCATIONS.







hvac floor plan

n.t.s.

PLAN NORTH scale: 3/16" = 1'=0"

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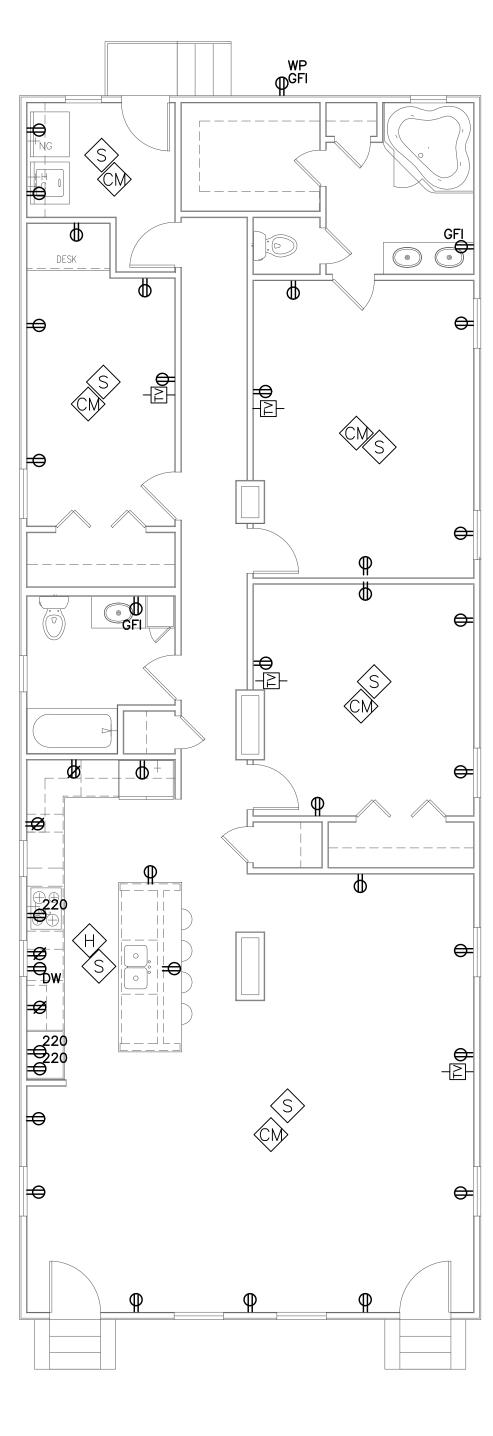
hvac floor plan, plumbing floor plan, plumbing riser diagram, details

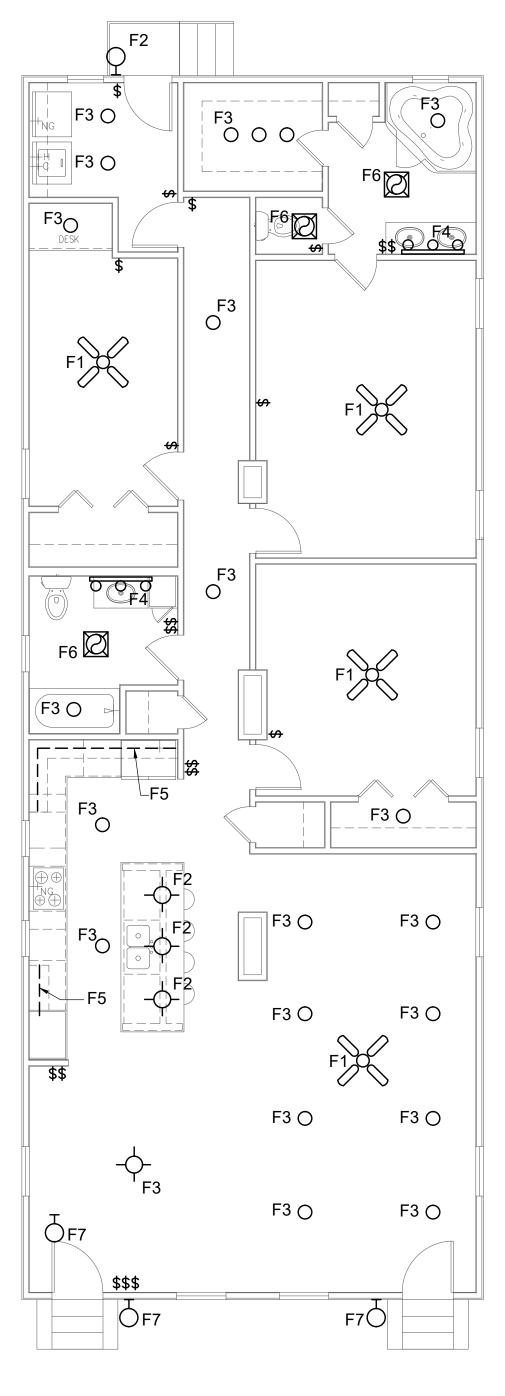
	electrical symbols
mark	description
Φ	20A, 115V, 3W, GROUNDED DUPLEX RECEPTACLE MOUNTED @ 18" A.F.F.
39 *	20A, 115V, 3W, GROUNDED DUPLEX RECEPTACLE MOUNTED HORIZONTALLY @ 39" A.F.F.
39 * GFI	20A, 115V, 3W, GROUNDED DUPLEX RECEPTACLE W/ GROUND FAULT INTERRUPTION MOUNTED HORIZONTALLY @ 39" A.F.F.
∯ GFI	20A, 115V, 3W, GROUNDED DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTION @ 42" A.F.F. VERTICAL.
ΨF	20A, 115V, 3W, GROUNDED DUPLEX RECEPTACLE FLOOR MOUNTED.
⊕ wp	20A, 115V, 3W, GROUNDED DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTION, WATERPROOF HOUSING
\$	15A, 120V, SINGLE POLE TOGGLE SWITCH, MOUNT @ 52" A.F.F.
\$ ₃	15A, 120V, 3 WAY SWITCH, MOUNT @ 52" A.F.F.
\$ _D	600W DIMMER SWITCH, MOUNT @ 52" A.F.F.
\$ _F	FAN SPEED / LIGHT DIMMER SWITCH COMBINATION, MOUNT @ 52" A.F.F., TO SUPPLIED w/ CLG. FANS.
M	ELECTRIC METER
	PANEL
	FUSIBLE DISCONNECT SWITCH
0	RECESSED DOWN LIGHT
-	SURFACE MOUNTED LIGHT FIXTURE
000	VANITY LIGHT FIXTURE, WALL MOUNTED.
9	EXTERIOR WALL MOUNTED FIXTURE (NATURAL GAS FIXTURE AT FRONT PORCH)
	52" CEILING FAN w/ LIGHT KIT.
	HEATER / VENT / LIGHT (HVL)
TY-	CABLE T.V. JACK
S	SMOKE DETECTOR
H	HEAT DETECTOR
€M>	CARBON DIOXIDE DETECTOR
\Box	TELEPHONE OUTLET
T	COMPUTER / DATA OUTLET

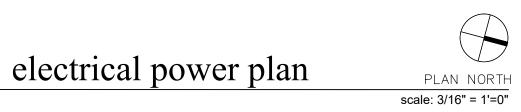
mark	description	manuf.	model no.	lamp
F1	CEILING FAN WITH LIGHT FIXTURE	-	AS SELECTED BY OWNER / ARCH.	-
F2	SURFACE MOUNTED EXTERIOR LIGHT FIXTURE	-	AS SELECTED BY OWNER / ARCH.	-
F3	RECESSED DOWN LIGHT	-	AS SELECTED BY OWNER / ARCH.	-
F4	WALL MOUNTED VANITY LIGHT FIXTURE	-	AS SELECTED BY OWNER / ARCH.	-
F5	LED ROPE LIGHT FOR INDIRECT LIGHTING COVE	-	AS SELECTED BY OWNER / ARCH.	-
F6	LIGHT / EXHAUST FAN / HEATER FIXTURE	-	AS SELECTED BY OWNER / ARCH.	-
F7	SURFACE MOUNTED EXTERIOR LIGHT FIXTURE (NATURAL GAS FIXTURE)	-	AS SELECTED BY OWNER / ARCH.	-

ELECTRICAL NOTES:

- 1. ALL EQUIPMENT FURNISHED AND ALL WORK SHALL BE IN STRICT CONFORMITY WITH ELECTRICAL SECTION OF REGULATORY INSPECTIONS FOR ORLEANS PARISH, STATE FIRE MARSHALL, N.E.C. & ALL OTHER APPLICABLE LAWS, ORDINANCES, CODES & RULES OF CONSTRUCTION APPLICABLE IN THE LOCALITY OF WORK.
- 2. PERMITS, CERTIFICATES, OF INSPECTION AND APPROVAL AS APPLICABLE TO THE VARIOUS PORTIONS OF THE WORK SHALL BE OBTAINED FROM THE INSPECTION AGENCY HAVING JURISDICTION THEREON AND SHALL BE DELIVERED TO THE OWNER PRIOR TO ACCEPTANCE OF THE WORK. PAY ALL FEES REQUIRED IN CONNECTION WITH VARIOUS INSPECTIONS AND PERMITS.
- 3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE JOB SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS.
- 4. EACH BRANCH CIRCUIT AND/OR FEEDER SHALL HAVE A GREEN INSULATED EQUIPMENT GROUND CONDUCTOR, SIZED PER NEC.
- 5. ALL PENETRATIONS THROUGH PARTITIONS & CEILINGS SHALL BE PROPERLY SEALED TO MAINTAIN FIRE RATING OF CEILINGS AND PARTITIONS
- 6. UPON COMPLETION, FURNISH AS-BUILT SCHEMATIC DRAWING OF ALL VARIATIONS OF EXISTING PLANS TO OWNER.
- 7. UPON COMPLETION OF THE WORK, TEST THE NEW INDIVIDUAL SYSTEMS, INCLUDING ALL FEEDERS AND BRANCH CIRCUITS TO RECEPTACLES, LIGHTING WITH A 500 VOLT DC INSULATION TESTER (WITH AN 0-200 MEGOHM FULL SCALE.) ALL CONDUCTORS SHALL HAVE INSULATION TESTED WHEN WIRING SYSTEM IS COMPLETE AND A LOG KEPT OF THE CIRCUIT NAME, DATE AND MEGGER READINGS. RECORD FEEDER AND/OR CIRCUIT NAME, READING IN OHMS, AND SUBMIT REPORT TO ARCHITECT. CHECK FOR PROPER PHASE ROTATION. ALL TEST REPORTS SHALL BE TYPED. PROVIDE ALL INSTRUMENTS, LABOR, ETC. REQUIRED FOR TESTING. ALL TESTING SHALL BE OBSERVED BY THE ARCHITECTAND/OR REPRESENTATIVES OF THE ARCHITECT.
- 8. UPON COMPLETION OF ALL TESTS AND ACCEPTANCE, FURNISH THE OWNER A WRITTEN GUARANTEE COVERING THE ELECTRICAL WORK DONE AND EQUIPMENT INSTALLED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, RECTIFY AND REPLACE ANY DEFECTIVE MATERIAL OR WORKMANSHIP & REPAIR DAMAGE CAUSED THEREBY WITHOUT ANY ADDITIONAL COST TO THE OWNER.
- 9. COORDINATE ALL LOCATIONS OF EQUIPMENT AND FINAL TERMINATION POINTS OF PLUMBING, EXISTING EQUIPMENT, OWNER SUPPLIED EQUIPMENT, ETC., WITH APPROVED SHOP DRAWINGS OR OWNERS EQUIPMENT
- VENDOR PRIOR TO START OF ROUGH-IN. WHERE REQUIRED, FIELD MOUNT U.L. LISTED AND APPROVED LUGS FOR OVERSIZED CONDUCTORS SPECIFIED. 10. THE EXACT LOCATION OF ALL WALL MOUNTED RECEPTACLES, DATA/TELEPHONE OUTLETS, ETC., SHALL BE FIELD VERIFIED WITH OWNER PRIOR TO START OF ROUGH-IN.
- 11. COORDINATE MOUNTING HEIGHTS OF ALL WALL MOUNTED EQUIPMENT, WIRING DEVICES, ETC., WITH OWNER.
- 12. CONTRACTOR SHALL MAKE ALL REQUIRED FINAL CONNECTIONS TO OWNER SUPPLIED EQUIPMENT. PROVIDE ALL REQUIRED CONDUITS, WIRING, WHIPS, ETC., FOR A COMPLETE AND WORKING SYSTEM. COORDINATE ALL REQUIREMENTS WITH TENANT EQUIPMENT VENDOR PRIOR TO START OF ROUGH-IN. 13. ALL CONDUCTOR SHALL BE MINIMUM #12 AWG COPPER UNLESS NOTED OTHERWISE & INSULATION SHALL BE THWN, COPPER TYPE, MOISTURE & HEAT RESISTANCE THERMOPLASTIC, 75 DEGREE C EXCEPT WHERE NOTED.
- 14. CONTRACTOR TO LABEL ALL ELECTRICAL EQUIPMENT WITH PANEL DESIGNATION, CIRCUIT NUMBER AND VOLTAGE.
- 15. CONTRACTOR TO PROVIDE TYPEWRITTEN PANEL DIRECTORY. 16. RECEPTACLES FOR ALL WIRING DEVICES SHALL BE NYLON.
- 17. RECEPTACLES SHALL BE SPECIFICATION GRADE 120 V, 20 AMP UNLESS NOTED
- 18. VERIFY FINAL EQUIPMENT ELECTRICAL RATINGS AGAINST DESIGNED RATINGS. NOTIFY ARCHITECT/ENGINEER IF DIFFERENT.









PLAN NORTH scale: 3/16" = 1'=0"

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lighting plan, electrical power plan